



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **605 E WASHINGTON ST ROCKWALL, TX 75087**

SUBDIVISION **BF BOYDSTUN**

LOT

BLOCK **43A**

GENERAL LOCATION **OLD TOWN ROCKWALL**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON **KEITH GREEN**

CONTACT PERSON

ADDRESS **605 E WASHINGTON ST**

ADDRESS

CITY, STATE & ZIP **ROCKWALL, TX 75087**

CITY, STATE & ZIP

PHONE **972-978-9197**

PHONE

E-MAIL **GREEN.KEITH@gmail.com**

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Keith Green [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

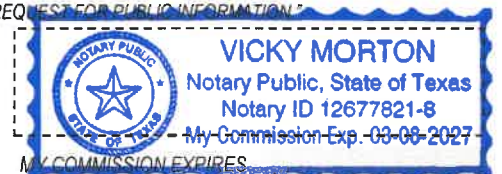
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF April, 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

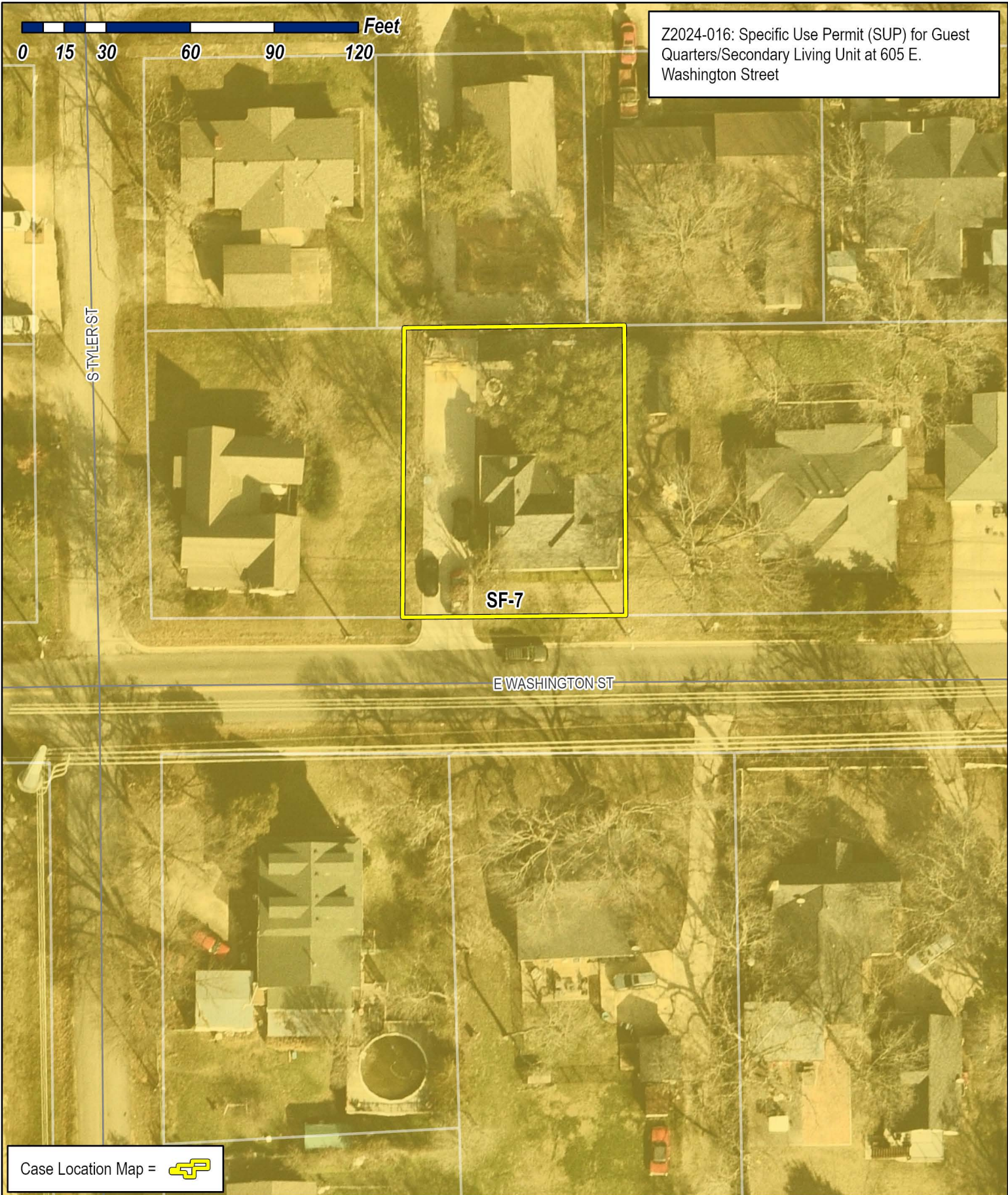
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF APRIL, 20 24.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Vicky Morton





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

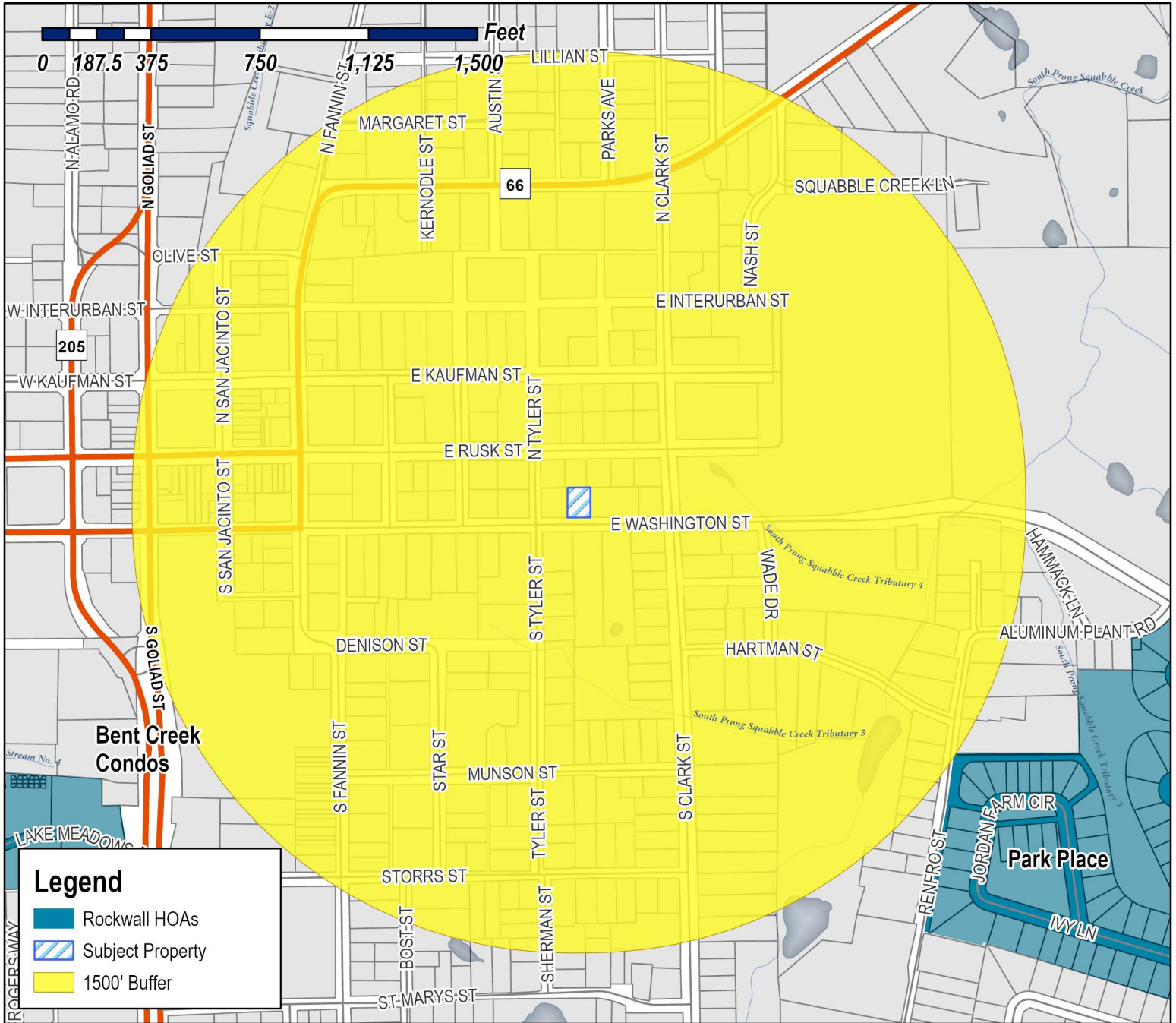




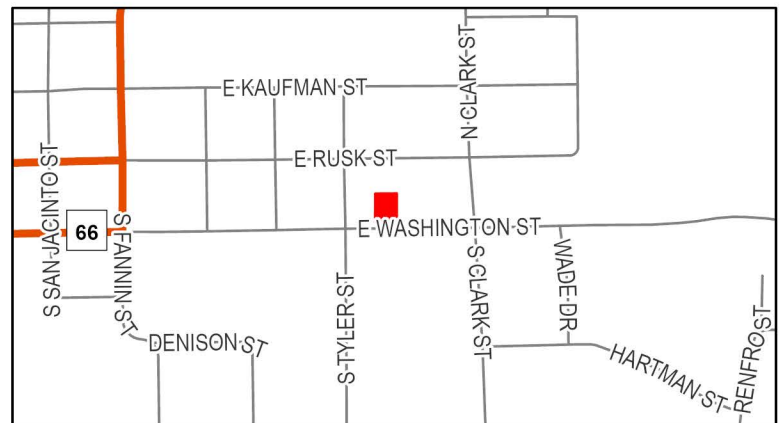
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-016
Case Name: SUP for Guest Quarters/Secondary Living Unit
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 605 E. Washington Street



Date Saved: 4/11/2024

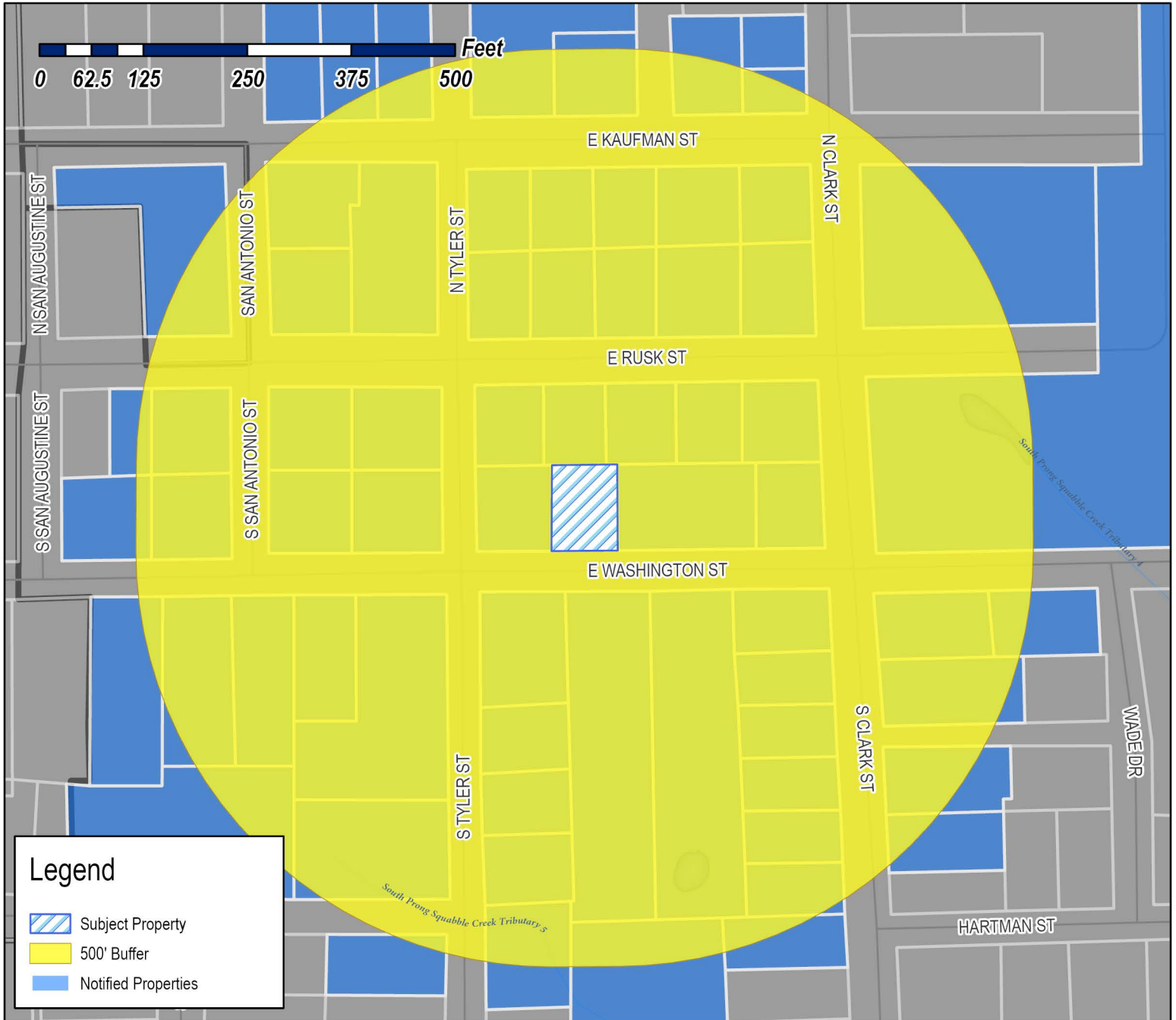
For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

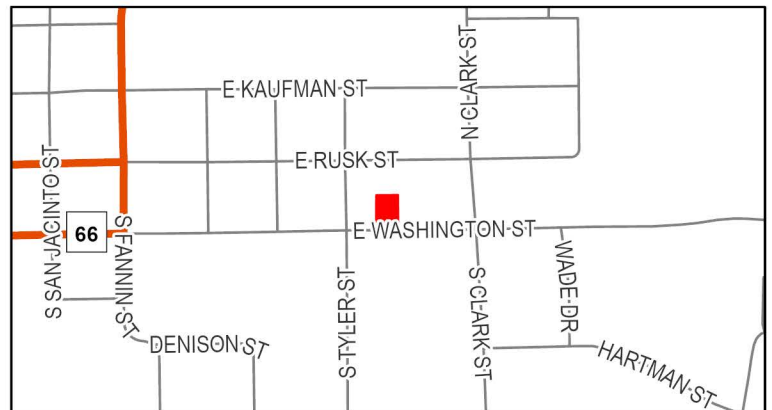
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-016
Case Name: SUP for Guest Quarters/Secondary Living Unit
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 605 E. Washington Street

Date Saved: 4/11/2024

For Questions on this Case Call: (972) 771-7745



QUINTON BILLY & AUTUMN
102 N TYLER ST
ROCKWALL, TX 75087

RESIDENT
102 S CLARK ST
ROCKWALL, TX 75087

GATES ROBERT V & CHRISTI C
104 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
106 S CLARK ST
ROCKWALL, TX 75087

HOOKER ROBERT AND KELLIE
10653 COUNTY ROAD 1141
TYLER, TX 75709

KUPPER LEROY J ET UX
108 ELM CREST DR
ROCKWALL, TX 75087

HARPER LYDIA
1200 CLEVELAND STREET APT 327
DENTON, TX 76201

MORGAN MARY FRANCES COLEY
180 SAN ANTONIO STREET
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
2 MANOR COURT
HEATH, TX 75032

RESIDENT
201 N CLARK ST
ROCKWALL, TX 75087

CAMPBELL CASEY C
201 S CLARK STREET
ROCKWALL, TX 75087

RICH LISA
202 S CLARK ST
ROCKWALL, TX 75087

EDWARDS MORGAN BROOKE
203 N CLARK ST
ROCKWALL, TX 75087

RESIDENT
204 S CLARK ST
ROCKWALL, TX 75087

FOX JONATHAN R AND SYDNEY
205 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
206 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
208 S CLARK ST
ROCKWALL, TX 75087

LEFERE KEVIN M AND
AMANDA HENRY
209 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
210 TYLER ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

RESIDENT
210 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
211 TYLER ST
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID
211 S CLARK ST
ROCKWALL, TX 75087

ZAKEM KYSIE JO
212 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
213 TYLER ST
ROCKWALL, TX 75087

RESIDENT
214 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
215 TYLER ST
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

MUNSON PARNTERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

GLASS JERRY
301 MEADOWDALE DR
ROCKWALL, TX 75087

RESIDENT
302 TYLER ST
ROCKWALL, TX 75087

FLINCHUM RITA
305 TYLER ST
ROCKWALL, TX 75087

RESIDENT
311 DENISON ST
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA
3111 ANNETTE CT
GARLAND, TX 75044

MUNSON PARTNERS 1 LLC
3435 HWY 276
ROCKWALL, TX 75032

WELCH DAVID T & TERRY E
401 E WASHINGTON STREET
ROCKWALL, TX 75087

KILPATRICK KENDRA
402 E WASHINGTON ST
ROCKWALL, TX 75087

HANNA KIMBERLIE UPLEGER
4020 WINCREST DR
ROCKWALL, TX 75032

RESIDENT
404 E RUSK
ROCKWALL, TX 75087

COLSON BETTY
404 E WASHINGTON
ROCKWALL, TX 75087

SALVADOR MARY PEARL
405 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
406 E KAUFMAN
ROCKWALL, TX 75087

RESIDENT
406 E RUSK
ROCKWALL, TX 75087

RESIDENT
406 E WASHINGTON
ROCKWALL, TX 75087

BARTON SHANNON G
501 E. KAUFMAN
ROCKWALL, TX 75087

TAMEZ PEDRO ET EX
502 E RUSK ST
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R
503 E KAUFMAN
ROCKWALL, TX 75087

ARCHER KERRY ANNE
503 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
503 E WASHINGTON
ROCKWALL, TX 75087

RESIDENT
505 E KAUFMAN
ROCKWALL, TX 75087

RESIDENT
505 E WASHINGTON
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX
505 E WASHINGTON ST
ROCKWALL, TX 75087

PYRON MARSHA G
505 PETERSON ST
ROYSE CITY, TX 75189

BIRKENBACK JOSSEPH M & OLGA M
506 E RUSK ST
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W
507 E RUSK ST
ROCKWALL, TX 75087

BETHEL TEMPLE BAPTIST
520 E WASHINGTON STREET
ROCKWALL, TX 75087

CAIN CHAD
5705 ALLEN LN
ROWLETT, TX 75088

TRES PUERTAS LLC
5800 E CAMPUS CIRCLE #114A
IRVING, TX 75063

RESIDENT
601 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
601 E RUSK ST
ROCKWALL, TX 75087

RESIDENT
601 E WASHINGTON
ROCKWALL, TX 75087

ROBINSON NELDA
602 E RUSK ST
ROCKWALL, TX 75087

BRUCE JAMES E JR & SHERYL
602 E WASHINGTON ST
ROCKWALL, TX 75087

RESIDENT
603 E RUSK
ROCKWALL, TX 75087

GALVAN CARMAN
604 E KAUFMAN ST
ROCKWALL, TX 75087

HORNER ANDREA J
604 E. RUSK ST
ROCKWALL, TX 75087

HARPER VICKI DAWSON
605 E KAUFMAN ST
ROCKWALL, TX 75087

RESIDENT
605 E RUSK
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE
605 E WASHINGTON STREET
ROCKWALL, TX 75087

CARSON HEATHER
606 E WASHINGTON ST
ROCKWALL, TX 75087

WILLIAMS JERRY LANE
608 E RUSK ST
ROCKWALL, TX 75087

WALLACE DUSTIN & KATHERINE
608 EAST WASHINGTON
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE
609 E RUSK ST
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 EAST WASHINGTON STREET
ROCKWALL, TX 75087

CLARK JENNIFER A
610 E KAUFMAN ST
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

INTEGRITY ALL CASH HOME BUYERS LLC
7340 BAKER BLVD #392
RICHLAND HILLS, TX 76118

RESIDENT
801 E WASHINGTON
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L TOWNSEND STE 100
ROCKWALL, TX 75087

SOUTHWESTERN BELL TELEPHONE CO
ATTN: PROPERTY TAX DEPT 1010 PINE, 9E-L-01
ST. LOUIS, MO 63101

SMILEY KAREN APRIL
INDEPENDENT ADMINISTRATOR - ESTATE OF
ROBERT THOMAS WIKTORCH
P.O. BOX 3061
WARMINSTER, PA 18974

ONCOR ELECTRIC DELIVERY COMPANY
PO BOX 139100
DALLAS, TX 75313

ONCOR ELECTRIC DELIVERY COMPANY
PO BOX 139100
DALLAS, TX 75313

A NEW BACKYARD SHED FOR KEITH AND HOLLY GREEN

605 E. WASHINGTON ST.
ROCKWALL 75087

NEW SHED
KEITH AND HOLLY GREEN

605 E. WASHINGTON ST.
ROCKWALL TX
75087

ISSUE LOG	
DATE	DESCRIPTION
01/19/24	FOR PERMIT

REVISION LOG		
DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

PRELIMINARY - NOT FOR CONSTRUCTION

BIDDING / PERMIT

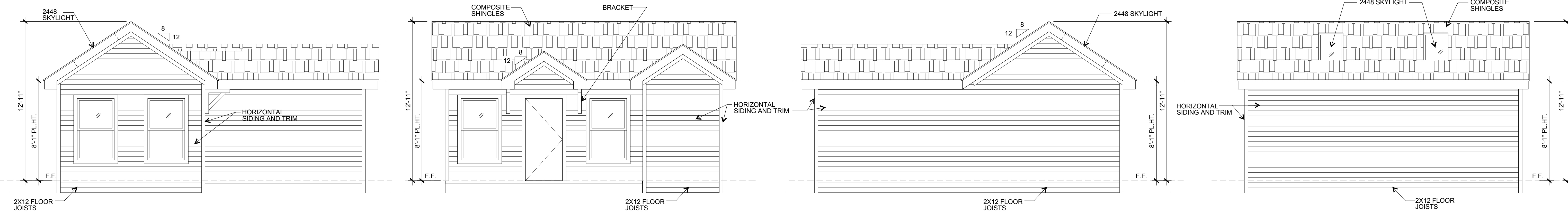
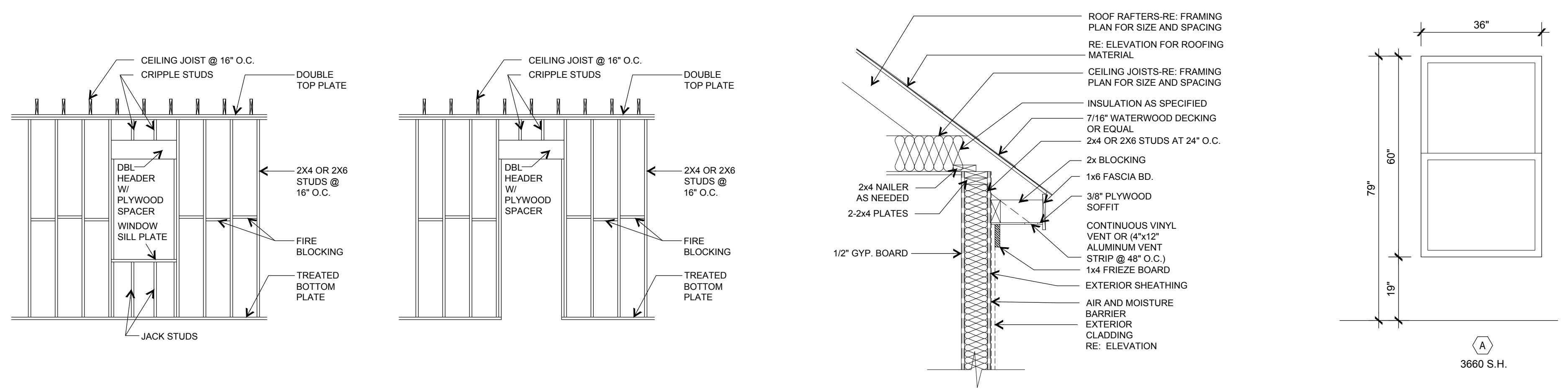
REVISION / ADDENDUM

FOR CONSTRUCTION



ARCH. PROJ. #	SCALE:
090623	REF. DRAWING

SHEET NO.
A1.0
SHED NOTES, PLANS, ELEVATIONS

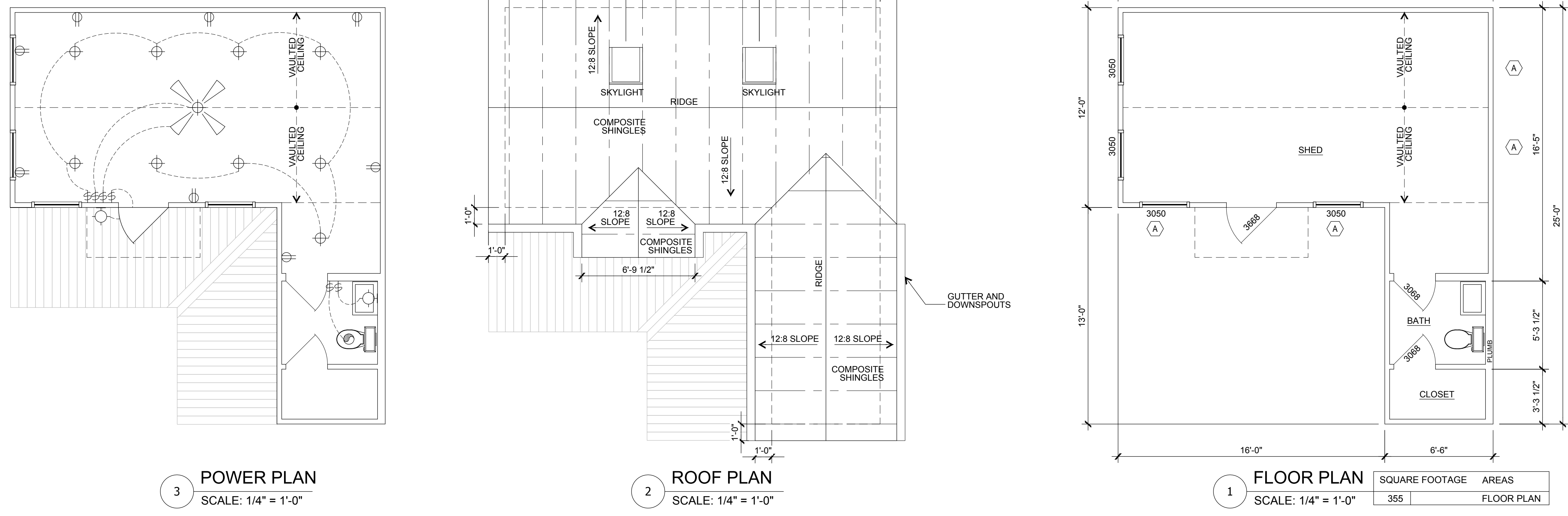


ELECTRICAL NOTES:

- 1) CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
- 2) RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12' UNLESS NOTED OTHERWISE OR PER ANY SPECIFIC CODES.
- 3) ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI) AND AS NOTED ON THE DRAWINGS.
- 4) SWITCH PLATES TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH TYPICAL.
- 5) ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
- 6) PROVIDE 150 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
- 7) PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.

ELECTRICAL SCHEDULE	
SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH
	110V OUTLET
	RECESSED CAN FIXTURE
	SCONCE
	CEILING FAN WITH LIGHT KIT
	EXHAUST FAN

NOTE: ALL OUTLETS IN BATHROOMS TO BE G.F.I.









CITY OF ROCKWALL

ORDINANCE NO. 23-65

SPECIFIC USE PERMIT NO. S-321

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *GUEST QUARTERS/SECONDARY LIVING UNIT* ON A 0.22-ACRE PARCEL OF LAND, IDENTIFIED AS BLOCK 43A OF THE B.F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Keith Green for the approval of a *Guest Quarters/Secondary Living Unit* on a 0.22-acre parcel of land identified as Block 43A of the B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 605 E. Washington Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Guest Quarters/Secondary Living Unit* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Guest Quarters/Secondary Living Unit* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of the *Guest Quarters/Secondary Living Unit* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The *Guest Quarters/Secondary Living Unit* shall not exceed a maximum size of 350 SF.
- 4) The maximum height of the *Guest Quarters/Secondary Living Unit* shall not exceed a total height of 15-feet as measured to highest point of the pitched roof.
- 5) The *Guest Quarters/Secondary Living Unit* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.


SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.


SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF DECEMBER, 2023.**



Trace Johannesen, Mayor

ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: November 20, 2023

2nd Reading: December 4, 2023

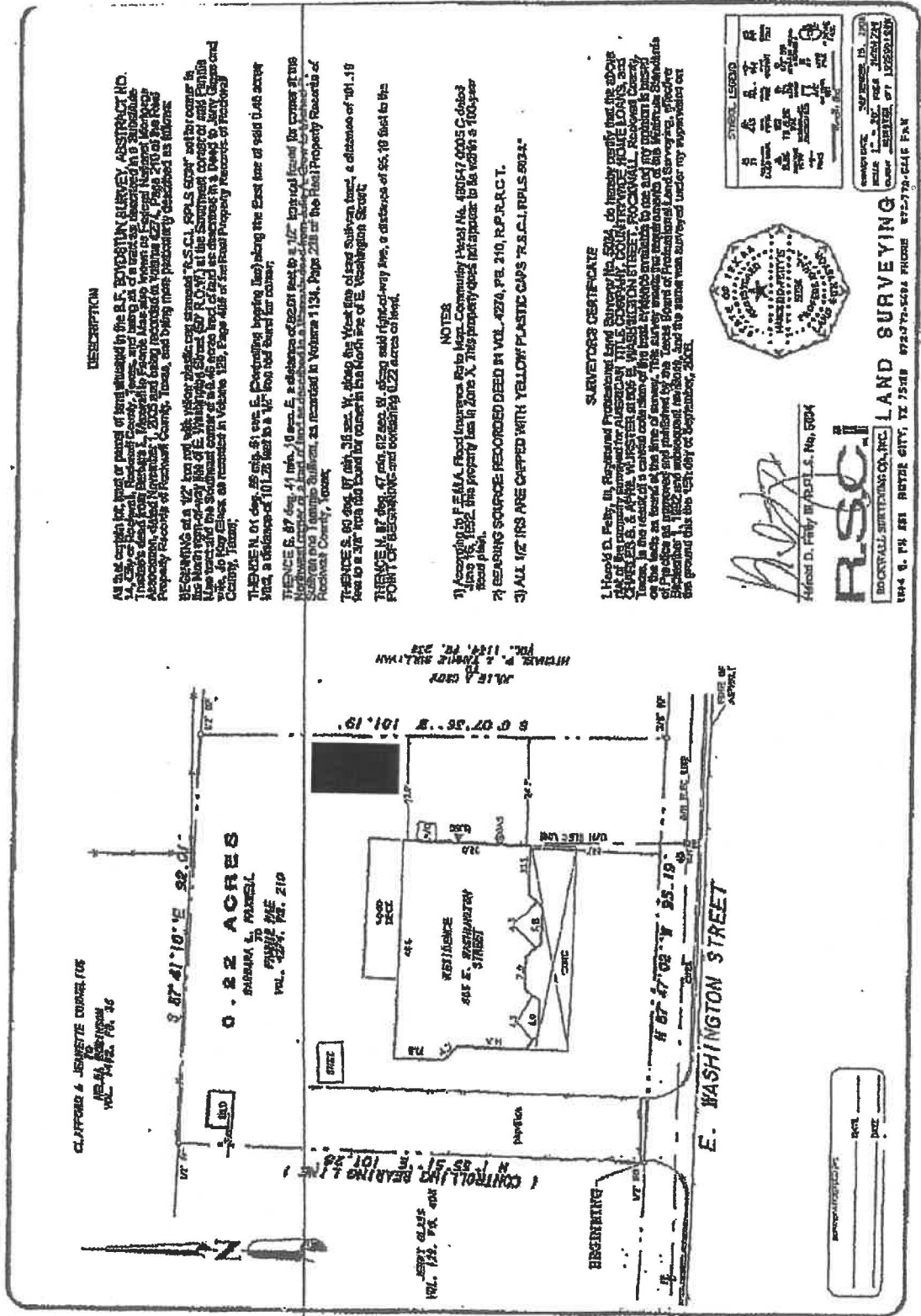
**Exhibit 'A':
Location Map**

Address: 605 E. Washington Street

Legal Description: Block 43A of the B.F. Boydston Addition



Exhibit 'B':
Concept Plan



DESCRIPTION

All that certain lot, part or parcel of land situated in the S.F. BONDSTUN SURVEY ABSTRACT NO. 1, City of Rockwall, Rockwall County, Texas, and being all of a tract as described in B. Subdivision 1, Lots 1-20, Block 1, Rockwall Estate, More or Less, as shown on a plat of subdivision recorded in the Public Record Office of Rockwall County, Texas, and being more particularly described as follows:

BEING AND AS A 1/2 AC. and with yellow plastic cap around "S.C.I. 601 S. 601" set for corner in the North 1/2 of the 1/2 AC. of E. Washington Street (S.W. 1/4) at the Southwest corner of said Parcel 1, the tract and the Southeast corner of the 1/2 AC. parcel, and a distance of 101.10 feet to the East line of the Road, 40 feet to the West line of the Road, and being more particularly described as follows:

THENCE N. 01 deg. 55 min. 51 sec. E. Controlling bearing line along the East line of said 1/2 AC. parcel and a distance of 101.20 feet to a 1/2" iron nail found for corner at this

THENCE S. 87 deg. 41 min. 10 sec. E. a distance of 99.01 feet to a 1/2" iron nail found for corner at this

Subdivision 1, Block 1, Rockwall Estate, More or Less, as shown on a plat of subdivision recorded in the Public Record Office of Rockwall County, Texas, as recorded in Volume 1134, Page 238 of the Public Property Records of Rockwall County, Texas.

THENCE S. 60 deg. 07 min. 38 sec. W. along the West line of said subdivision tract, a distance of 101.10 feet to a 1/2" iron nail found for corner in the North line of E. Washington Street.

THENCE N. 87 deg. 47 min. 02 sec. W. along said right-of-way line, a distance of 95.19 feet to the POINT OF BEGINNING and containing 0.22 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Flood No. 490147 0005 C dated June 16, 1982, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
 - 2) BEARING SOURCE: RECORDED DEED IN VOL. 422A, PE. 210, R.P.R.C.T.
 - 3) ALL 1/2" IRON NAILS CAPPED WITH YELLOW PLASTIC CAPS "S.C.I. 601 S. 601".
- SURVEYORS CERTIFICATE**
- I, Harold D. Feltz, in Recaptured Professional Seal Number 5784 do hereby certify that the above plat of the property submitted for AUSTIN TITLE COMPANY, COUNTY OF ROCKWALL, TEXAS, and being more particularly described as follows: BEING AND AS A 1/2 AC. and with yellow plastic cap around "S.C.I. 601 S. 601" set for corner in the North 1/2 of the 1/2 AC. of E. Washington Street (S.W. 1/4) at the Southwest corner of said Parcel 1, the tract and the Southeast corner of the 1/2 AC. parcel, and a distance of 101.10 feet to the East line of the Road, 40 feet to the West line of the Road, and being more particularly described as follows:
- THENCE N. 01 deg. 55 min. 51 sec. E. Controlling bearing line along the East line of said 1/2 AC. parcel and a distance of 101.20 feet to a 1/2" iron nail found for corner at this
- THENCE S. 87 deg. 41 min. 10 sec. E. a distance of 99.01 feet to a 1/2" iron nail found for corner at this
- Subdivision 1, Block 1, Rockwall Estate, More or Less, as shown on a plat of subdivision recorded in the Public Record Office of Rockwall County, Texas, as recorded in Volume 1134, Page 238 of the Public Property Records of Rockwall County, Texas.
- THENCE S. 60 deg. 07 min. 38 sec. W. along the West line of said subdivision tract, a distance of 101.10 feet to a 1/2" iron nail found for corner in the North line of E. Washington Street.
- THENCE N. 87 deg. 47 min. 02 sec. W. along said right-of-way line, a distance of 95.19 feet to the POINT OF BEGINNING and containing 0.22 acres of land.

STYREL 159310

DATE: 11/15/82

BY: H. D. FELTZ

REGISTERED PROFESSIONAL SURVEYOR

NO. 5784

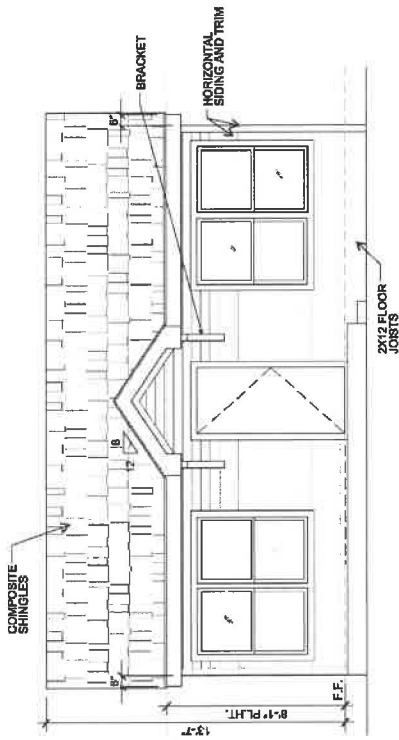
EXPIRES 11/15/88

STATE OF TEXAS

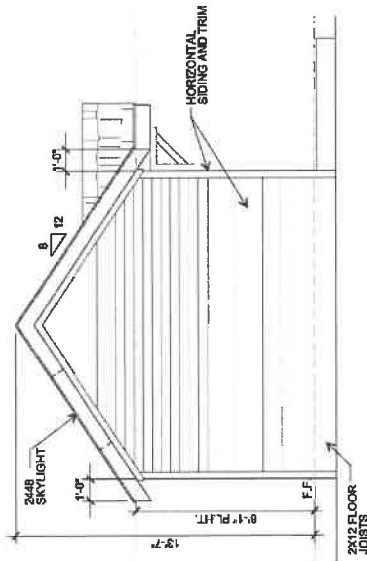
ROCKWALL SURVEYING CO., INC. LAND SURVEYING

1884 S. W. 531 ROCKWALL CITY, TX 75087 873-77-5688

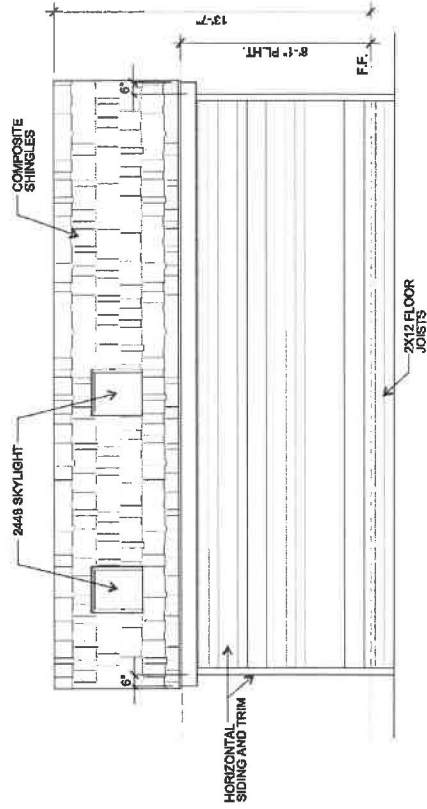
Exhibit 'C':
Building Elevations



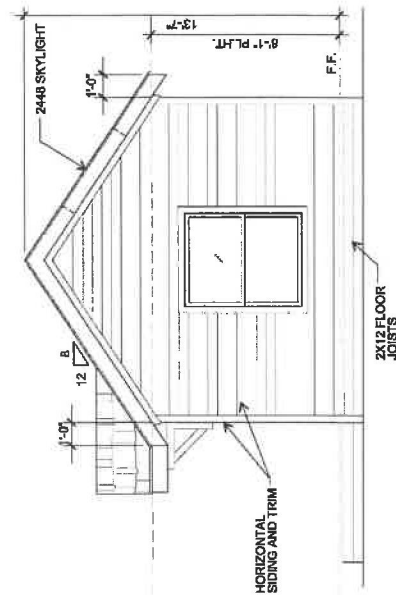
7 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



8 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



5 REAR ELEVATION
SCALE: 1/4" = 1'-0"



6 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"