



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 2686 S Goliad St (SH205)

SUBDIVISION: Estep Subdivision LOT: 1 BLOCK: A

GENERAL LOCATION: 615 feet south of Sids Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD-44 CURRENT USE: Commercial

PROPOSED ZONING: _____ PROPOSED USE: Recreation Facility

ACREAGE: 1.57 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rayburn County Electric Coop.	<input type="checkbox"/> APPLICANT	R-Delta Engineers Inc
CONTACT PERSON	Stephen Geiger	CONTACT PERSON	Frank A Polma, P.E.
ADDRESS	950 Sids Road	ADDRESS	618 Main Street
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Garland, TX 75040
PHONE	469-402-2112	PHONE	972-494-5031
E-MAIL	sgeiger@rayburnelectric.com	E-MAIL	fapolma@rdelta.com

NOTARY VERIFICATION [REQUIRED]

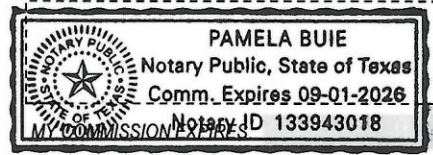
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Naylor [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 331.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF November, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November, 2024

OWNER'S SIGNATURE: [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]



0 30 60 120 180 240 Feet

SP2024-046: Site Plan for 2686 S. Goliad Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE INFORMATION:

EXISTING ZONING: PD-44
 PROPOSED ZONING: NO CHANGE
 PROPOSED USE: PICKLEBALL COURTS
 TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING
 MAXIMUM BUILDING HEIGHT: 60 FT
 MAXIMUM LOT COVERAGE: 60%
 MAXIMUM FLOOR AREA RATIO: 4:1
 MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 30'-4"
 PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
 PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
 PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%

REQUIRED PARKING:
 PROPOSED BUILDING 4650 SQ FT
 (3:COURT & 1:200) = 30 SPACES

TOTAL REQUIRED PARKING = 30 SPACES
 TOTAL PROVIDED PARKING = 18 SPACES

EXISTING SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
7	1	8

PROPOSED SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
17	1	18

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	MACHINE	HAND
FIRE LANE	6"	3,600	6.0	6.5	6.5
DRIVEWAYS	6"	3,600	6.0	6.5	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5	6.5
SIDEWALKS	4"	3,000	N/A	5.5	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5	5.5

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE
0	11/13/2024	RDE	FAP	RDE	ISSUED FOR REVIEW

REC
Rayburn Electric
 COOPERATIVE

618 Main Street
 Garland, TX 75040
 Ph. (972) 494-5031
 Fax (972) 487-2270
 www.rdelta.com
 TBPE No. F-1515

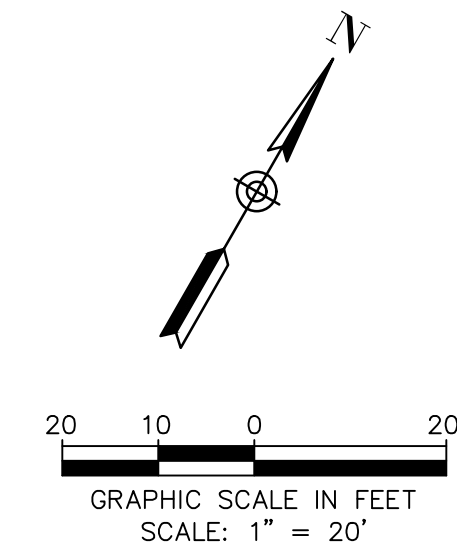
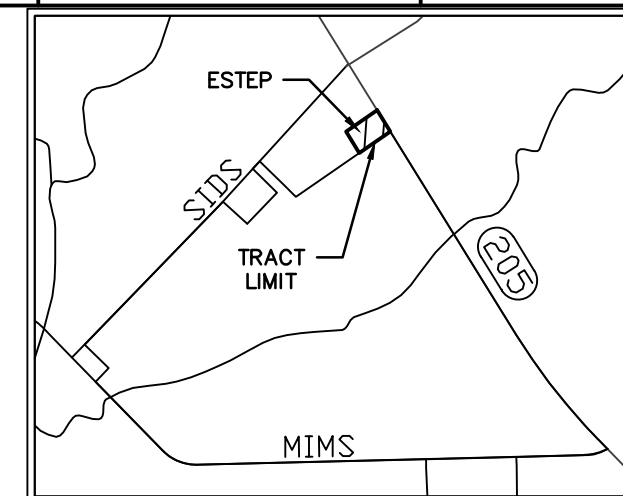
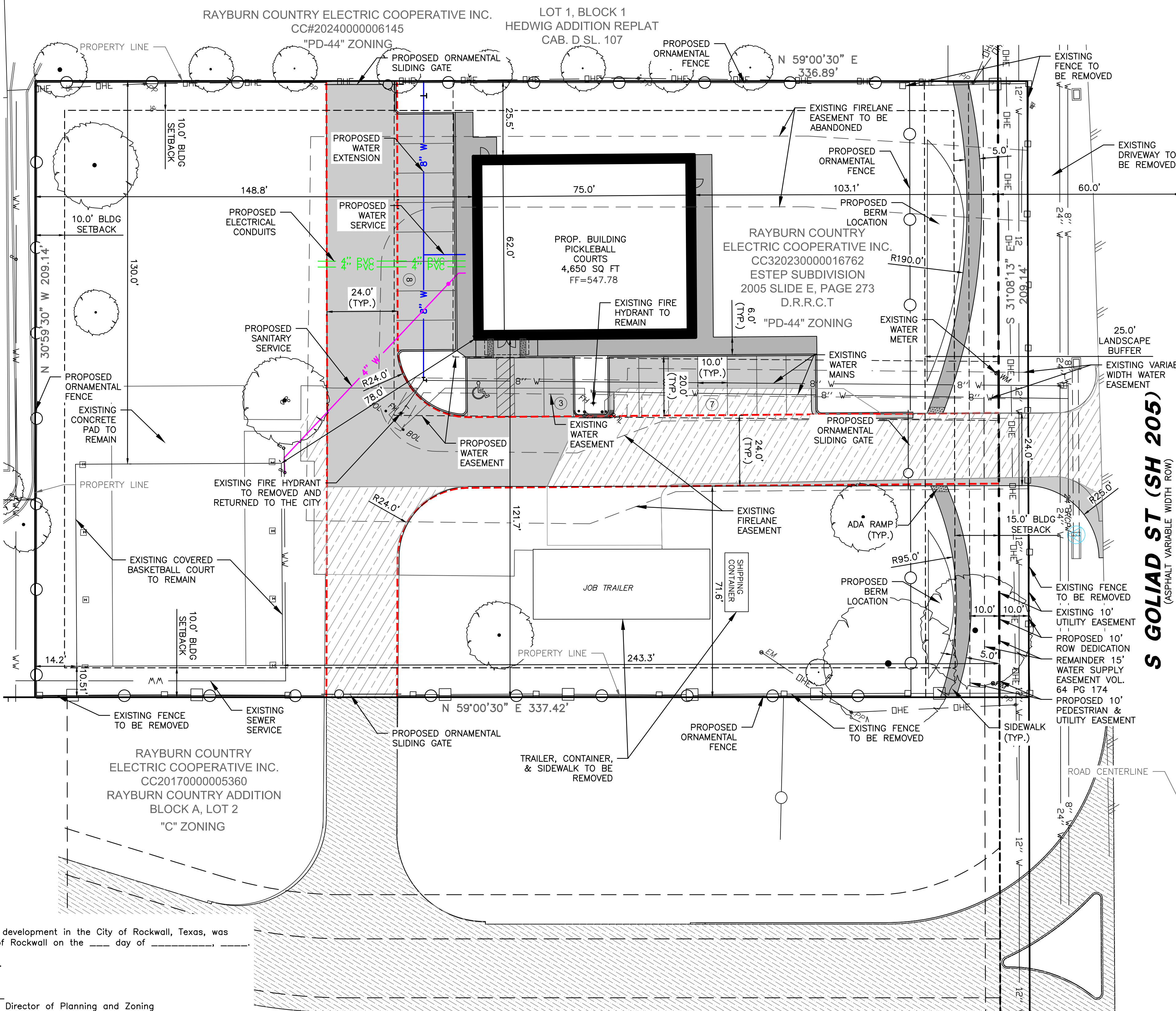
rdelta
 ENGINEERS

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY FRANK A. POLMA, P.E. 80274 ON NOVEMBER 13, 2024. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

JOB NO. 3036-21	DESIGN BY AGU
CREATED	CODE
PLOTTED 11/13/2024	CHECKED BY RDE
LAST UPDATE BY	
DRAWN: RDE	SCALE: AS NOTED
CHECKED:	DRAWING NO.: SP-1
APPROVED:	ISSUE: 0
FILENAME:	

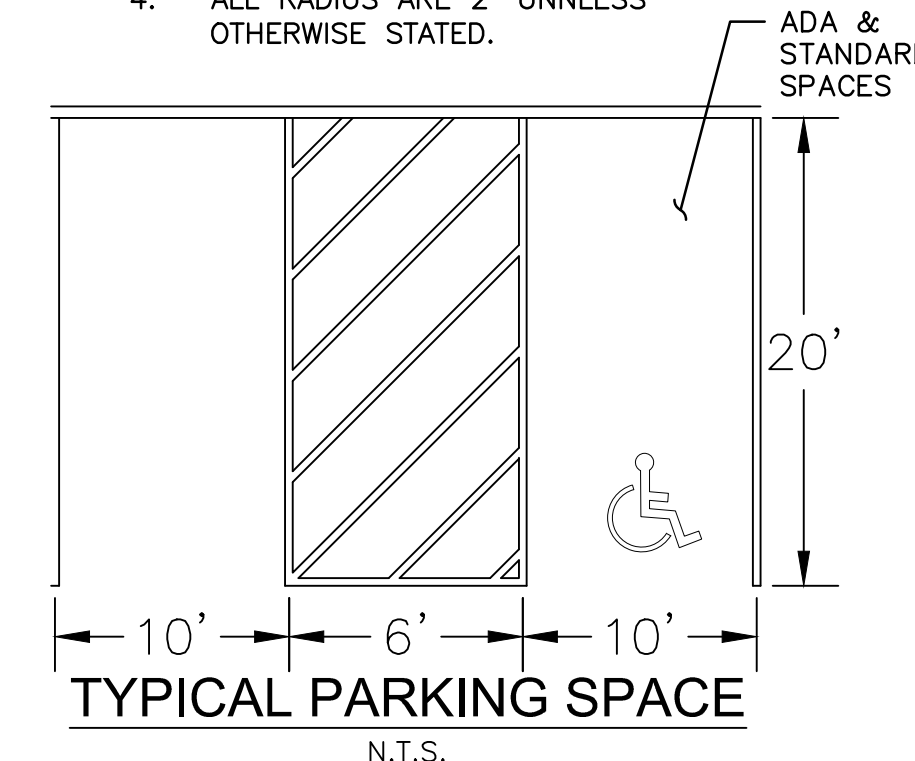
REC CAMPUS EXPANSION
PICKLEBALL COURT
 2686 S GOLIAD ST (SH 205)
 ROCKWALL, TX 75032

CASE #
CITY SITE PLAN SUBMITTAL



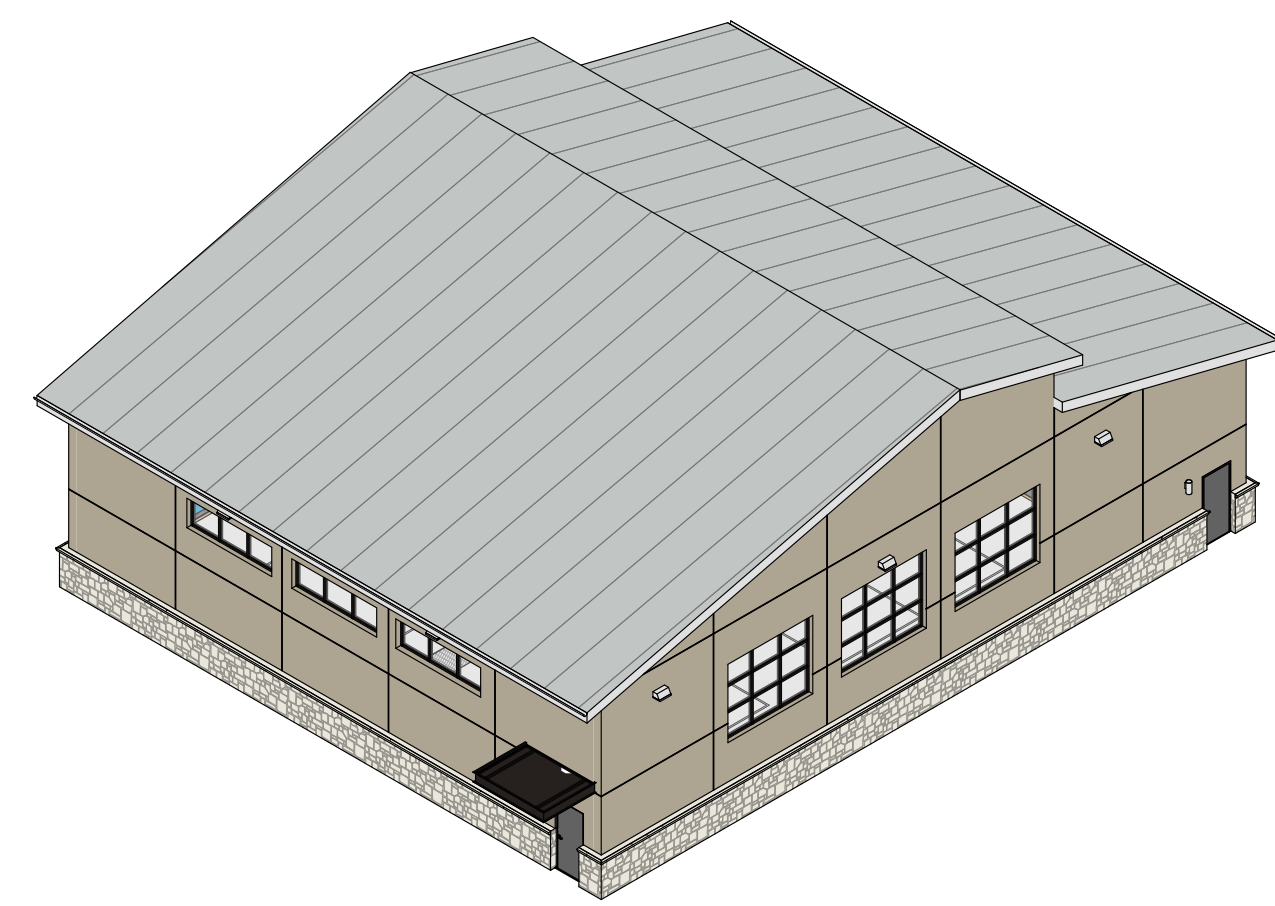
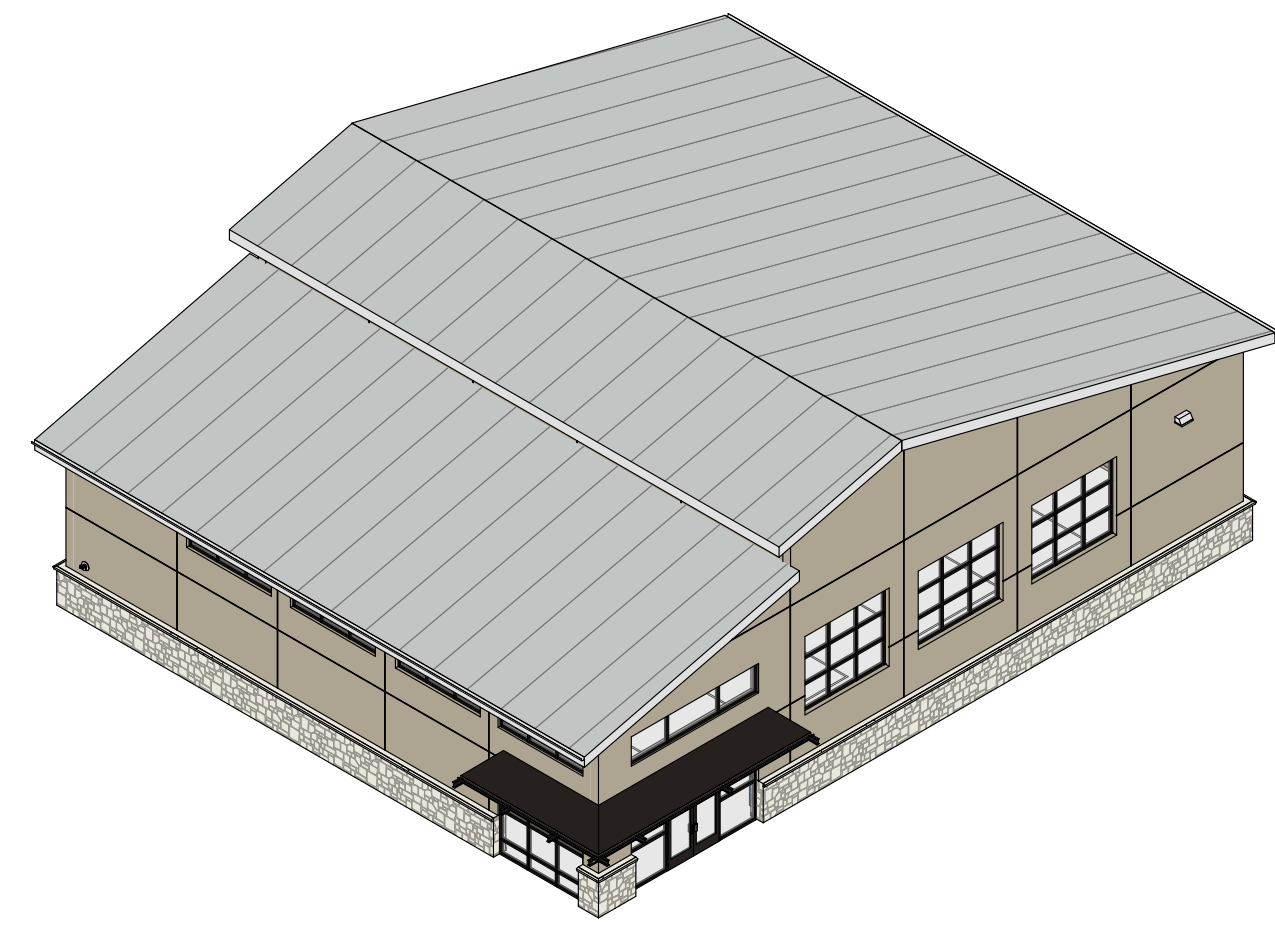
NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- EXISTING UTILITY, WATER, AND FIRELANE EASEMENT TO BE REPLATTED FOR NEW SITE LAYOUT.
- ALL RADIUS ARE 2' UNLESS OTHERWISE STATED.



LEGEND

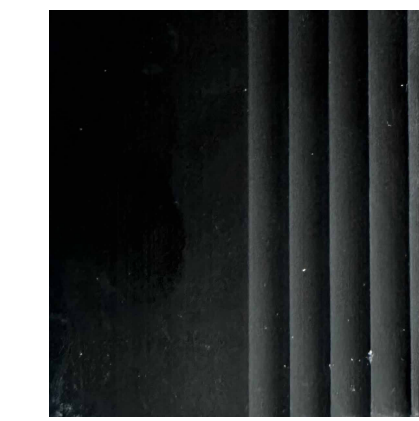
- ARCHITECT**
 MCCARTHY ARCHITECTURE
 1000 N. FIRST ST.
 GARLAND, TX 75040
- LANDSCAPE ARCHITECT**
 DUNKIN SIM STOFFELS, INC.
 4305 PECAN GROVE LANE
 ROWLETT, TX 75088
- OWNER/ APPLICANT**
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087
 469-402-2100
- CIVIL ENGINEER**
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040
 TBPE No. F-1515
- EM EX. ELECTRIC METER
 - ICV EX. IRRIGATION CONTROL VALVE
 - B EX. BOLLARD
 - WM EX. WATER METER
 - SSMH EX. SANITARY SEWER MANHOLE
 - EB EX. ELECTRIC BOX
 - FH EX. FIRE HYDRANT
 - X" W EX. WATER MAIN PIPE
 - X" WW EX. WASTE WATER MAIN PIPE
 - XX" RCP EX. EXISTING CONCRETE PIPE & SIZE
 - EXISTING WROUGHT IRON FENCE
 - EXISTING CHAIN LINK FENCE
 - OPP EX. EXISTING POWER POLE
 - OHE EX. EXISTING OVERHEAD ELECTRIC
 - EXISTING GUY WIRE
 - EXISTING FLOOD LIGHT
 - EDGE OF ASPHALT
 - PROPOSED ORNAMENTAL FENCE
 - BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
 - ACCESSIBLE AISLE STRIPING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE PAVEMENT
 - EXISTING SITE CONCRETE PAVEMENT TO REMAIN
 - EXISTING CAMPUS CONCRETE PAVEMENT TO REMAIN



STUCCO -
SW9111 VELVET
ANTLER



STONE - TBD



DARK BRONZE
ALUM. FRAME



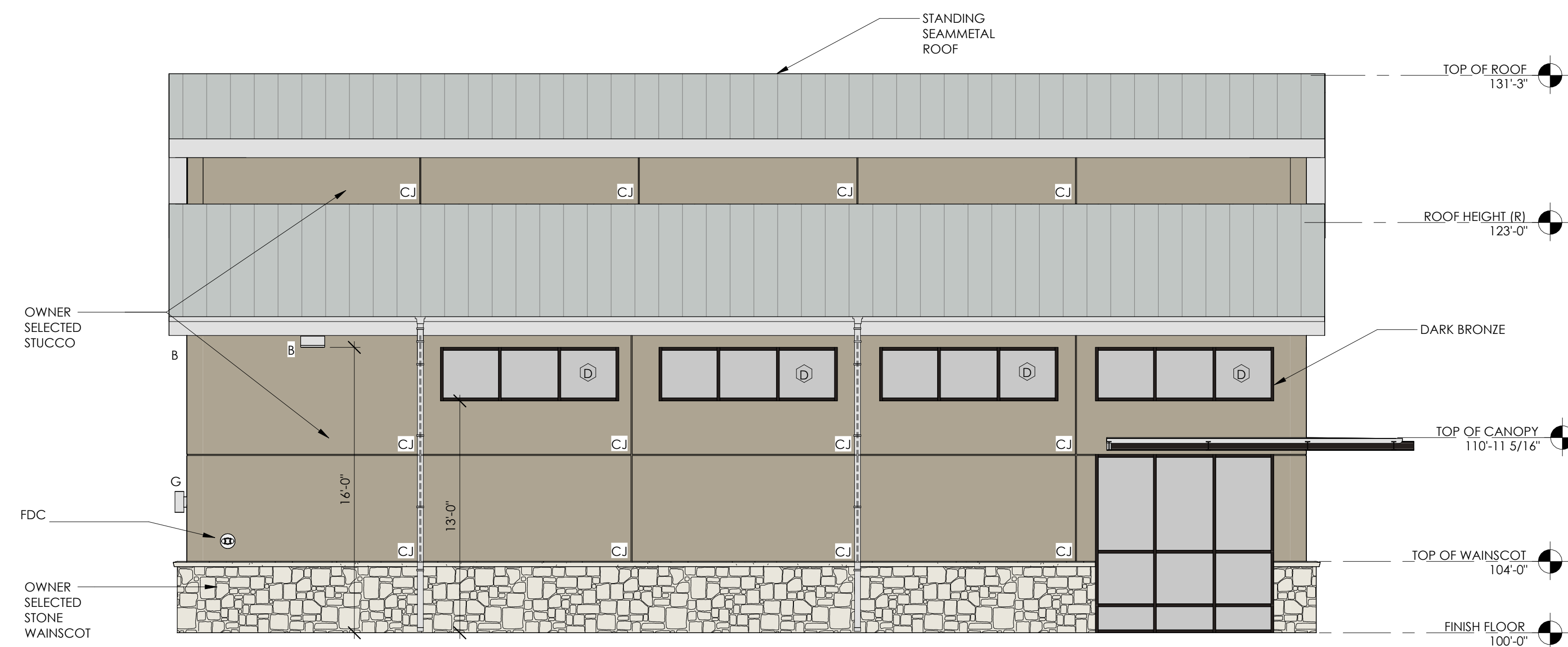
GALVALUME

BUILDING MATERIAL CALCULATIONS FOR WALLS

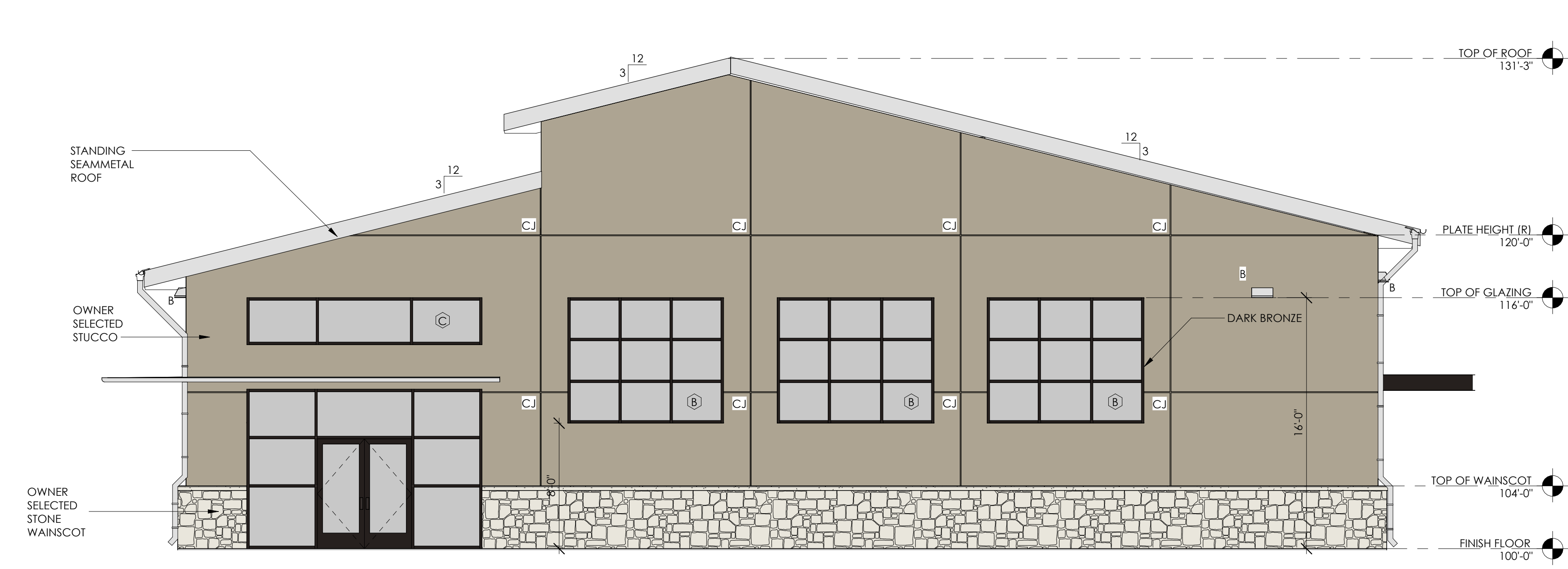
CATEGORIES	WEST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1612.22 S.F.	100%
Galvalume roof	635.85 S.F.	39.4%
Stucco - Velvet antler SW 9111	762.85 S.F.	47.4%
Stone - TBD	213.52 S.F.	13.2%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	SOUTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1391.16 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1145.22 S.F.	82.32%
Stone - TBD	245.94 S.F.	17.68%



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"



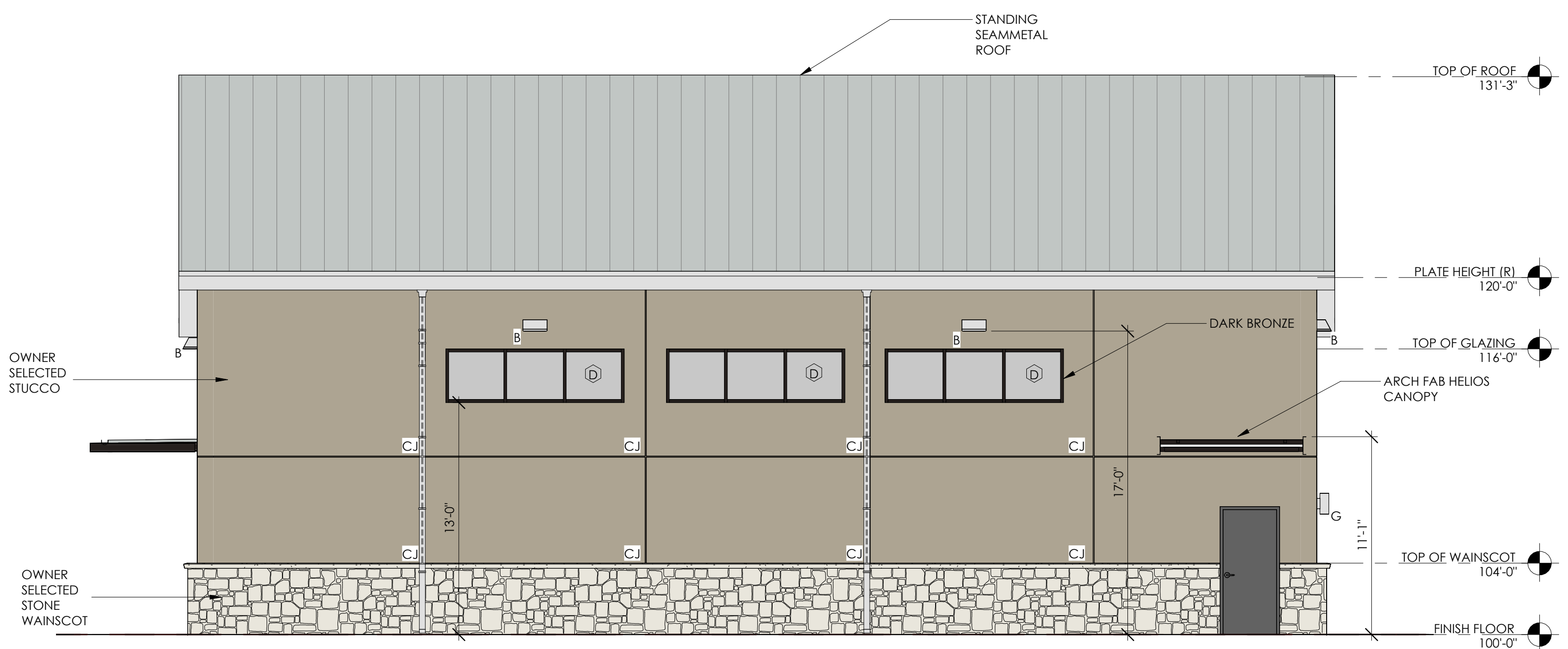
3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL CALCULATIONS FOR WALLS

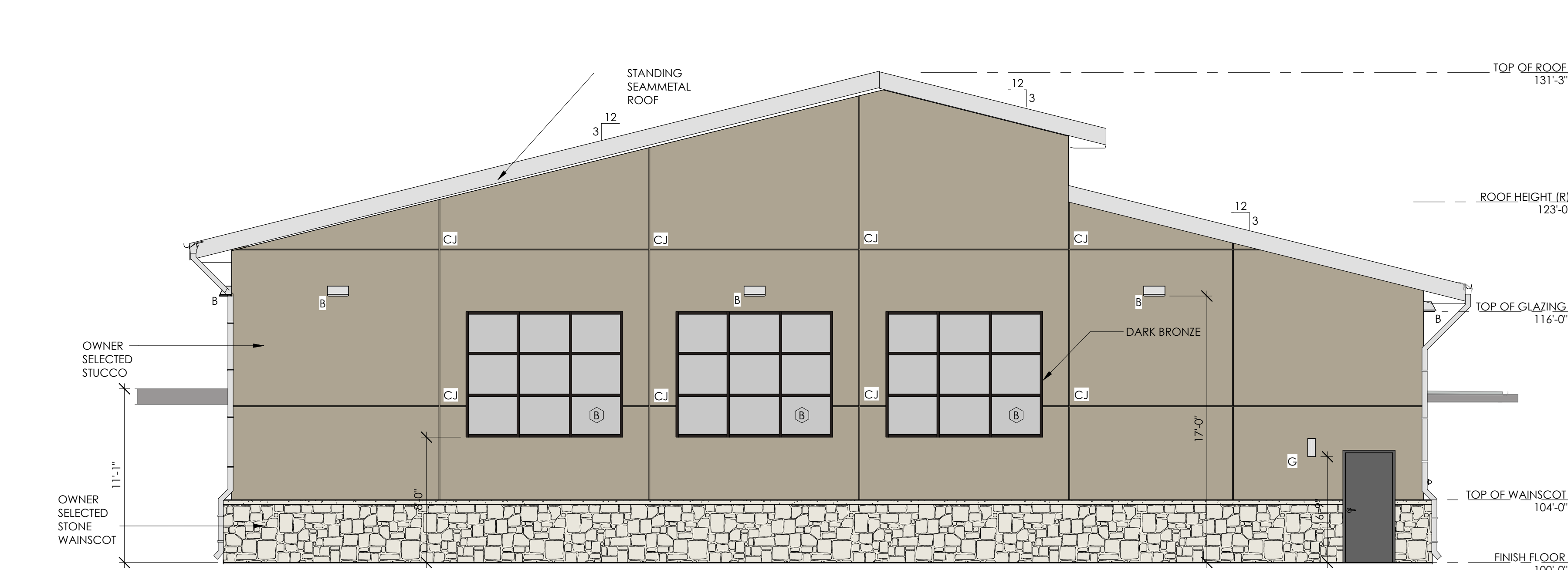
CATEGORIES	EAST	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1793.7 S.F.	100%
Galvalume roof	701.29 S.F.	39.1%
Stucco - Velvet antler SW 9111	852.22 S.F.	47.5%
Stone - TBD	240.19 S.F.	13.4%

BUILDING MATERIAL CALCULATIONS FOR WALLS

CATEGORIES	NORTH	PERCENT
TOTAL SQ FT. - EXCLUDING WINDOWS AND DOORS	1564.3 S.F.	100%
Galvalume roof	0 S.F.	0%
Stucco - Velvet antler SW 9111	1271.70 S.F.	81.3%
Stone - TBD	292.60 S.F.	18.7%



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

LANDSCAPE REQUIREMENTS
Total Site Area - 70,511 SF = 1.619 Acres

Site Landscape Area
Total Site Landscape Area - 46,278 SF = 65% of Site

45,361 SF TURF PROVIDED
917 SF LANDSCAPE PLANTING BED PROVIDED

Landscape Buffer Components Street Frontage- SH 205
Total (25' Wide) Required Landscape Buffer Area - 5,225 SF
Total (30' Wide) Provided Landscape Buffer Area - 6,270 SF

917 SF OF LANDSCAPE BED
4,308 SF OF TURF PROVIDED

Landscape Buffer Trees Street Frontage- SH 205
Street Frontage Length - 209 LF
3 Canopy Tree per 100 LF of Street Frontage (Min. 4" Cal.)
4 Accent Tree per 100 LF of Street Frontage (4' Ht. Min.)

7 CANOPY / 9 ACCENT TREES REQUIRED
7 CANOPY / 9 ACCENT TREES PROVIDED

Landscape Parking Trees
1 Canopy Tree/ 10 parking spaces
1 Tree within 80' of each parking space

2 TREES REQUIRED
3 TREES PROVIDED

IRRIGATION:
An automatic irrigation system will be installed by the Owner, to water the required landscape improvements. Irrigation plans to be provided.

NOTE:
Landscape Plans shall meet requirements in the Unified Development Code-Article 8 and the 205 PD-044 with exceptions granted to Owner.

Trees that are existing within the landscape buffer or limbs that enter into the landscape buffer shall be pruned by a certified arborist. It shall be pruned to allow for sunlight to filter through existing tree to facilitate success of newly planted trees.

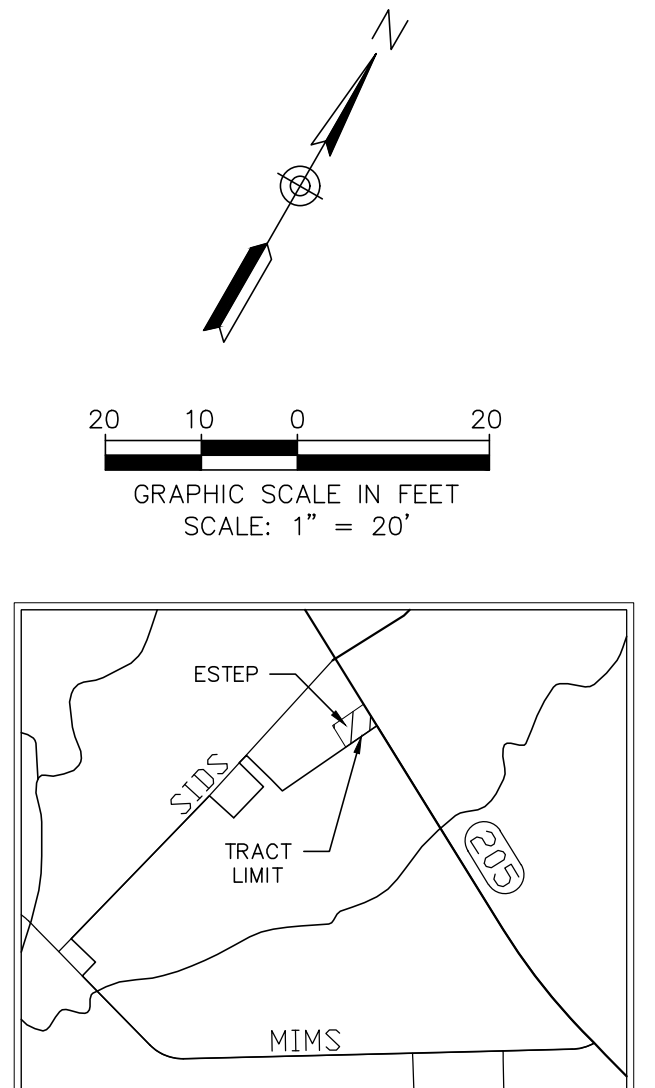
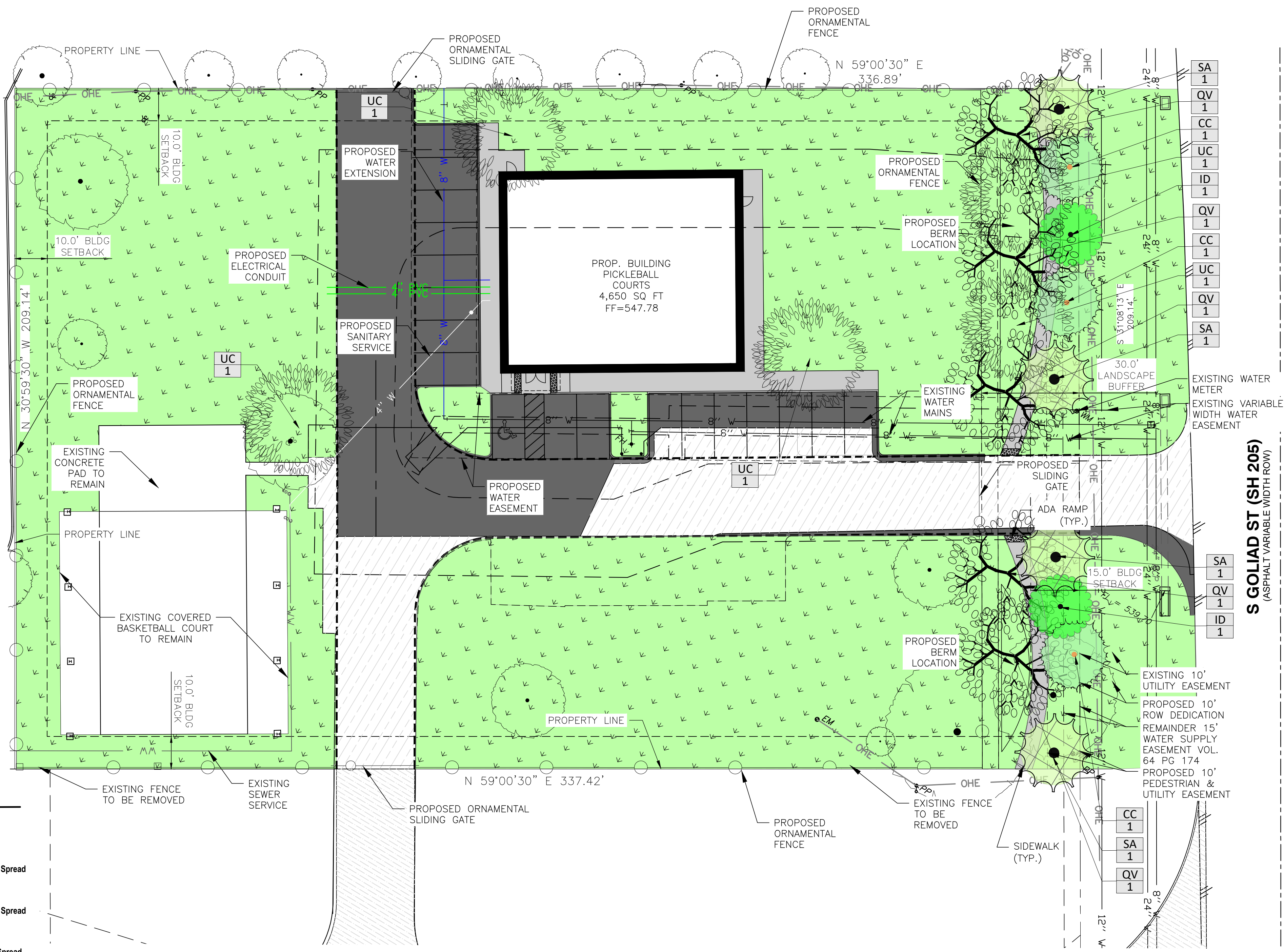
LEGEND

LO 3 PLANT SYMBOL, REF. PLANT SCHEDULE
PLANT QUANTITY

EXISTING TREES TO REMAIN

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	QV	5	Quercus virginiana	Live Oak	65 gal.	Cont.	4" Caliper, Min 12' Height, 7' Spread
	UC	5	Ulmus crassifolia	Cedar Elm	65 gal.	Cont.	4" Caliper, Min 12' Height, 7' Spread
	CC	3	Cercis canadensis	Red Bud	45 gal.	Cont.	3" Caliper, Min 6' Height, 4' Spread
	ID	2	Ilex decidua	Possumhaw Holly	45 gal.	Cont.	3" Caliper, Min 6' Height, 4' Spread
	SA	4	Sophora affinis	Eve's Necklace	45 gal.		3" Caliper, Min 6' Height, 4' Spread
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	Ber c11	46,612 s.f.	Bermuda species	Common Bermuda	Common Bermuda Grass	---	Solid Sod



SITE INFORMATION:

EXISTING ZONING: PD-44
PROPOSED ZONING: NO CHANGE
PROPOSED USE: PICKLEBALL COURTS
TOTAL AREA: 70,511 SQ FT 1.619 AC

"PD-44" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
MAXIMUM LOT COVERAGE: 60%
MAXIMUM FLOOR AREA RATIO: 4:1
MAXIMUM IMPERVIOUS PARKING: 85% TO 90%

PROPOSED MAX. BUILDING HEIGHT: 30'-4"
PROPOSED LOT COVERAGE: 33,339/70,511 = 47.3%
PROPOSED FLOOR AREA RATIO: 4,650/70,511 = 6.6%
PROPOSED IMPERVIOUS PARKING: 5,580/70,511 = 7.9%

EXISTING PARKING:
EXISTING JOB TRAILER TO BE REMOVED LEAVING NO BUILDINGS

REQUIRED PARKING:
PROPOSED BUILDING 4650 SQ FT (3:COURT & 1:200) = 30 SPACES

TOTAL REQUIRED PARKING = 30 SPACES
TOTAL PROVIDED PARKING = 18 SPACES

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

0	11/14/2024	BS	BS	BS	ISSUED FOR REVIEW
REV	DATE	REV.BY	P.M.	ENG.	REVISION/RELEASE

REC
Rayburn Electric
COOPERATIVE

618 Main Street
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Ph. (972) 494-5031
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ENGINEERS



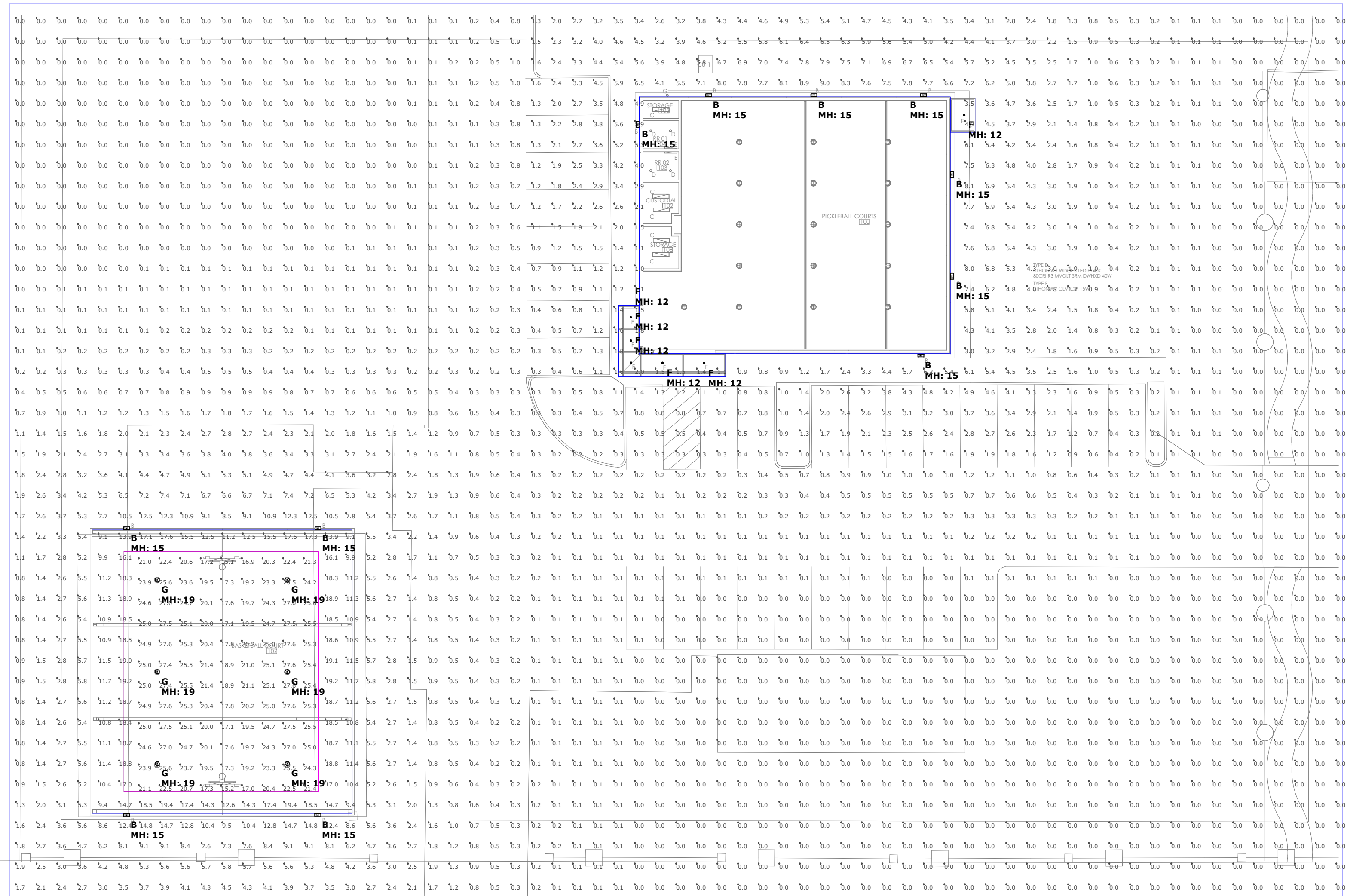
THE CROSSHAIR APPEARING ON THIS DOCUMENT IS VOID IF, AND ONLY IF, ACCOMPANIED BY AN ORIGINAL SIGNATURE OF THE REGISTRANT AND DATE OF EXECUTION. DOCUMENTS NOT BEARING EACH OF THE 3 AFFORSAID ITEMS SHALL BE CONSIDERED INCOMPLETE AND SHALL NOT BE USED FOR CONSTRUCTION, PERMIT, OR BIDDING PURPOSES.

THIS DRAWING IS RELEASED FOR REVIEW FOR BIDDING, CONSTRUCTION AND PERMITTING UNDER THE AUTHORITY OF ROBERT P. STOFFELS, LA #1025 ON OCTOBER 24, 2024.

JOB NO.	3036-21	DESIGN BY	BS
CREATED		CODE	
PLOTTED	11/14/2024	CHECKED BY	BS
LAST UPDATE BY			
DRAWN:	MW	SCALE:	AS NOTED
CHECKED:		DRAWING NO.:	
APPROVED:		ISSUE:	
FILENAME:			

REC CAMPUS EXPANSION
PICKLEBALL COURT
2686 S GOLIAD ST (SH 205)
ROCKWALL, TX 75032

CASE #
LANDSCAPE PLAN



Luminaire Schedule										
Symbol	Type	Qty	Manufacturer / Catalog Number			Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
□	B	11	LITHONIA WDGE3 LED P1 40K 80CRI R3 MVOLT SRM DWHXD			7524	51.172	1.000	0.850	1.000
⊙	F	6	LITHONIA OLVTCM			590	15.3	1.000	0.850	1.000
○	G	6	LITHONIA REBL ALO13 (18000LM) MD UVOLT SSW3 (40K) 80CRI (FINISH)			19371	118.4	1.000	0.850	1.000

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
SITE Planar	0	Fc	1.51	19.4	0.0	N.A.	
BASKETBALL COURT	0	Fc	22.84	27.6	15.1	1.51	

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.
2. Calculation values are at height indicated in summary table.
3. Mounting heights are designated on drawing with "MH."
4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.