



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **A0186 J A Ramsey, Lot 6-02, 144.5137; FM 549**

SUBDIVISION **Homestead** LOT BLOCK

GENERAL LOCATION **FM 1139 and FM 549**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-92, Ord No. 21-24** CURRENT USE **Single Family Residential**

PROPOSED ZONING PROPOSED USE **Single Family Residential**

ACREAGE **48.170** LOTS [CURRENT] LOTS [PROPOSED] **168**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **SH Dev Klutts Rockwall, LLC** APPLICANT **Michael Joyce Properties**

CONTACT PERSON **Jay Hankla** CONTACT PERSON **Meredith Joyce**

ADDRESS **2400 Dallas Parkway, Ste. 460** ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Plano, TX 75093** CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE PHONE **512-694-6394**

E-MAIL **land@shaddockhomes.com** E-MAIL **meredith@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES HANKLA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

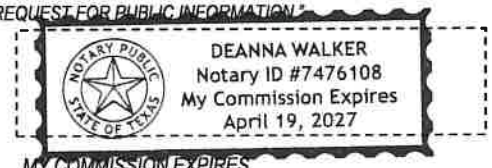
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$1,213.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

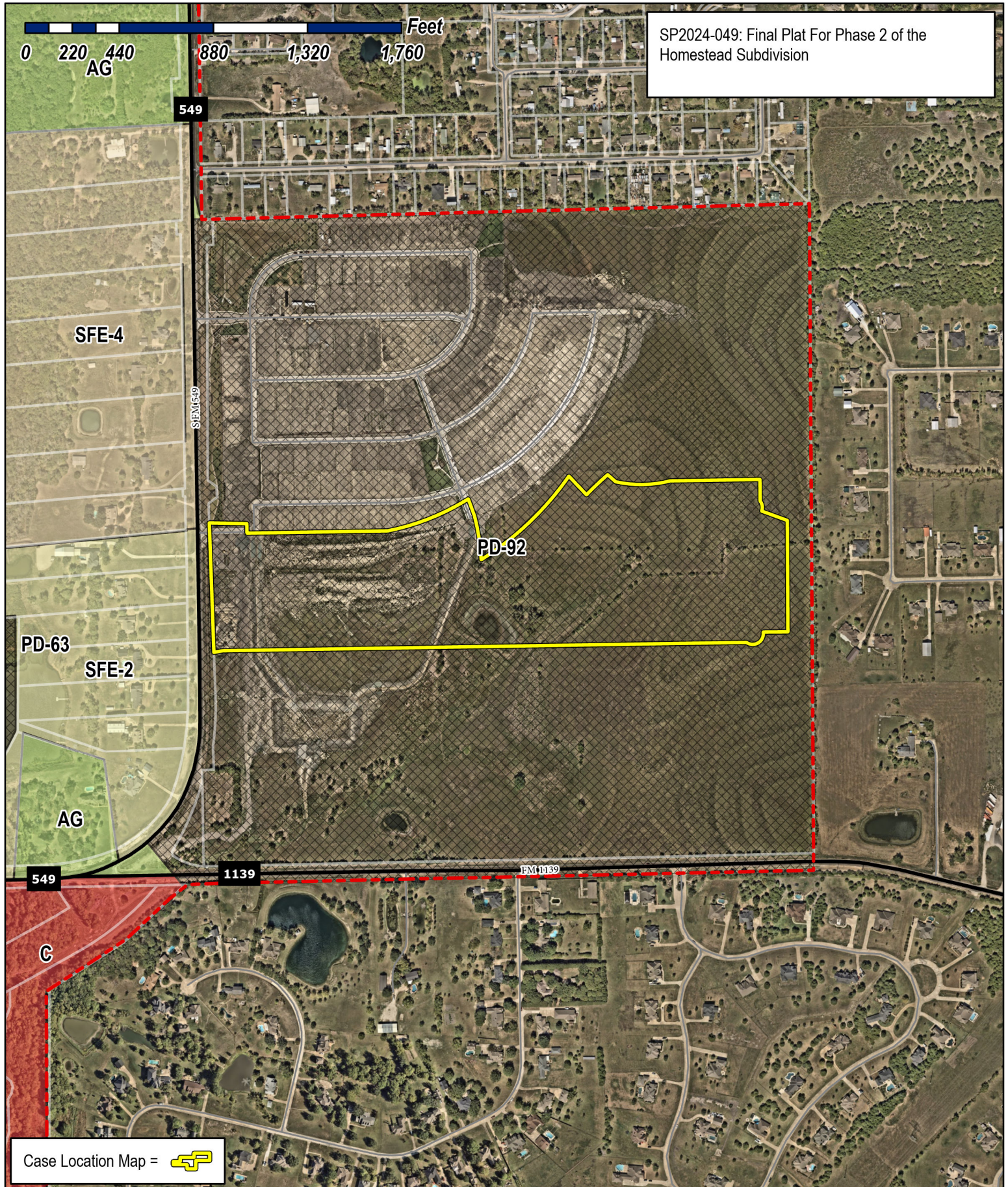
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF NOVEMBER, 2024

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Deanna Walker





SP2024-049: Final Plat For Phase 2 of the Homestead Subdivision

Case Location Map = 

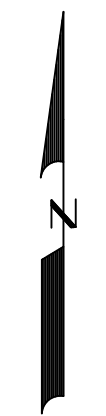
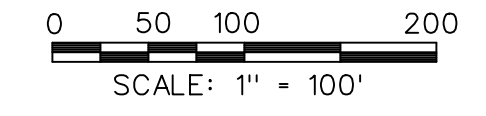


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
260757.676	701195.670
ELEV = 581.5	

CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
260356.248	700453.540
ELEV = 585.3	

$\Delta = 01^{\circ}48'27''$
 $R = 1310.00'$
 $L = 41.32'$
 $C = 41.32'$
 $B = N00^{\circ}01'47''W$

$\Delta = 16^{\circ}45'51''$
 $R = 100.00'$
 $L = 29.26'$
 $C = 29.15'$
 $B = S80^{\circ}42'06''W$

$\Delta = 134^{\circ}32'35''$
 $R = 50.00'$
 $L = 117.41'$
 $C = 92.23'$
 $B = S58^{\circ}40'56''W$

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	16°45'51"	100.00'	29.26'	29.15'	S82°32'02"E
2.	17°06'53"	1415.00'	422.61'	421.10'	N80°31'35"E
3.	19°21'04"	1270.00'	428.93'	426.90'	N79°24'30"E
4.	03°23'58"	1005.00'	59.63'	59.62'	S18°25'19"E
5.	15°48'22"	1005.00'	217.25'	216.37'	S08°49'09"E
6.	09°12'19"	1145.00'	183.96'	183.76'	N05°31'07"W
7.	56°38'26"	250.00'	247.14'	237.20'	N27°24'15"E
8.	07°51'51"	1560.00'	214.12'	213.95'	N51°47'32"E
9.	06°31'07"	1560.00'	177.48'	177.38'	N44°36'03"E
10.	48°46'34"	250.00'	212.83'	206.46'	S66°31'41"E
11.	105°57'09"	50.00'	92.46'	79.84'	N72°58'39"E
12.	164°11'55"	50.00'	143.29'	99.05'	N45°11'12"W
13.	28°44'16"	50.00'	25.08'	24.82'	S22°57'30"E

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	S 45°55'29" E	42.43'
2.	N 89°05'02" E	5.15'
3.	N 44°02'32" E	28.26'
4.	N 45°51'28" W	28.30'
5.	N 26°17'51" E	28.29'
6.	N 61°34'42" W	27.34'
7.	S 44°05'02" W	28.28'
8.	S 45°54'58" E	28.28'
9.	N 00°54'58" W	48.22'
10.	S 88°30'05" E	29.65'
11.	S 42°08'24" E	15.17'
12.	N 00°20'59" W	27.39'
13.	N 44°18'48" E	28.40'
14.	N 45°41'12" W	21.13'
15.	S 44°18'48" W	21.30'
16.	S 44°18'48" W	24.40'
17.	N 57°05'07" W	17.96'
18.	S 00°54'58" E	63.00'

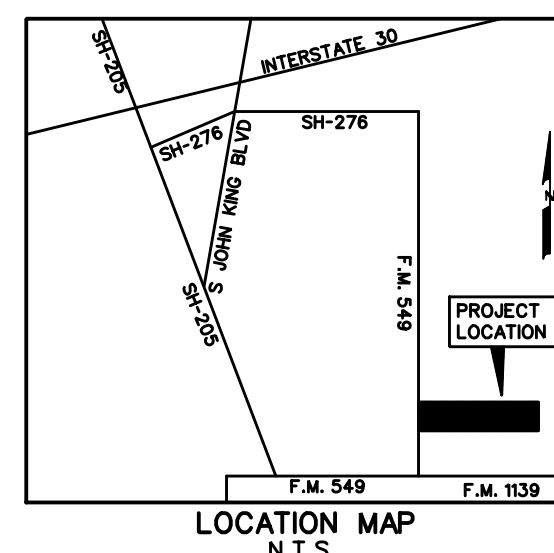
- NOTES:**
- Bearings are referenced to a 196.008 acre tract, as recorded in Deed No. 20210000032297 in the Deed Records of Rockwall County, Texas.
 - All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
 - 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
 - B.L. - Building Line
U.E. - Utility Easements
C.M. - Controlling Monument
D.E. - Drainage Easement
City Limits Line
Street Name Change
 - The HOA will be responsible for maintaining repairing or replacing the open space/drainage easement lots.
 - All non-standard decorative street signs, light poles/post, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 - All landscape, drainage and detention easements are to be owned, maintained, repaired and replaced by the Homeowners Association.
 - Please refer to Sheet 1 of plan set for NTMWD notes.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall, on the _____ of _____, 2024.

WITNESS OUR HANDS, the _____ day _____, 2024.

Planning & Zoning Commission, Chairman

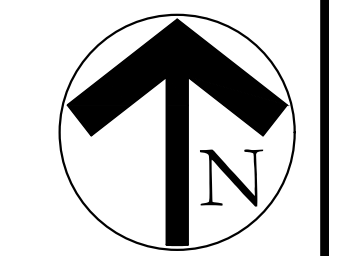
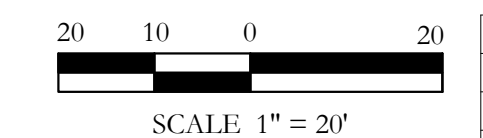
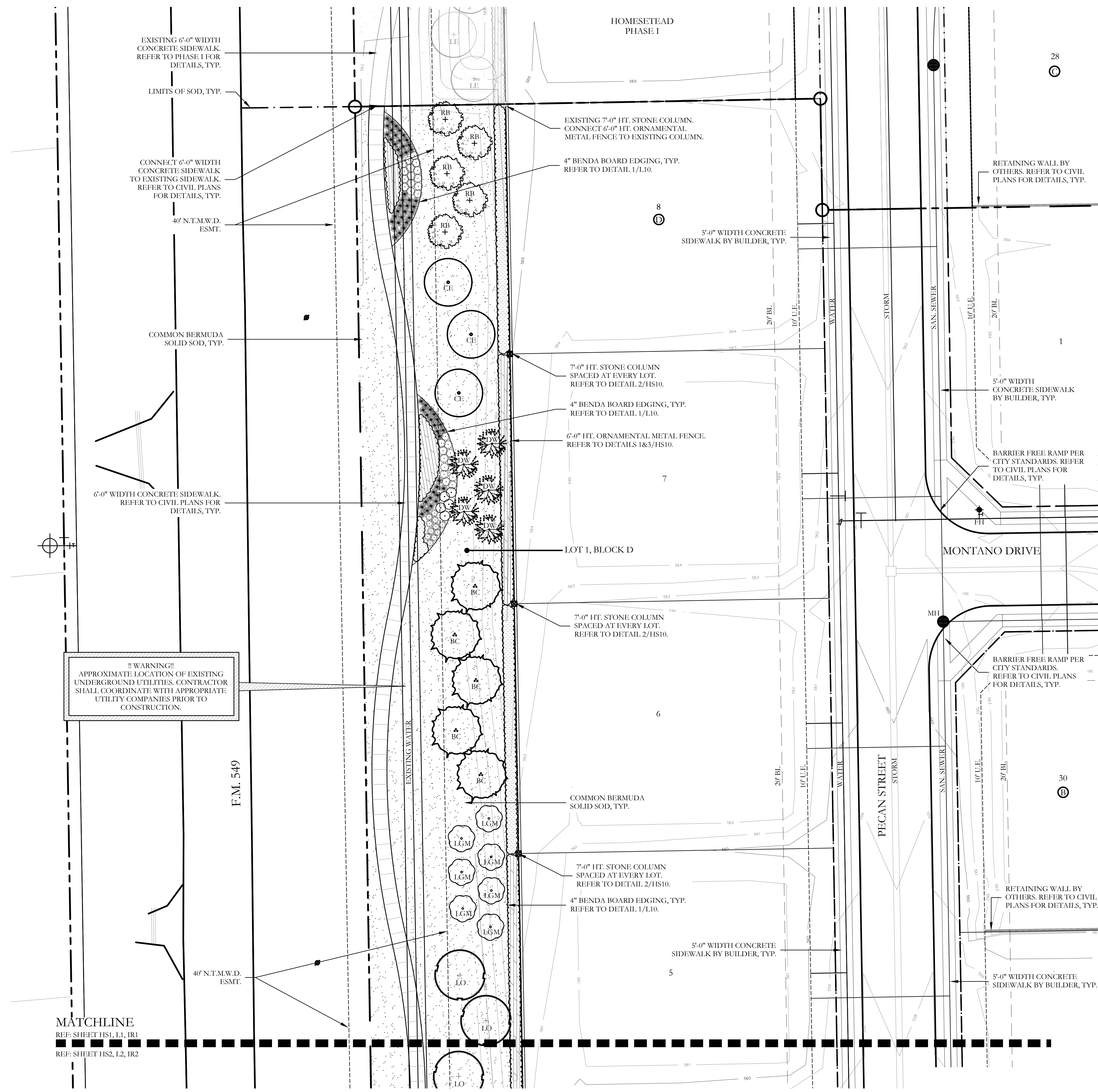
Director of Planning & Zoning



PREPARED BY
CORWIN ENGINEERING, INC.
TBPELS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

PD SITE PLAN OF
HOMESTEAD PHASE II
 LOTS 1-31, BLOCK A
 LOTS 1-30, BLOCK B
 LOTS 1-15, BLOCK C
 LOTS 1-8 & 42, BLOCK D
 LOTS 63-72, BLOCK H
 LOTS 1-3 & 32-39, BLOCK K
 LOTS 1-9, BLOCK O
 LOTS 1-21, BLOCK P
 LOTS 1-37, BLOCK Q
 BEING 48.170 ACRES OR 2,098,330.11 SF
 TOTAL RESIDENTIAL LOTS 168
 TOTAL OPEN SPACE LOTS 5
 BEING A REPLAT
 OF
 LOT 74 BLOCK H
 OUT OF
 HOMESTEAD PHASE I
 SITUATED WITHIN
 TRACT 6 OF THE J.A. RAMSEY SURVEY,
 ABSTRACT NO. 186
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNER
 SH DEV KLUTTS ROCKWALL, LLC.
 2400 DALLAS PARKWAY, STE. 460
 PLANO, TEXAS 75093
 NOVEMBER 2024 SCALE 1"=100'

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



MATCHLINE
REF: SHEET HS1, L1, IR1
REF: SHEET HS2, L2, IR2

40' N.T.M.W.D. ESMT.

COMMON BERMUDA SOLID SOD, TYP.

6'-0" WIDTH CONCRETE SIDEWALK. REFER TO CIVIL PLANS FOR DETAILS, TYP.

F.M. 549

!! WARNING!!
APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

40' N.T.M.W.D. ESMT.

COMMON BERMUDA SOLID SOD, TYP.

INFALL/OUTFALL STRUCTURE. REFER TO CIVIL, TYP.

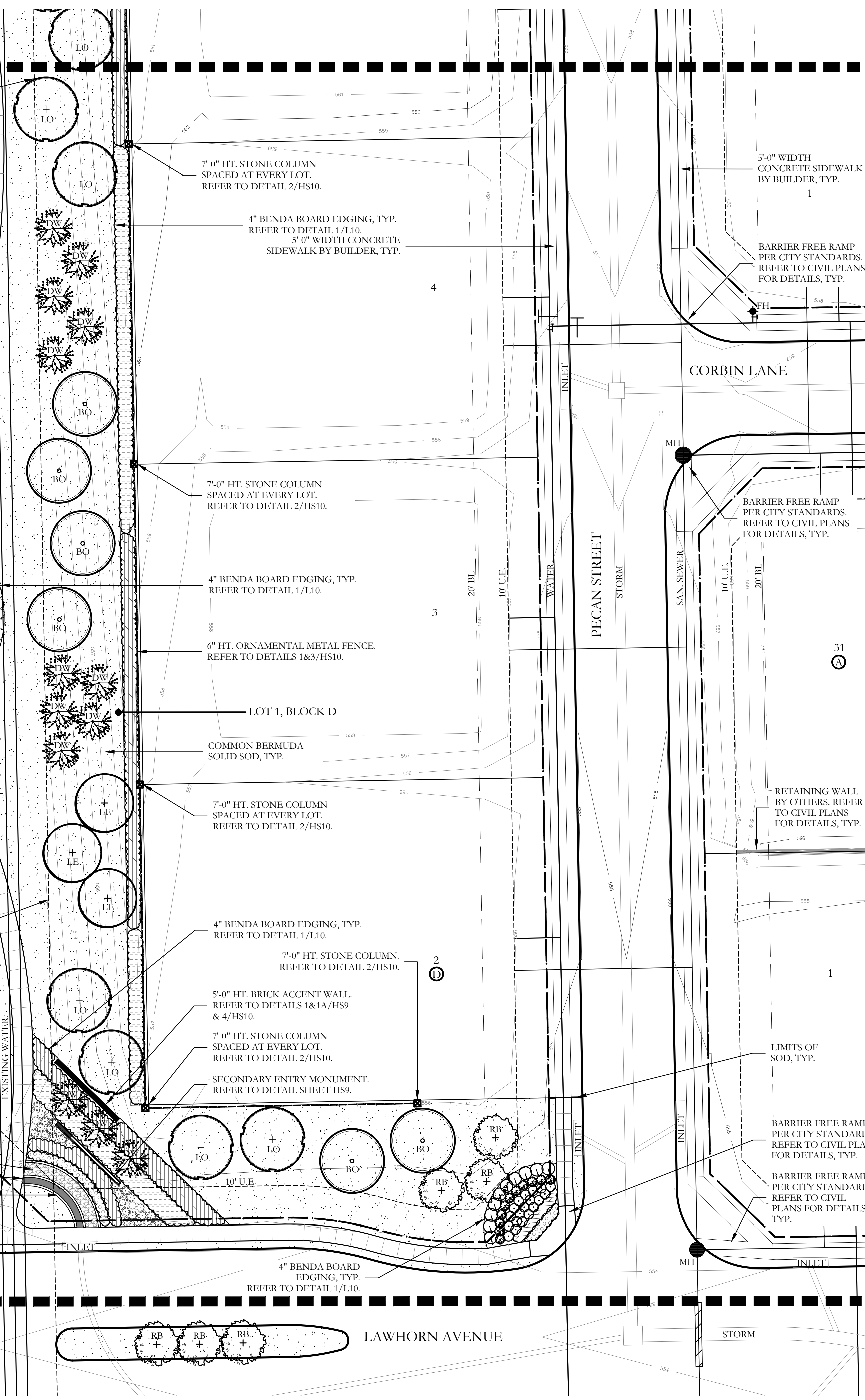
3" DEPTH OKLAHOMA RIVER ROCK, TYP. REFER TO DETAIL 7/L10.

3" DEPTH BLACK STAR CRUSHED STONE, TYP. REFER TO DETAIL 6/L10.

8" CHOP STONE EDGING, TYP. REFER TO DETAIL 4/L10.

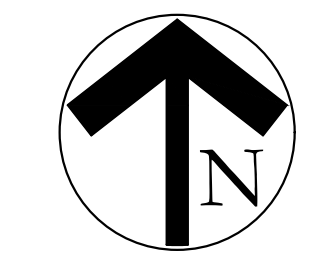
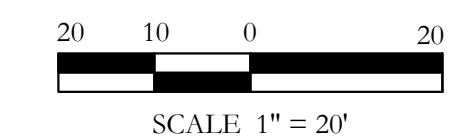
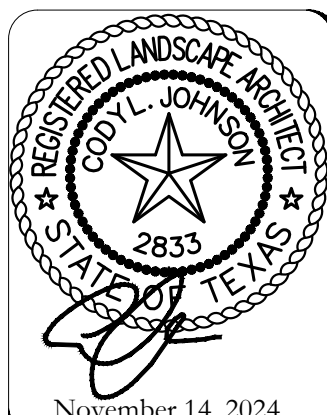
START 5'-0" WIDTH CONCRETE SIDEWALK AT PROPERTY LINE. REFER TO CIVIL PLANS FOR DETAILS, TYP.

MATCHLINE
REF: SHEET HS2, L2, IR2
REF: SHEET HS3, L3, IR3



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



MATCHLINE
 REF: SHEET HS2, L2, IR2
 REF: SHEET HS3, L3, IR3

START 8'-0" WIDTH CONCRETE TRAIL AT PROPERTY LINE. REFER TO CIVIL PLANS FOR DETAILS, TYP.
 3" DEPTH BLACK STAR CRUSHED STONE, TYP. REFER TO DETAIL 6/L10.
 3" DEPTH OKLAHOMA RIVER ROCK, TYP. REFER TO DETAIL 7/L10.
 OUTFALL STRUCTURE. REFER TO CIVIL, TYP.
 8" CHOP STONE EDGING, TYP. REFER TO DETAIL 4/L10.
 COMMON BERMUDA SOLID SOD, TYP.
 40' N.T.M.W.D. ESMT.

!! WARNING !!
 APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

F.M. 549

COMMON BERMUDA SOLID SOD, TYP.

LOT 73
 CITY OF ROCKWALL - PARK (FUTURE)

4" BENDA BOARD EDGING, TYP. REFER TO DETAIL 1/L10.

40' N.T.M.W.D. ESMT.

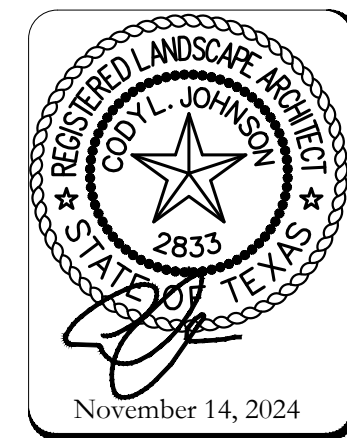
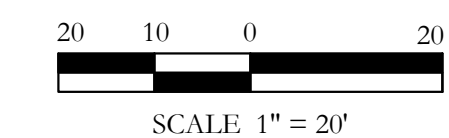
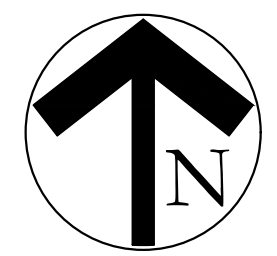
8'-0" WIDTH CONCRETE TRAIL. REFER TO CIVIL PLANS FOR DETAILS, TYP.

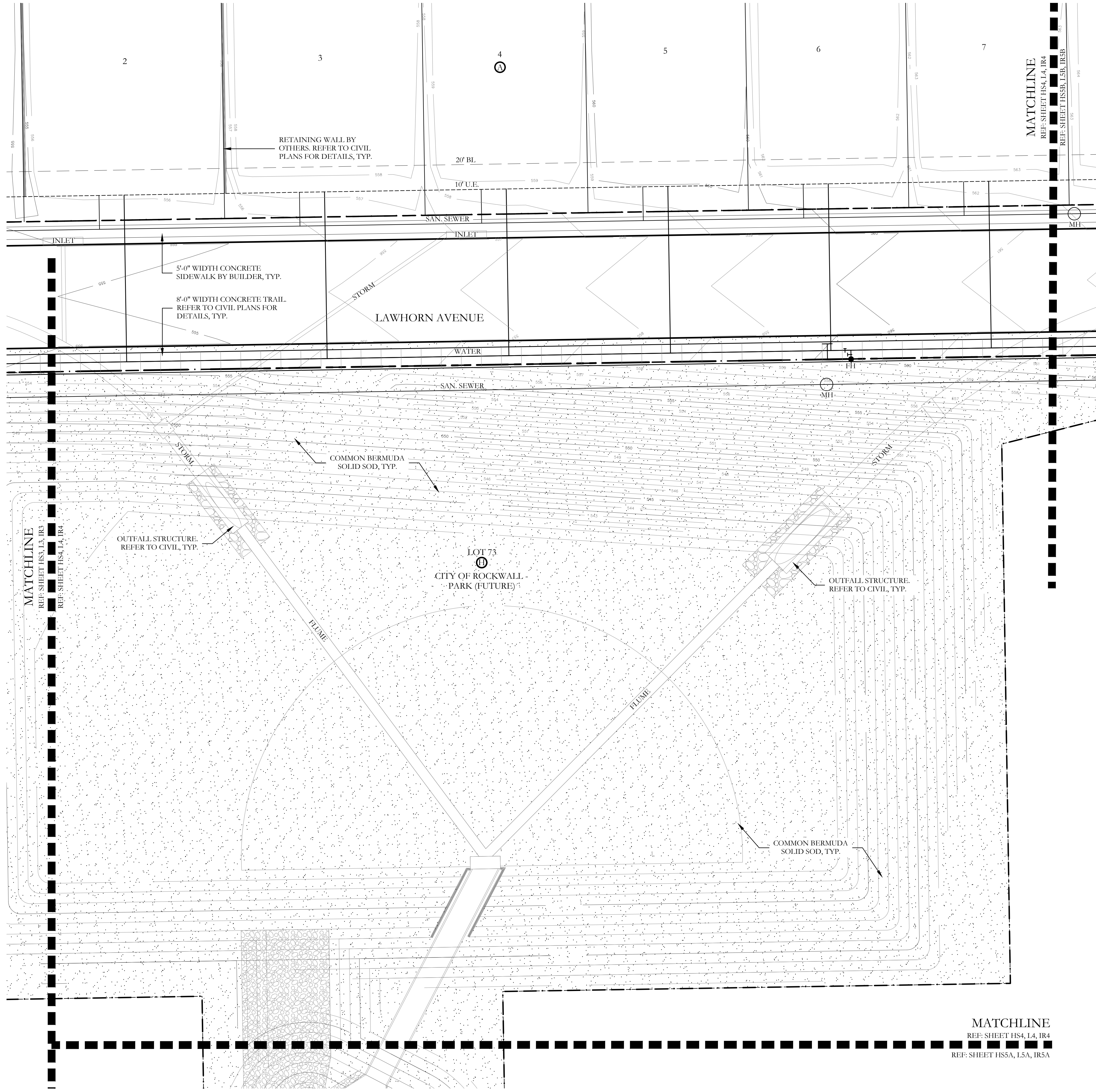
COMMON BERMUDA SOLID SOD, TYP.
 LIMITS OF SOD, TYP.
 20'-0" SANITARY SEWER EASEMENT
 VARIABLE WIDTH U.E.

MATCHLINE
 REF: SHEET HS3, L3, IR3
 REF: SHEET HS4, L4, IR4

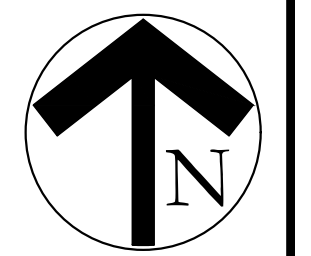
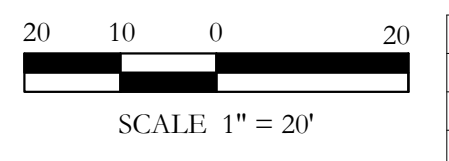
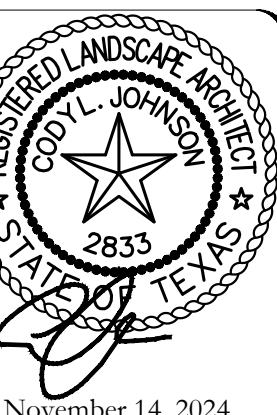
PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



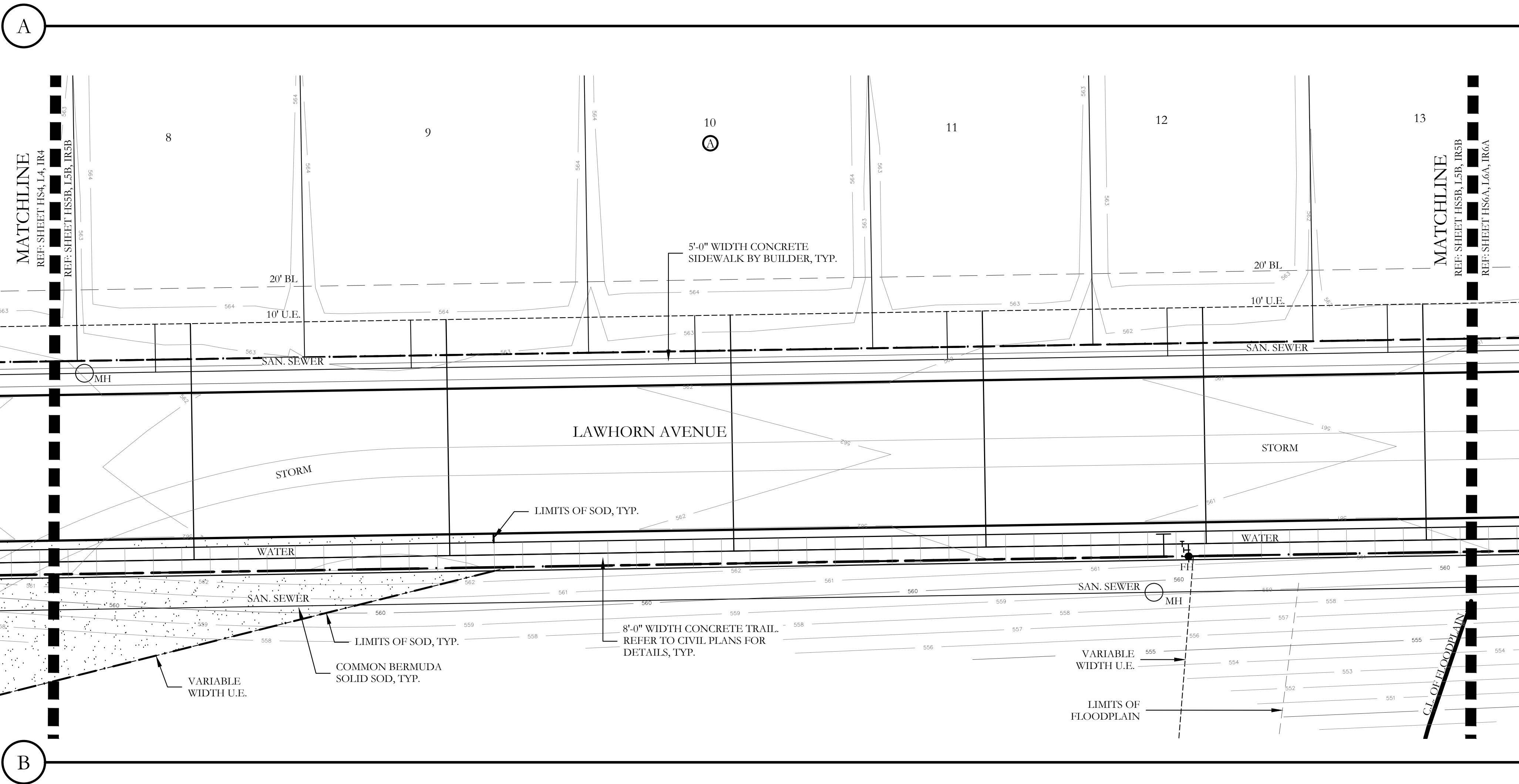
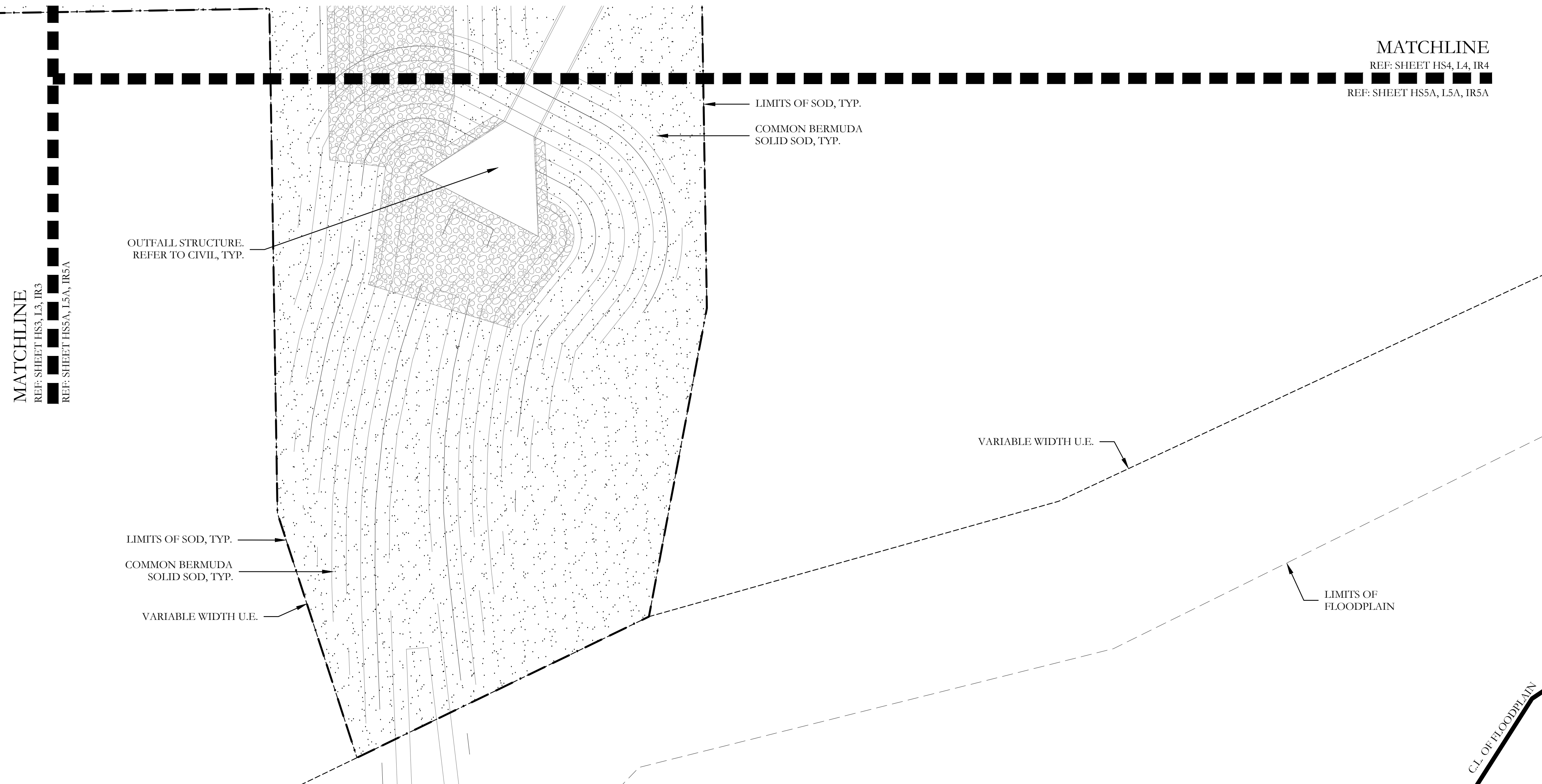


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



MATCHLINE
 REF: SHEET 11S4, L4, 1R4
 REF: SHEET 11S5A, 15A, 1R5A

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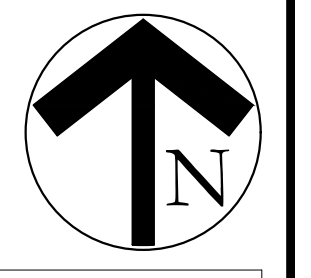
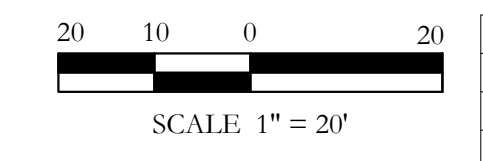
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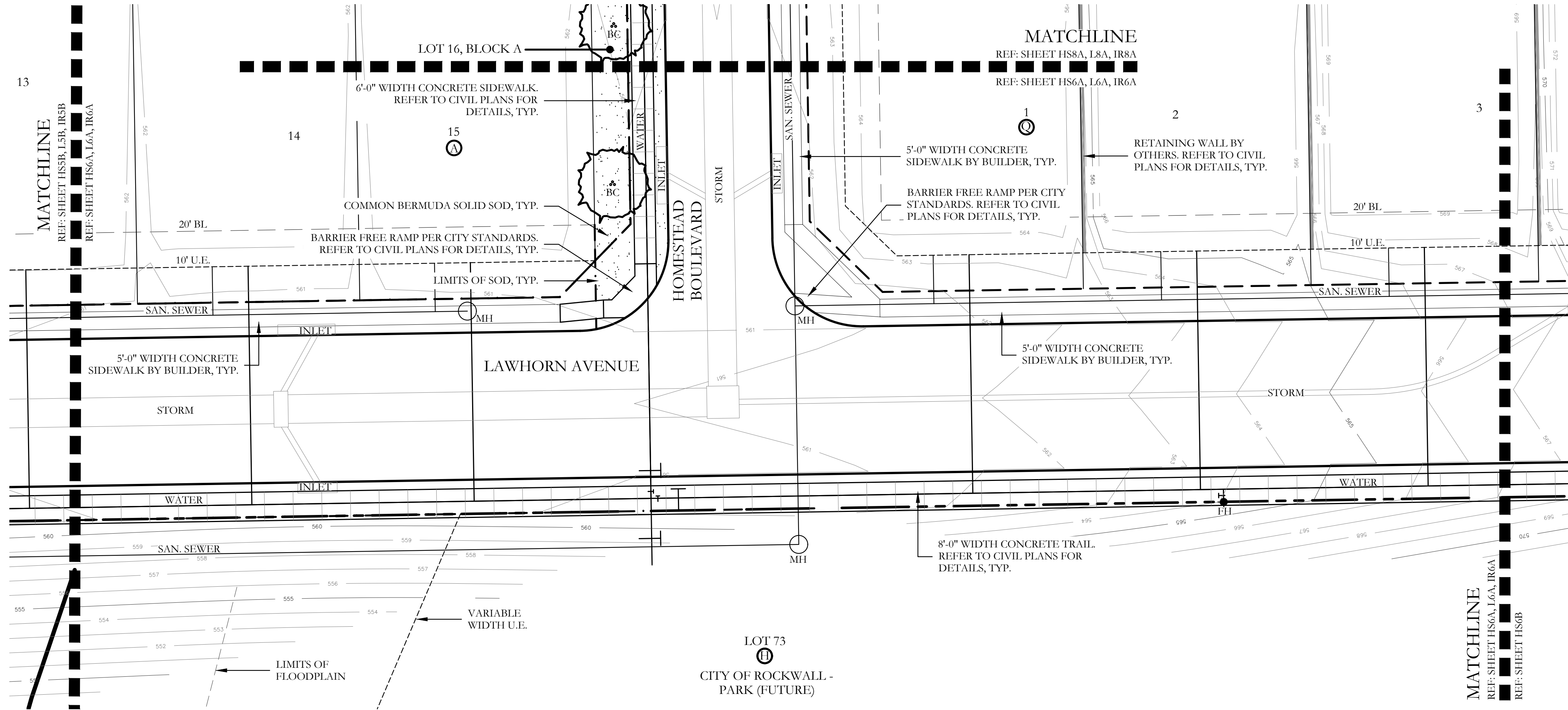
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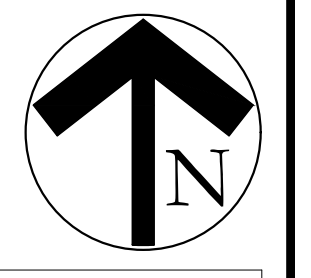
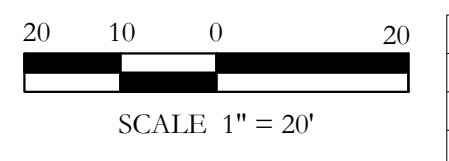
MATCHLINE
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REF: SHEET HSSA, L5A, IRS4

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

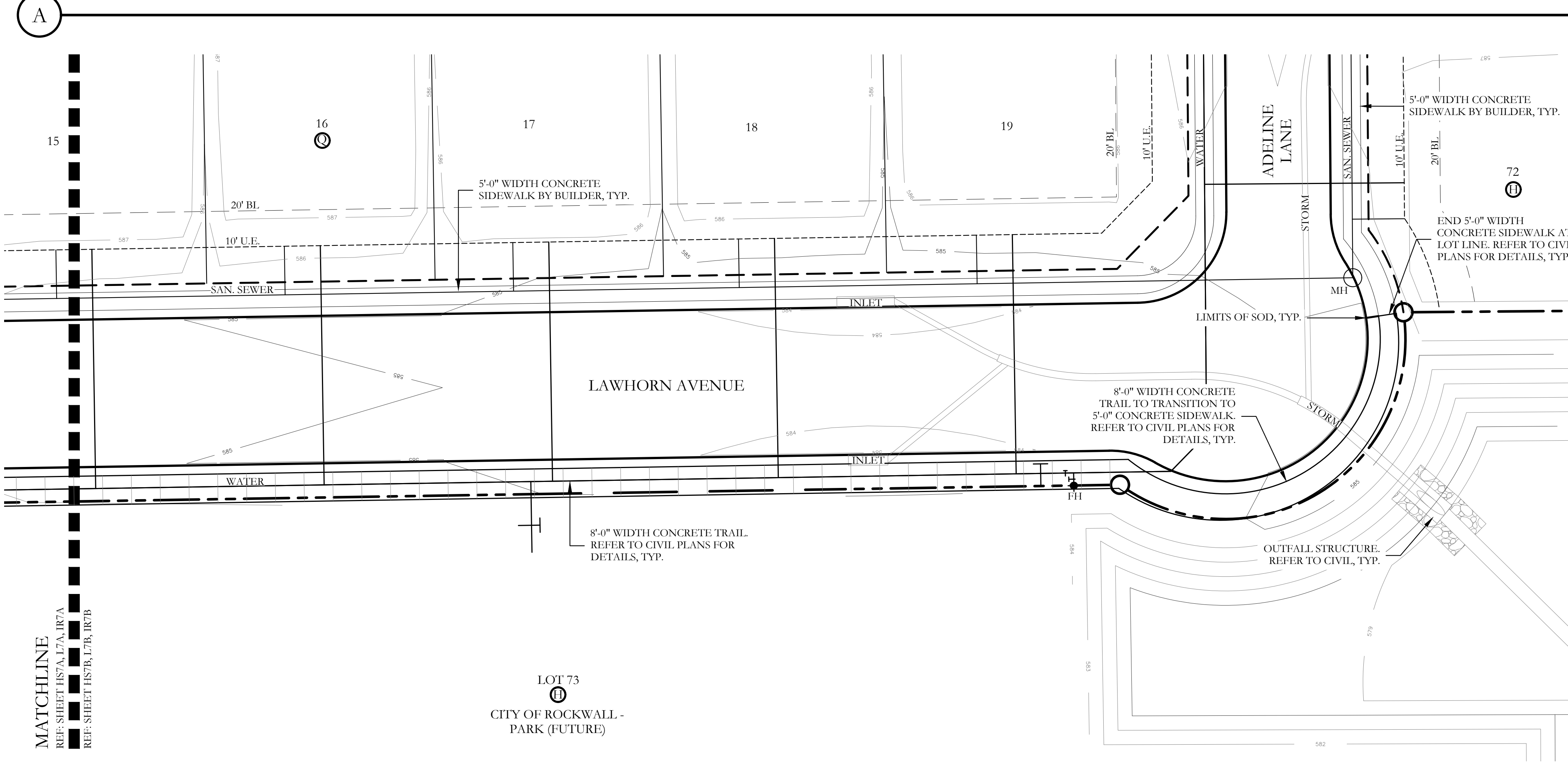
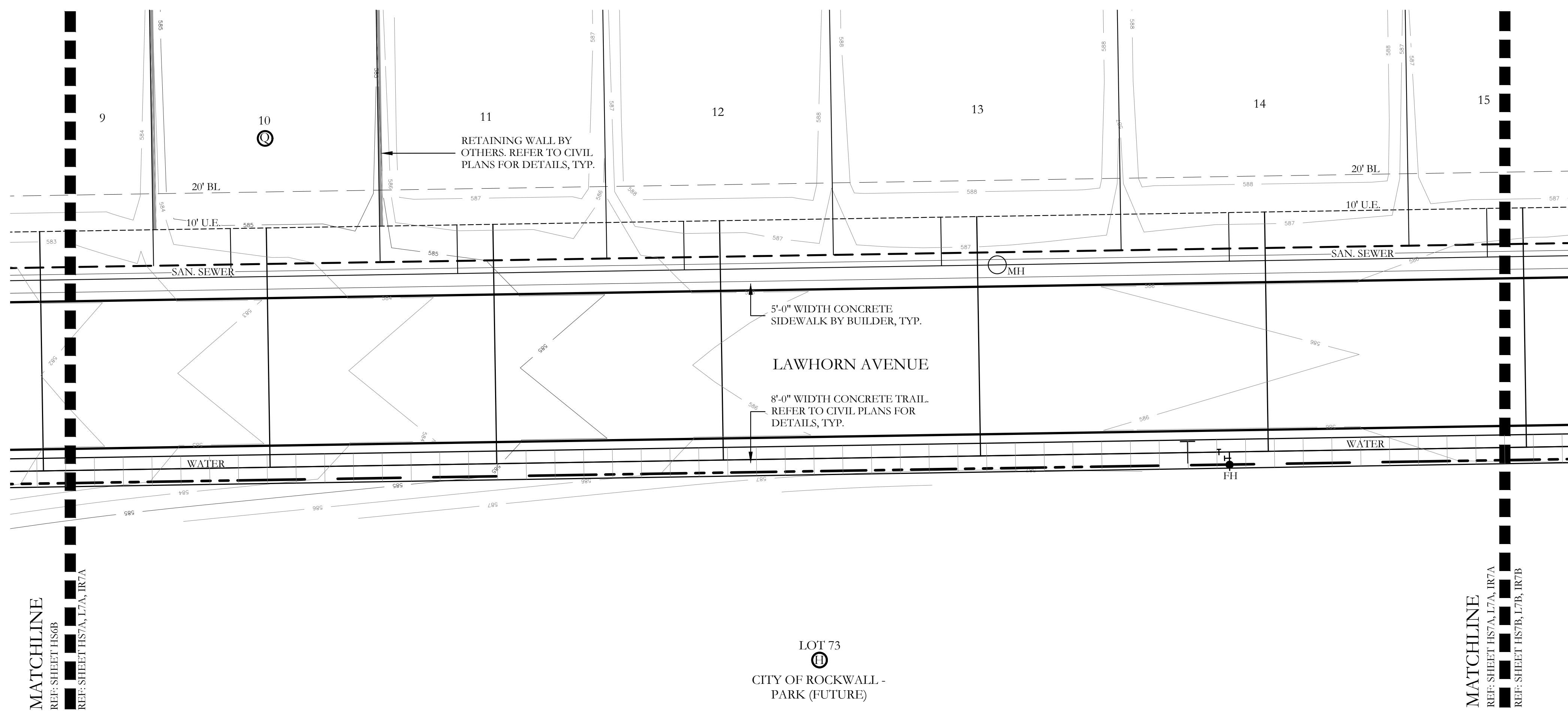




PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

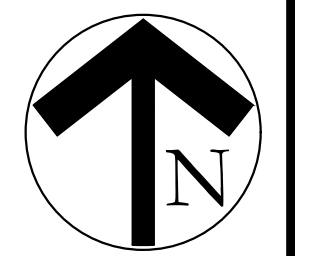
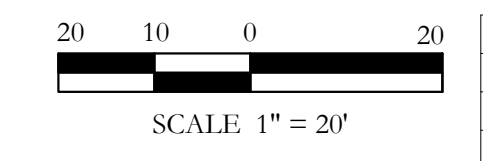


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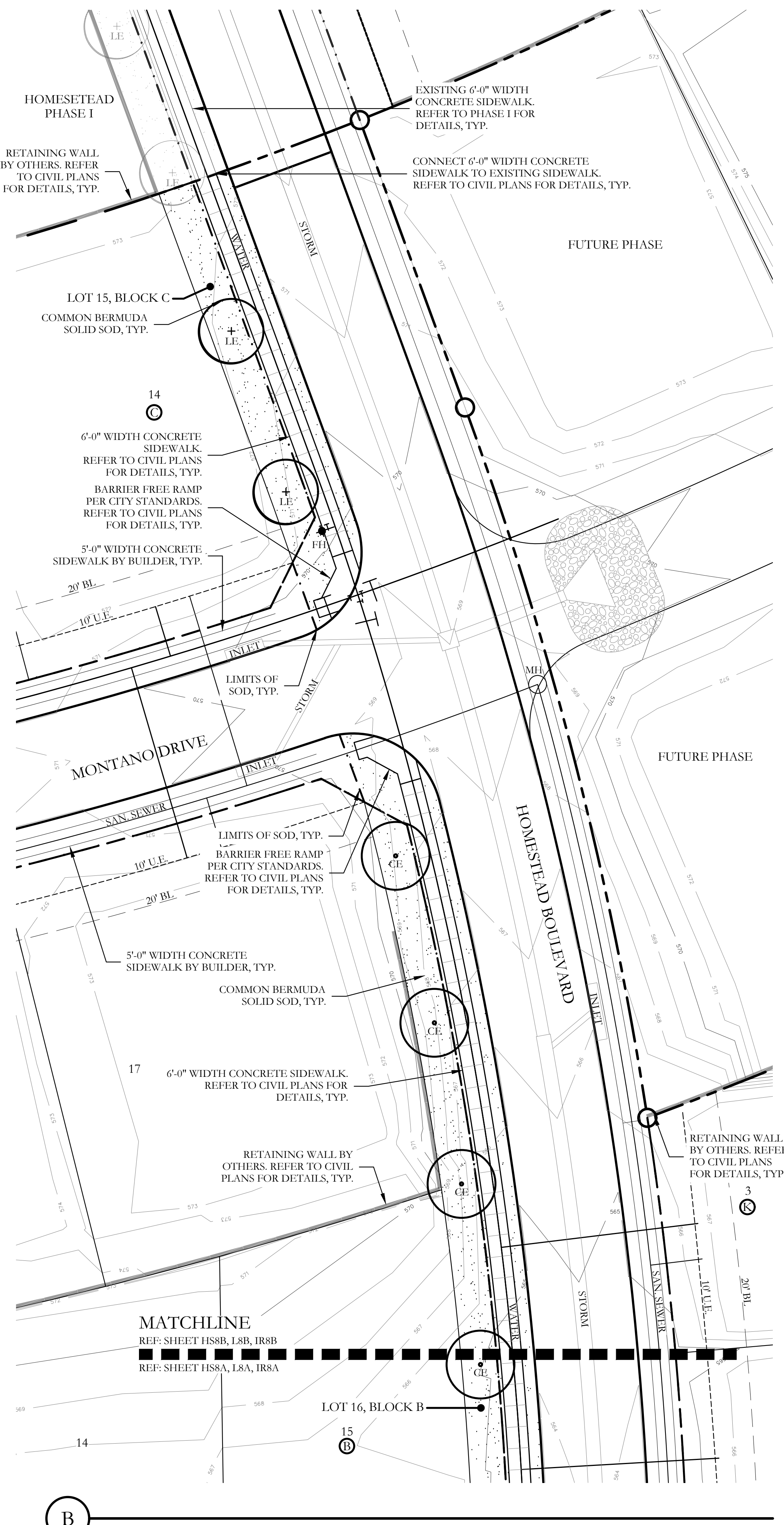
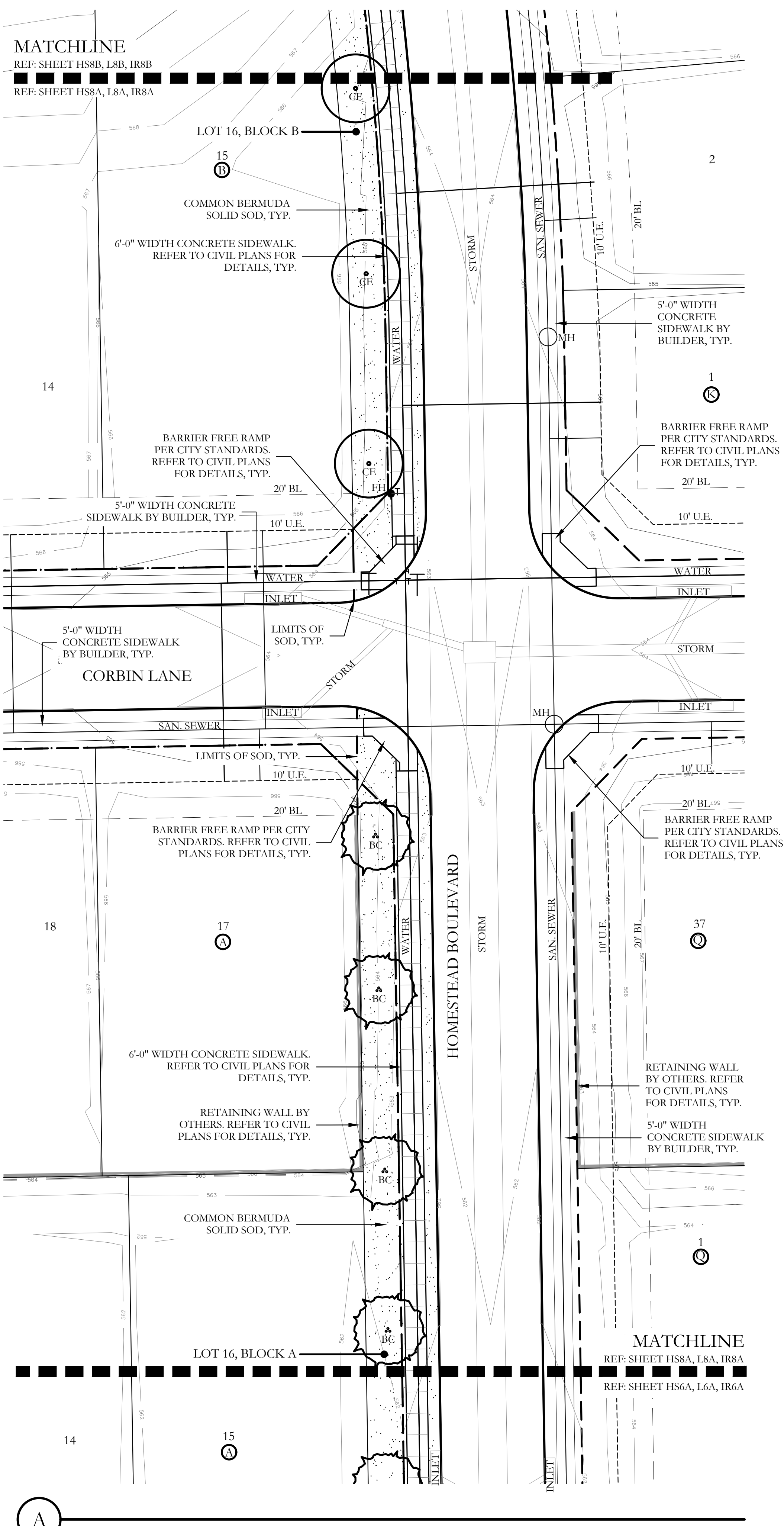
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

NOTE:
THERE ARE NO LANDSCAPE IMPROVEMENTS ON THIS SHEET



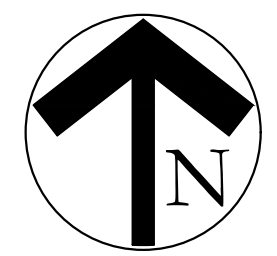
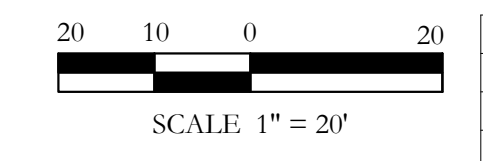
MATCHLINE

REF: SHEET HS8B, L8B, IR8B
REF: SHEET HS8A, L8A, IR8A



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"



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PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	8	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 12'-0" OVERALL HEIGHT.
BO	10	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 12'-0" OVERALL HEIGHT.
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 12'-0" OVERALL HEIGHT.
CE	12	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 12'-0" OVERALL HEIGHT.
BC	15	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 12'-0" OVERALL HEIGHT.
LGM	11	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
DW	26	DESERT WILLOW 'BUBBA'	CHILOPSIS LINEARIS 'BUBBA'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	11	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	27	PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	35	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	49	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	130	DWARF MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	43	MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	19	RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	65	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	880	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	1,495	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	540	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	196,395	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	100	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1/2" - 1" DIAMETER IN SIZE.
	240	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.

GENERAL LANDSCAPE NOTES:

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

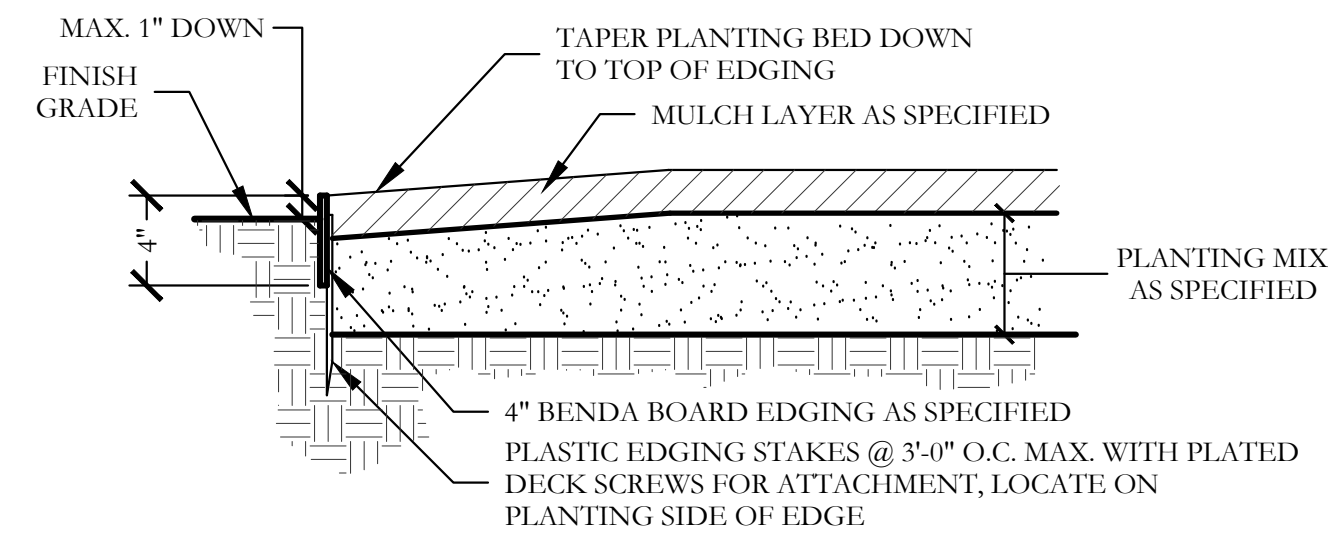


HOMESTEAD
PHASE II
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

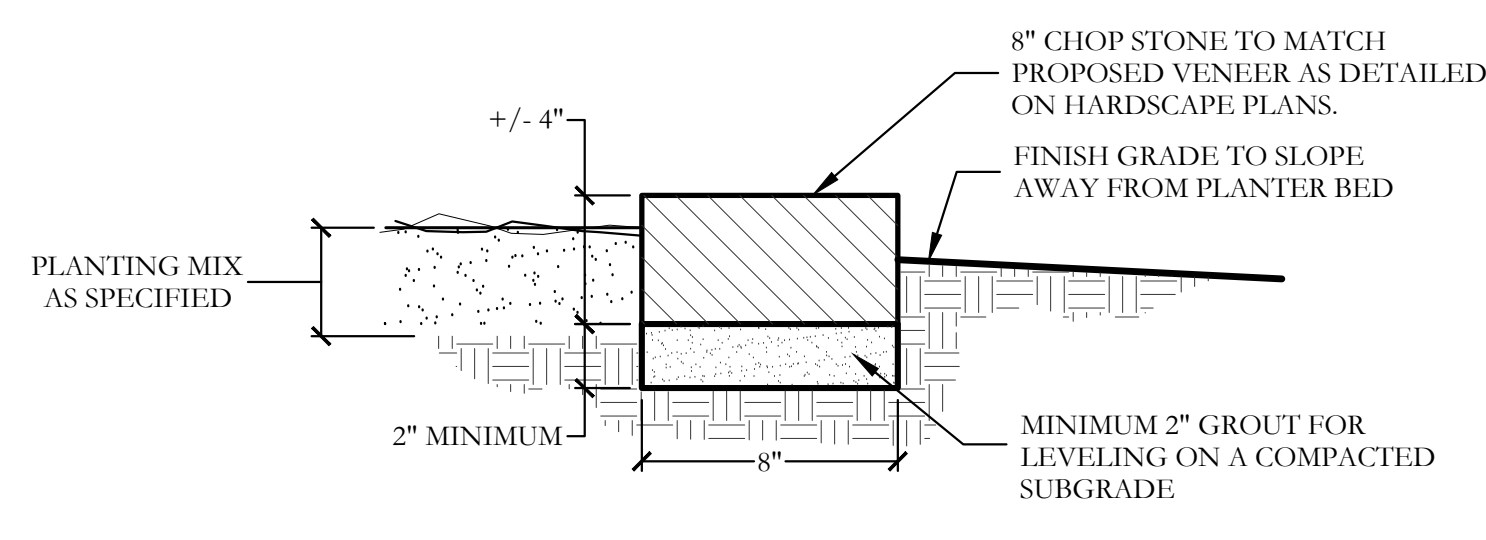
SCREENING AND BUFFERING
LANDSCAPE SCHEDULE & NOTES



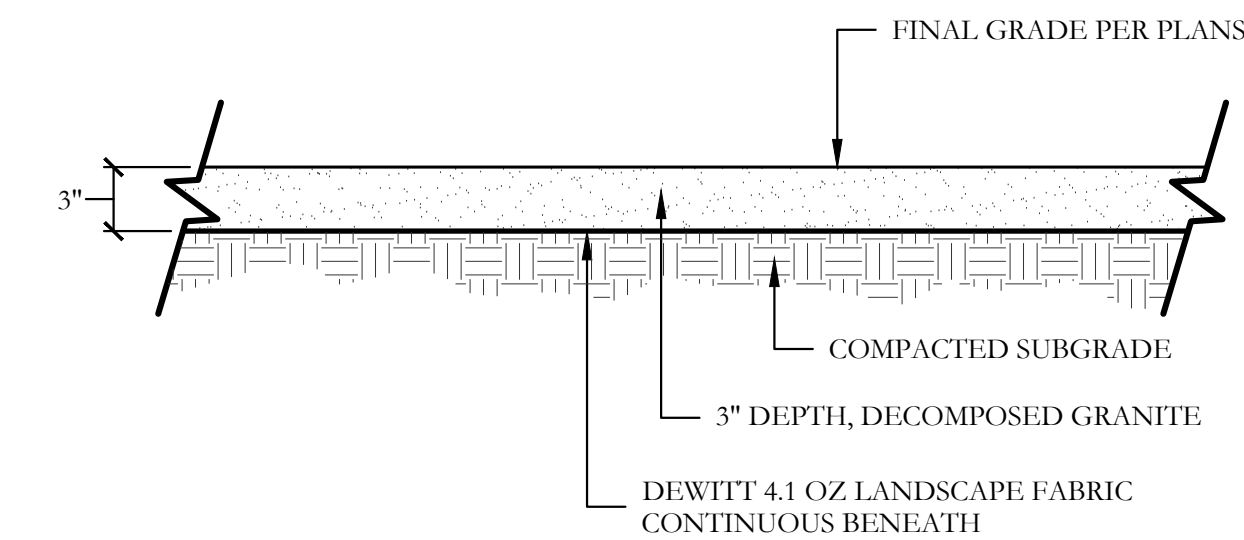
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One Inch
JVC No SHA012B



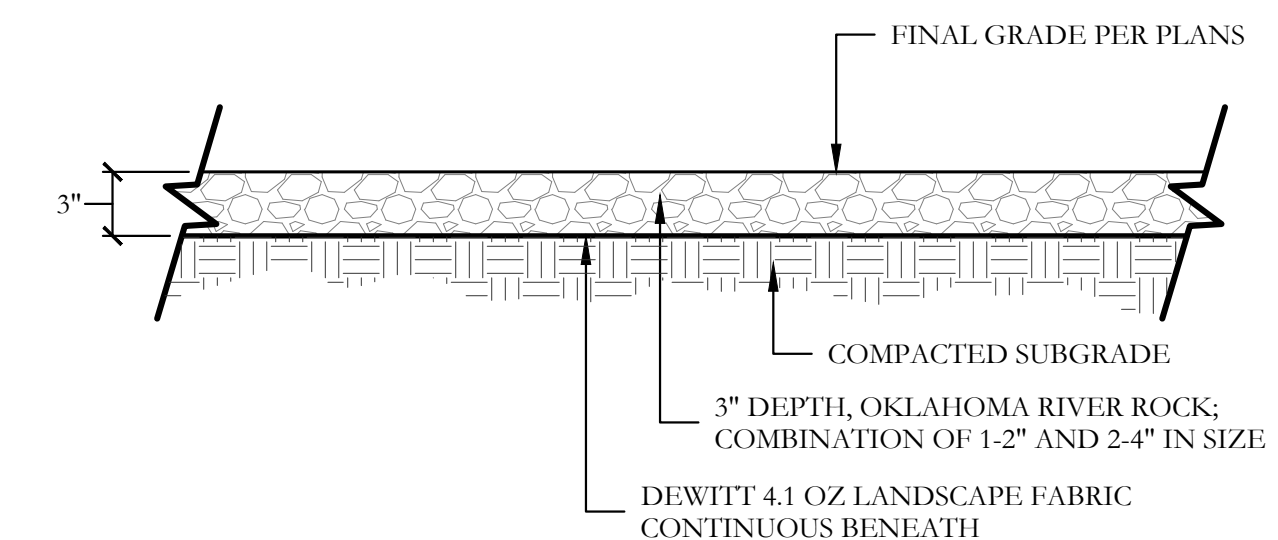
1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



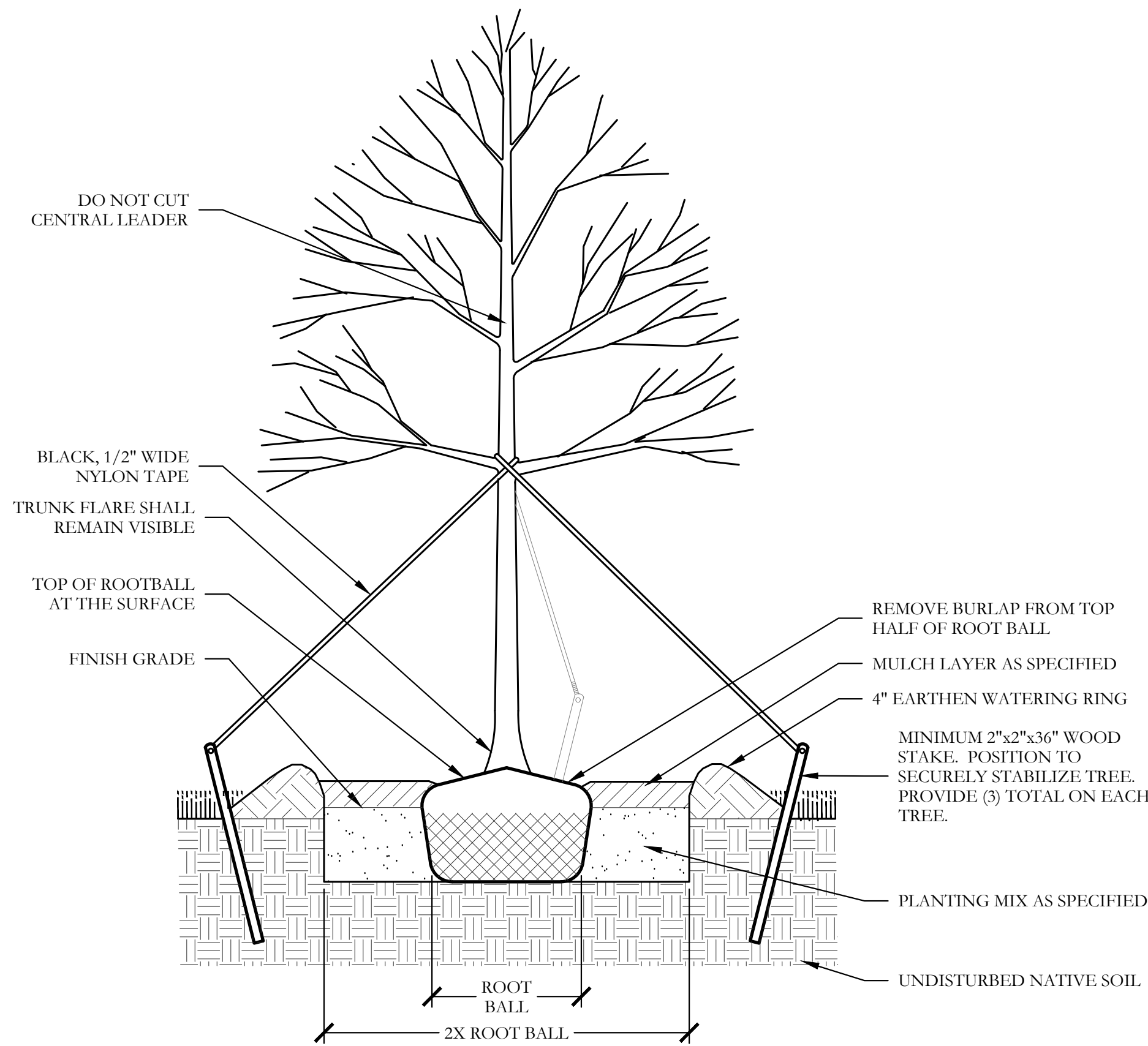
4 8" CHOP STONE EDGING DETAIL SECTION NOT TO SCALE



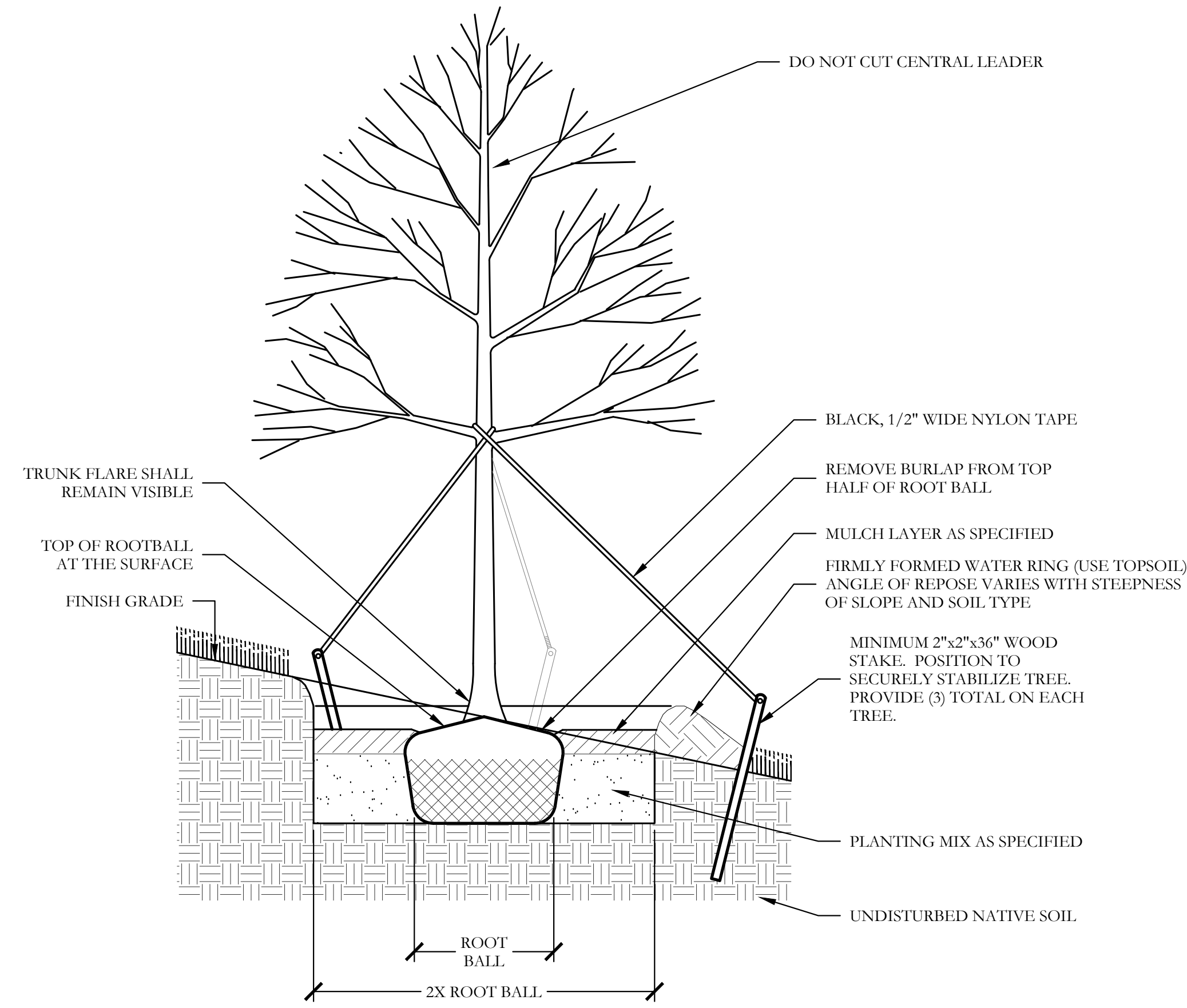
6 BLACK STAR CRUSHED STONE SECTION SCALE: 1"=1'-0"



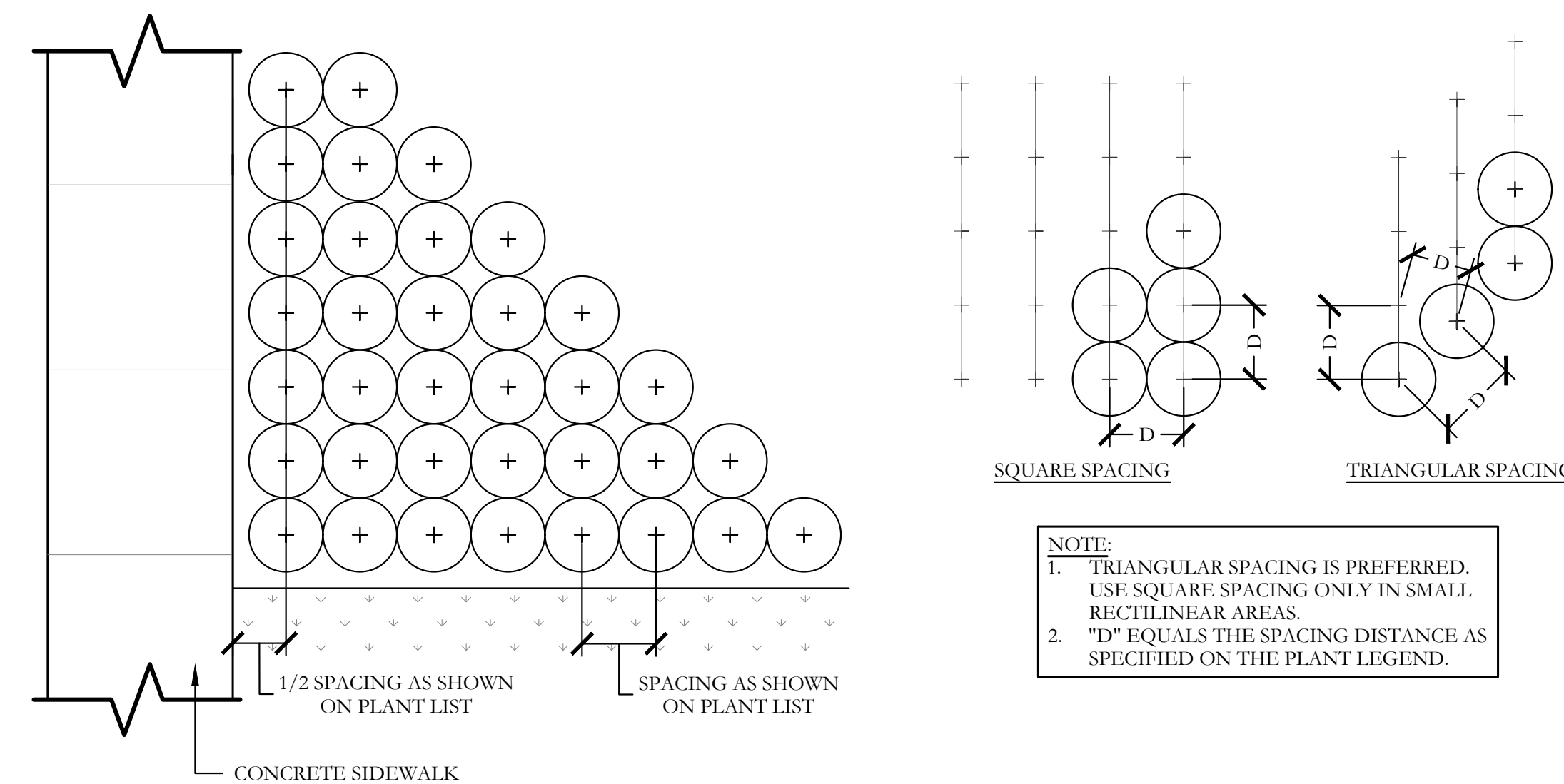
7 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1"=1'-0"



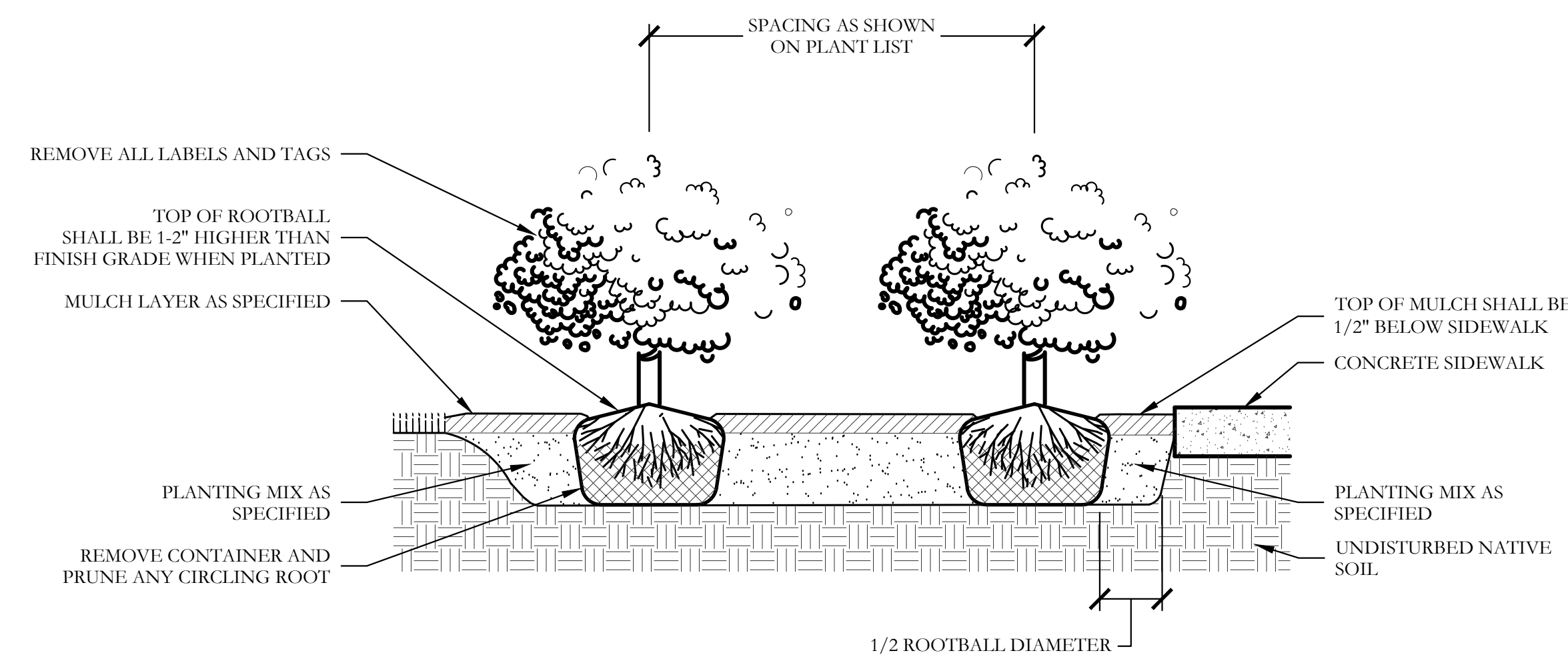
2 TYPICAL TREE PLANTING SECTION NOT TO SCALE



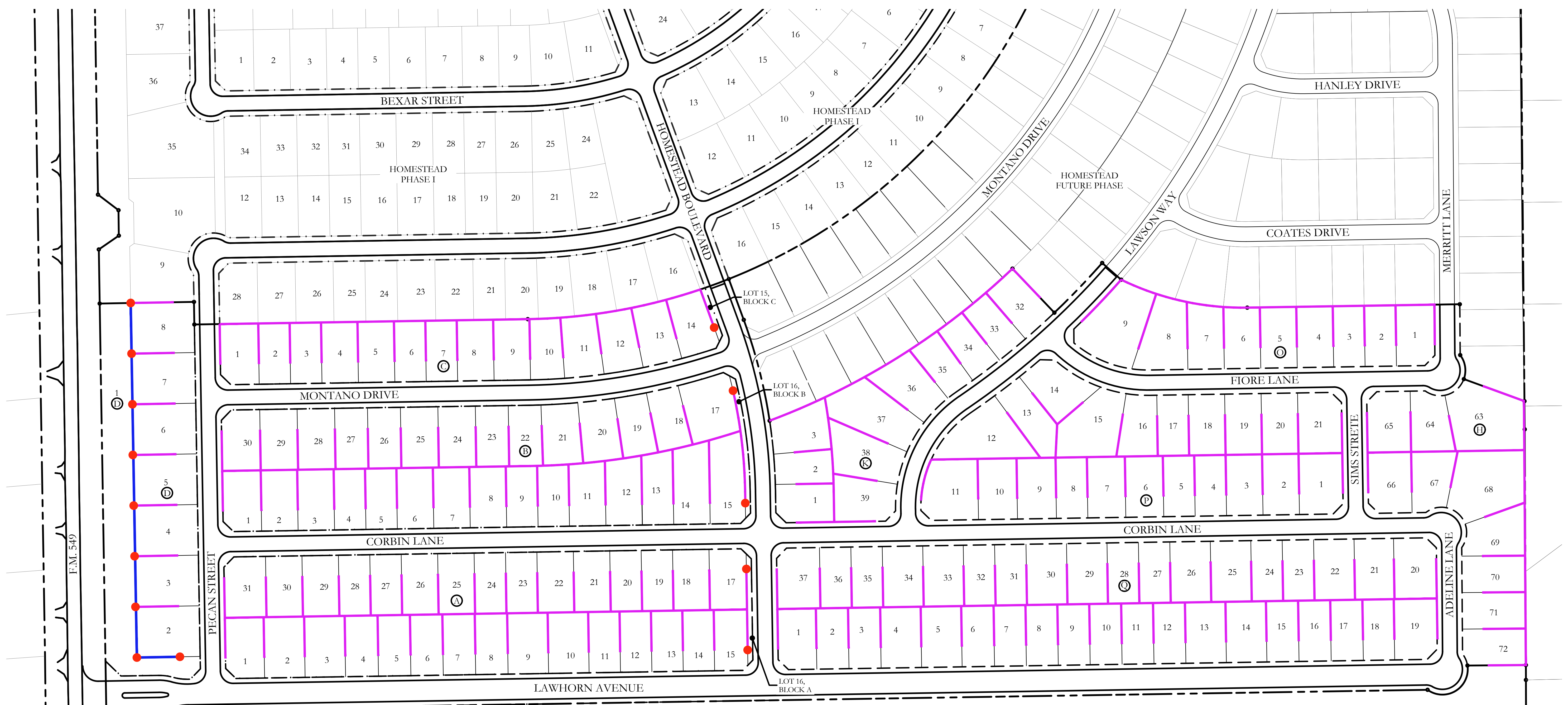
5 TYPICAL TREE PLANTING ON SLOPE SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE

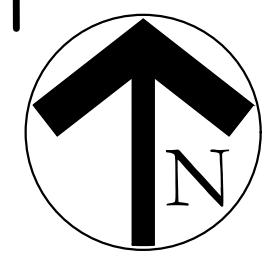
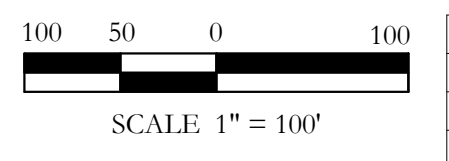


NOT TO SCALE



FENCE LEGEND

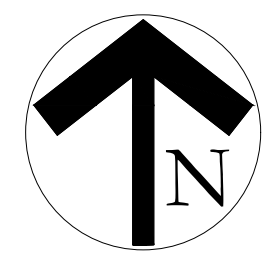
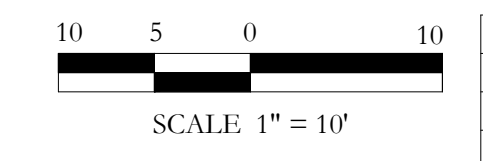
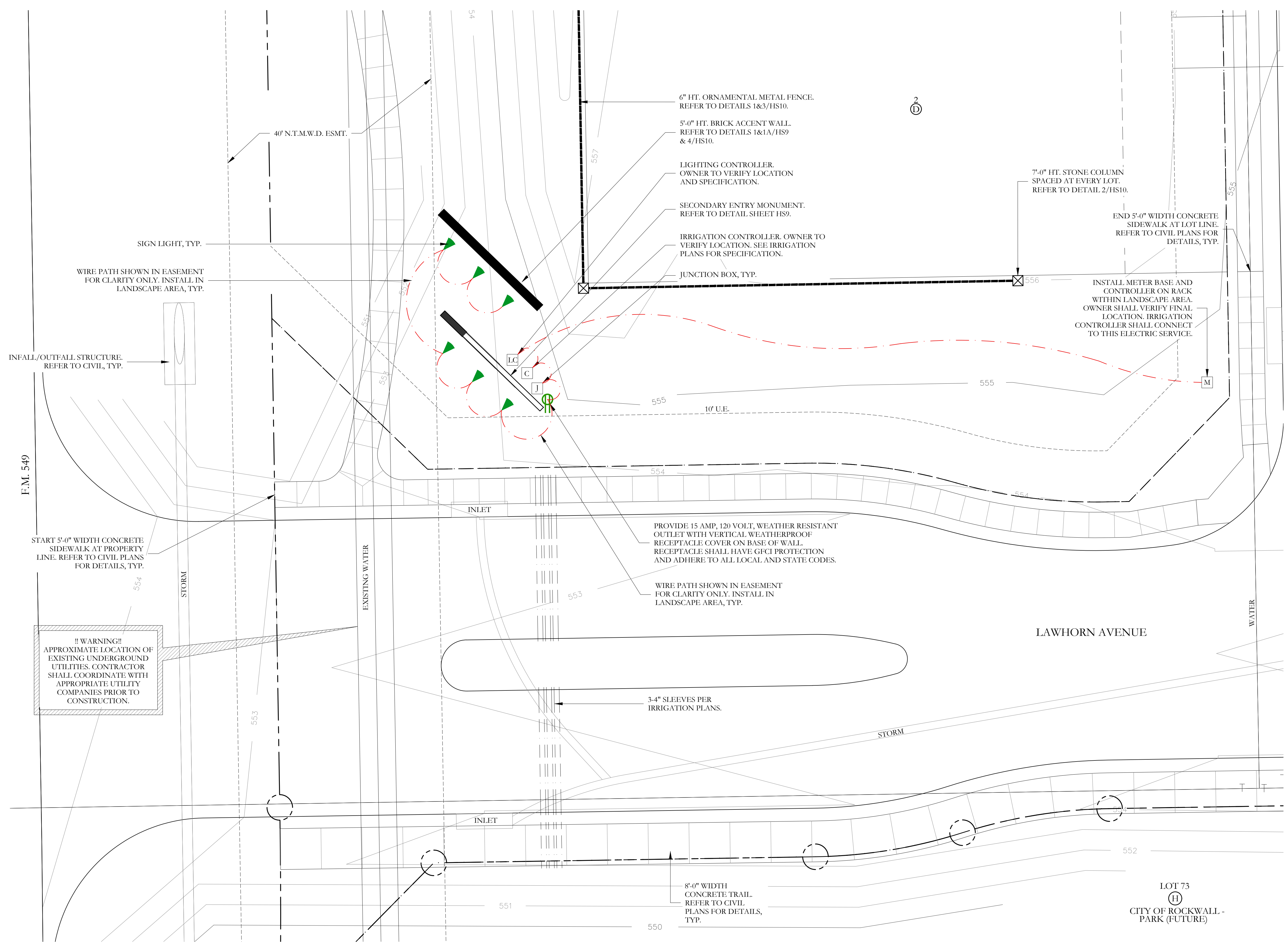
- 6'-0" HT. ORNAMENTAL METAL FENCE; BY DEVELOPER.
- 6'-0" HT. CEDAR FENCE BY BUILDER.
- STONE COLUMN LOCATION



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LIGHTING LEGEND		
SYMBOL	ITEM	QTY
M	PROPOSED METER BASE	1
LC	LIGHTING CONTROLLER AS SELECTED BY OWNER	1
C	IRRIGATION CONTROLLER SEE IRRIGATION PLANS FOR DETAILS	1
J	JUNCTION BOX, AS NECESSARY	1
▼	SIGN LIGHT	6
Ⓞ	GFCI DUPLEX OUTLET WITH WEATHERPROOF COVER	1

- LIGHTING NOTES**
- COORDINATE ALL ELECTRIC UTILITY REQUIREMENTS WITH THE SERVICE PROVIDER IN THE AREA. COORDINATE EXACT TRANSFORMER LOCATION TO MAINTAIN REQUIRED CLEARANCES FROM BUILDING, EQUIPMENT, ETC. PRIOR TO INSTALLATION. POUR TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS.
 - COORDINATE ALL TELEPHONE SERVICE REQUIREMENTS WITH LOCAL TELEPHONE UTILITY COMPANY AND PROVIDE ACCORDINGLY.
 - LIGHTING TYPE AND SIZE SHALL BE SELECTED BY THE OWNER.
 - LIGHTING AND ELECTRICAL CONNECTIONS SHALL COMPLY WITH TEXAS DEPARTMENT STATE HEALTH SERVICES AND MANUFACTURER RECOMMENDATIONS.
 - COORDINATE ALL SLEEVE LOCATIONS WITH OTHER TRADES. INSTALL ADDITIONAL SLEEVES AS NECESSARY.
 - THE ELECTRICAL CONTRACTOR SHALL REFER AND ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS, CUT SHEETS, SHOP DRAWINGS, NOTES, AND INSTALLATION PROCEDURES FOR ALL PRODUCTS SHOWN ON PLANS.
 - THE CONTRACTOR SHALL DETERMINE WIRE SIZES AND RUN PATTERNS IN THE FIELD.
 - REFER TO IRRIGATION PLANS AND COORDINATE WITH IRRIGATION CONTRACTOR FOR ALL SLEEVE LOCATIONS.
 - THE LIGHTING EXHIBIT SHOWN HEREIN IS FOR GRAPHIC REFERENCE ONLY TO BE USED FOR BIDDING PURPOSES. FINAL DESIGN AND INSTALLATION SHALL BE PROVIDED BY A LICENSED ELECTRICIAN.

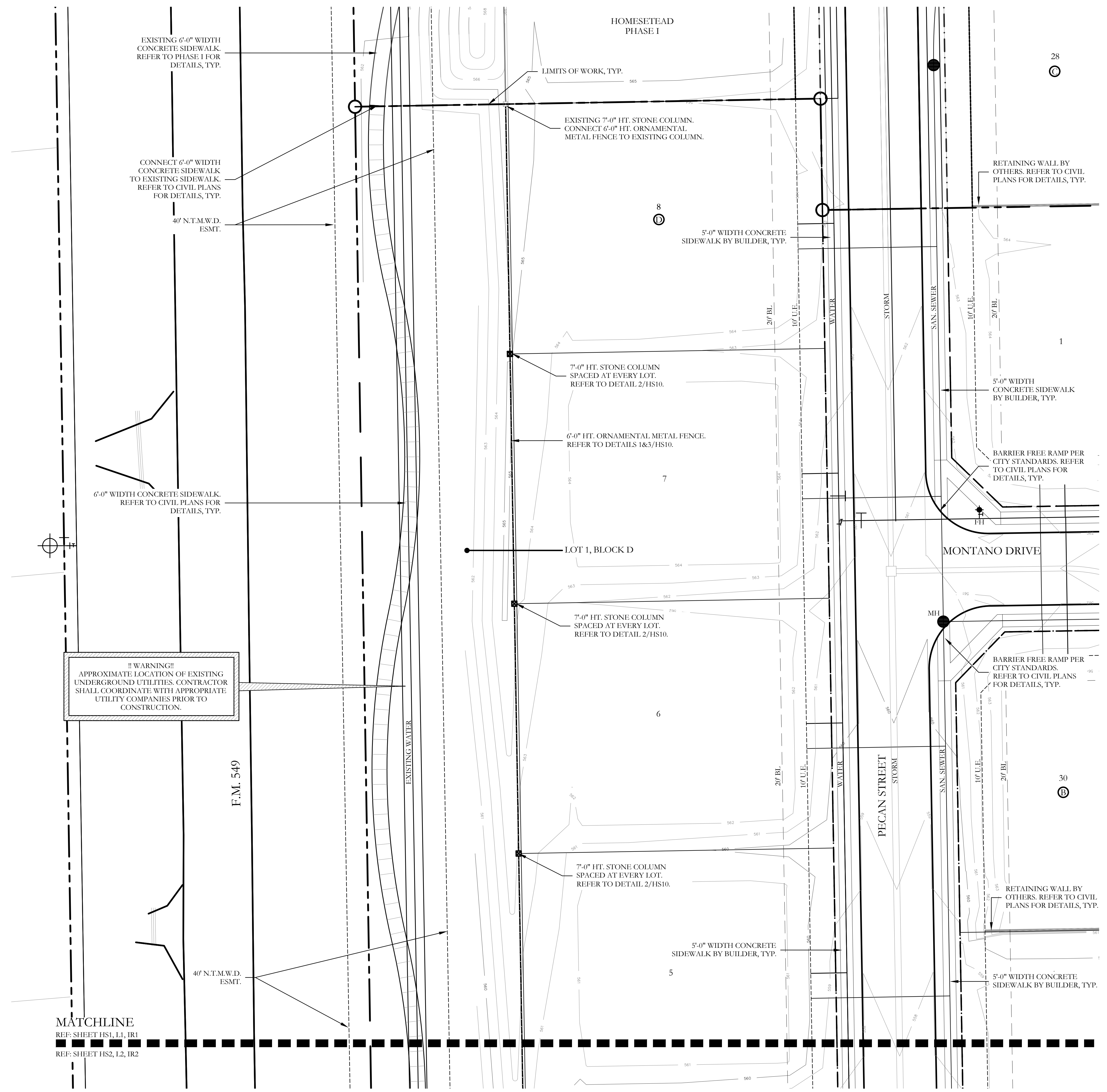


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HARDSCAPE LEGEND	
	SECONDARY ENTRY MONUMENT REFER TO DETAIL SHEET HS9.
	5'-0" HT. BRICK ACCENT WALL REFER TO DETAILS 1&1A/HS9 & 4/HS10.
	7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/HS10.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&3/HS10.

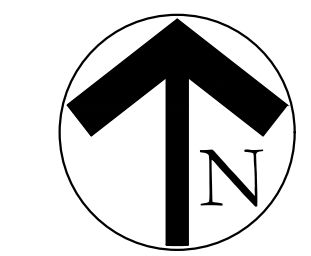
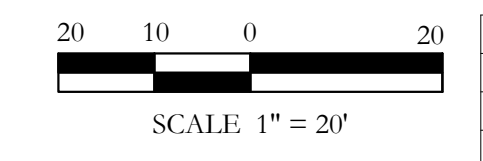
NOTE:
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

- WALL LAYOUT NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
 2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
 4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
 5. ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
 6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
 7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.



!! WARNING!!
 APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

MATCHLINE
 REF: SHEET HS1, L1, IR1
 REF: SHEET HS2, L2, IR2



MATCHLINE
REF: SHEET HS1, L1, IR1
REF: SHEET HS2, L2, IR2

40' N.T.M.W.D. ESMT.

6'-0" WIDTH CONCRETE SIDEWALK.
REFER TO CIVIL PLANS FOR
DETAILS, TYP.

F.M. 549

!! WARNING!!
APPROXIMATE LOCATION OF EXISTING
UNDERGROUND UTILITIES. CONTRACTOR
SHALL COORDINATE WITH APPROPRIATE
UTILITY COMPANIES PRIOR TO
CONSTRUCTION.

40' N.T.M.W.D. ESMT.

INFALL/OUTFALL
STRUCTURE.
REFER TO CIVIL, TYP.

START 5'-0" WIDTH CONCRETE
SIDEWALK AT PROPERTY
LINE. REFER TO CIVIL PLANS
FOR DETAILS, TYP.

MATCHLINE
REF: SHEET HS2, L2, IR2
REF: SHEET HS3, L3, IR3

EXISTING WATER

EXISTING WATER

7'-0" HT. STONE COLUMN
SPACED AT EVERY LOT.
REFER TO DETAIL 2/HS10.

5'-0" WIDTH CONCRETE
SIDEWALK BY BUILDER, TYP.

7'-0" HT. STONE COLUMN
SPACED AT EVERY LOT.
REFER TO DETAIL 2/HS10.

6" HT. ORNAMENTAL METAL FENCE.
REFER TO DETAILS 1&3/HS10.

LOT 1, BLOCK D

7'-0" HT. STONE COLUMN
SPACED AT EVERY LOT.
REFER TO DETAIL 2/HS10.

7'-0" HT. STONE COLUMN.
REFER TO DETAIL 2/HS10.

5'-0" HT. BRICK ACCENT WALL.
REFER TO DETAILS 1&1A/HS9
& 4/HS10.

7'-0" HT. STONE COLUMN
SPACED AT EVERY LOT.
REFER TO DETAIL 2/HS10.

SECONDARY ENTRY MONUMENT.
REFER TO DETAIL SHEET HS9.

LAWHORN AVENUE

CORBIN LANE

PECAN STREET





LIMITS OF
SOD, TYP.

BARRIER FREE RAMP
PER CITY STANDARDS.
REFER TO CIVIL PLANS
FOR DETAILS, TYP.

BARRIER FREE RAMP
PER CITY STANDARDS.
REFER TO CIVIL
PLANS FOR DETAILS,
TYP.

STORM

HARDSCAPE LEGEND

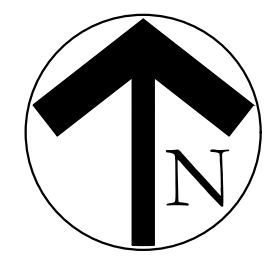
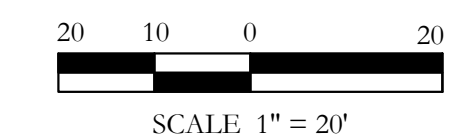
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REFER TO DETAIL 2/HS10.
-  6" HT. ORNAMENTAL METAL FENCE.
REFER TO DETAILS 1&3/HS10.

NOTE:
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING
WALL AND SIDEWALK LAYOUT AND DETAILS.



November 14, 2024

SCALE: 1" = 20'
One Inch
JVC No SHA012B







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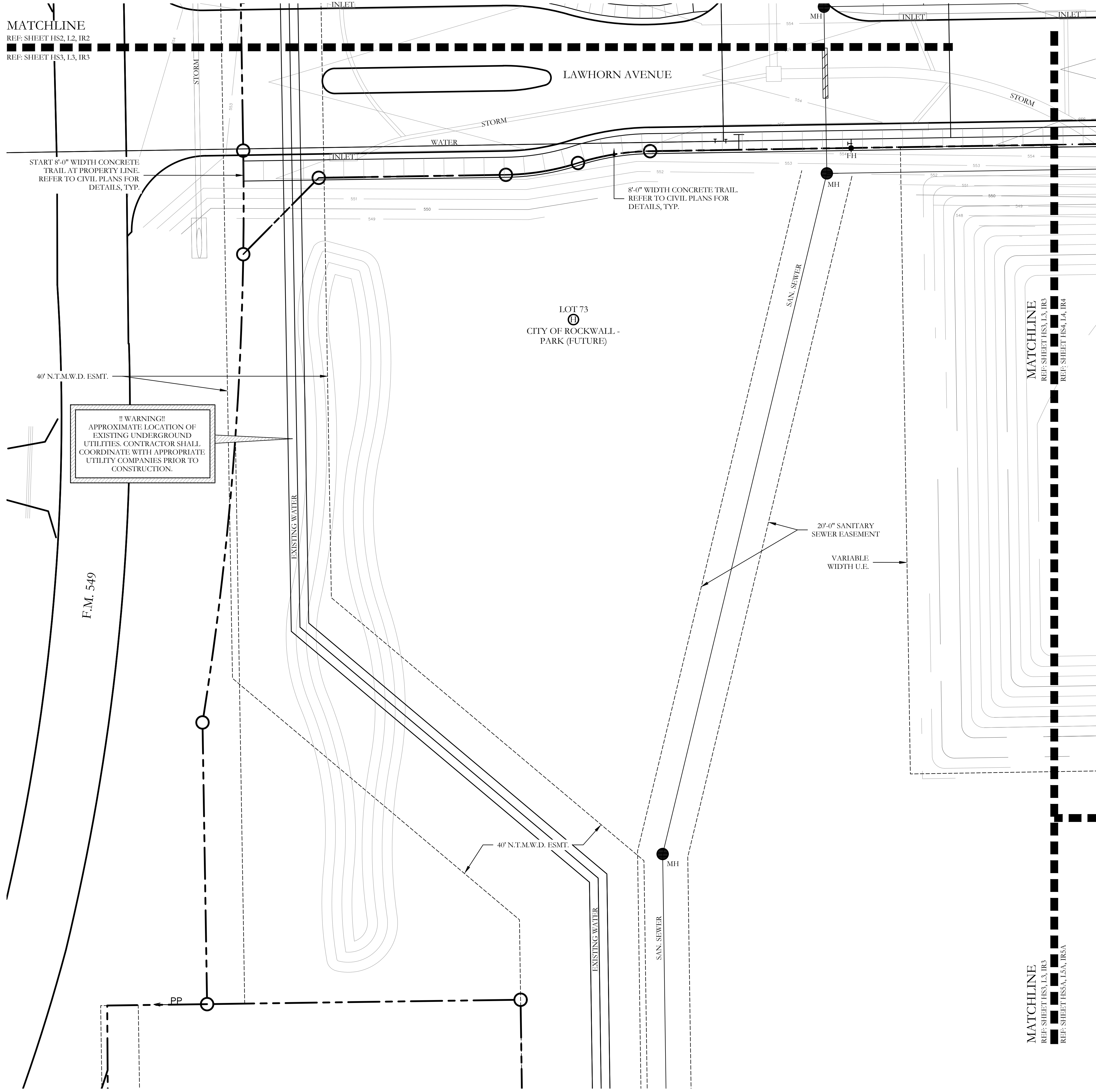
MATCHLINE

REF: SHEET HS2, L2, IR2
REF: SHEET HS3, L3, IR3

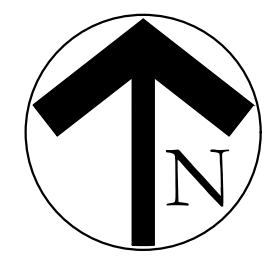
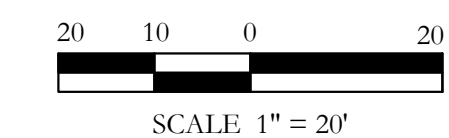
HARDSCAPE LEGEND

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REFER TO DETAIL 2/HS10.
-  6" FT. ORNAMENTAL METAL FENCE.
REFER TO DETAILS 1&3/HS10.

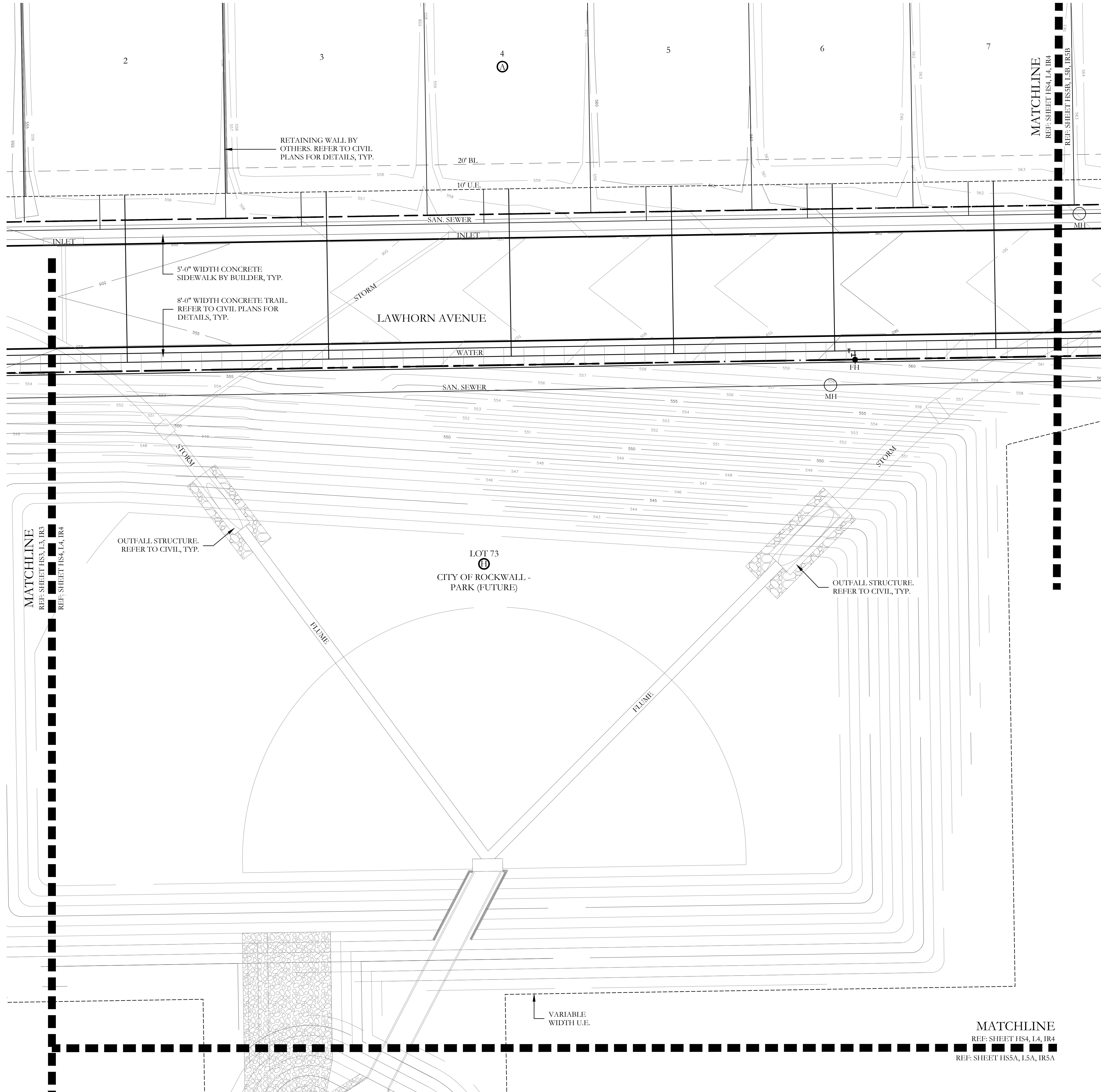
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!! WARNING!!
APPROXIMATE LOCATION OF
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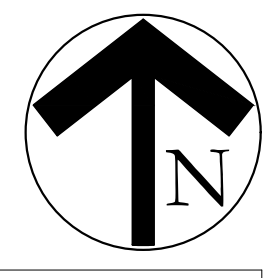
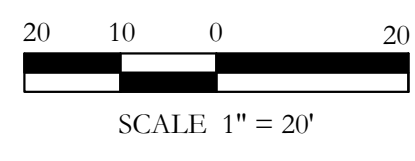
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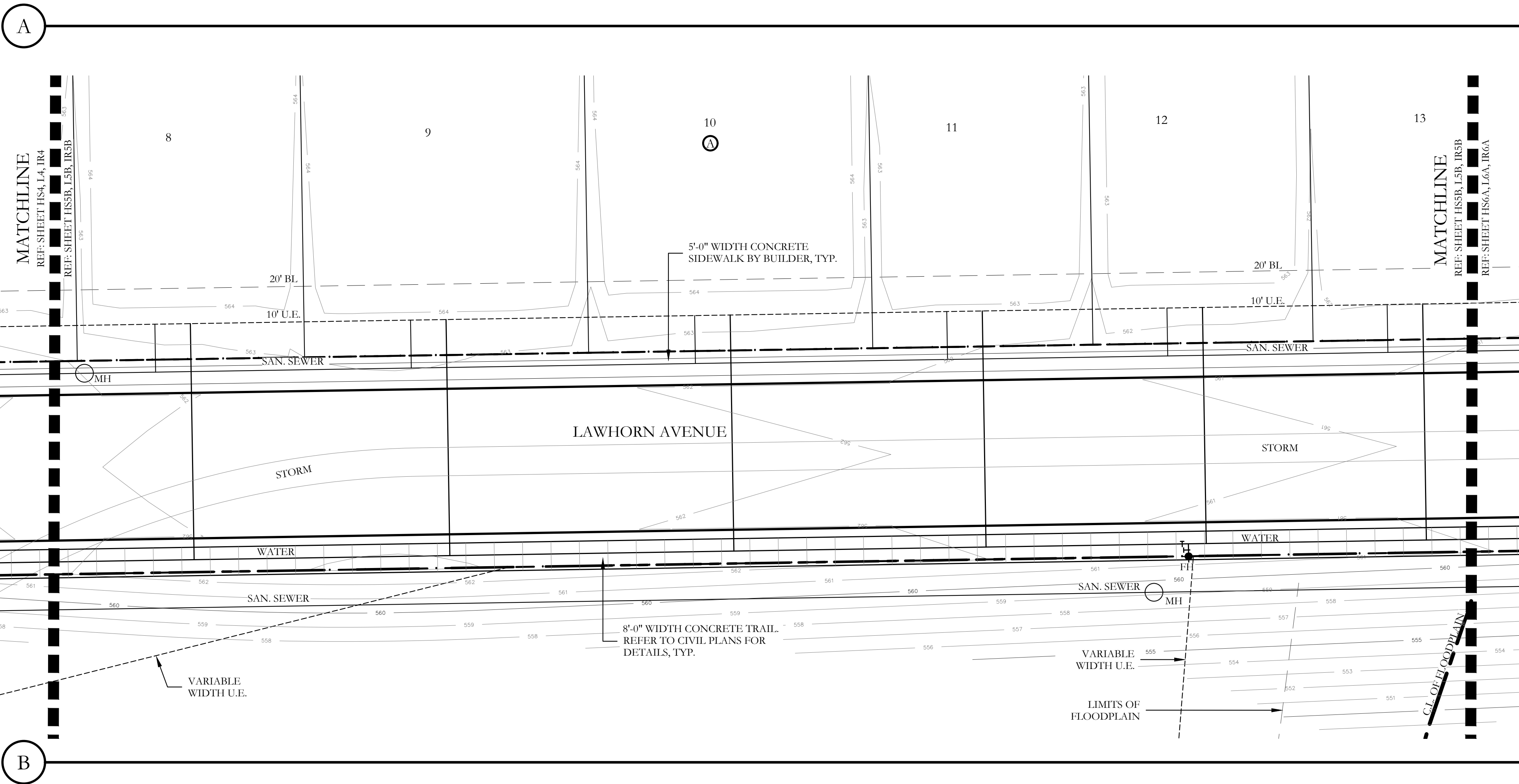
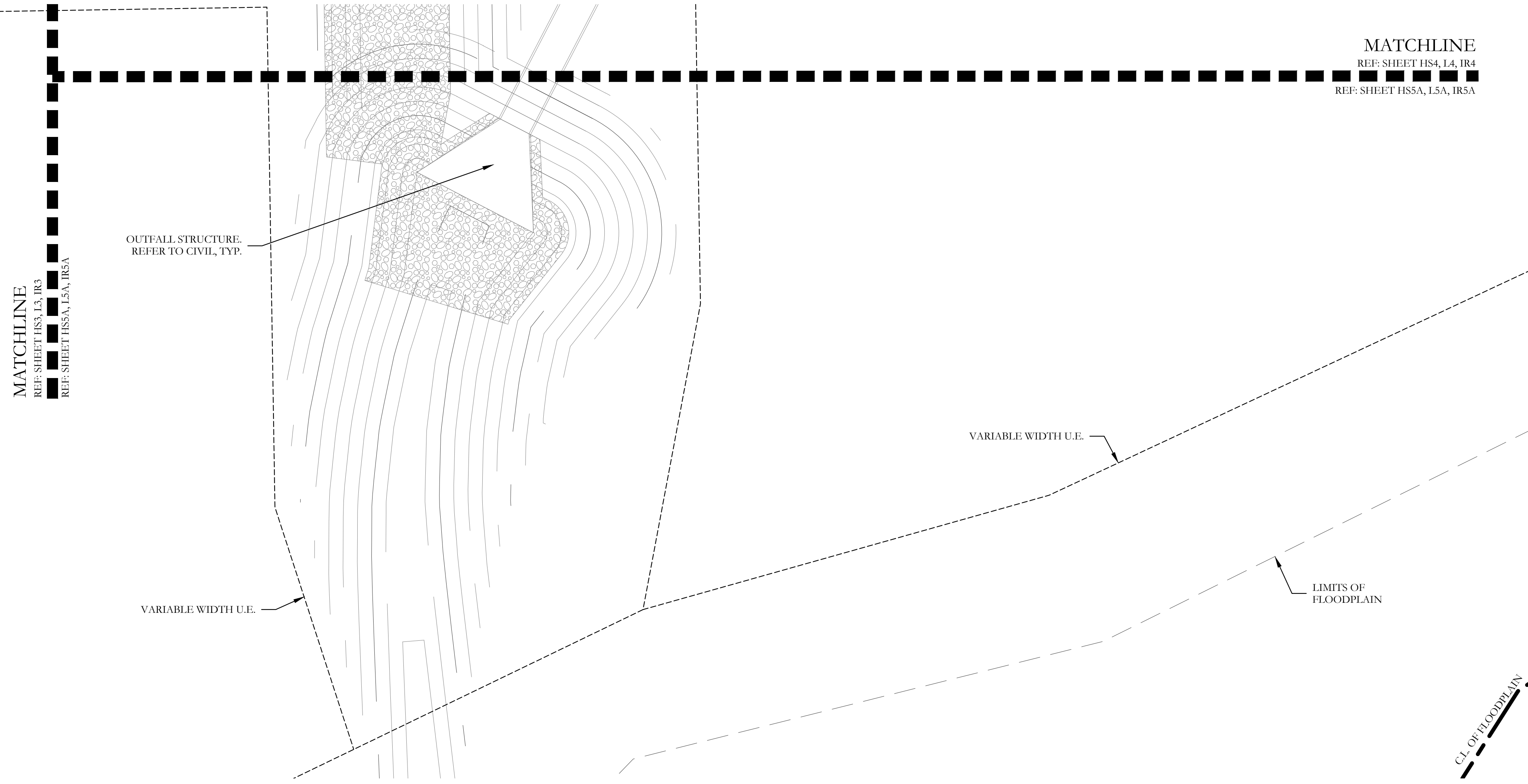
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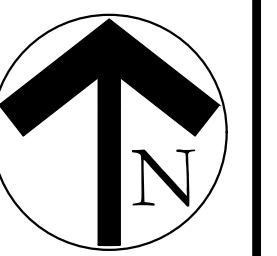
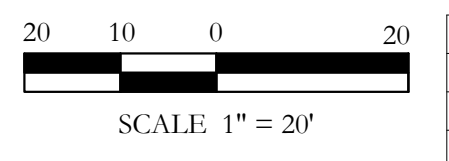
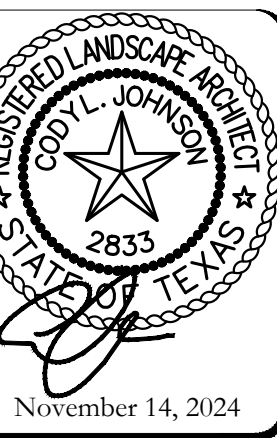
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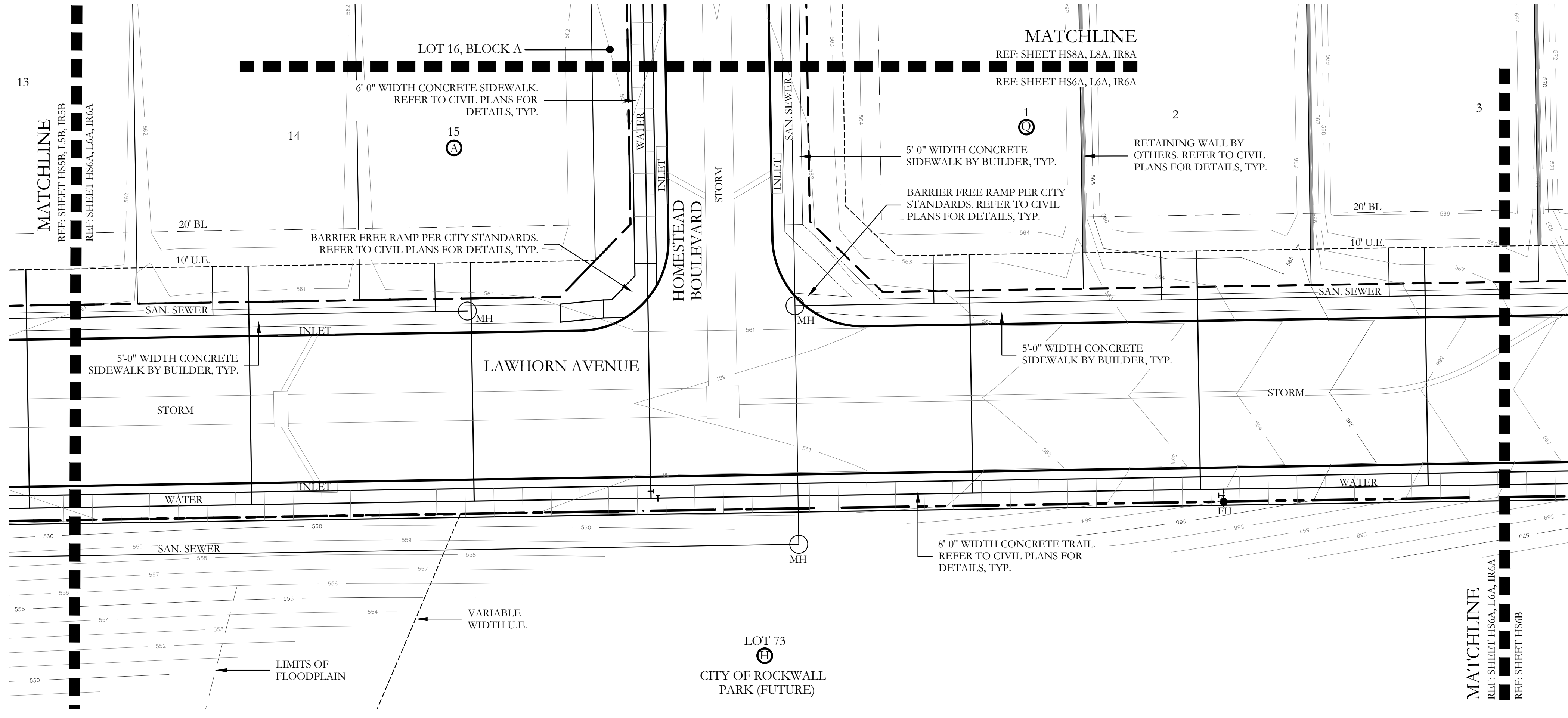
HARDSCAPE LEGEND

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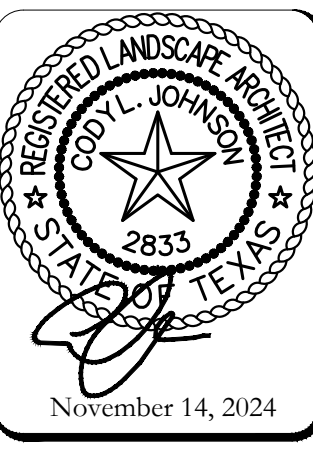
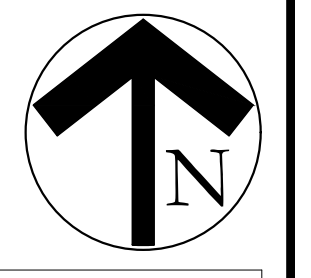
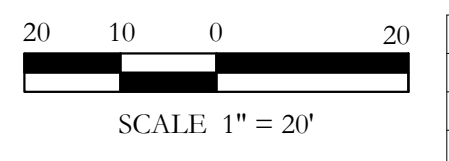
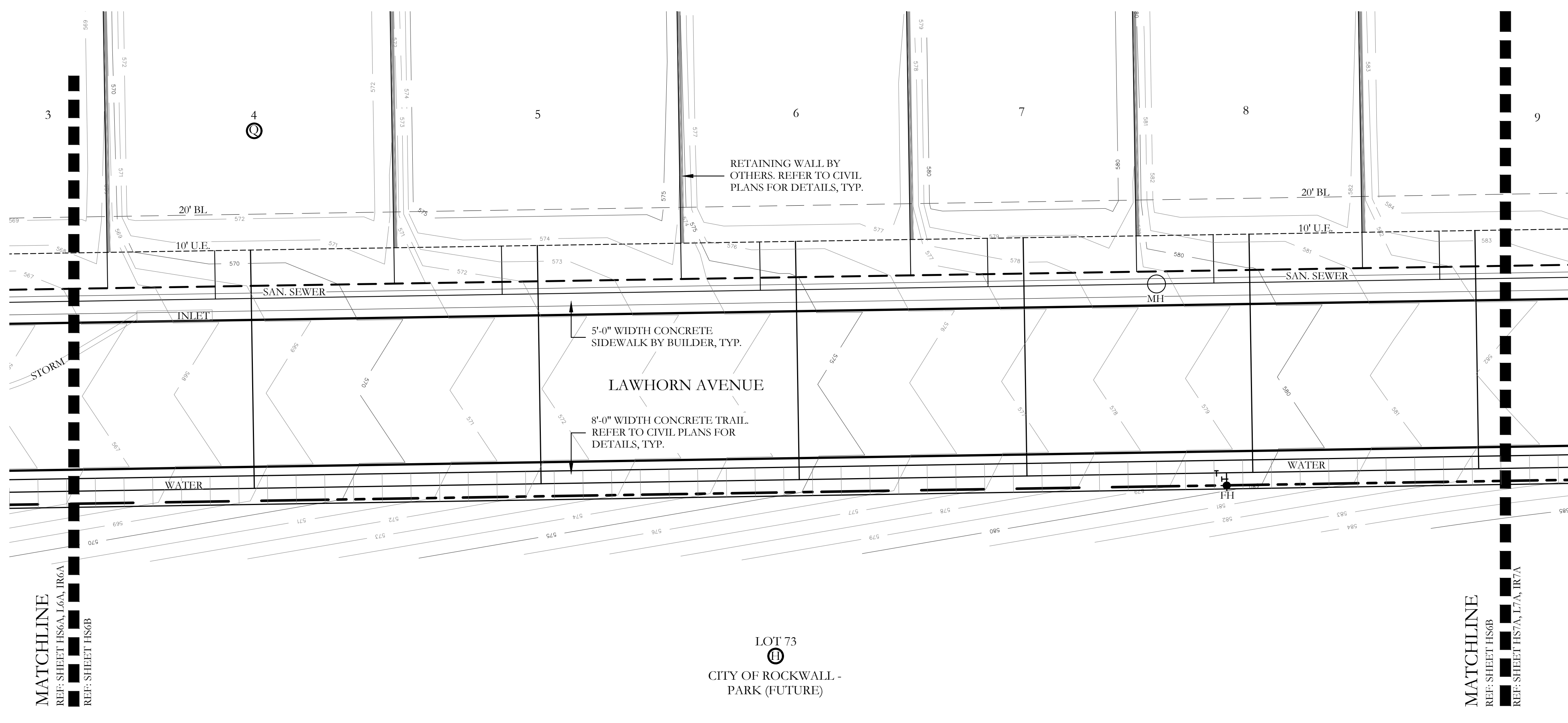


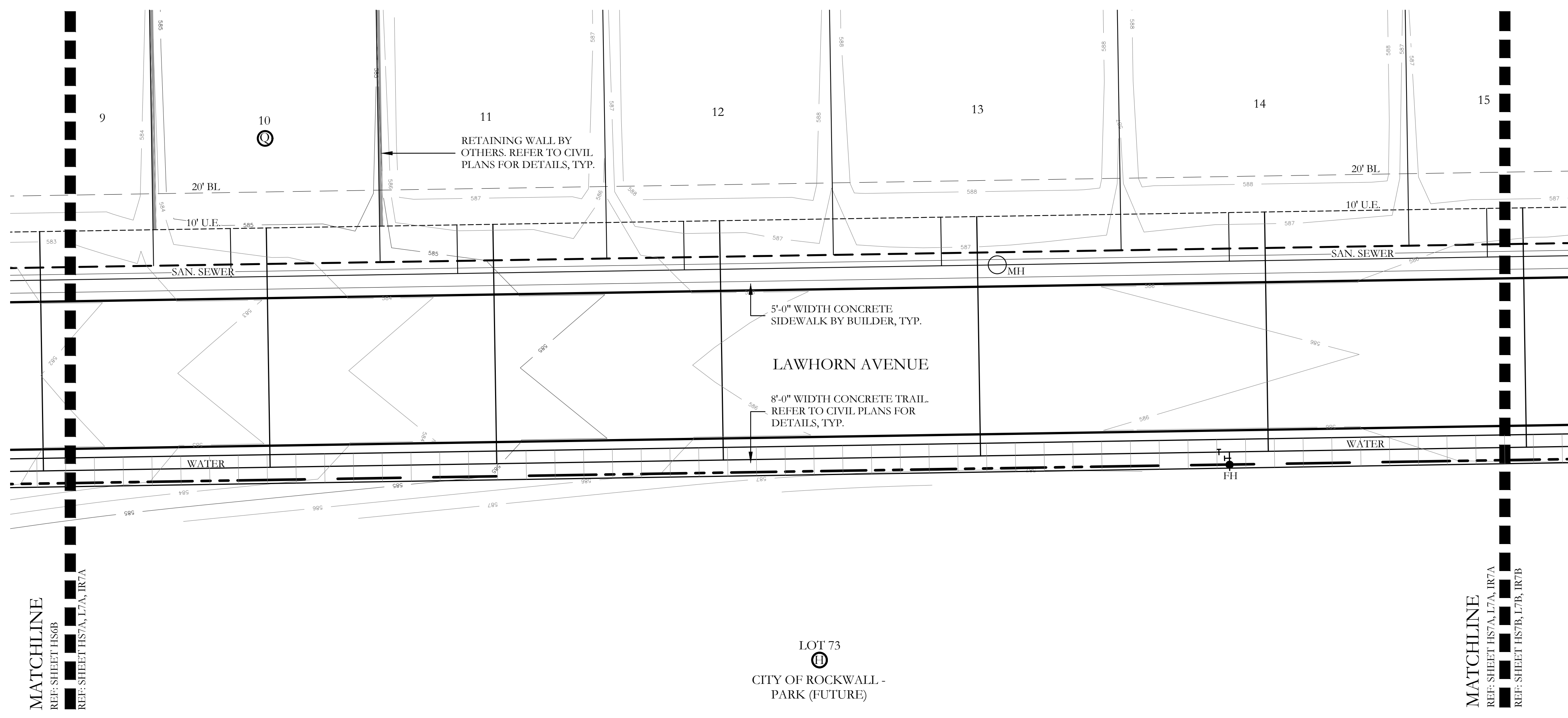
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HARDSCAPE LEGEND	
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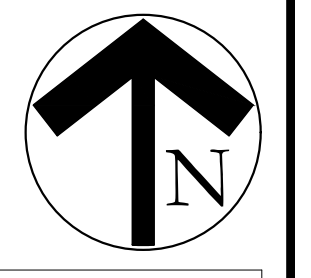
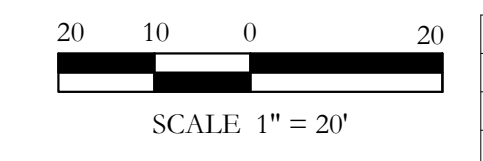
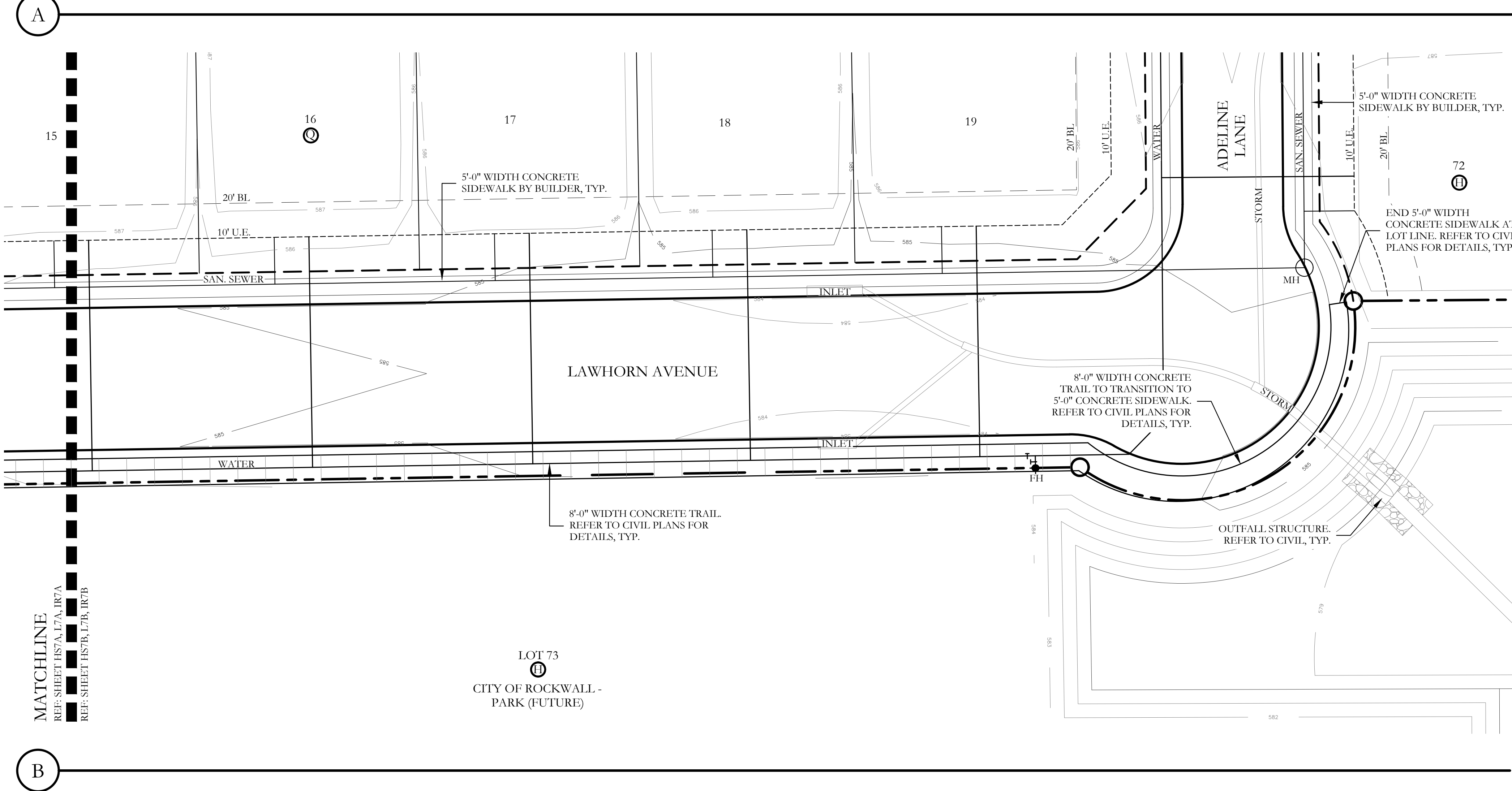
NOTE:
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.



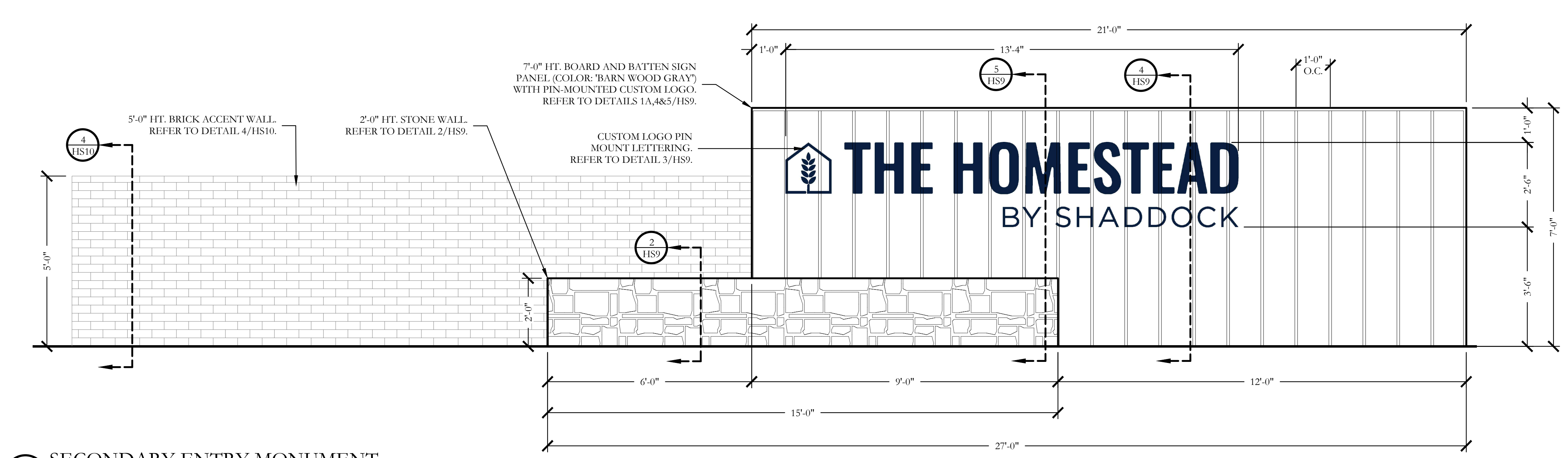


HARDSCAPE LEGEND	
	SECONDARY ENTRY MONUMENT REFER TO DETAIL SHEET HS9.
	5'-0" HT. BRICK ACCENT WALL. REFER TO DETAILS 1&1A/HS9 & 4/HS10.
	7'-0" HT. STONE COLUMN. REFER TO DETAIL 2/HS10.
	6" FT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&3/HS10.

NOTE:
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

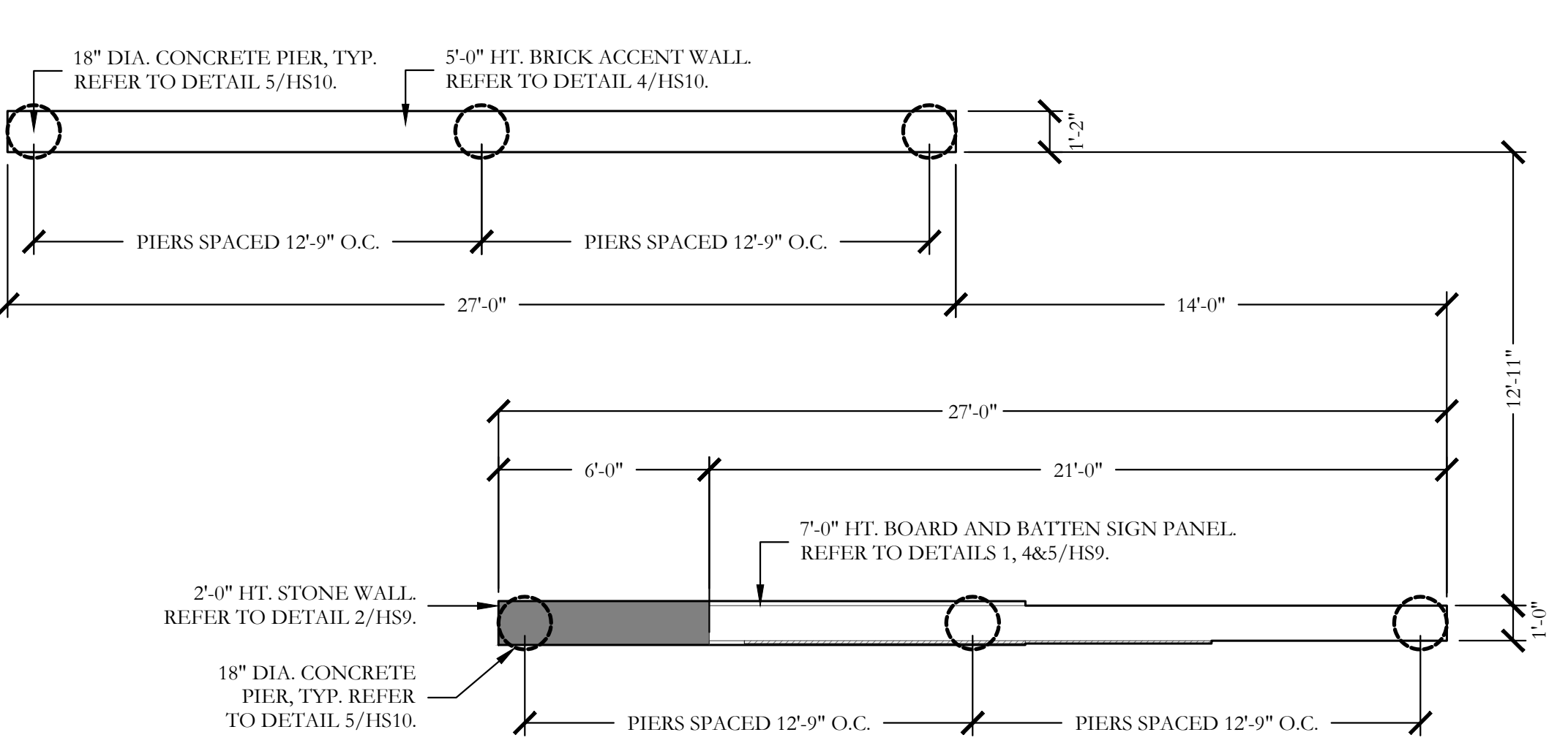


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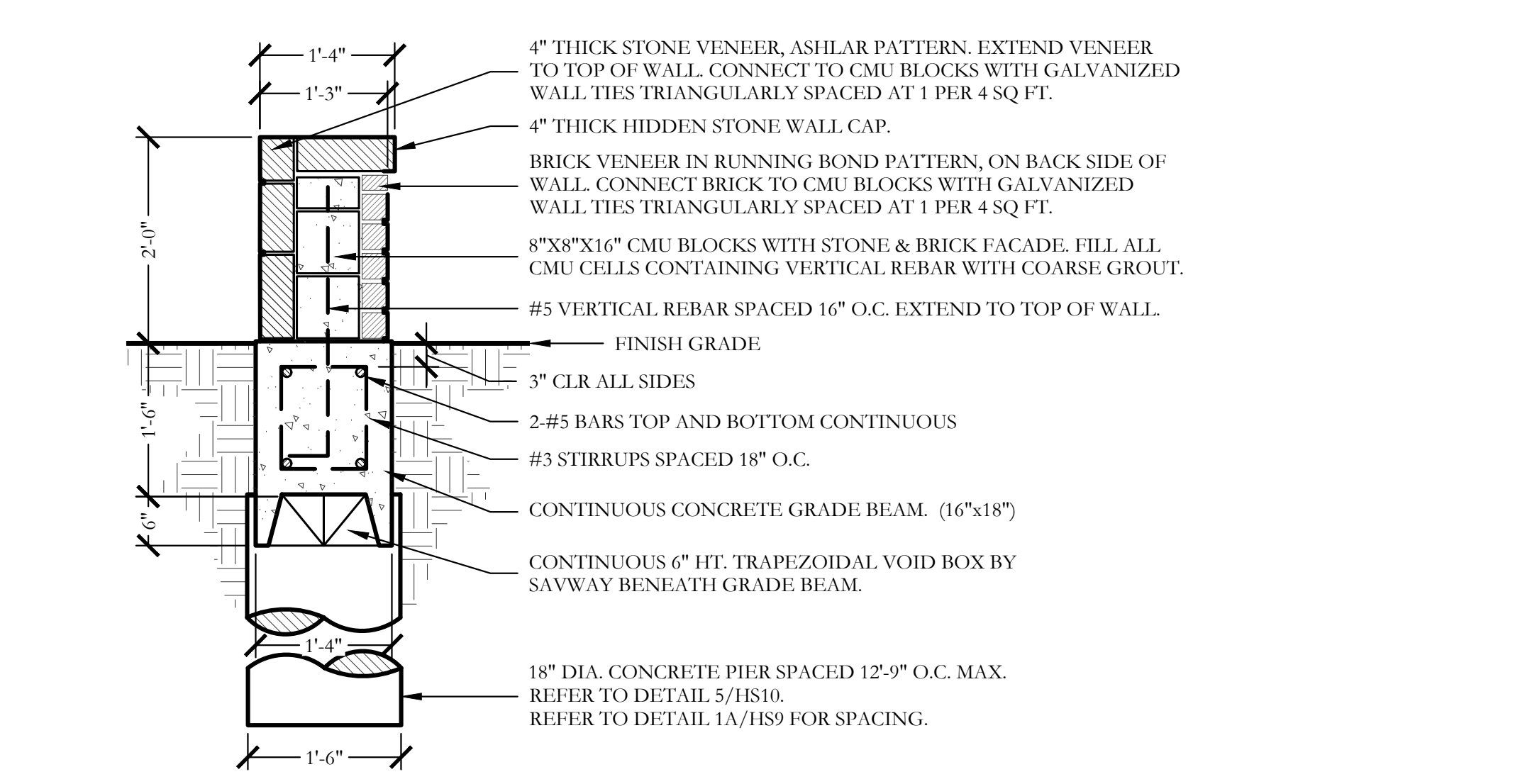
1 SECONDARY ENTRY MONUMENT ELEVATION

SCALE: 1/2"=1'-0"



1A SECONDARY ENTRY MONUMENT PIER LOCATION PLAN

SCALE: 1/4"=1'-0"



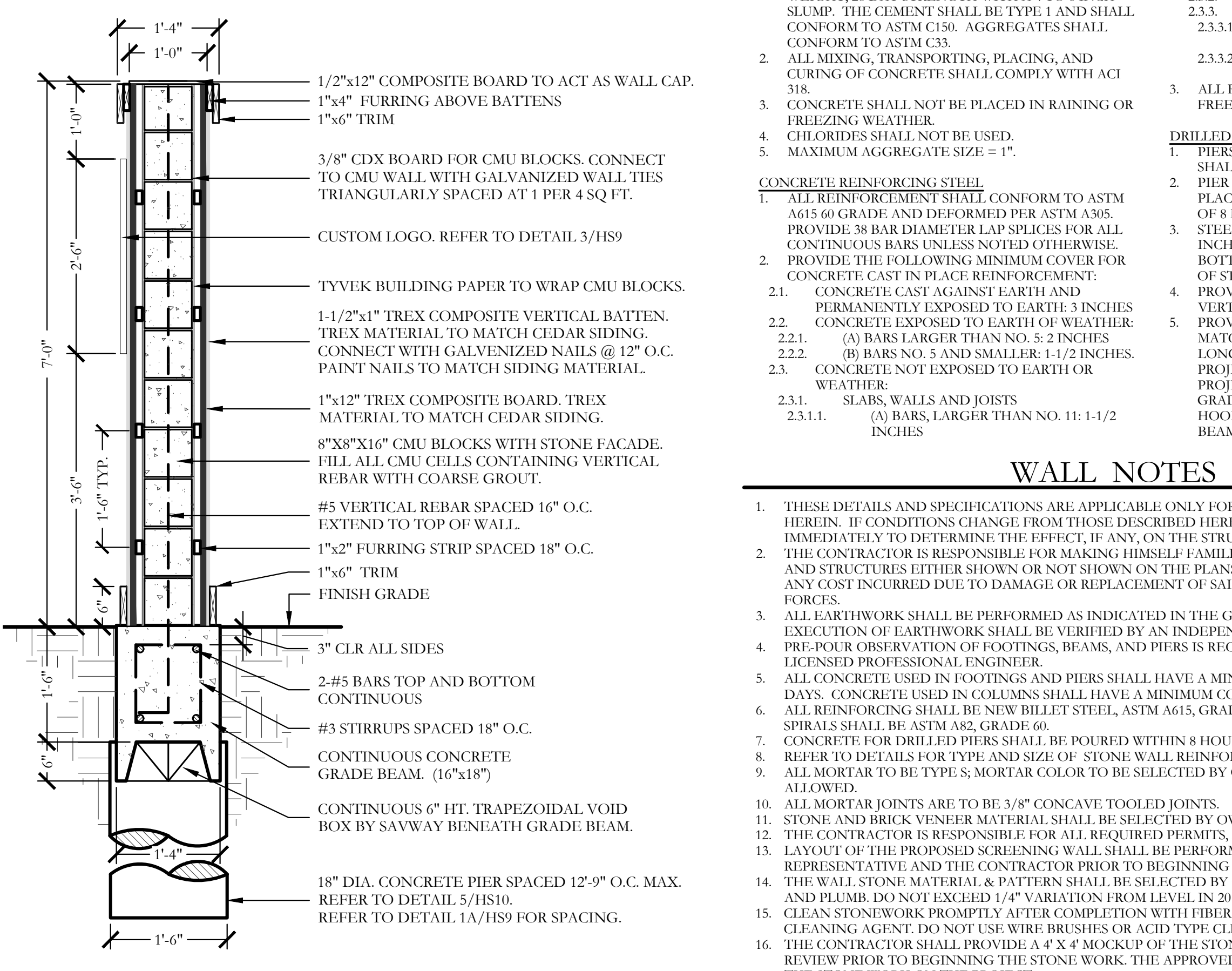
2 2'-0" HT. STONE WALL SECTION

SCALE: 3/4"=1'-0"



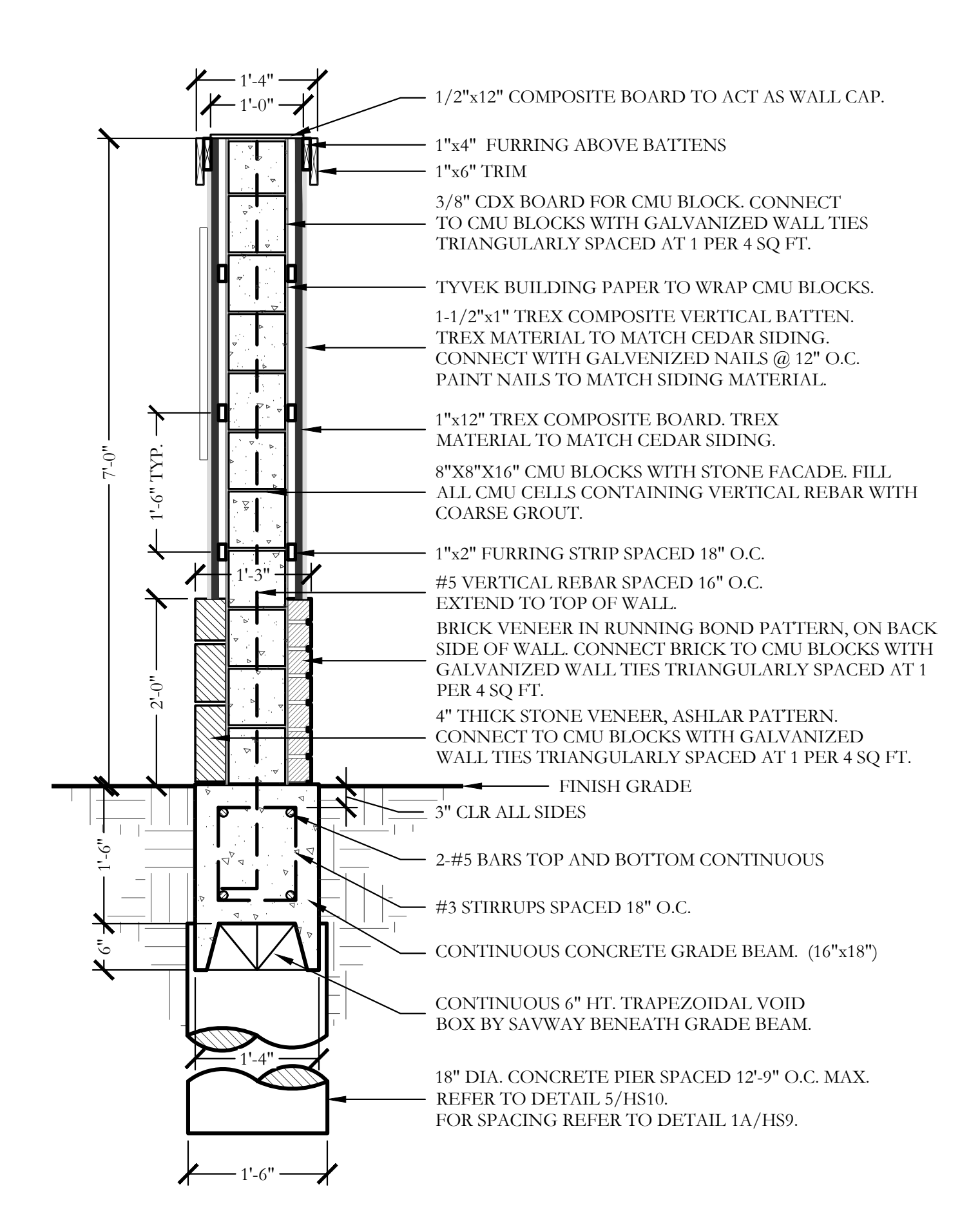
3 LOGO ELEVATION

SCALE: 1/2"=1'-0"



4 7'-0" HT. SIGN WALL SECTION

SCALE: 3/4"=1'-0"



5 7'-0" HT. SIGN WALL WITH STONE BASE SECTION

SCALE: 3/4"=1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

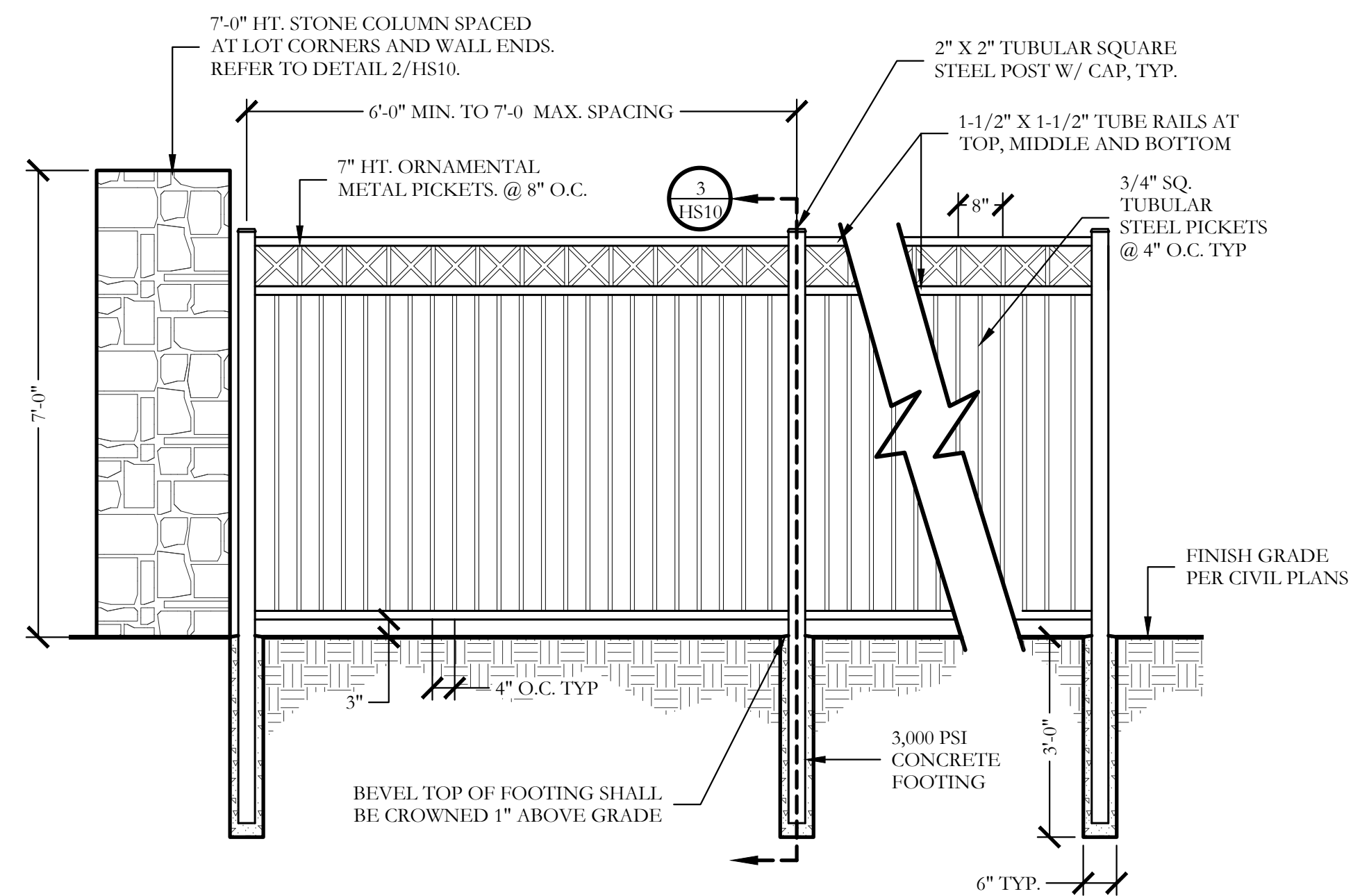
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|---|--|--|
| <p>CAST-IN-PLACE CONCRETE</p> <ol style="list-style-type: none"> ALL CONCRETE SHALL BE 3000 PSI NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE I AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318. CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER. CHLORIDES SHALL NOT BE USED. MAXIMUM AGGREGATE SIZE = 1". <p>CONCRETE REINFORCING STEEL</p> <ol style="list-style-type: none"> ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A955. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE. PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT: <ol style="list-style-type: none"> CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES CONCRETE EXPOSED TO EARTH OF WEATHER: <ol style="list-style-type: none"> (A) BARS LARGER THAN NO. 5: 2 INCHES (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES CONCRETE NOT EXPOSED TO EARTH OR WEATHER: <ol style="list-style-type: none"> (A) BARS, WALLS AND JOISTS (B) BARS, LARGER THAN NO. 11: 1-1/2 INCHES | <ol style="list-style-type: none"> (B) BARS NO. 11 AND SMALLER: 3/4 INCHES BEAMS AND COLUMNS: 1-1/2 INCHES (A) BAR LARGER THAN NO. 5: 3/4 INCHES (B) BARS NO. 5 AND SMALLER: 1/2 INCHES <p>DRILLED PIERS</p> <ol style="list-style-type: none"> PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM. PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE. STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM. | <p>STRUCTURAL CONCRETE MASONRY UNIT</p> <ol style="list-style-type: none"> CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING. REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM. HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES. JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS. LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS. PLACE GROUT USING LOW-LIFT METHOD, 6"-8" MAXIMUM LIFTS. |
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WALL NOTES

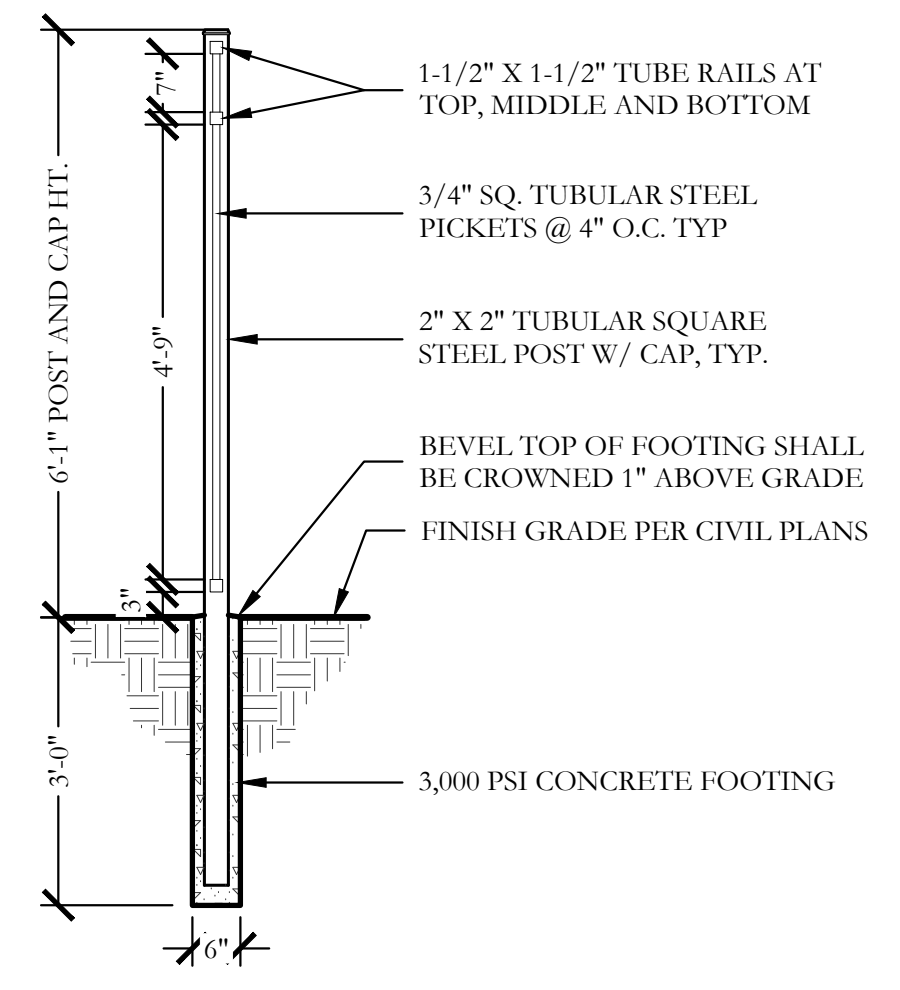
- THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
- PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
- CLEAN STONEWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
- THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.

ORNAMENTAL METAL FENCE NOTES

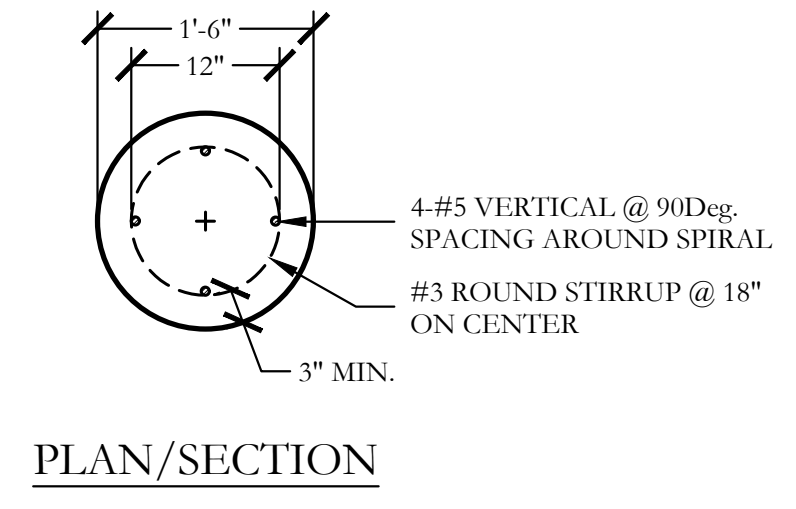
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
- GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
- ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
- POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
- FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



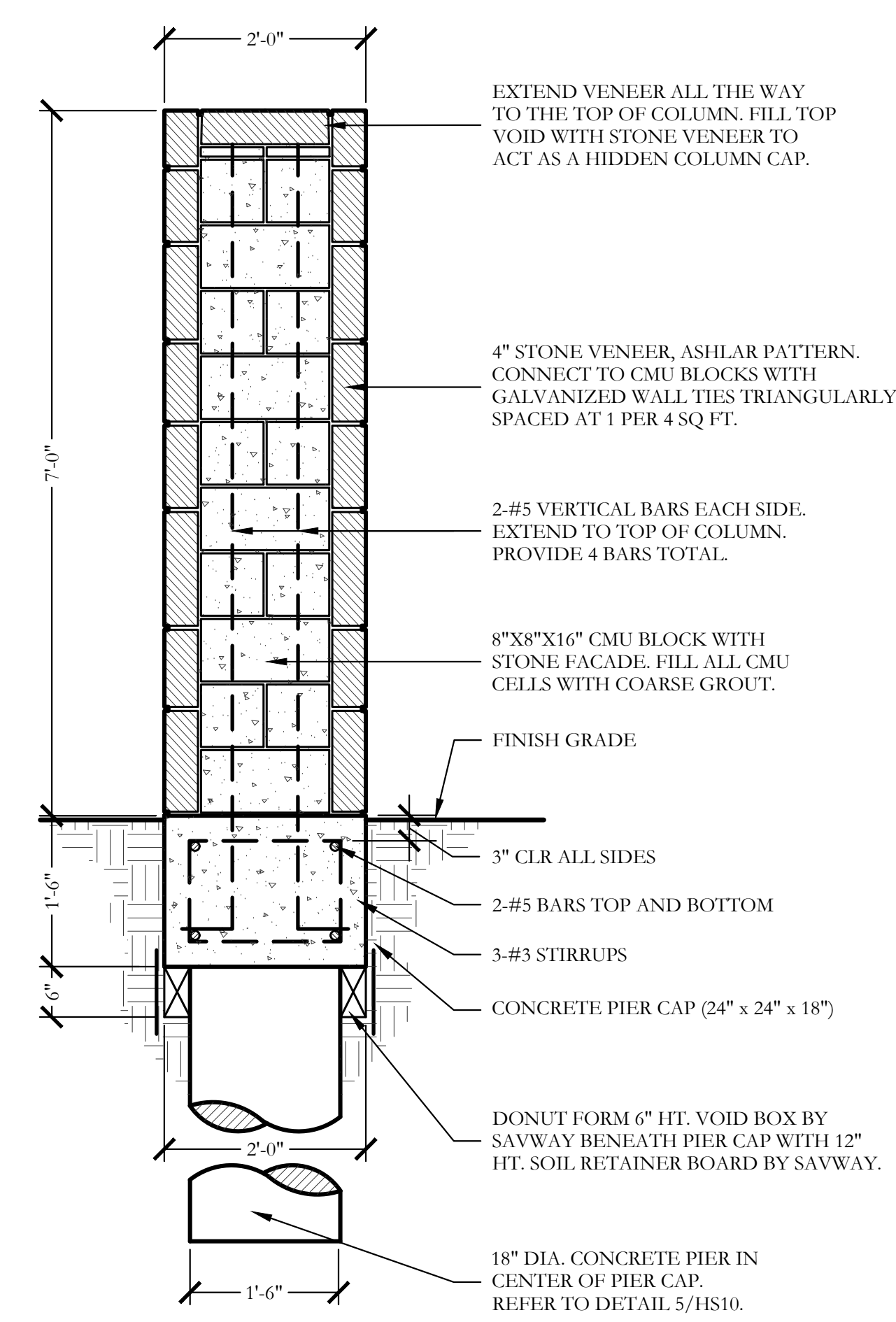
1 6'-0" HT. ORNAMENTAL METAL FENCE AND COLUMNS
 ELEVATION SCALE: 1/2"=1'-0"



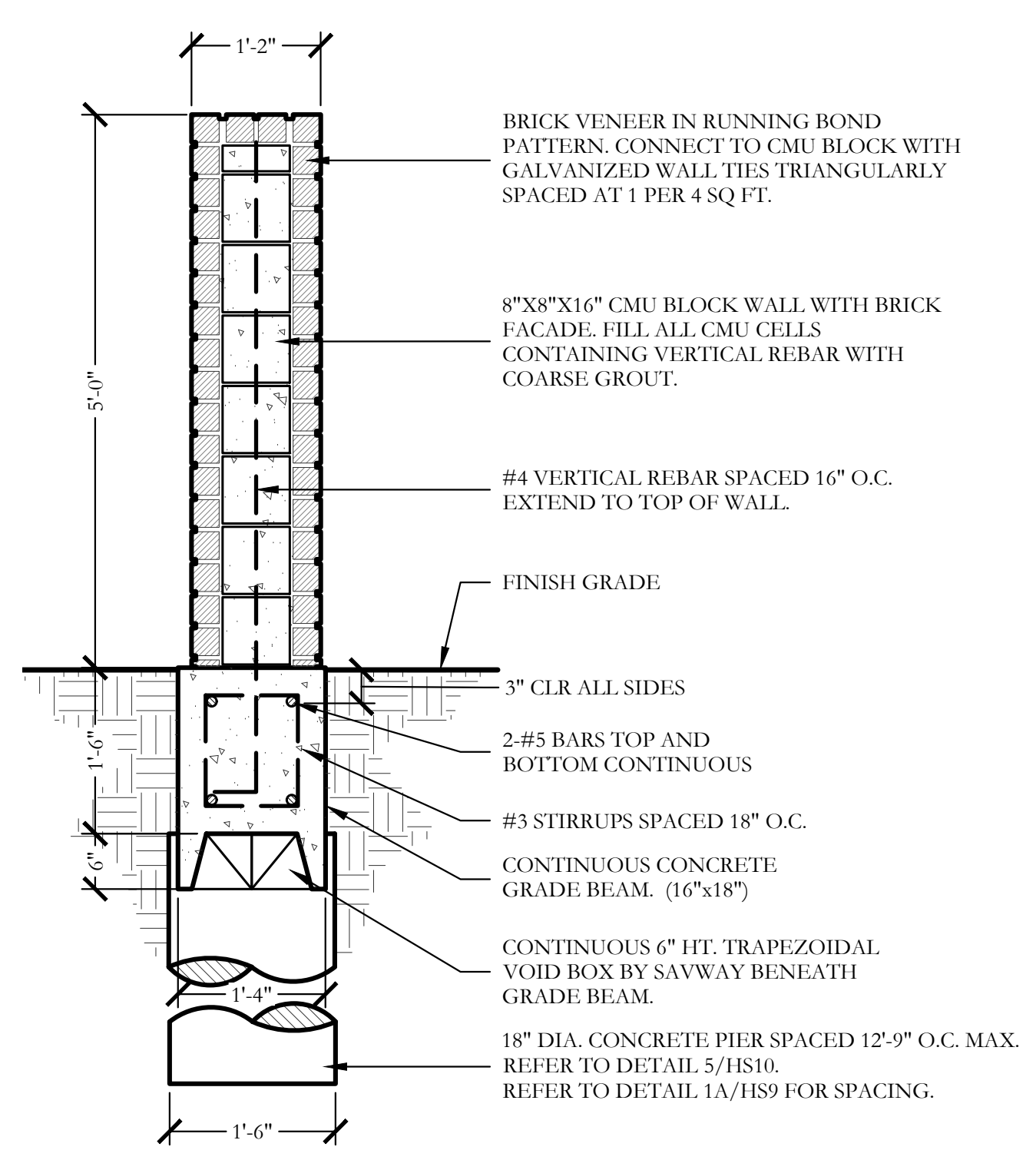
3 TYP. METAL POST FOOTING
 SECTION SCALE: 1/2"=1'-0"



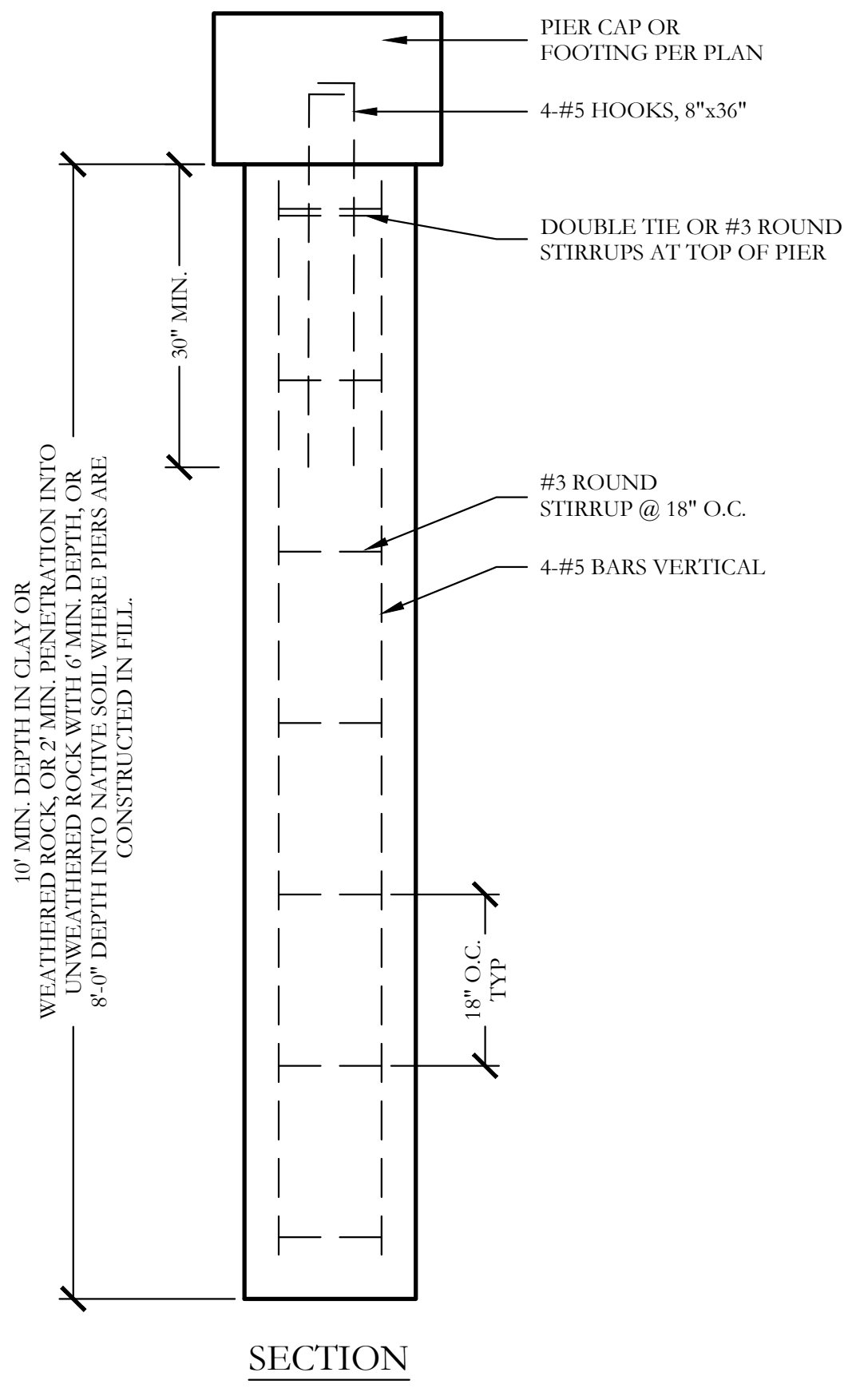
PLAN/SECTION



2 7'-0" HT. STONE COLUMN
 SECTION SCALE: 3/4"=1'-0"



4 5'-0" HT. BRICK ACCENT WALL
 SECTION SCALE: 3/4"=1'-0"



5 PIER (18" DIA.)
 PLAN / SECTION SCALE: 3/4"=1'-0"

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