



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

9 Crestview Cir Rockwall, TX 75087

SUBDIVISION

Northcrest Estate #2

LOT

9

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

SFR

CURRENT USE

SFR

PROPOSED ZONING

PROPOSED USE

ACREAGE

1.00

LOTS [CURRENT]

1

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Zach Butler

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

9 Crestview Cir

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-896-3813

PHONE

E-MAIL

Zach@rockwallproperties.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zach Butler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF JANUARY, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

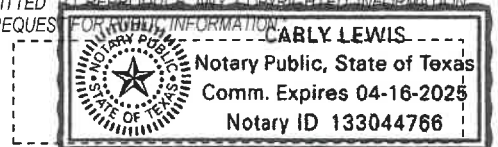
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF JANUARY, 2024.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES 2-16-25



Z2024-004: SUP for an Accessory Building and Carport at 9 Crestview Circle

AG

SF-16

CRESTVIEW CIR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

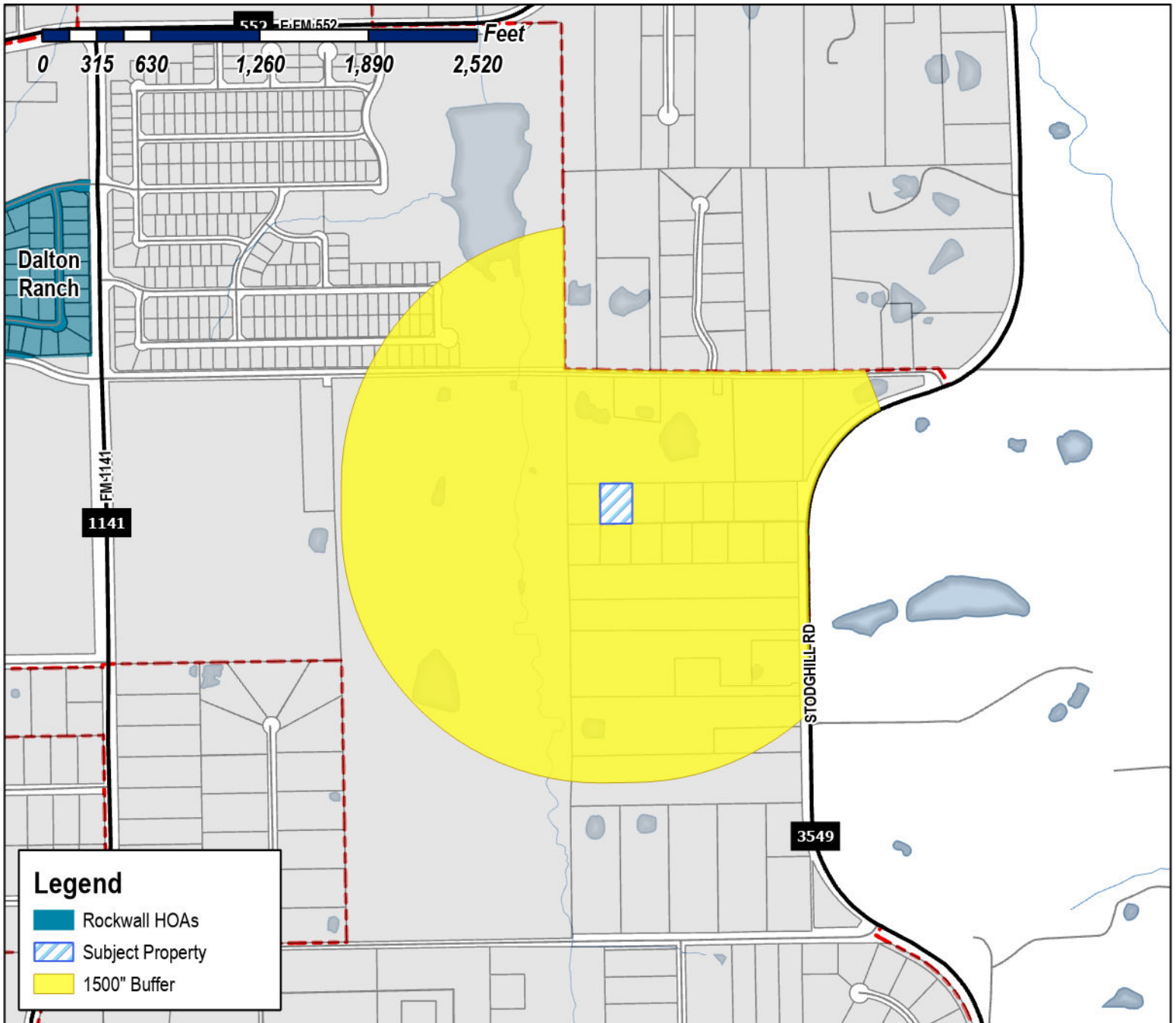




City of Rockwall

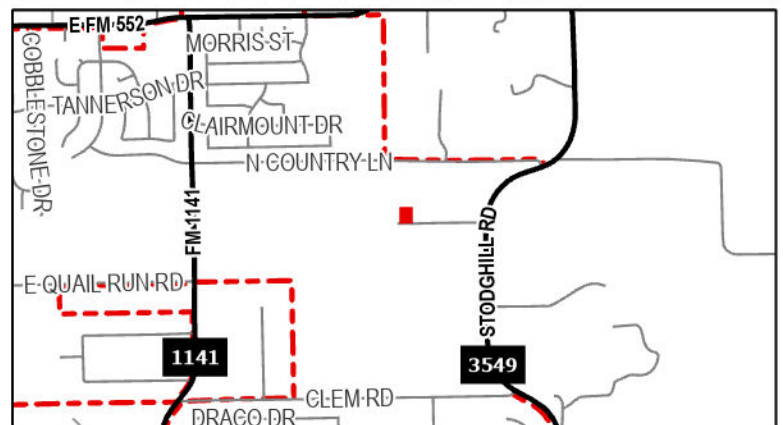
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-Family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024
 For Questions on this Case Call (972) 771-7745

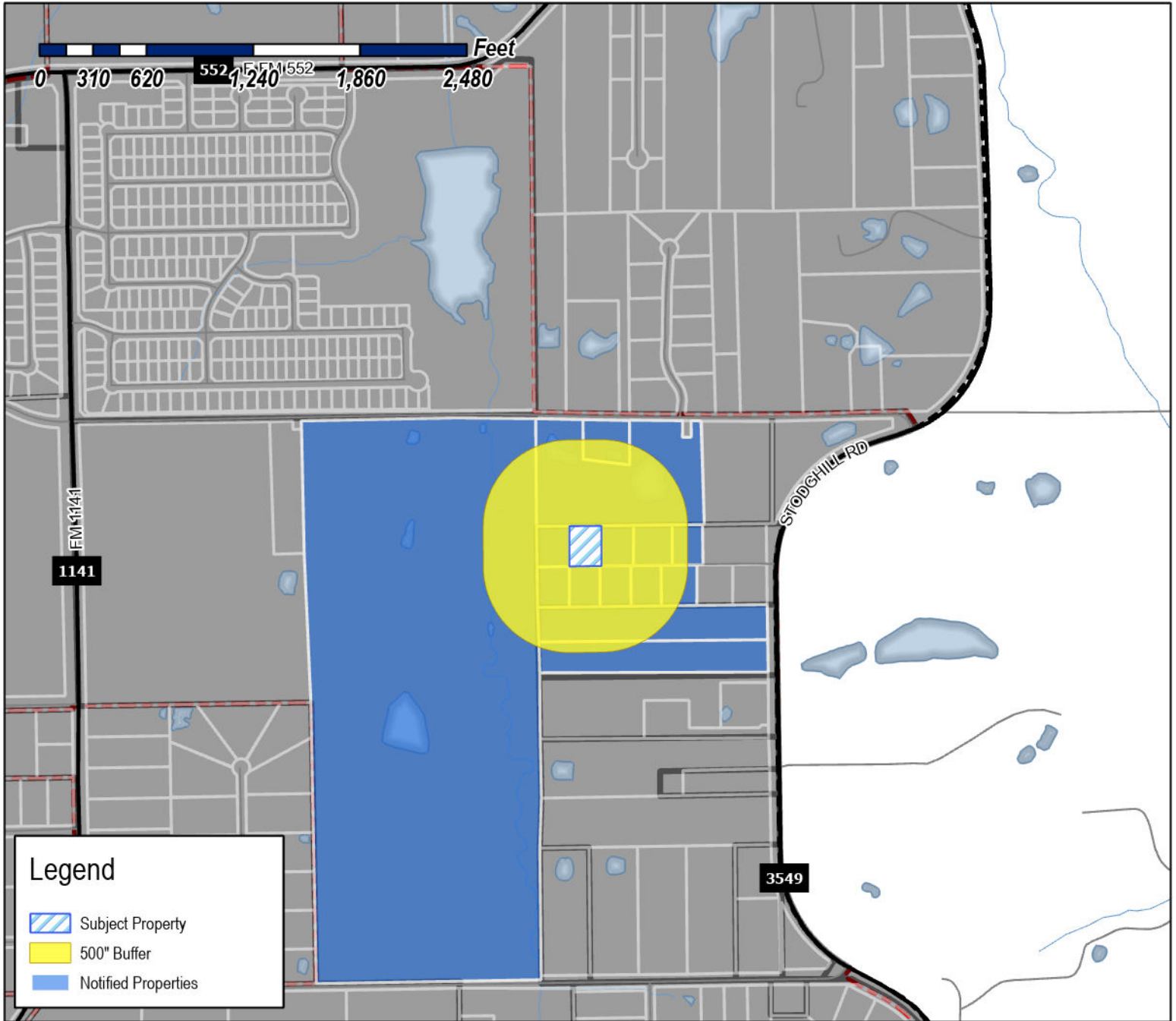




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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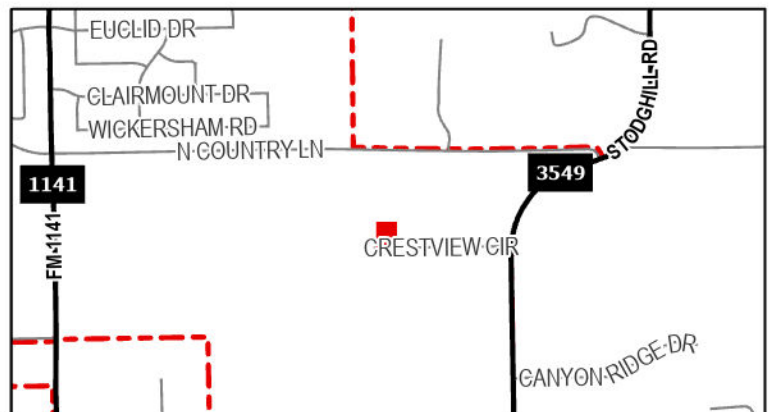
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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Case Type: Zoning
Zoning: Single-family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024

For Questions on this Case Call: (972) 771-7746



RESIDENT
FM3549 STODGHILL RD
ROCKWALL, TX 75032

MICHAEL REMEDIOS G
10 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERBERT STEPHEN RICHARD & PATRICIA ERBERT
1004 CEDAR GLEN TRL
ROCKWALL, TX 75032

DAVIS KENNETH W ET UX
11 CRESTVIEW CIR
ROCKWALL, TX 75087

FLANAGAIN GARY W & ESTHER
12 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

MCCALLUM MATTHEW A AND AMANDA KAY
3 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
379 N COUNTRY LN
ROCKWALL, TX 75032

MCCAULEY MATTHEW F & CYNTHIA R
4 CRESTVIEW CIR
ROCKWALL, TX 75087

HANKS MICHAEL JOEL AND BATINA L
5 CRESTVIEW CIR
ROCKWALL, TX 75087

LENZI LEWIS B AND MARY K
6 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
656 N COUNTRY LN
ROCKWALL, TX 75032

GIPSON ANTHONY D & JOYCE E
7 CRESTVIEW CIR
ROCKWALL, TX 75087

PEARCE CAROL ALLEY
721 N COUNTRY LN
ROCKWALL, TX 75087

PEARCE CAROL ALLEY &
BRIAN S & NICOLE DEJARNETT
721 N COUNTRY LN
ROCKWALL, TX 75087

PRITCHARD BRIAN E AND JENNIFER L
8 CRESTVIEW CIR
ROCKWALL, TX 75087

BUTLER ZACHARY AND COURTNEY
9 CRESTVIEW CIR
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-004: SUP for an Accessory Building and Carport

Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an Accessory Building and Carport on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, February 20, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, February 20, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-004: SUP for an Accessory Building and Carport

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Letter of Explanation:

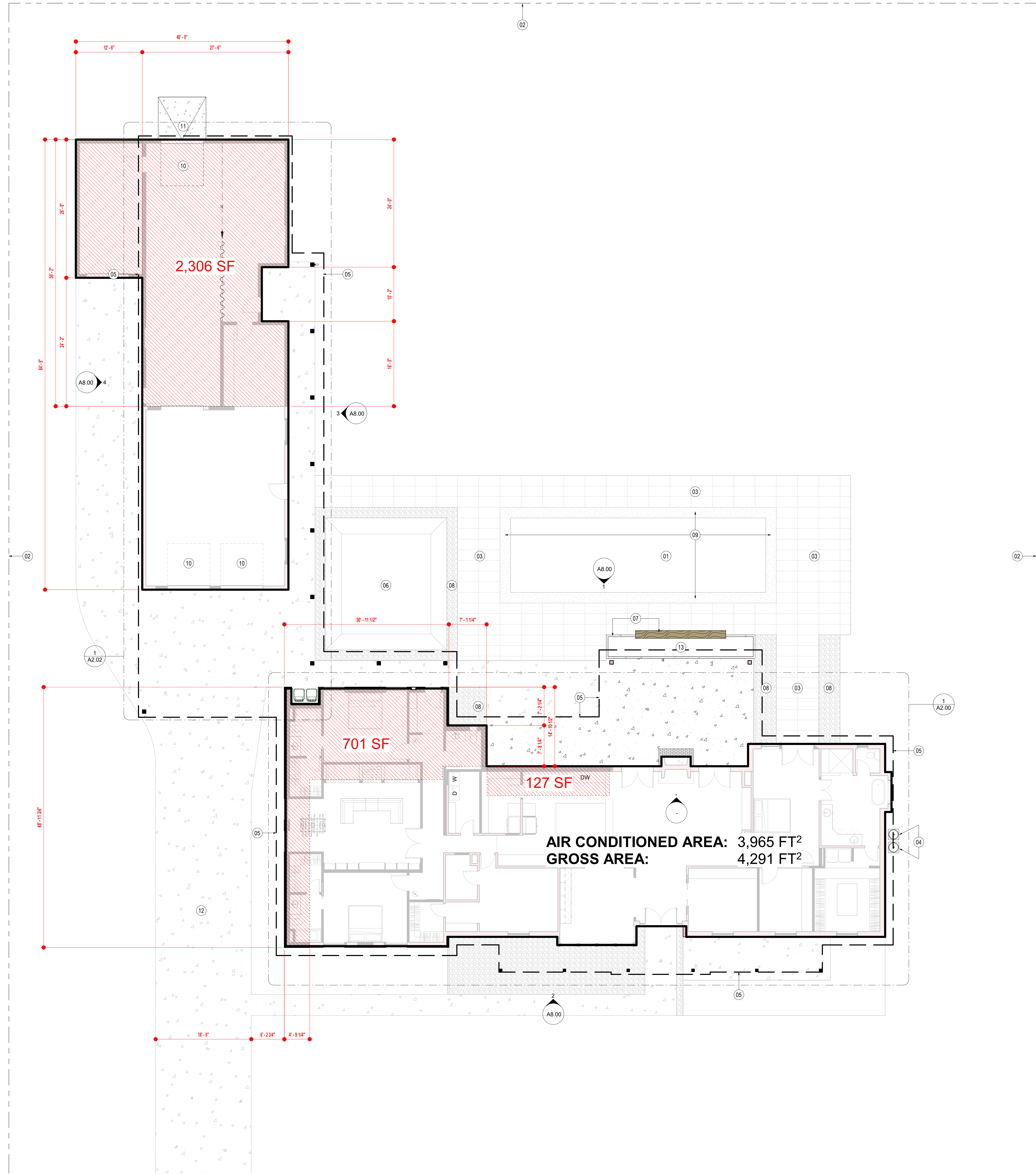
Zach Butler
9 Crestview Cir
Rockwall, TX 75087

The purpose of our request for a special use permit is for an expansion of our current garage/shop. We are adding on an indoor batting cage and sports gym for our three young boys. Part of the project also includes adding on some additional storage and more covered parking for future use as my kids get older. This batting cage and gym will be for private use for my kids, friends, and family and will not be used for business or income purposes. The need for this is to provide a facility for year round training for my kids indoors and outside of the elements. There are some private facilities around town but nothing open to the public and access to the private is growing increasingly difficult, costs money with each use and is usually a scheduling headache.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'Zach Butler', with a stylized flourish at the end.

Zach Butler



- sheet notes**
- 01 POOL
 - 02 PROPERTY LINE
 - 03 LARGE FORMAT STONE PAVER
 - 04 A/C UNITS
 - 05 LINE OF EAVE HEAD
 - 06 PLANTER BED
 - 07 PLANTER WALLS AND INTEGRATED SEAT
 - 08 GRAVEL BANDING
 - 09 CONCRETE POOL SKIRTING
 - 10 8'WIDE X 9' TALL OVERHEAD GARAGE DOOR
 - 11 CONCRETE RAMP
 - 12 DRIVEWAY
 - 13 RAISED PLANTER

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

- general notes**
- KEY**
- NEW SQUARE FOOTAGE



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
SITE PLAN

REV	DATE	NOTES
	1/22/21	

DRAWN BY
JCB

CHECKED BY
JCB

JOB NO
PRICING

STATUS
PRICING

DRAWING NO
A0.00

1 SITE PLAN
SCALE: 1/8" = 1'-0"



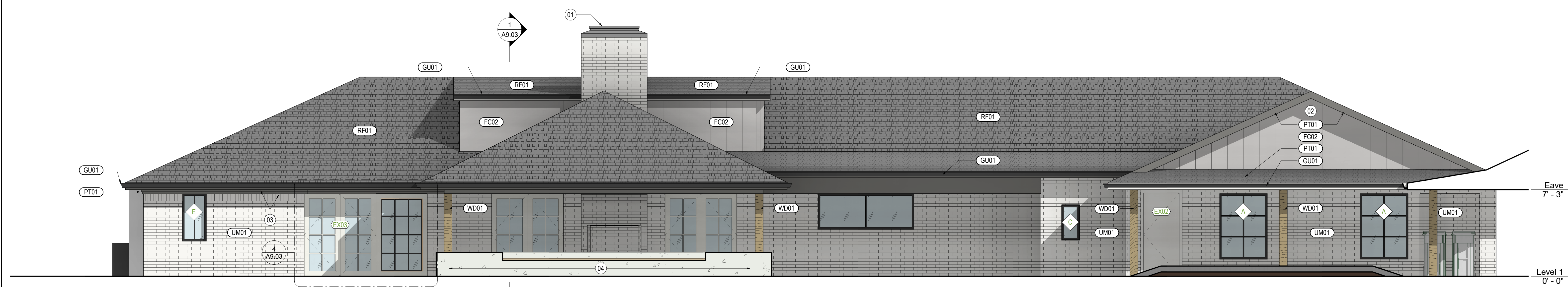
4 ANEX WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 ANEX EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 Back Elevation
SCALE: 1/4" = 1'-0"

sheet notes

- 01 CUSTOM METAL ORNAMENTAL CHIMNEY CAP
- 02 WOOD FASCIA/TRIM
- 03 WOOD TRIM AN SOLDIER COURSE TO MATCH EXISTING
- 04 NEW CONCRETE PLANTER WITH INTEGRATED BENCH

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

- RF01 ROOFING**
ITEM: COMPOSITE SHINGLES
- RF02 STANDING SEAM METAL ROOF**
ITEM: STANDING SEAM METAL ROOF
- UM01 BRICK MASONRY UNIT**
TYPE: MATCH EXISTING
FINISH: PAINTED
- PT01 EXTERIOR PAINT**
ITEM: EXTERIOR PAINT
COLOR: GREY (TBD)
- WD01 WOOD**
ITEM: STAINED TIMBER STRUCTURE
COLOR: TBD
- FC02 FIBER CEMENT**
ITEM: FIBER CEMENT PANELS (BOARD AND BATTEN)
- GU01 PREFINISHED METAL GUTTER**
ITEM: PREFINISHES METAL GUTTER WITH LEAF GUARD

general notes



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
ELEVATION

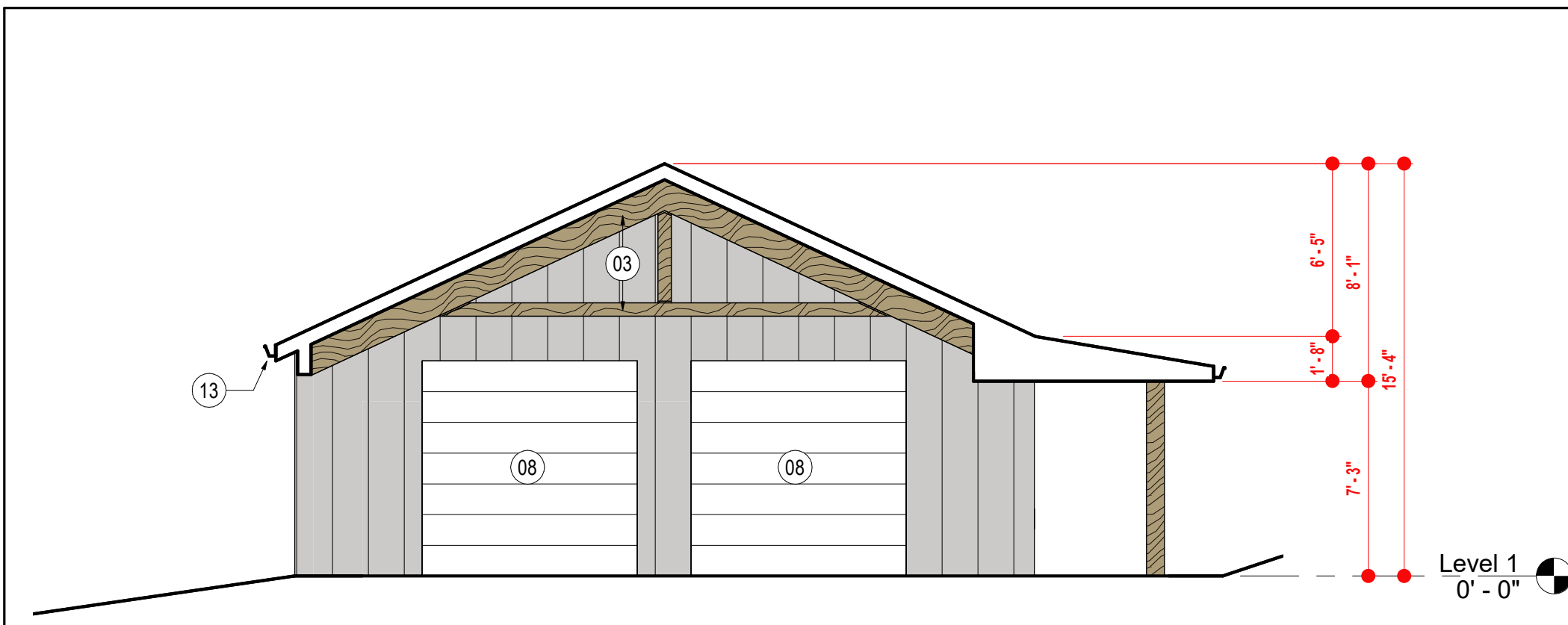
REV	DATE	NOTES
	1/22/21	

DRAWN BY
JCB

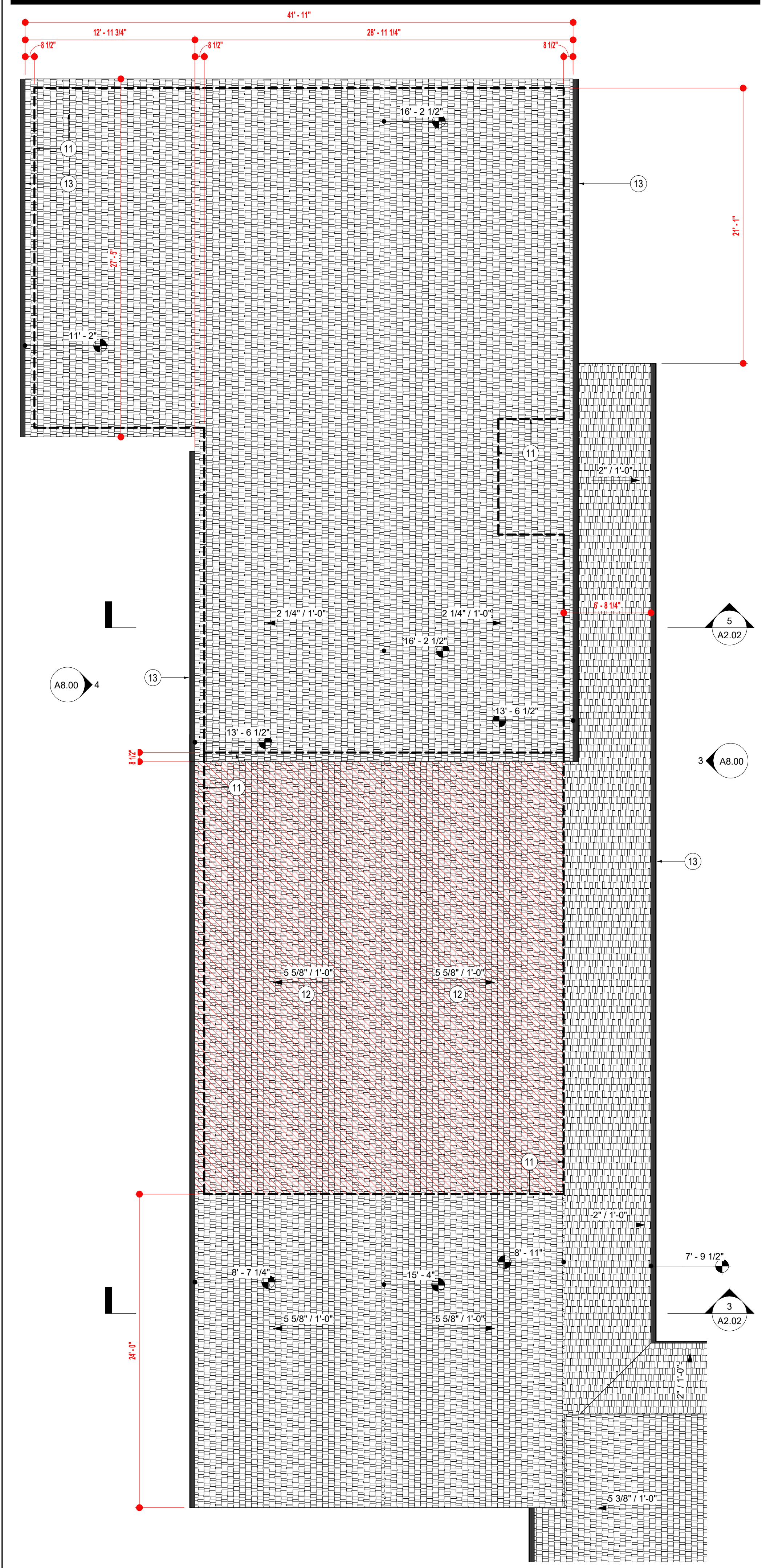
CHECKED BY
JCB

JOB NO
STATUS
PRICING

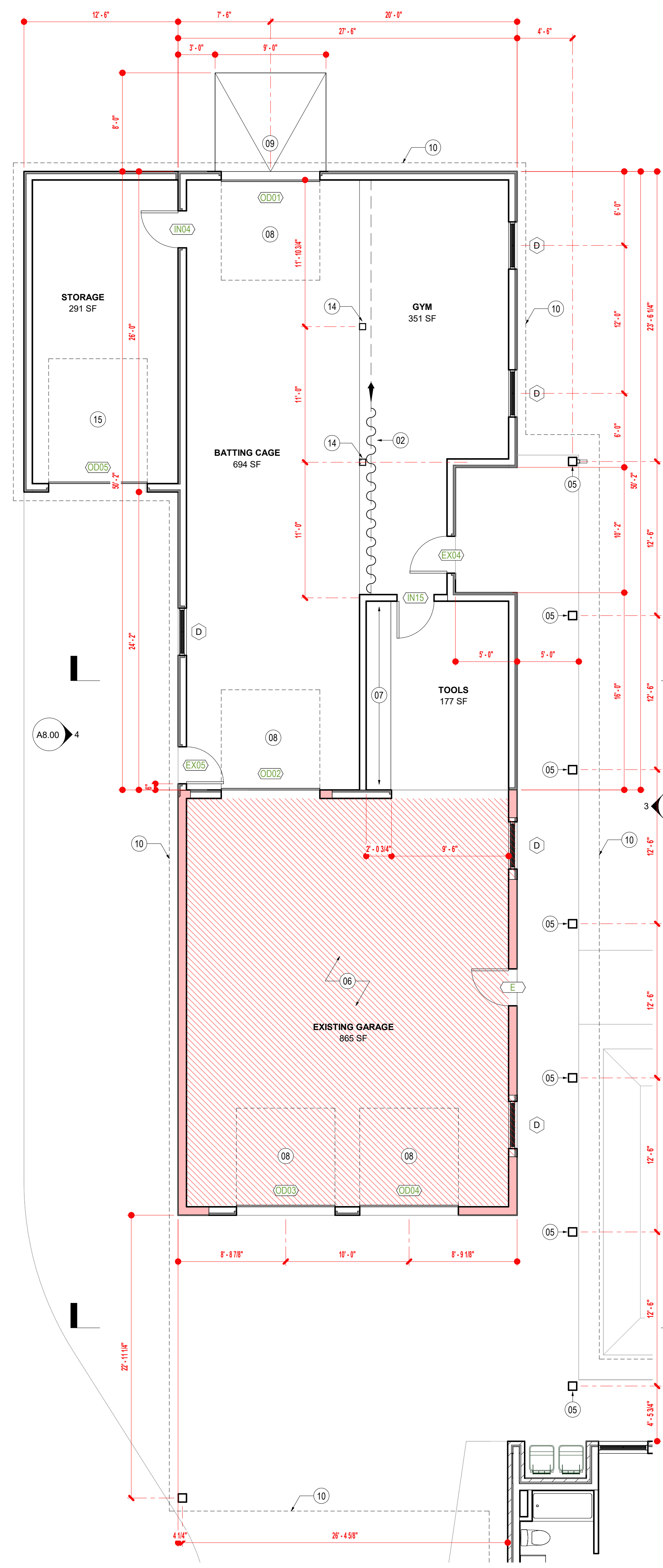
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A8.00



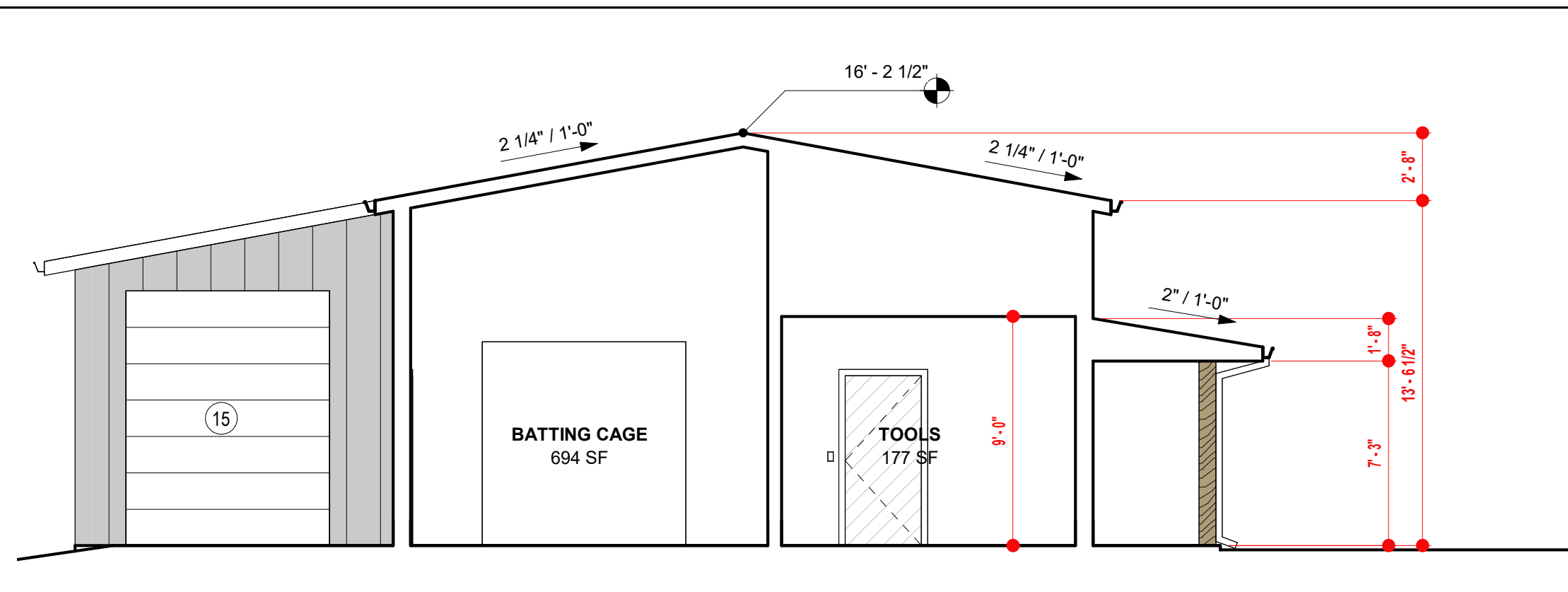
3 GARAGE SECTION B
SCALE: 3/16" = 1'-0"



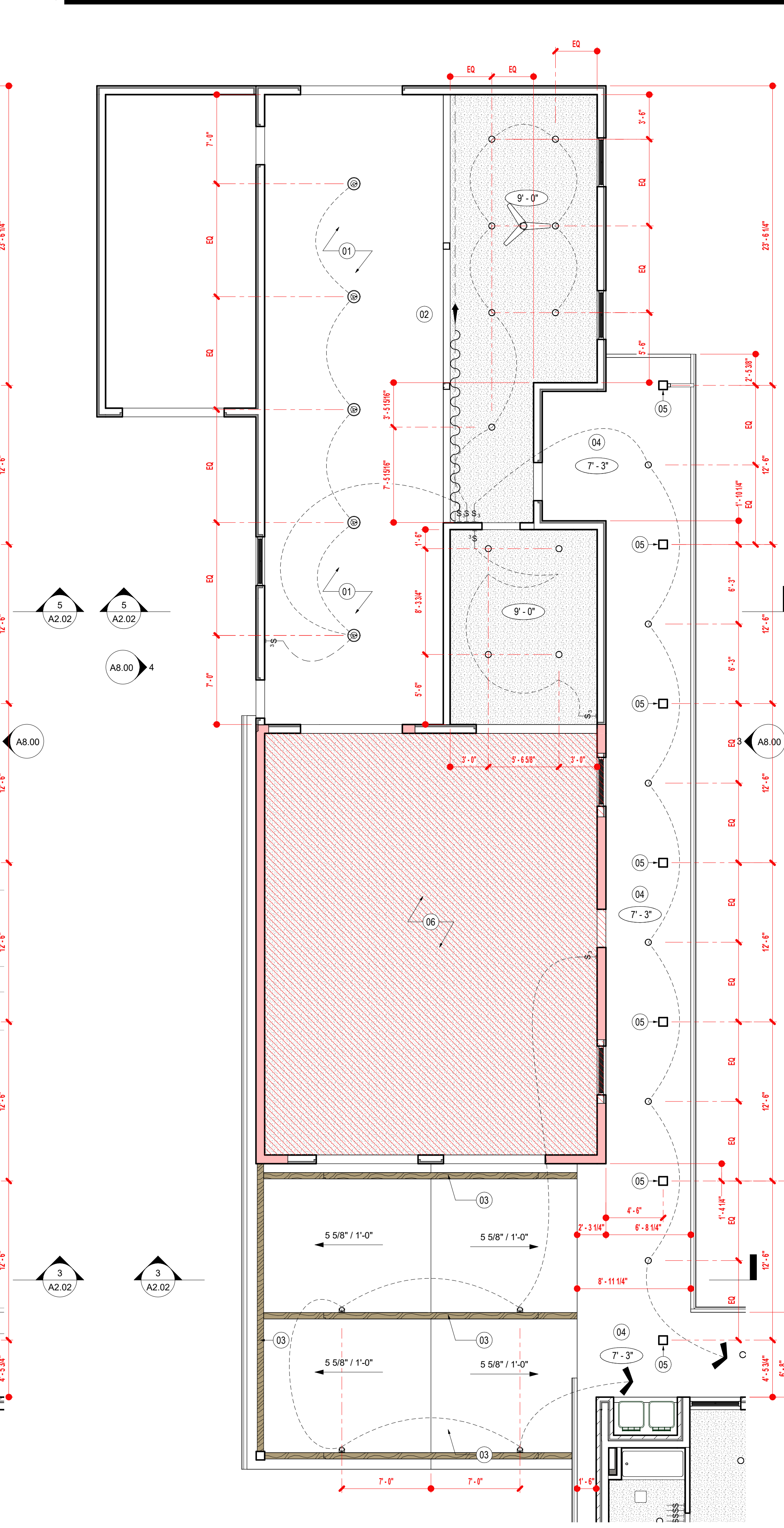
4 GARAGE ROOF PLAN
SCALE: 3/16" = 1'-0"



1 GARAGE CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"



5 GARAGE SECTION A
SCALE: 3/16" = 1'-0"



2 GARAGE REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

- sheet notes**
- 01 OPEN TO STRUCTURE ABOVE
 - 02 SLIDING BATTING CURTAIN HUNG FROM TRACK ABOVE
 - 03 EXPOSED TIMBER STRUCTURE (STAINED), MAINTAIN 10'-0" CLEAR.
 - 04 ELEVATION MATCHES THE EAVE OF EXISTING HOME.
 - 05 COLONADE COLUMN (SIZED BY STRUCTURAL ENGINEER)
 - 06 HATCH DENOTES EXISTING GARAGE OUT OF SCOPE
 - 07 BUILT-IN WORK BENCH
 - 08 8'-0" X 8'-0" OVERHEAD GARAGE DOOR
 - 09 CONCRETE RAMP
 - 10 LINE OF OVERHANG ABOVE
 - 11 LINE OF OUTSIDE FACE OF WALL BELOW
 - 12 HATCH DENOTES EXISTING ROOF TO REMAIN
 - 13 GUTTER, DOWNSPOUTS TO BE COORDINATED BETWEEN OWNER AND CONTRACTOR
 - 14 STRUCTURAL SUPPORT COLUMN SIZED BY STRUCTURAL ENGINEER
 - 15 8'-0" X 10'-0" OVERHEAD GARAGE DOOR

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

- KEY**
- NEW WALL
 - EXISTING WALL
 - LINE OF EXISTING FOOTPRINT
 - NO INTERIOR MODIFICATIONS

- general notes**
- A. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY OWNER IF DISCREPANCIES ARE FOUND.
 - B. ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 CONSTRUCTION.
 - C. ALL INTERIOR PARTITIONS TO BE FRAMED WITH 2X4 CONSTRUCTION @ 16" O.C. UNLESS OTHERWISE NOTED.
 - D. STRUCTURE ALL FRAMED OPENINGS AS REQUIRED. ENGINEERING BY OTHERS.
 - E. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
 - F. INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
 - G. EXTERIOR WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF SHEATHING.
 - H. ALL WATER HEATERS TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED.
 - I. ALL INTERIOR FINISHES ARE TO BE SELECTED BY OWNER. ALL INTERIOR FINISHES ARE BEYOND THE SCOPE OF THESE DRAWINGS.
 - J. ALL VANITIES TO BE 36" HIGH.
 - K. FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER AGREEMENT. ALL MILLWORK IS BEYOND THE SCOPE OF THESE DRAWINGS.
 - L. ALL STRUCTURAL ENGINEERING BY OTHERS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, FOUNDATIONS, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, TRUSS SYSTEMS, ROOF SYSTEMS, & WIND BRACING.
 - M. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING.
 - N. ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
 - O. IN AREAS OF WORK AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
 - P. ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.
 - Q. ALL ELECTRICAL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO LOCAL BUILDING CODES, RULES, AND REGULATIONS. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
 - R. ALL OVERHEAD LIGHTING IN LIVING SPACES, BEDROOMS, AND OFFICES ON DIMMER SWITCHES.
 - S. POWER AND DATA OUTLETS TO BE COORDINATED BY CONTRACTOR AND OWNER. FLOOR OUTLETS SHOULD BE COORDINATED PRIOR TO POURING THE LEVEL 01 SLAB.



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
SHOP PLANS

REV	DATE	NOTES
	1/22/21	

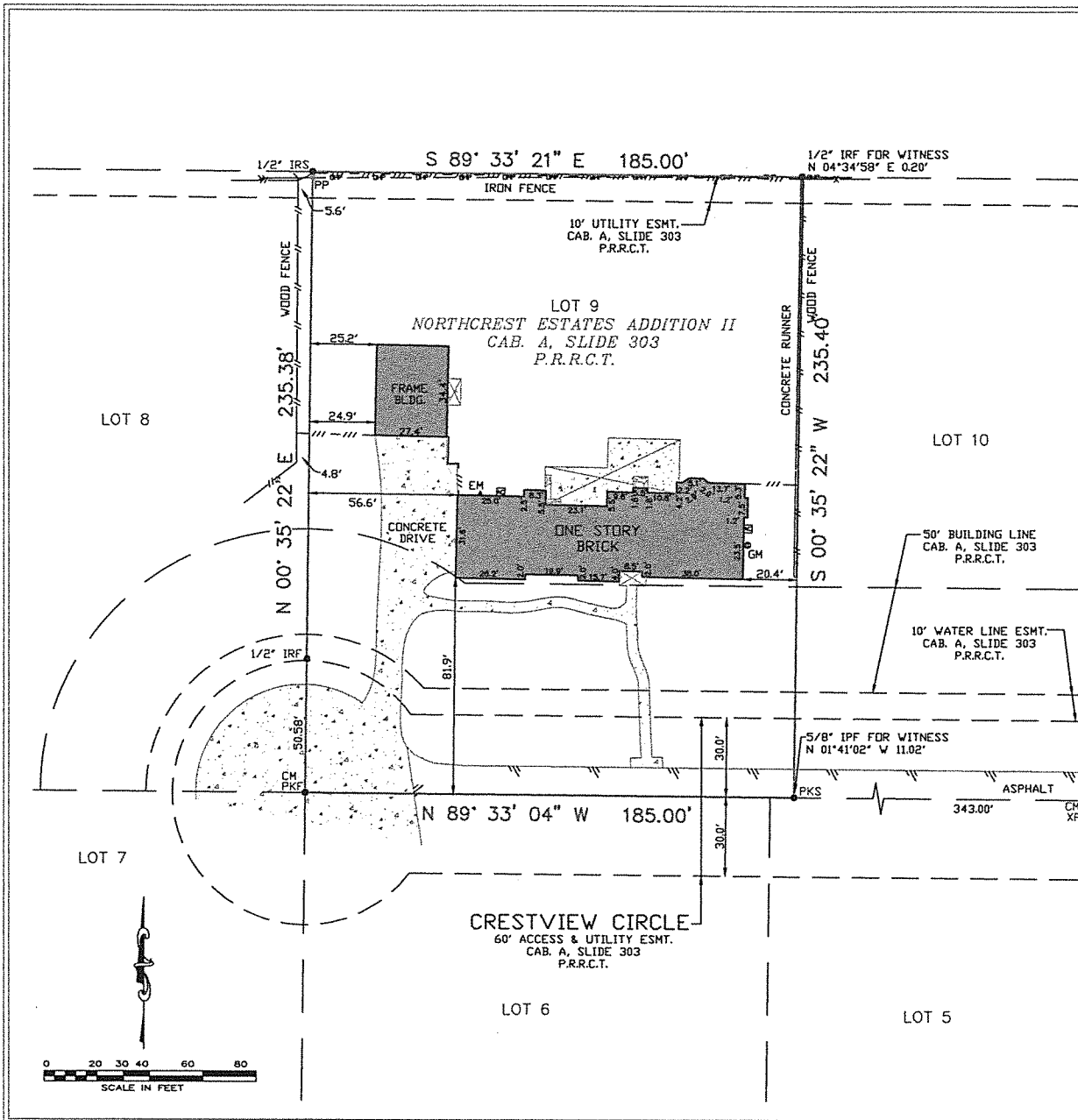
DRAWN BY
JCB

CHECKED BY
JCB

JOB NO

STATUS
PENDING

DRAWING NO
A2.02



LEGAL DESCRIPTION

Being Lot 9, of Northcrest Estates Addition II, an addition to Rockwall County, Texas, according to the plat recorded in Cabinet A, Slide 303, Plat Records, Rockwall County, Texas.

I, Wayne Beets II, Registered Professional Land Surveyor do hereby declare that the map shown hereon accurately represents the property as determined by an on-the-ground survey made under my direct supervision, and correctly shows the boundary lines and dimensions of the property indicated hereon. There are no visible conflicts, encroachments, or protrusions, except as shown hereon and said property has access to a public roadway. All easements and rights-of-way that the surveyor has knowledge of or has been advised of on the referenced plat or deed of record are shown or noted hereon. This survey is for the exclusive use of Zachary Butler, Courtney Butler, First National Bank, Old Republic National Title Insurance Company, and Allegiance Title Company, under G.F. No. 1775328A-10GH, dated January 17, 2018. Use of this survey by any other parties and/or purposes shall be at the user's own risk, and any loss resulting from other use and/or parties shall not be the responsibility of the undersigned and/or this firm. This survey is not valid without a seal and signature.

Flood Statement:
The property is shown as being located in Zone X by Flood Insurance Rate Map No. 48397C0035L, dated September 26, 2008. It is not shown as being located in a Special Flood Hazard Area Inundated by 100-Year Flood.

- Notes:**
- 1) Bearings are based on NAD83, Texas North Central Zone No. 4202, obtained by GPS observations.
 - 2) This property is subject to the following restrictive covenants recorded in Vol. 107, Pg. 377 and Vol. 107, Pg. 407, R.P.R.R.C.T.
 - 3) All set iron rods have a yellow cap stamped "BY-LINE".

BY: *Wayne Beets*
WAYNE BEETS II
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS NO. 6039



LEGEND

- CM = CONTROL MONUMENT
- IRF = IRON ROD FOUND
- IRS = IRON ROD SET
- IPF = IRON PIPE FOUND
- IPS = IRON PIPE SET
- 600F = 600 NAIL FOUND
- 600S = 600 NAIL SET
- PKF = PK NAIL FOUND
- XF = "X" FOUND IN CONCRETE
- XS = "X" SET IN CONCRETE
- EM = ELECTRIC METER
- AC = AIR CONDITIONER PAD
- PP = POWER POLE
- OHPL = OVERHEAD POWER LINE
- WM = WATER METER
- FH = FIRE HYDRANT
- PE = POOL EQUIPMENT
- GM = GAS METER
- CP = CABLE PED.
- TP = TELEPHONE PED.

ADDRESS:
9 CRESTVIEW CIRCLE
ROCKWALL, TEXAS

DATE: 01/31/2018

SCALE: 1" = 40'

JOB NO.: 2018-082

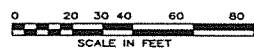
CLIENT: ALLEGIANCE TITLE

TECHNICIAN: JDJ

BY-LINE SURVEYING LLC

1983 Rs. Co. Rd. 1300
 Emory, Tx 75440
 Ph: (903) 473-5150
 Firm No: 10194233
 www.bylinesurveying.com

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Wayne Beets

Courtney Butler