



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Amenity Center within Terraces

SUBDIVISION: Terraces

LOT: 18

BLOCK: A

GENERAL LOCATION: at the corner of Terraces Boulevard and Canyon Drive

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Single Family Residential

CURRENT USE: Private Recreational Center

PROPOSED ZONING: Single Family Residential

PROPOSED USE: Private Recreational Center

ACREAGE: .52

LOTS [CURRENT]: 1

LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: TM Terraces, LLC

APPLICANT: Johnson Volk Consulting

CONTACT PERSON: \_\_\_\_\_

CONTACT PERSON: Cody Johnson

ADDRESS: 4416 W. Lovers Lane Suite 200

ADDRESS: 704 Central Parkway East  
Suite 1200

CITY, STATE & ZIP: Dallas, TX 75209

CITY, STATE & ZIP: Plano, TX 75074

PHONE: (214)577-1431

PHONE: (972) 201-3100

E-MAIL: \_\_\_\_\_

E-MAIL: cody.johnson@johnsonvolk.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bobby Harrell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF June 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF June 20 24

OWNER'S SIGNATURE: \_\_\_\_\_


*Bobby Harrell*  
*Betsy Lea Luttrell*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

ROTARY PUBLIC STATE OF TEXAS  
BETSY LEA LUTTRELL  
Notary ID #129487170  
My Commission Expires July 12, 2025  
MY COMMISSION EXPIRES 07.12.2025





Case Location Map = 



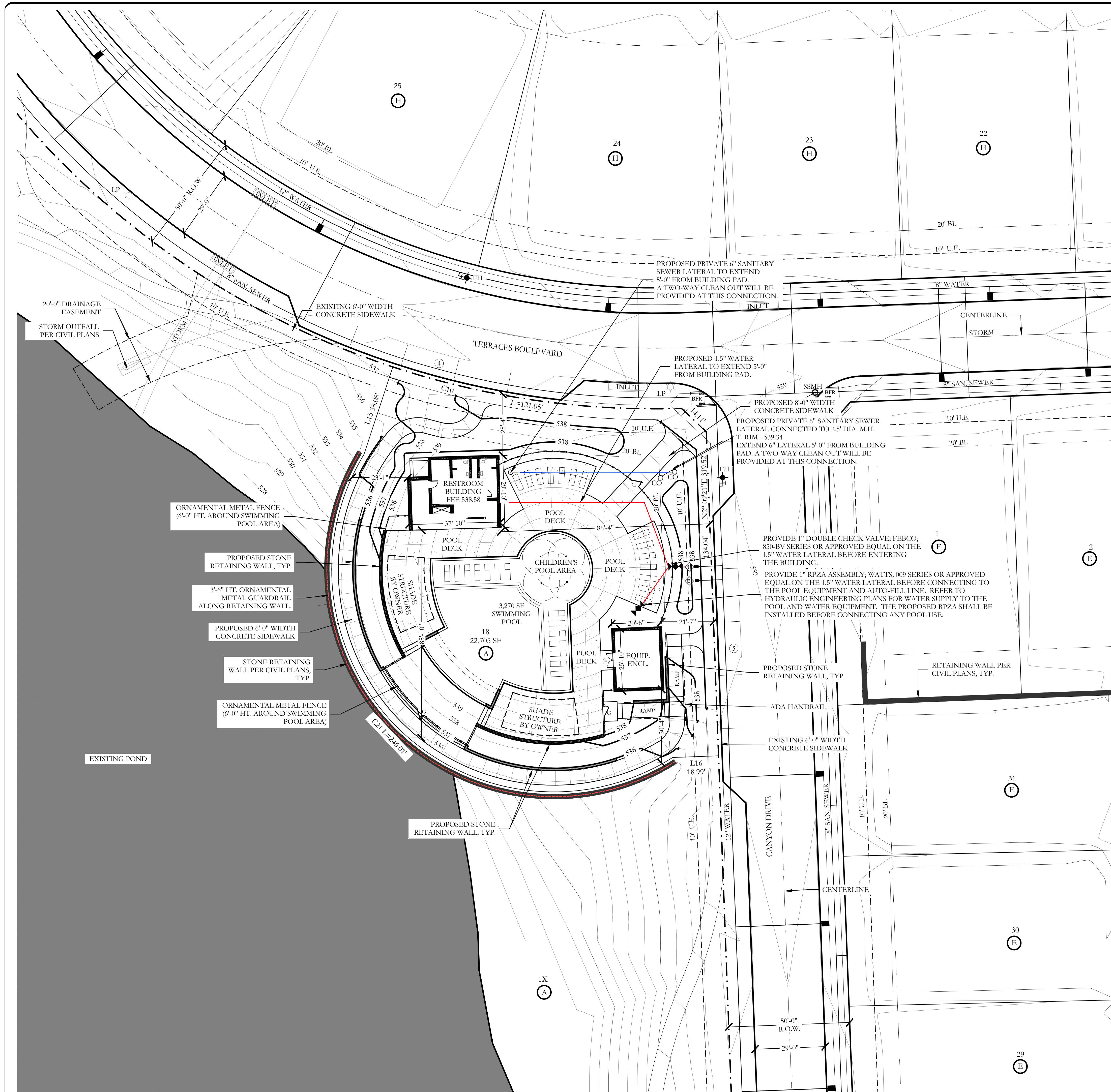
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**LEGEND**

④	EXISTING PARKING COUNT	◊	EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	◊	EXISTING 1.5" IRRIGATION WATER METER
FH	EXISTING FIRE HYDRANT	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
○	EXISTING SANITARY SEWER MANHOLE	—	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
—	EXISTING WATER MAIN W/ VALVE	—	PROPOSED STONE RETAINING WALL
—	EXISTING SANITARY SEWER	—	RETAINING WALL PER CIVIL PLANS TYP.
—	EXISTING STORM	—	ADA HANDRAIL
◻	EXISTING CURB INLET	—	3'-6" ORNAMENTAL METAL GUARDRAIL ATOP RETAINING WALL
—	RIGHT-OF-WAY	—	
LP	LIGHT POLE	—	
- - 538 - -	EXISTING CONTOUR INTERVAL		
— 538 —	PROPOSED CONTOUR INTERVAL		
FFE 538.58	FINISHED FLOOR ELEVATION		

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**WATER METER SCHEDULE**

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
◊	1.5"	1.5"	X		6"
◊	1.5"	1.5"		X	

**SITE INFORMATION**

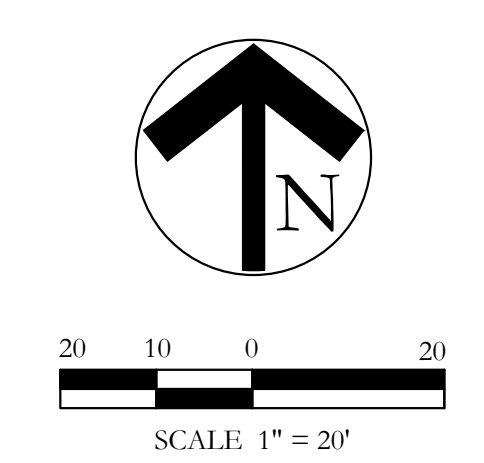
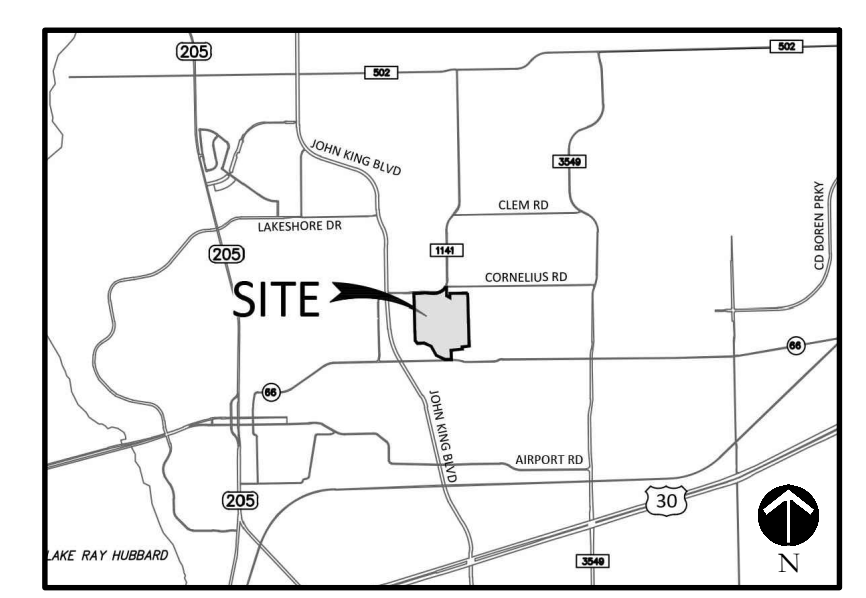
SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 0.52 ACRES  
 22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET  
 BUILDING HEIGHT: 19'-8" (1 STORY)  
 POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET  
 POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 (1,652/22,705)  
 LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF  
 PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%  
 INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF



**SITE PLAN**  
**TERRACES**  
**LOT 18, BLOCK A**  
**~AMENITY CENTER~**

- SITE PLAN NOTES:**
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
  - FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
  - ALL PARKING ON SITE IS EXISTING.
  - THE POOL PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
  - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE H.O.A.

NOTE: RETAINING WALLS OVER 3' IN HEIGHT WILL NEED TO BE ENGINEERED AND A RETAINING WALL PERMIT APPLICATION SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.

BEING 0.52 ACRES SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO. 122  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER/DEVELOPER:**  
 TM TERRACES, LLC  
 4416 W. LOVERS LANE SUITE 200  
 DALLAS, TEXAS 75209  
 PH. 214-577-1431  
 CONTACT: BOBBY HARRELL  
 BOBBY@TERRADFW.COM

**LANDSCAPE ARCHITECT/CIVIL ENGINEER:**  
 JOHNSON VOLK CONSULTING  
 704 CENTRAL PARKWAY EAST, SUITE 1200  
 PLANO, TEXAS 75074  
 PH. 972-201-3100  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI  
 CODY.JOHNSON@JOHNSONVOLK.COM



June 14, 2024



**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

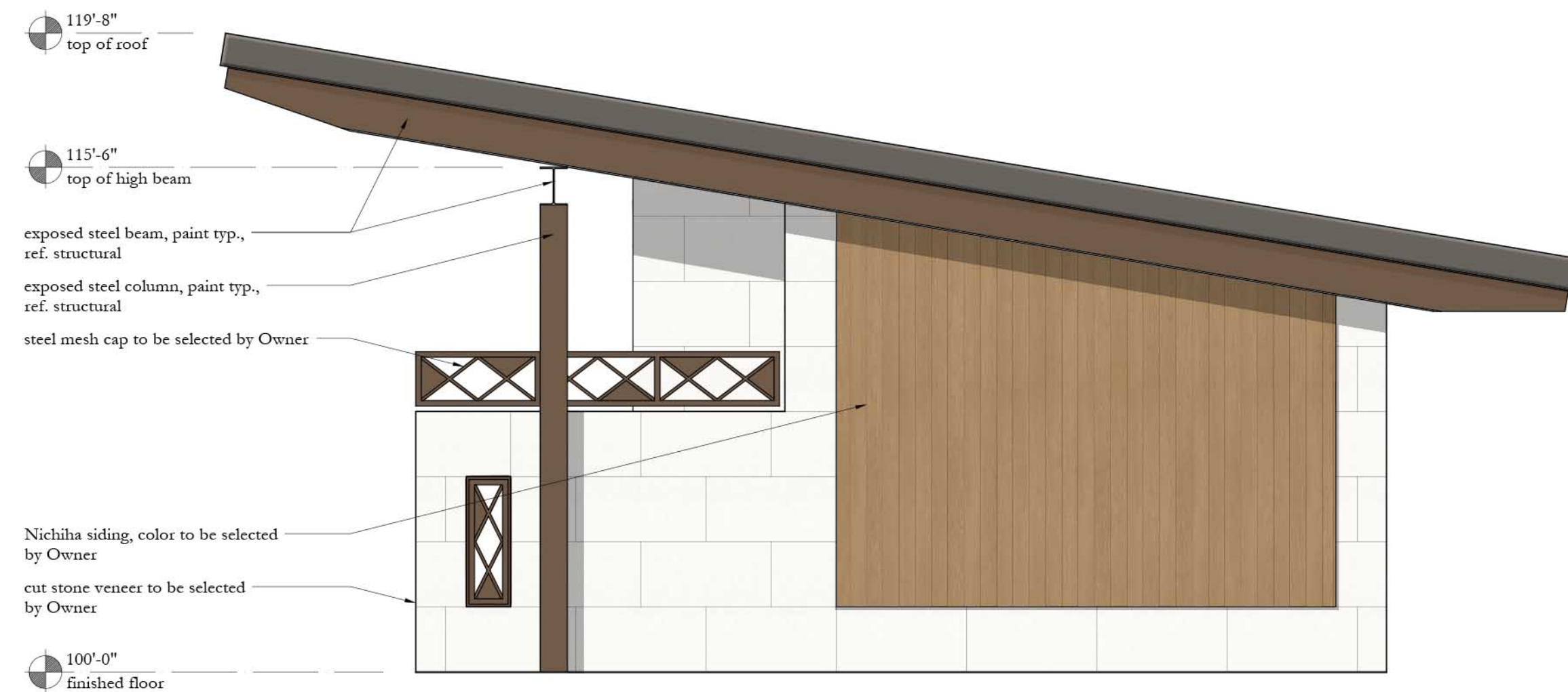
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**BUILDING MATERIAL CALCULATIONS**

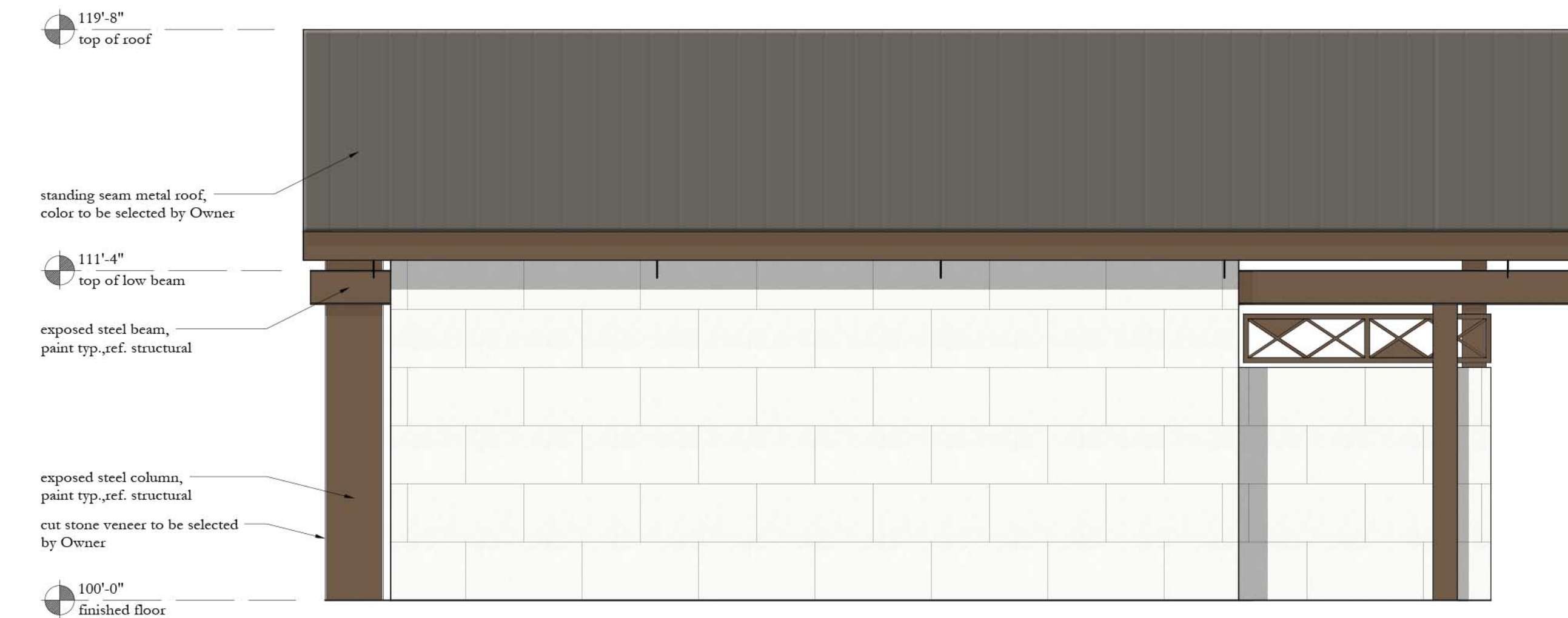
Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	438 S.F.	-	535 S.F.	-	385 S.F.	-	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIIHA FIBER CEMENT SIDING	-	-	-	-	187 S.F.	48.57%	-	-
SECONDARY MATERIALS	-	-	165 S.F.	30.84%	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	165 S.F.	30.84%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	-	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



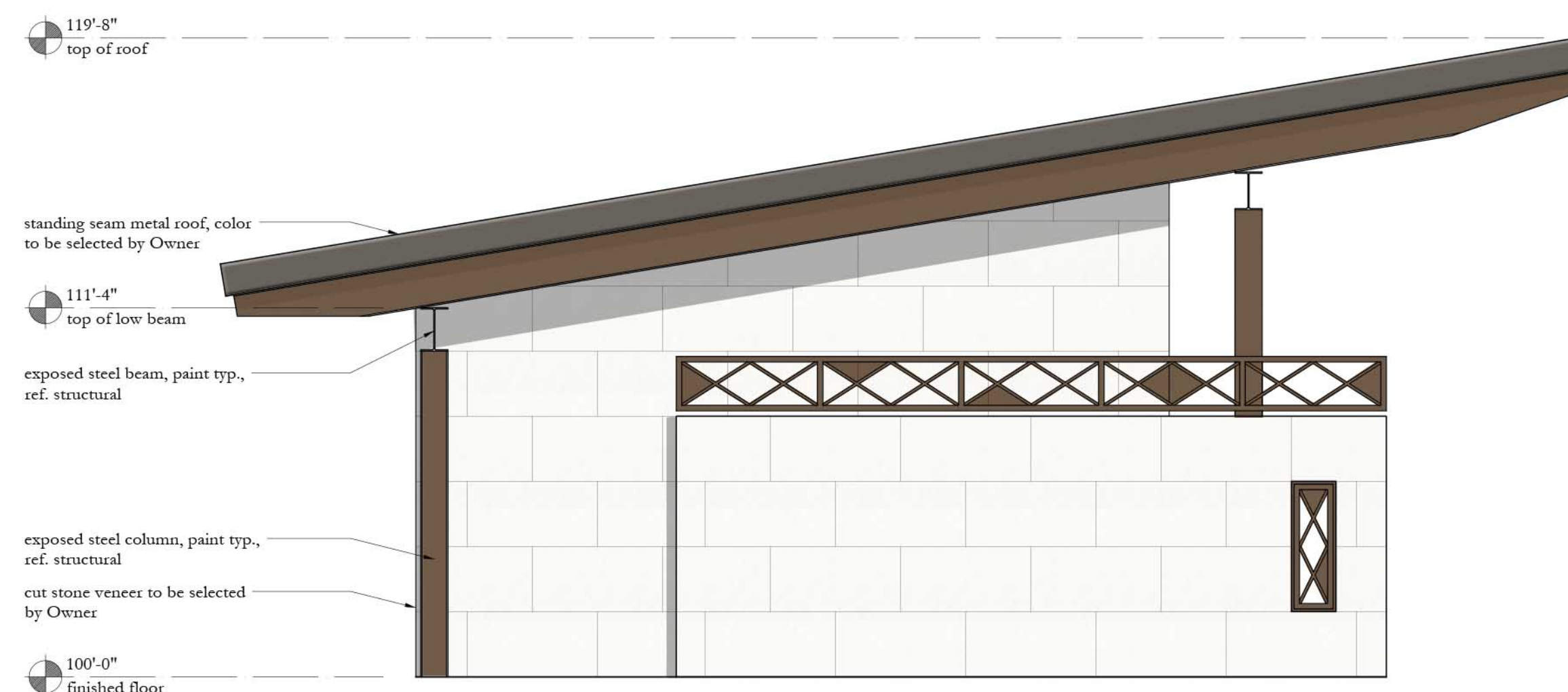
4 EAST ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"



3 NORTH ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"



2 WEST ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"



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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

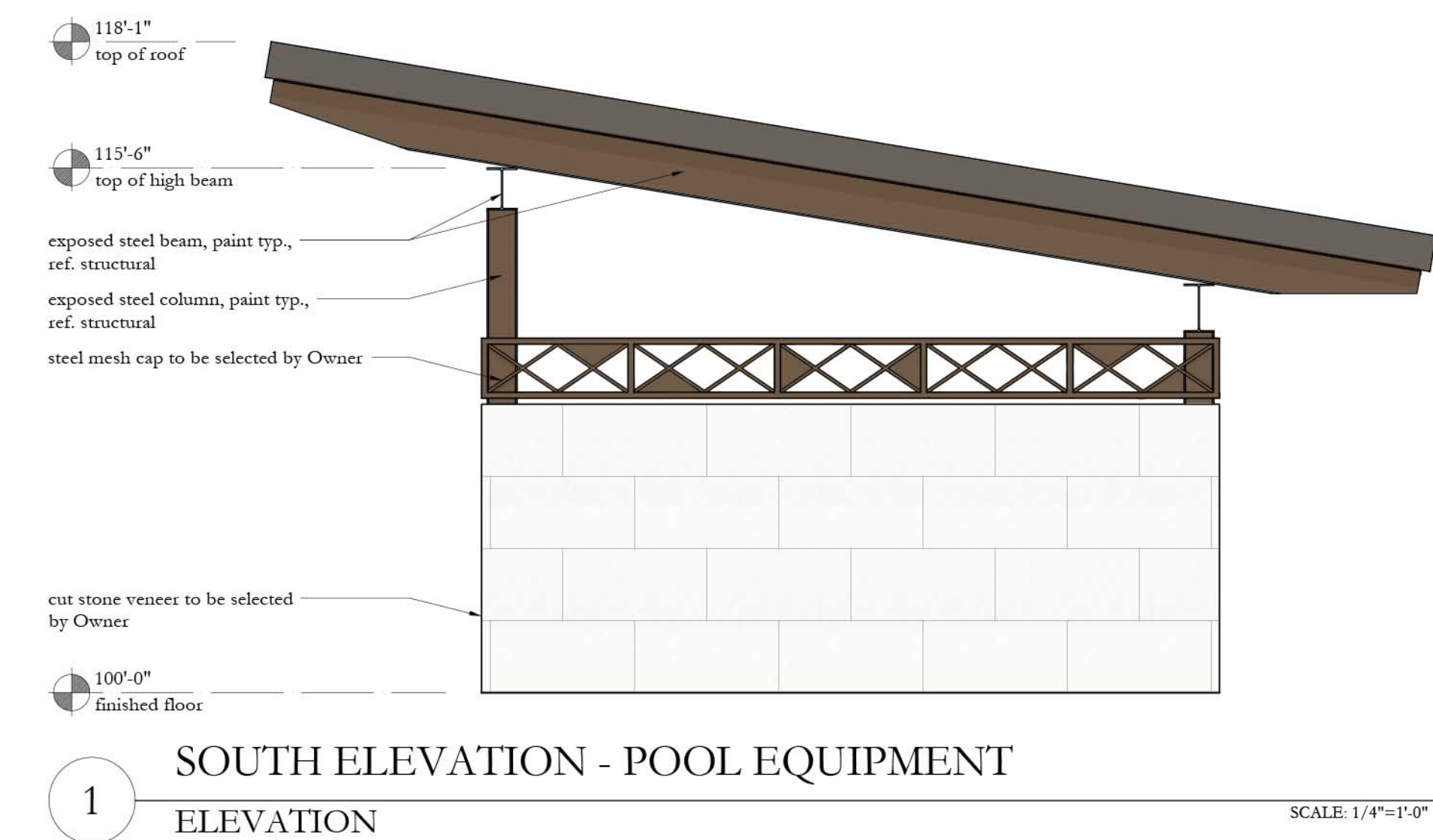
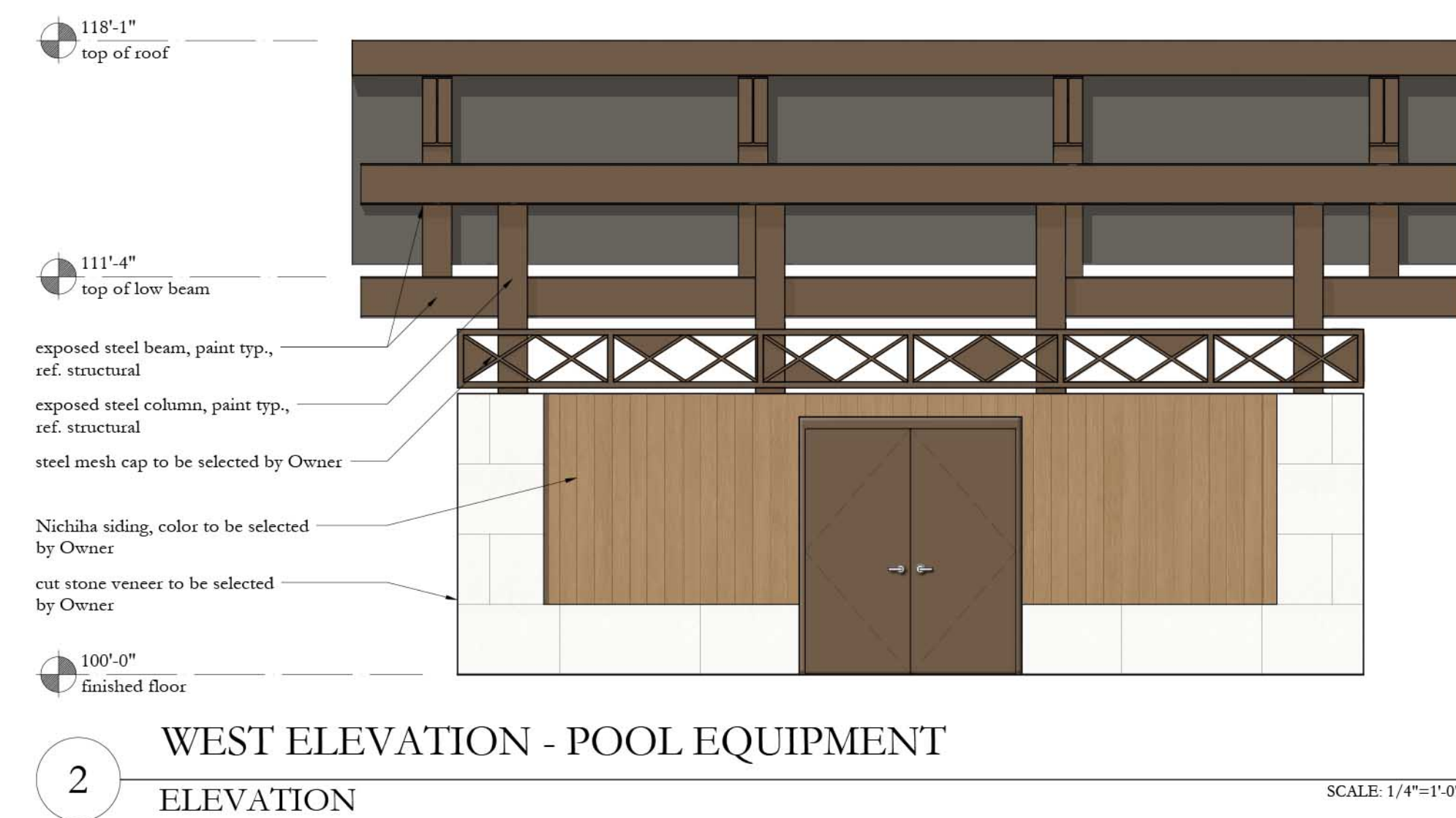
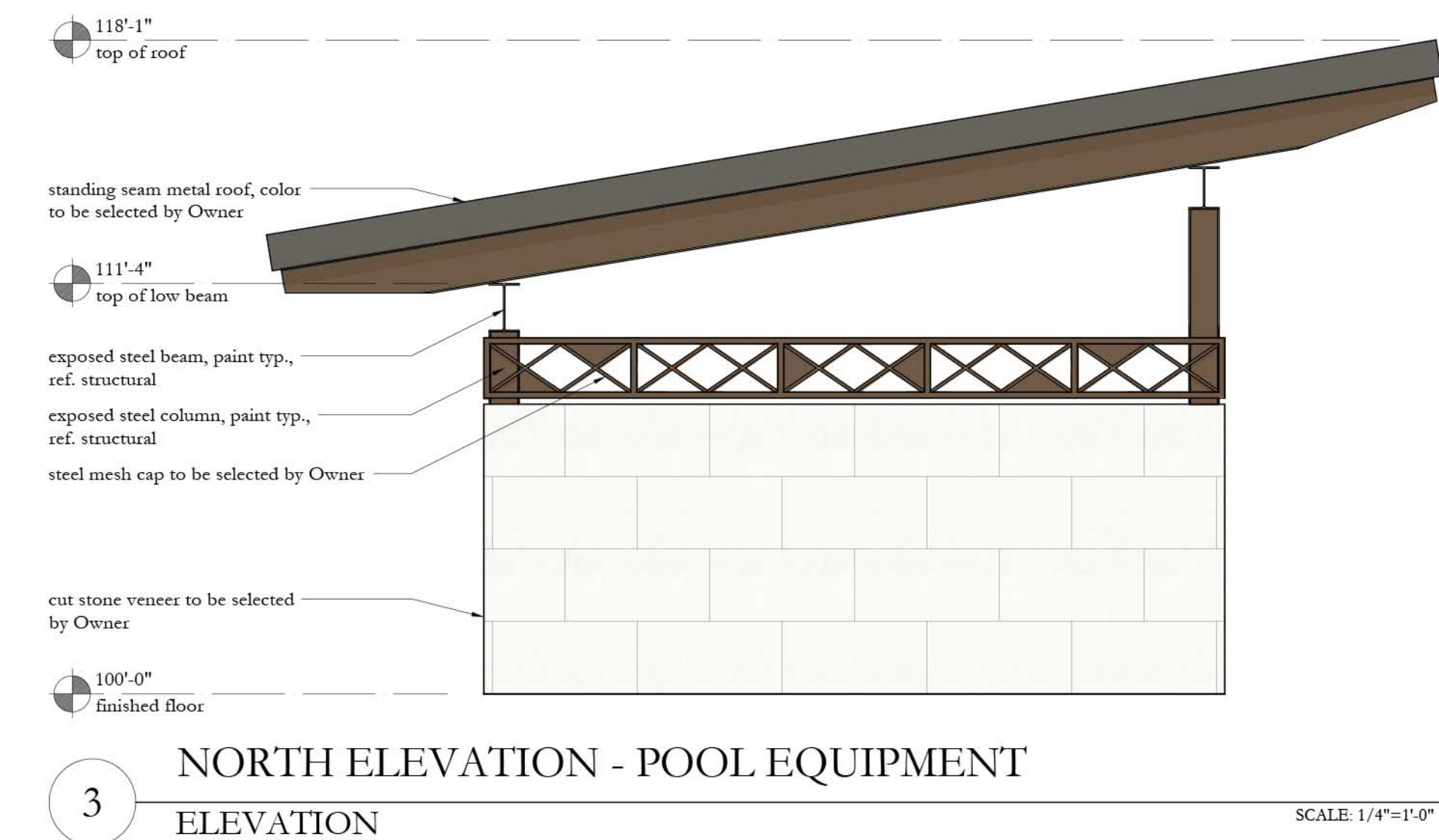
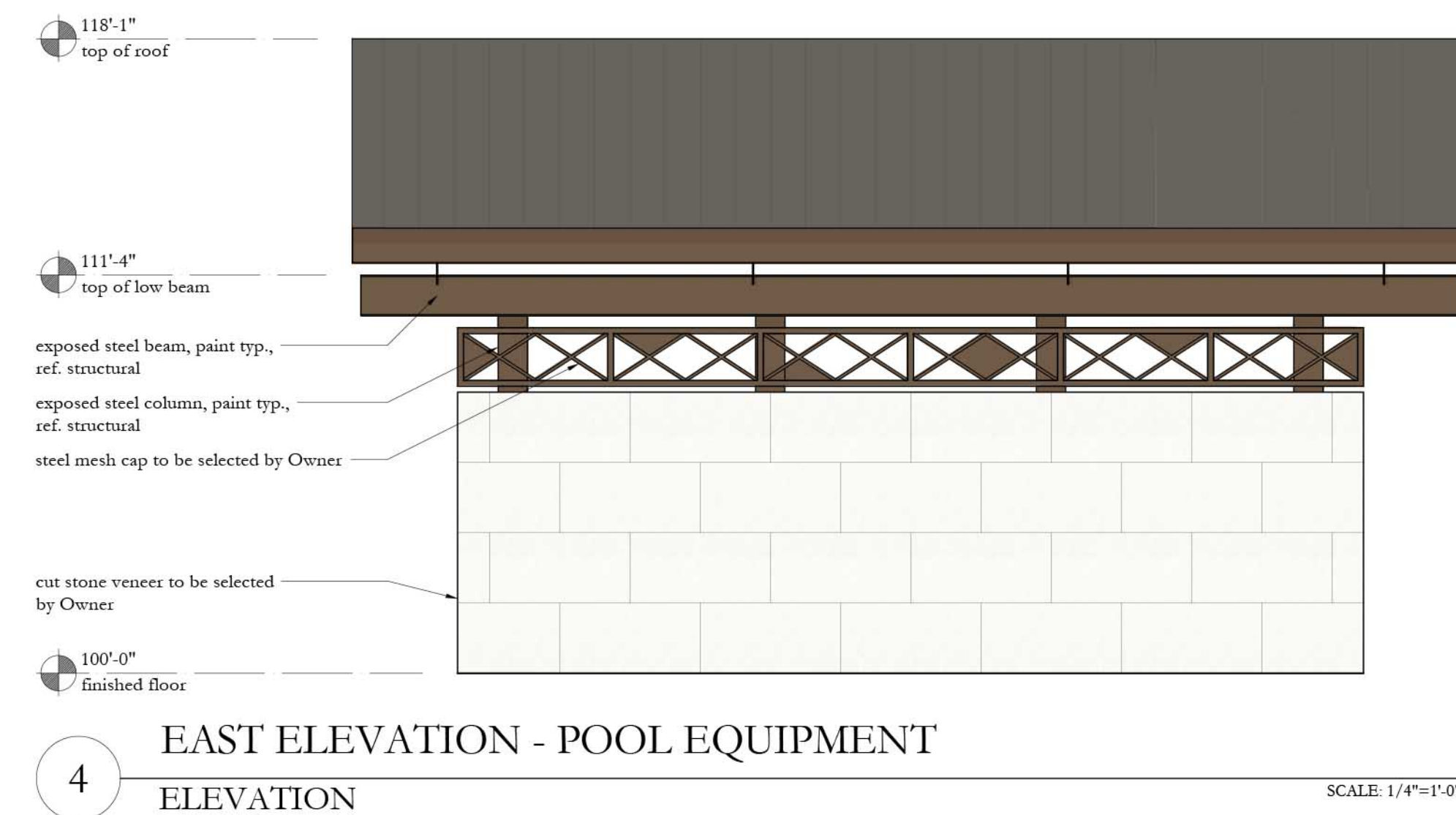
\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

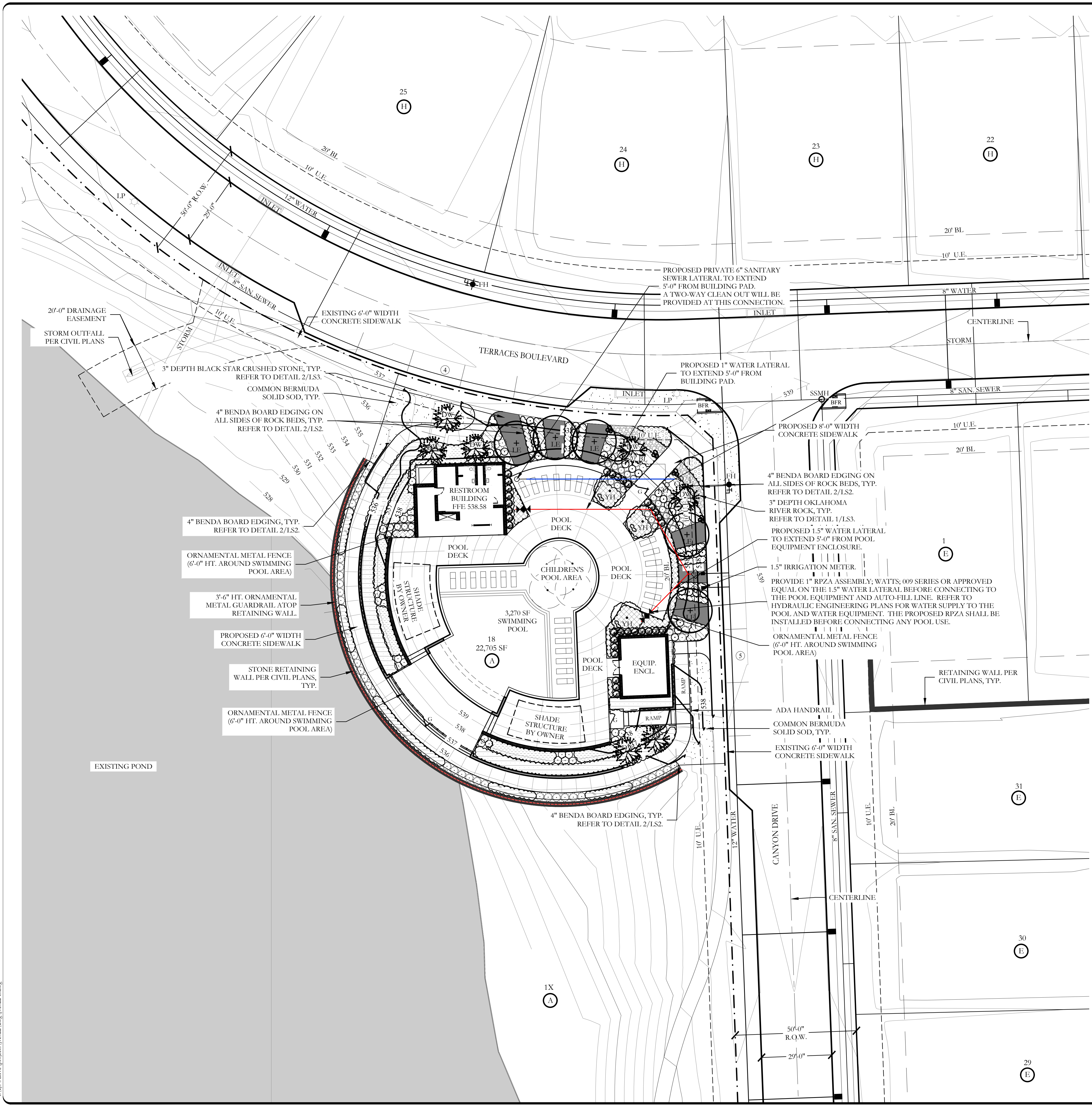
**BUILDING MATERIAL CALCULATIONS**

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	164 S.F.	-	164 S.F.	-	206 S.F.	-	206 S.F.	-
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%
NICHIHA FIBER CEMENT SIDING	-	-	-	-	-	-	91 S.F.	56.87%
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	-	-	-	-	-	-	46 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS







### PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN
	YH	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.
		LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.
		LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISTETUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER
		OKLAHOMA RIVER ROCKS, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE, BURY BOITOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.	TON	

### SITE INFORMATION

SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 0.52 ACRES  
 22,705 SQ. FT.

BUILDING AREA: 1,124 SQUARE FEET  
 BUILDING HEIGHT: 19'-8" (1 STORY)  
 POOL EQ. ENCLOSURE AREA: 528 SQUARE FEET  
 POOL EQ. ENCLOSURE HEIGHT: 18'-1" (1 STORY)

FLOOR TO AREA: 0.0727:1 (1,652/22,705)  
 LOT COVERAGE: 7.27%

TOTAL IMPERVIOUS SURFACE: 11,188.80 SF  
 PROPOSED IMPERVIOUS RATIO: 0.4927 OR 49.27%  
 INTERIOR LANDSCAPE PROVIDED: 11,516.20 SF

POOL DECK SURFACE: 5,062.43 SF

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

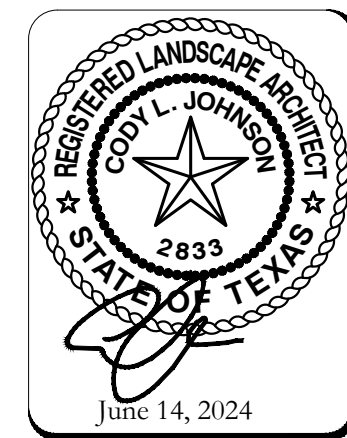
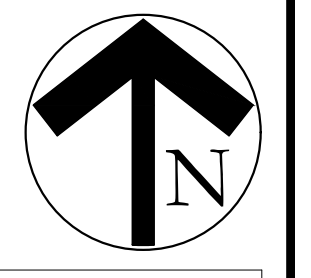
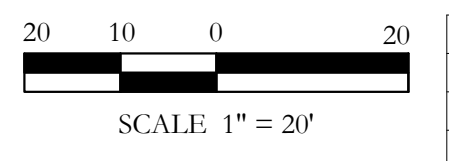
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

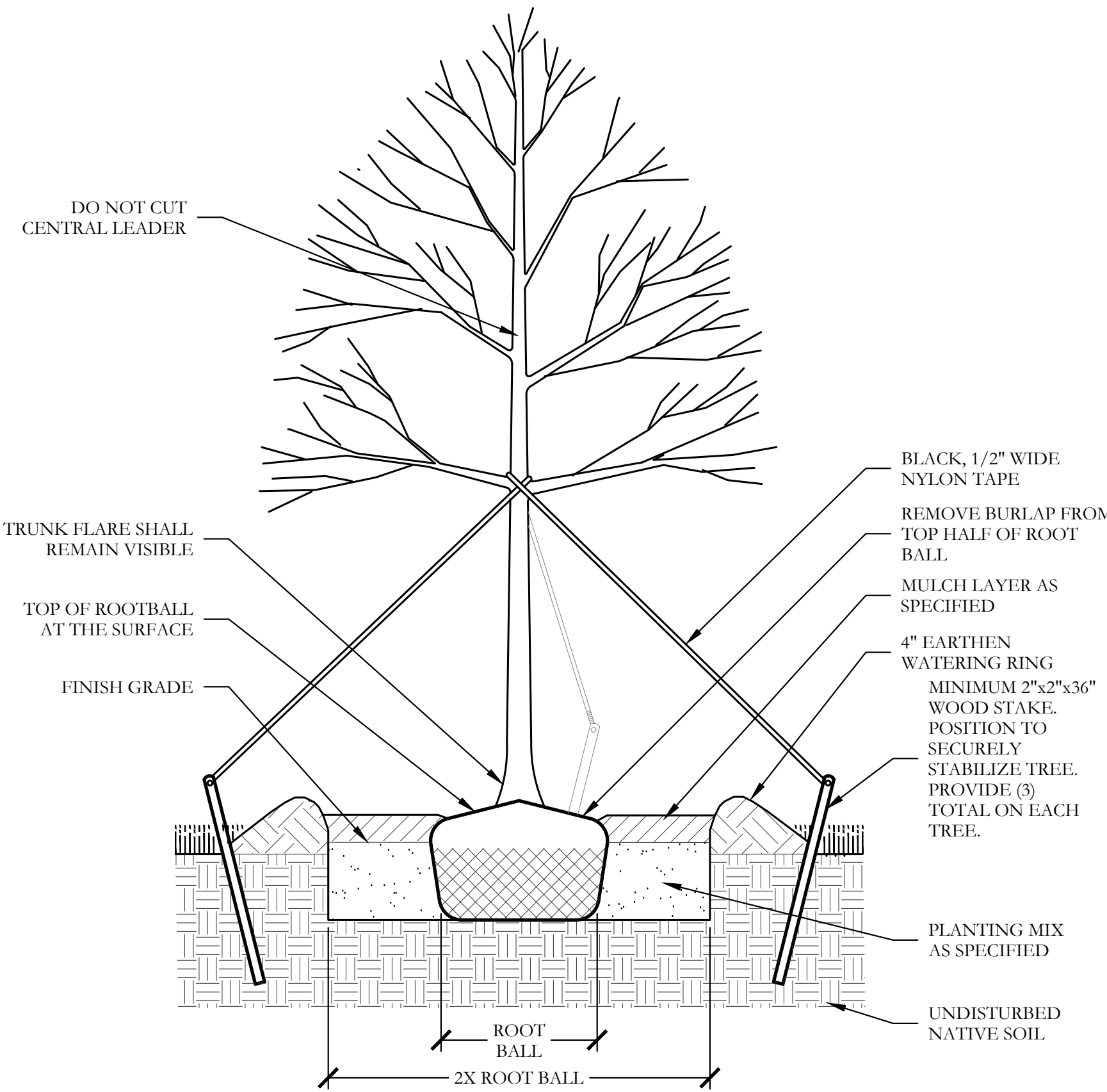
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

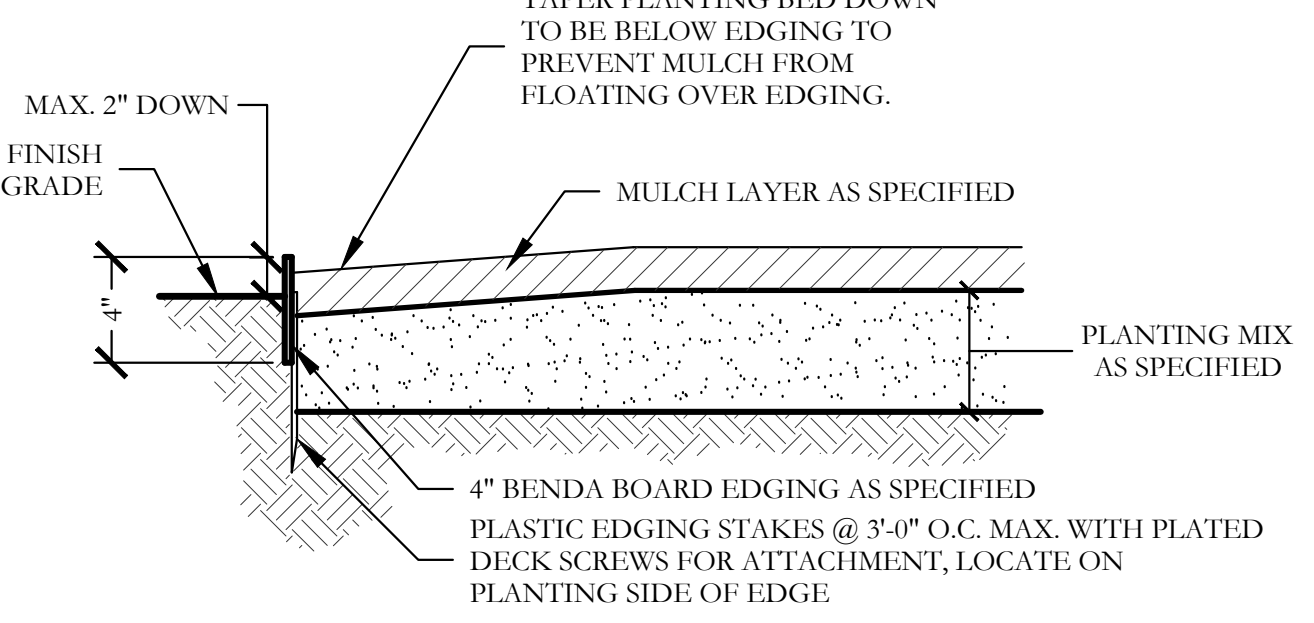
\_\_\_\_\_  
 Director of Planning and Zoning



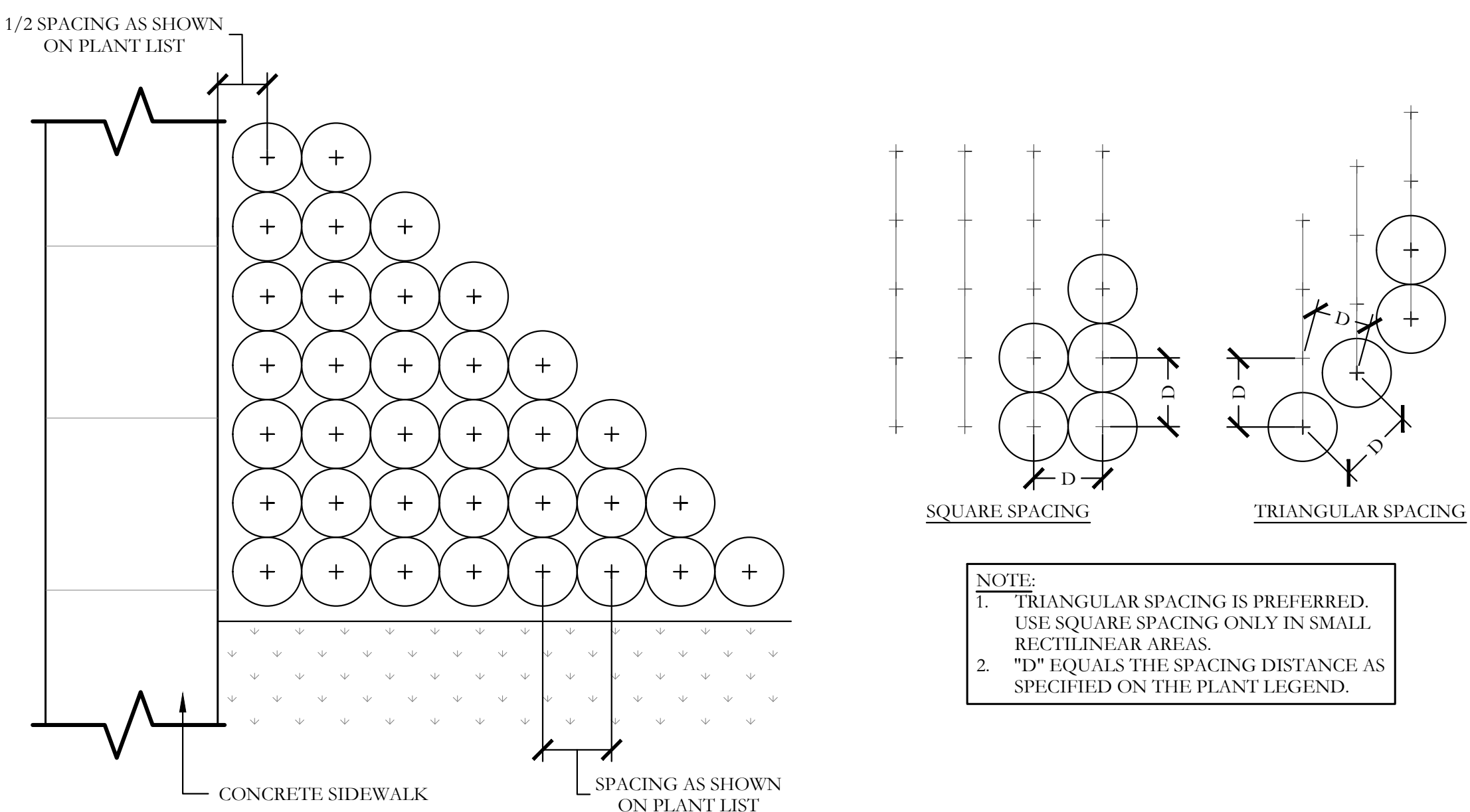




**1 TYPICAL TREE PLANTING SECTION** NOT TO SCALE



**2 TYPICAL BED EDGING DETAIL SECTION** NOT TO SCALE



**3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION** NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LE	5	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHLOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
YH	3	YAUPON HOLLY	ILEX VOMITORIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	32	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	DWARF WAX MYRTLE	MYRICA PUSILLA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	54	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	'COLOR GUARD' YUCCA	YUCCA FILAMENTOSA 'COLOR GUARD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	37	AUTUMN SAGE	SALVIA GREGGII	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	220	LITTLE KITTEN FOUNTAIN GRASS	MISCANTHUS SINENSIS 'LITTLE KITTEN'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	300	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISTUM ALOPECUROIDES 'LITTLE BUNNY'	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	410	MEXICAN FEATHER GRASS	NASELLA TENUSSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	335	CREeping ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	250	LIRIOPE	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	500	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	1,810	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	750	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK. STONE SHALL BE 1" DIAMETER IN SIZE.
	210	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

**GENERAL LANDSCAPE NOTES**

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

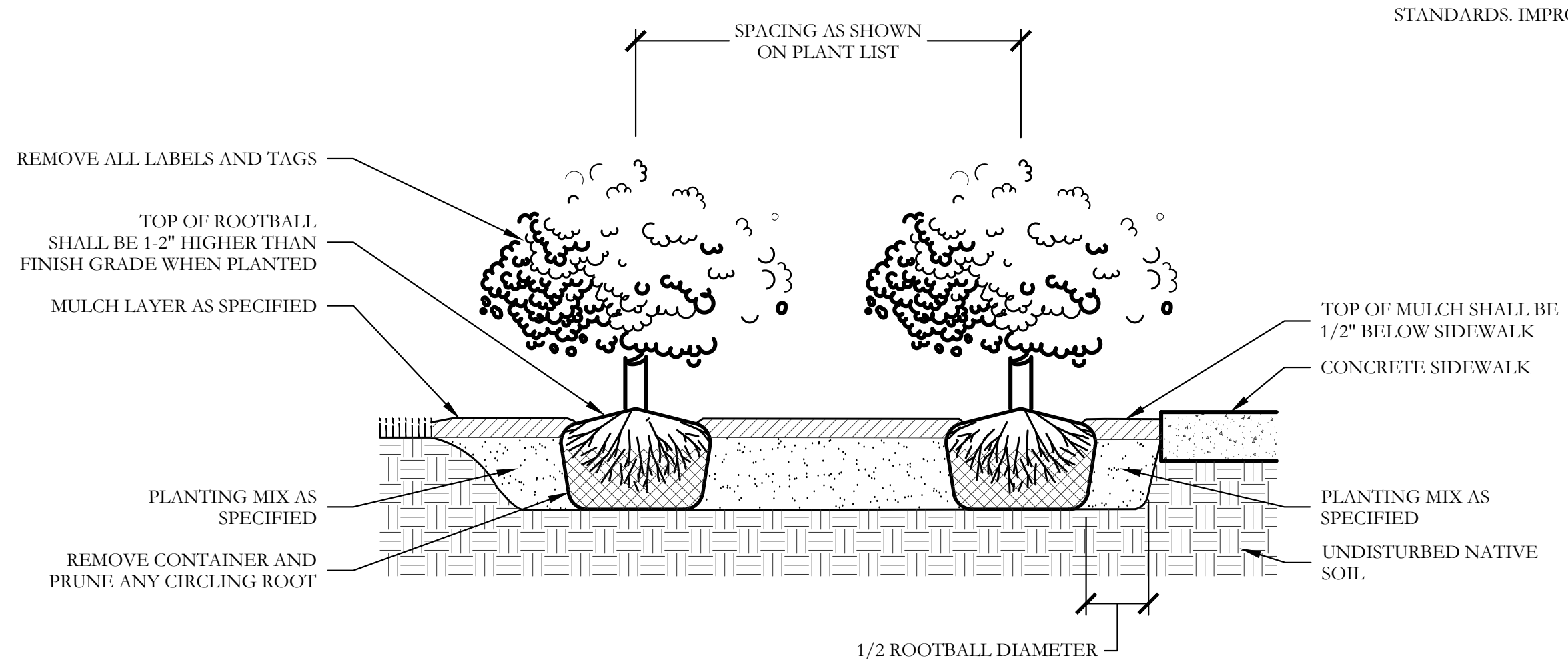
- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR TOPKILLED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROUGH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



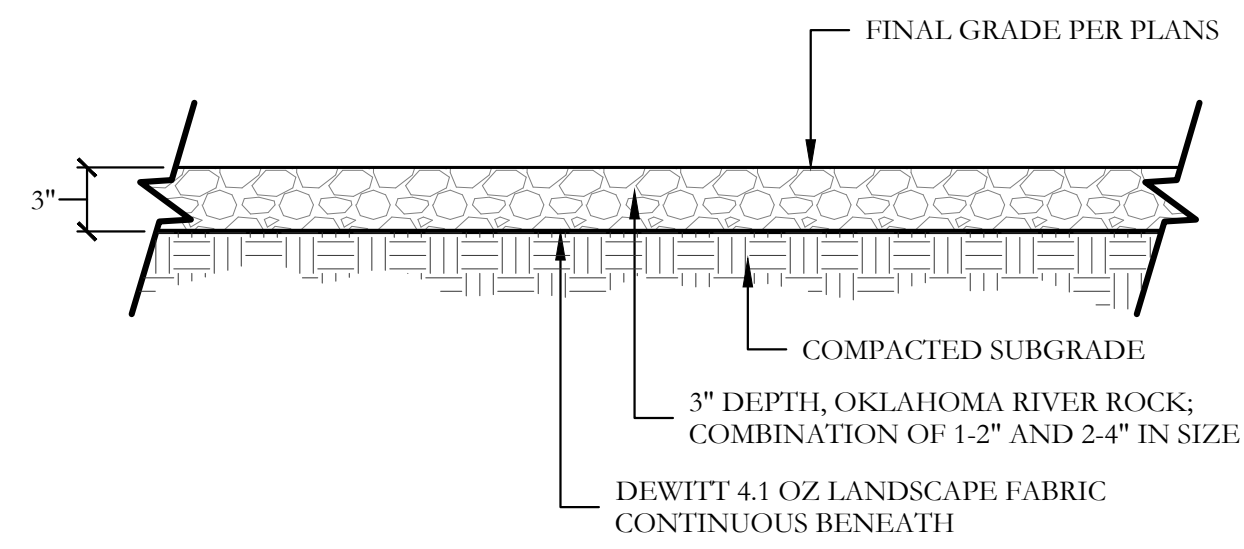
**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

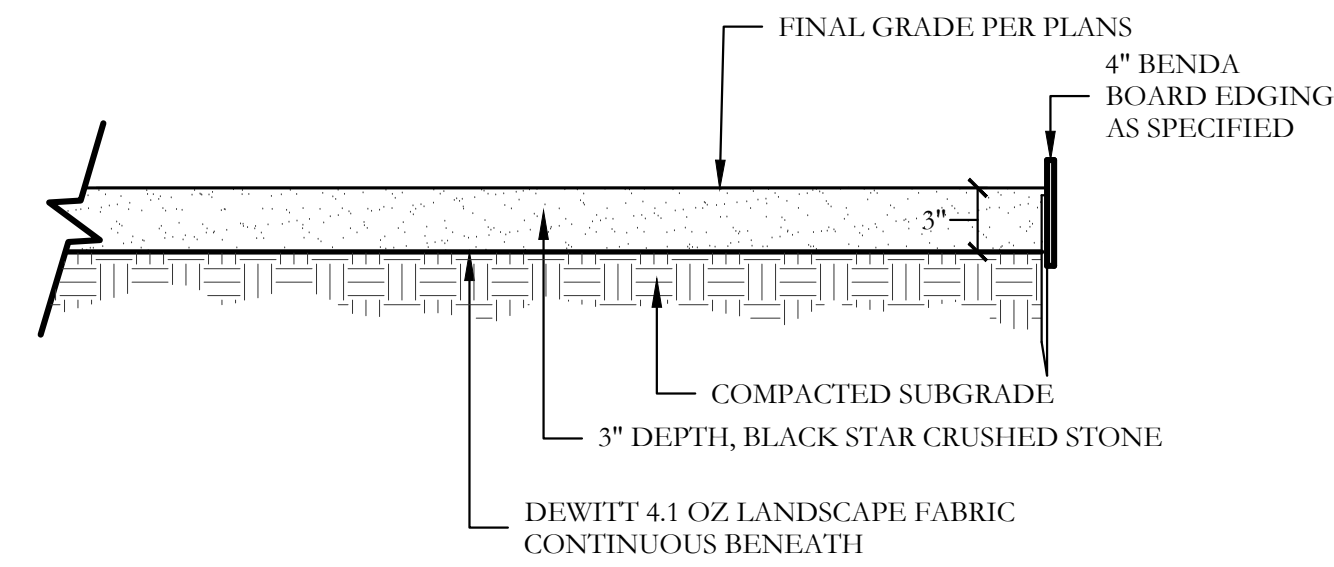
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

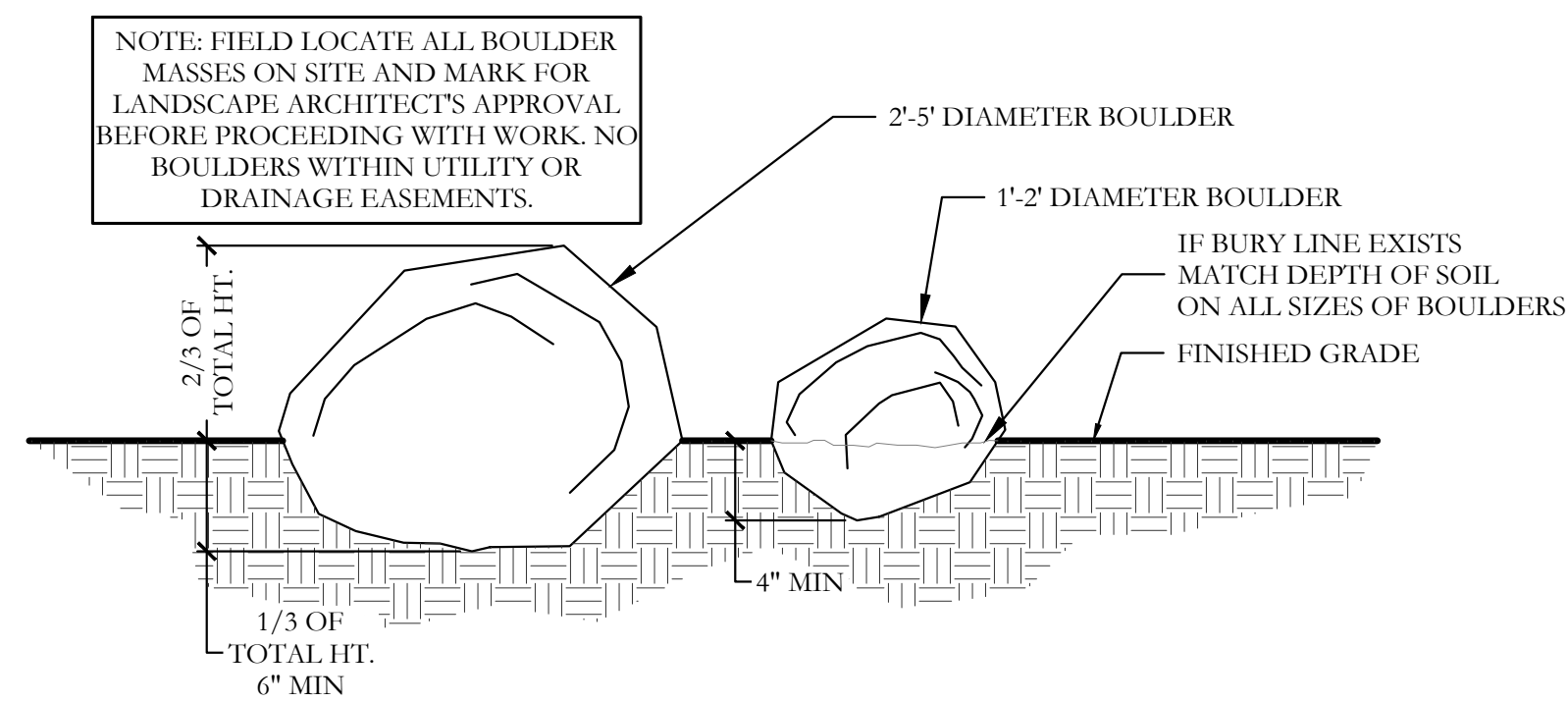




1 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



2 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



3 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

NOTE: FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK. NO BOULDERS WITHIN UTILITY OR DRAINAGE EASEMENTS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

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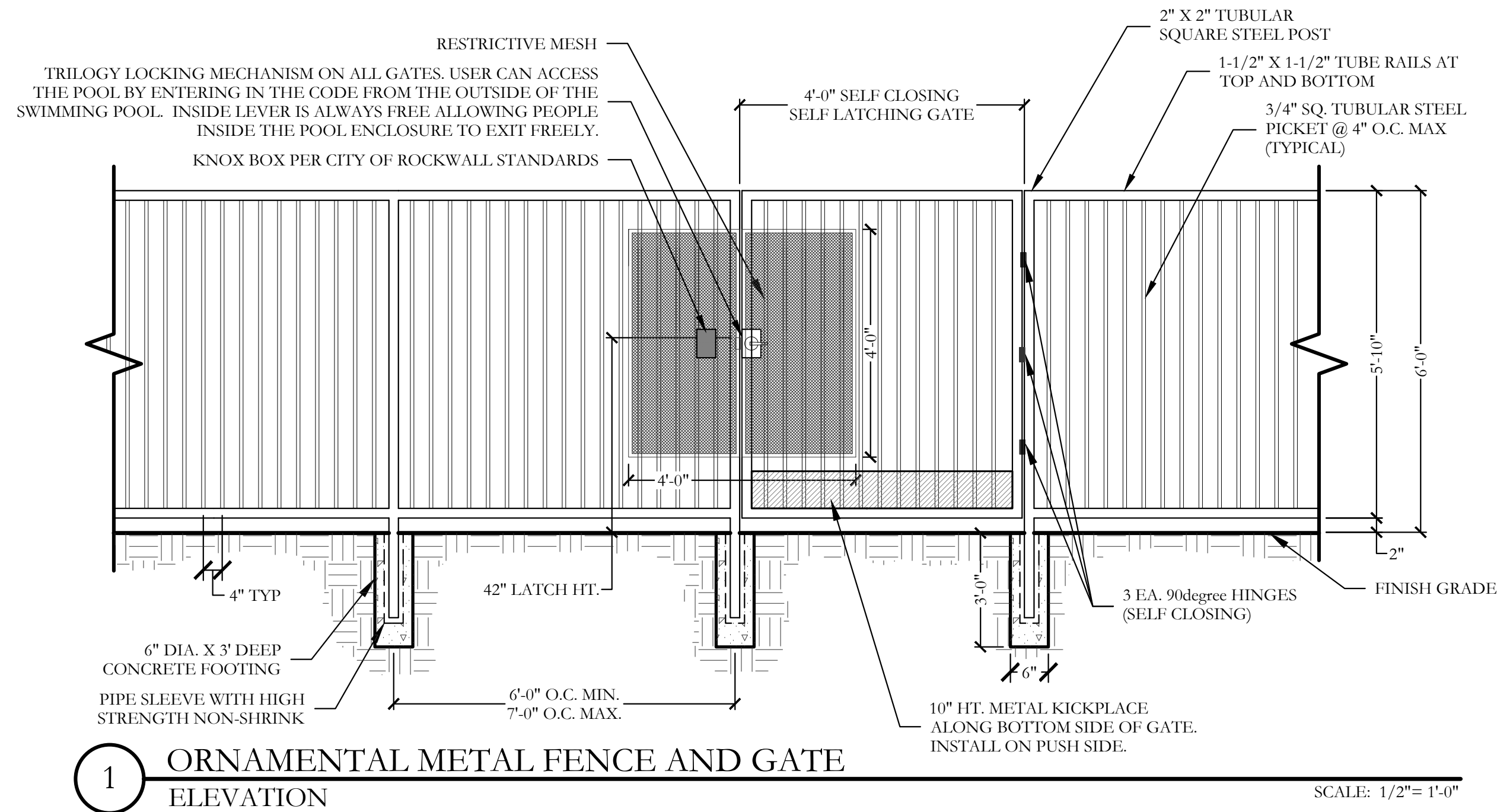
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

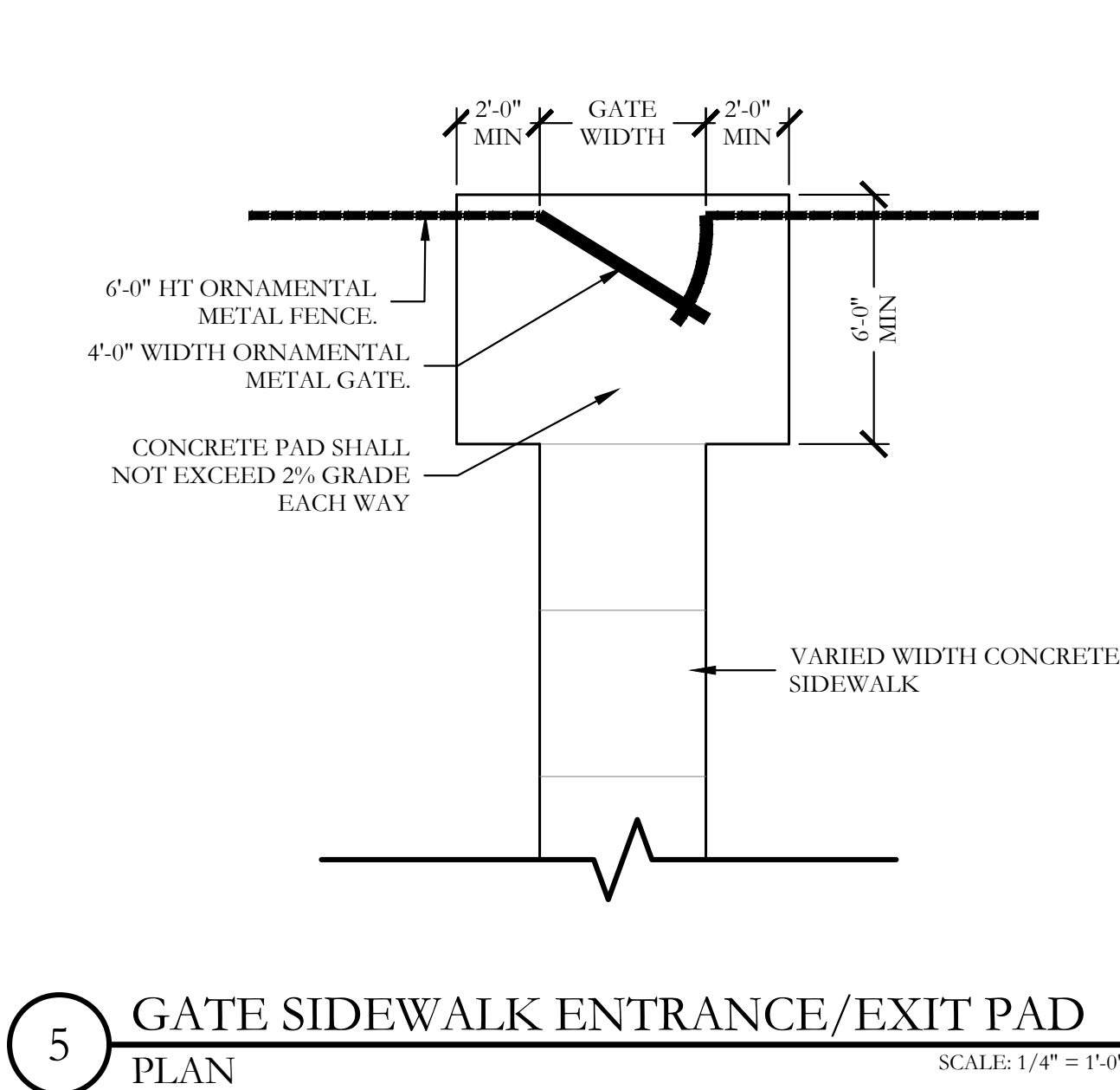



SCALE:  
 REFER TO  
 DETAILS  
 One Inch  
 JVC No JVC022





1 ORNAMENTAL METAL FENCE AND GATE ELEVATION SCALE: 1/2" = 1'-0"



5 GATE SIDEWALK ENTRANCE/EXIT PAD PLAN SCALE: 1/4" = 1'-0"

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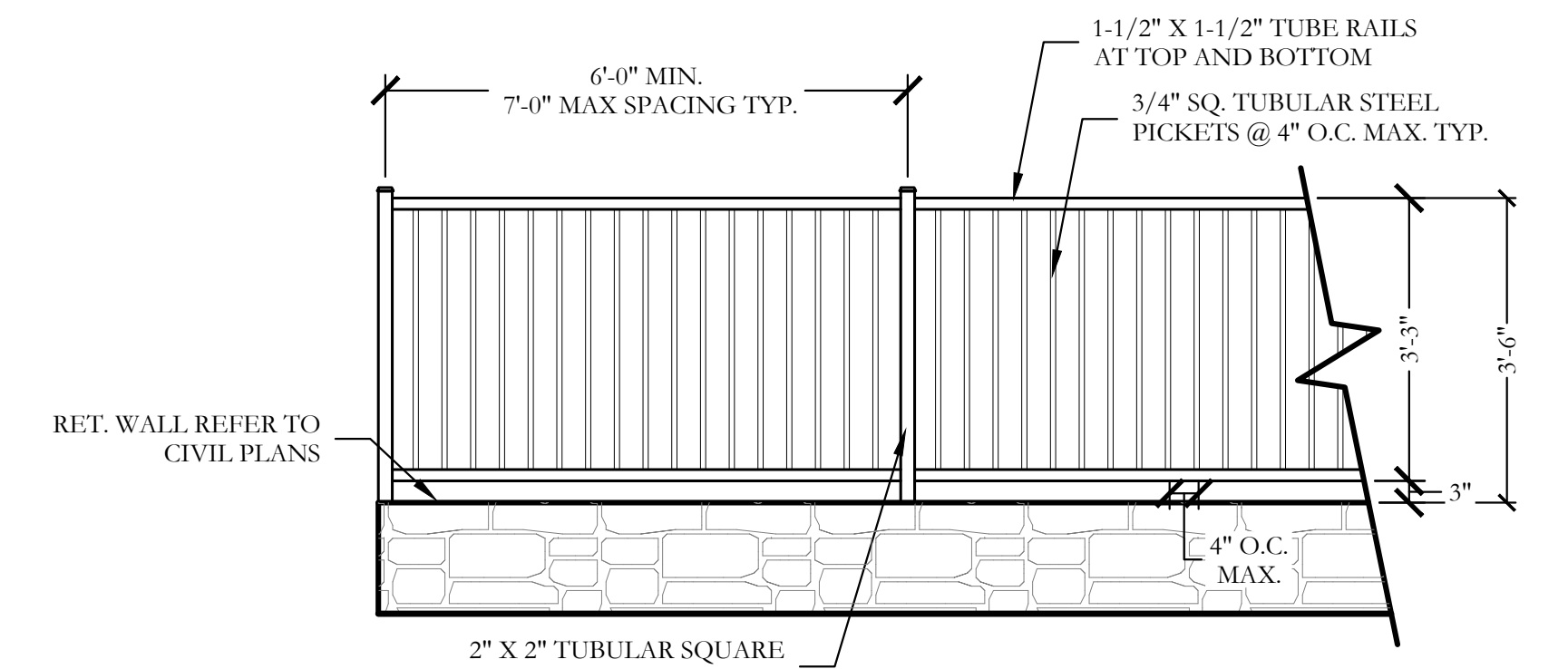
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

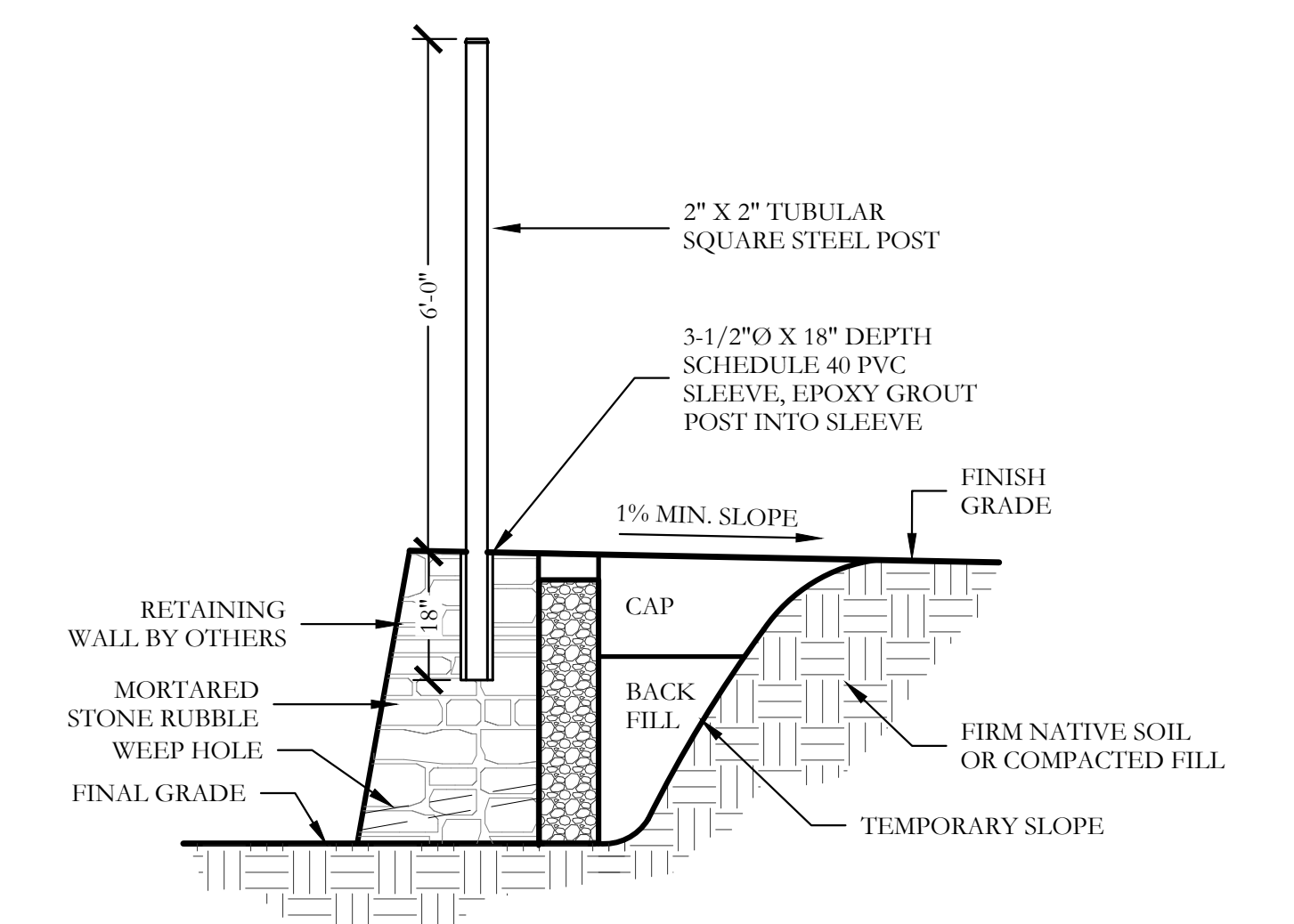
\_\_\_\_\_  
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

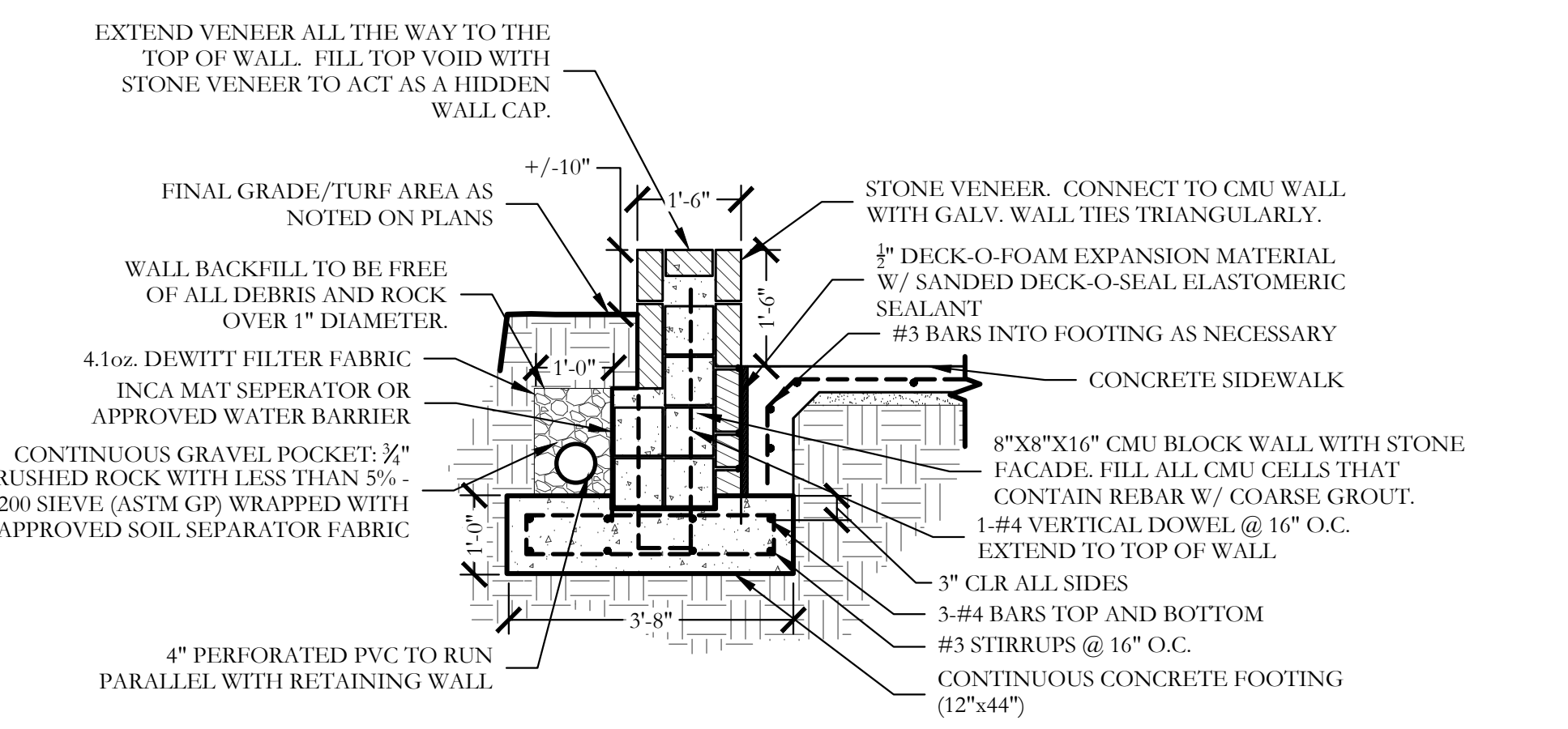


6 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL ELEVATION SCALE: 1/2" = 1'-0"

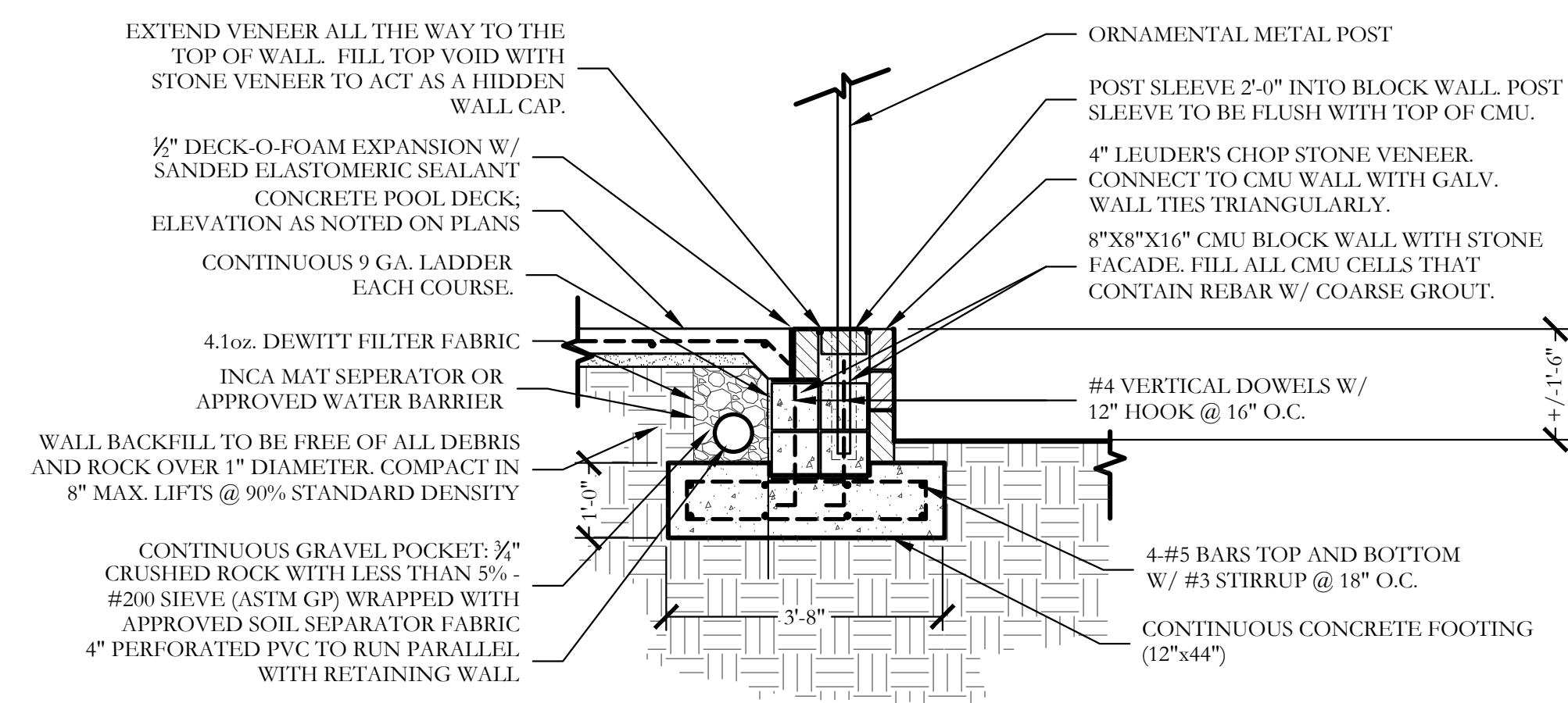


2 6'-0" HT. ORN. METAL FENCE ATOP RET. WALL SECTION SCALE: 1/2" = 1'-0"

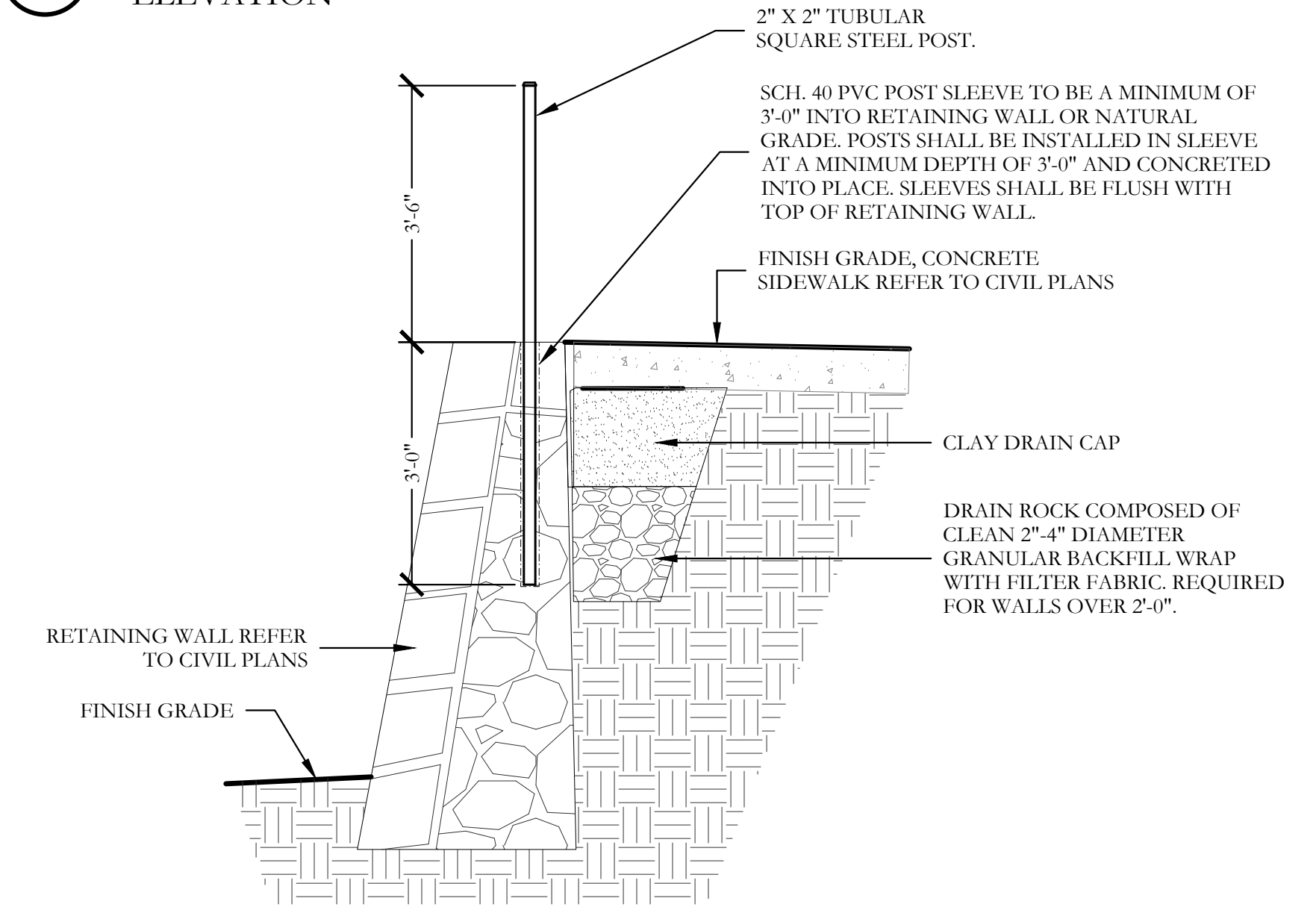
- ### ORNAMENTAL METAL FENCE NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
  - ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
  - ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
  - PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
  - ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
  - ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
  - FENCE MEMBER SIZES TO BE AS FOLLOWS:
    - PICKETS, 3/4" SQUARE 16 GA.
    - RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
    - POSTS, 2" SQUARE 11 GA.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
  - CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
  - GATE IS TO BE SELF CLOSING. FALCON B561DHD626 SATIN CHROME DANE SFC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
  - POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
  - POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
  - LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
  - RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL.



3 VARYING HT. STONE RETAINING/SEAT WALL SECTION SCALE: 1/2" = 1'-0"



4 RETAINING WALL W/ POOL DECK SECTION SCALE: 1/2" = 1'-0"

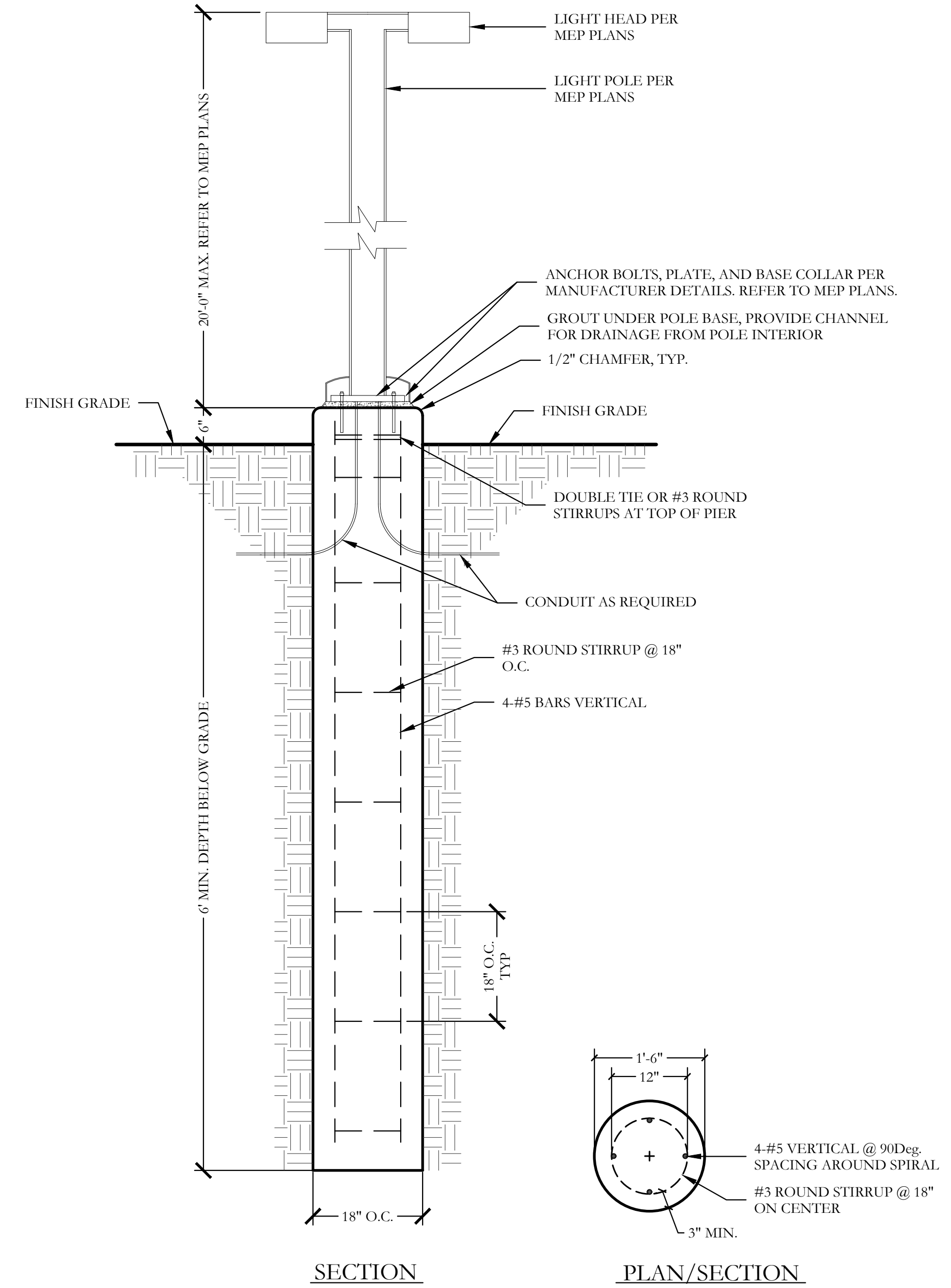


7 3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL SECTION SCALE: 1/2" = 1'-0"

- ### RET. WALL NOTES
- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER.
  - VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'.
  - BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF ORGANIC DEBRIS.
  - DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.
  - MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF F<sub>y</sub>=60KSI PER ASTM A615.
  - BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR PROPER MAINTENANCE OF ALL STRUCTURES.



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1 LIGHT POLE WITHIN POOL AREA  
PLAN/SECTION

SCALE: 3/4" = 1'-0"

**APPROVED:**

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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

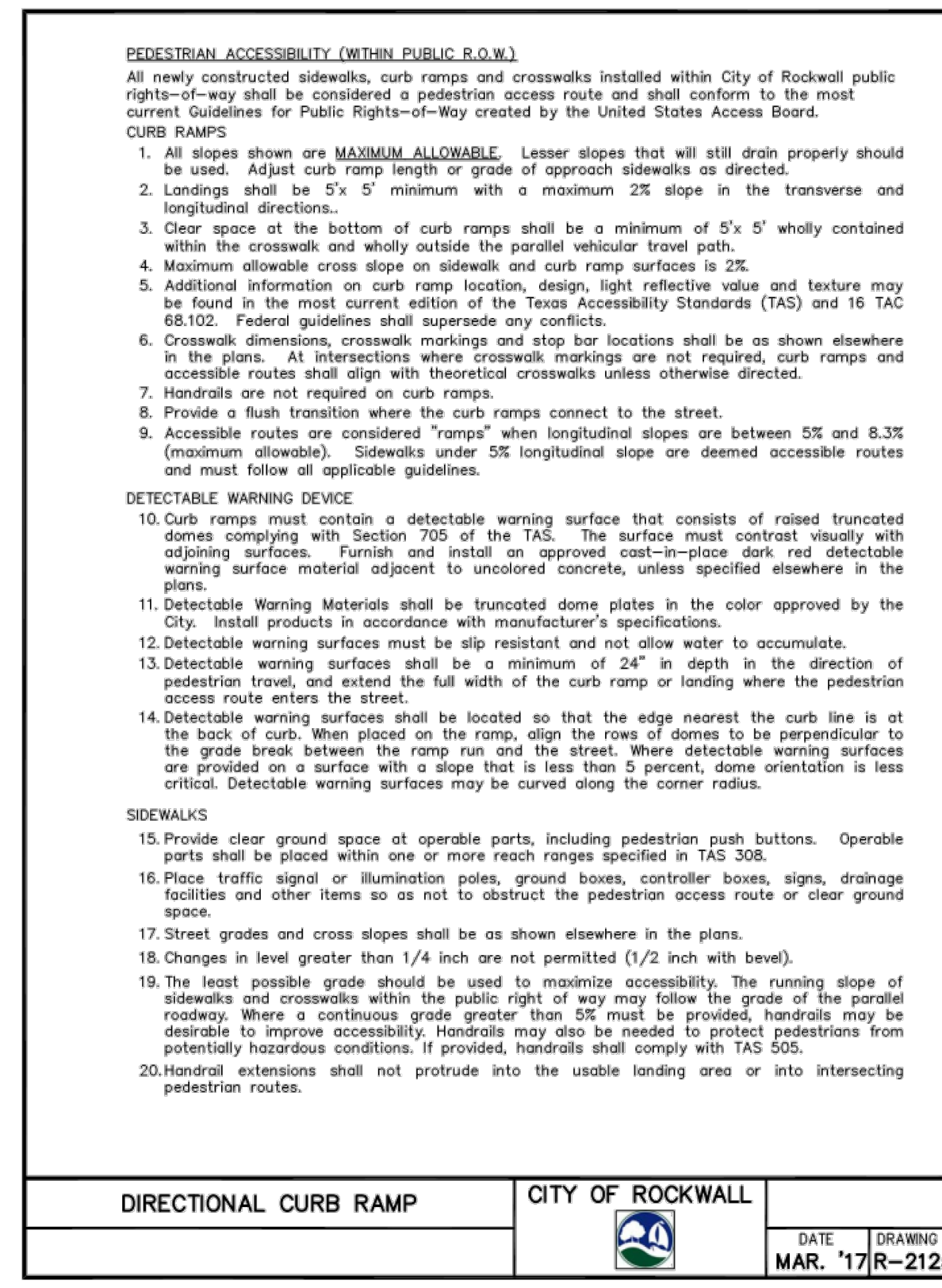
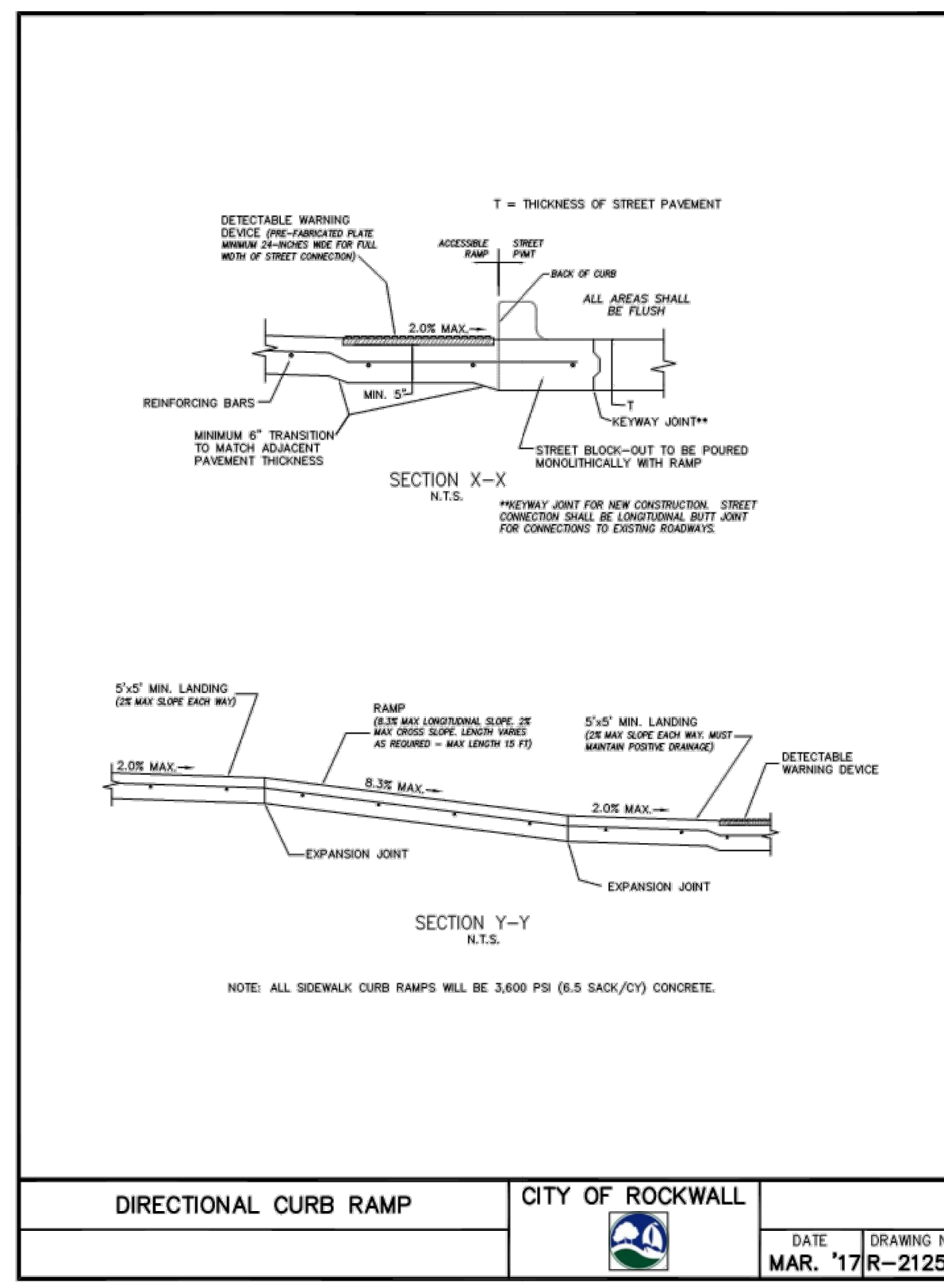
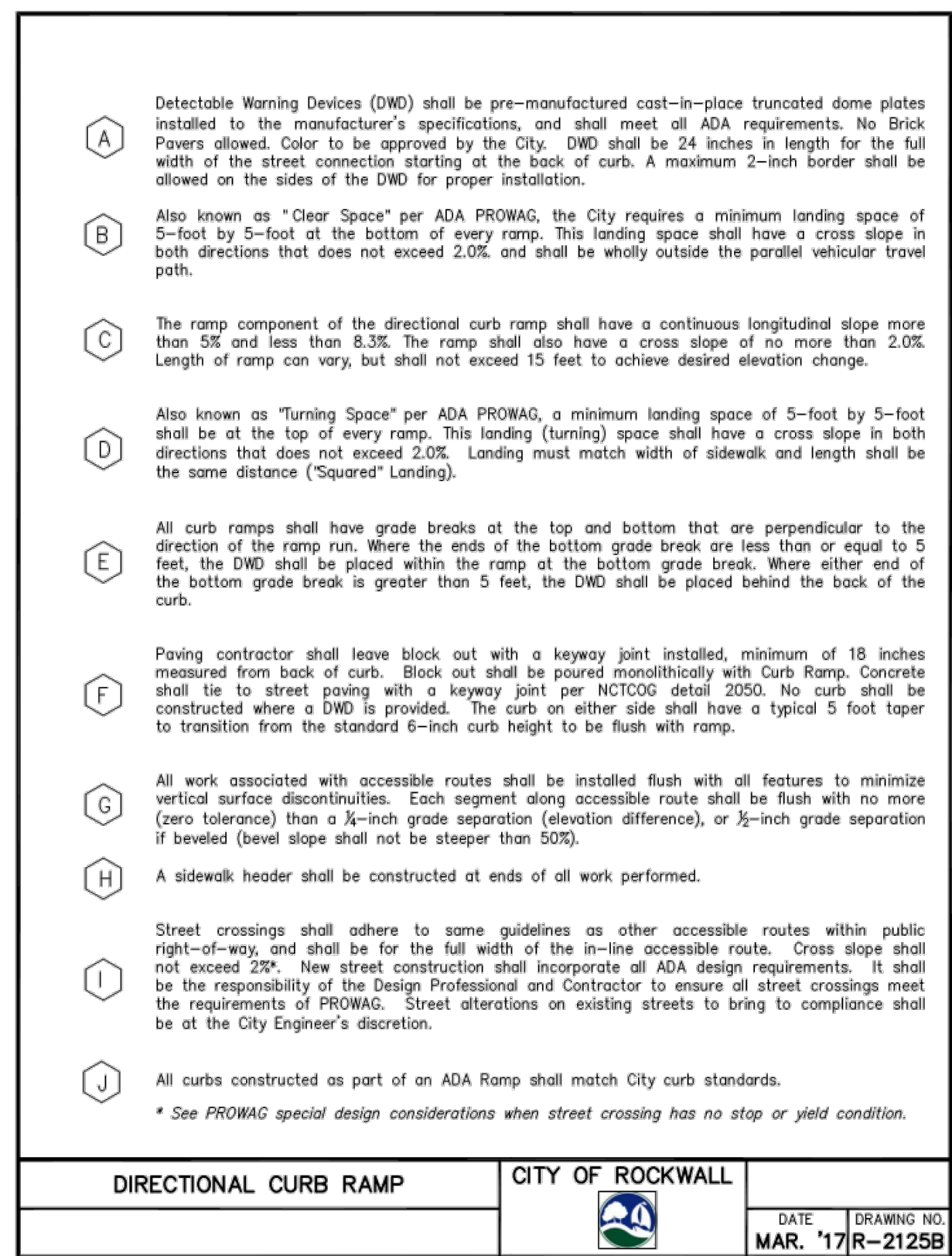
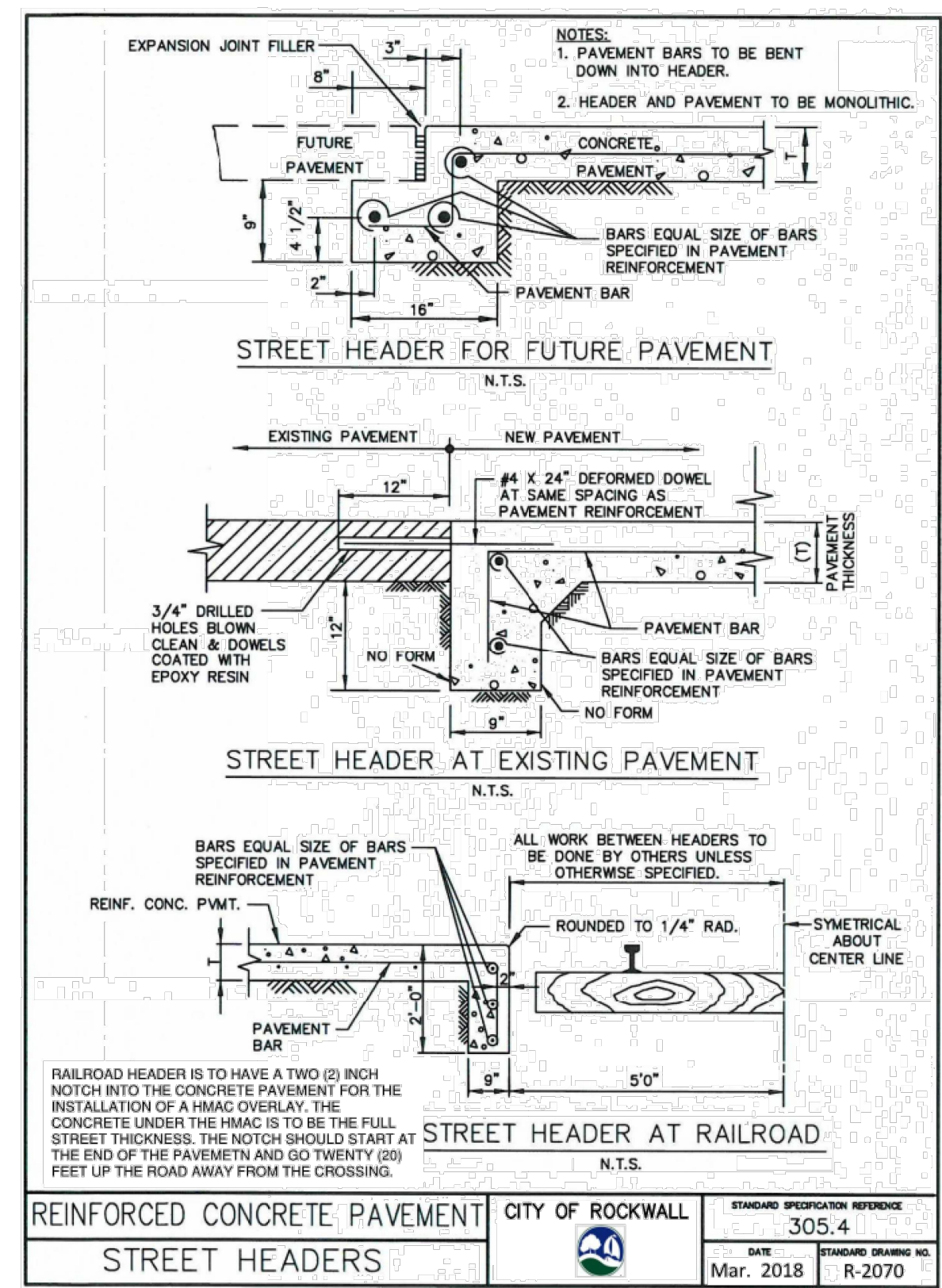
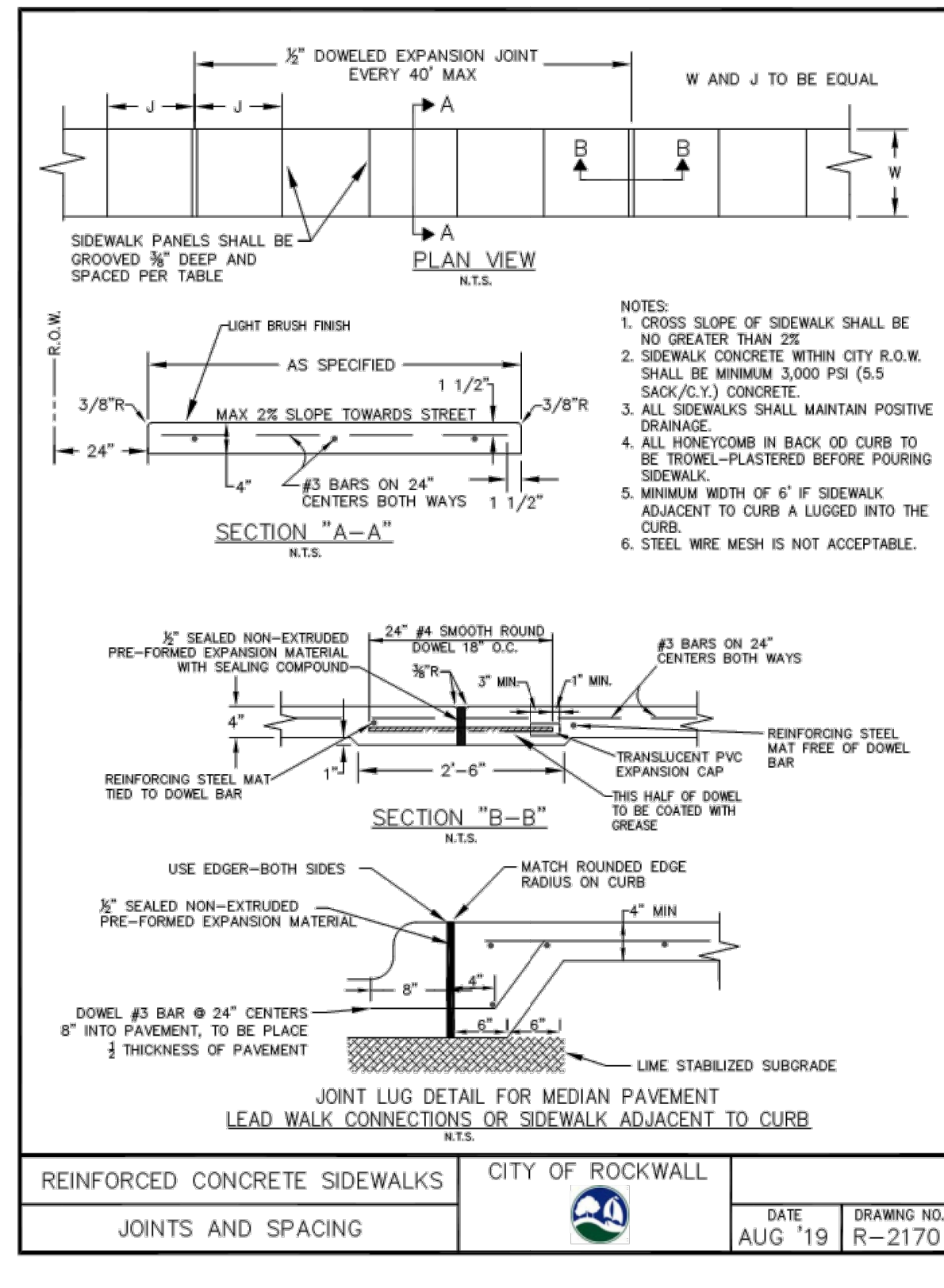
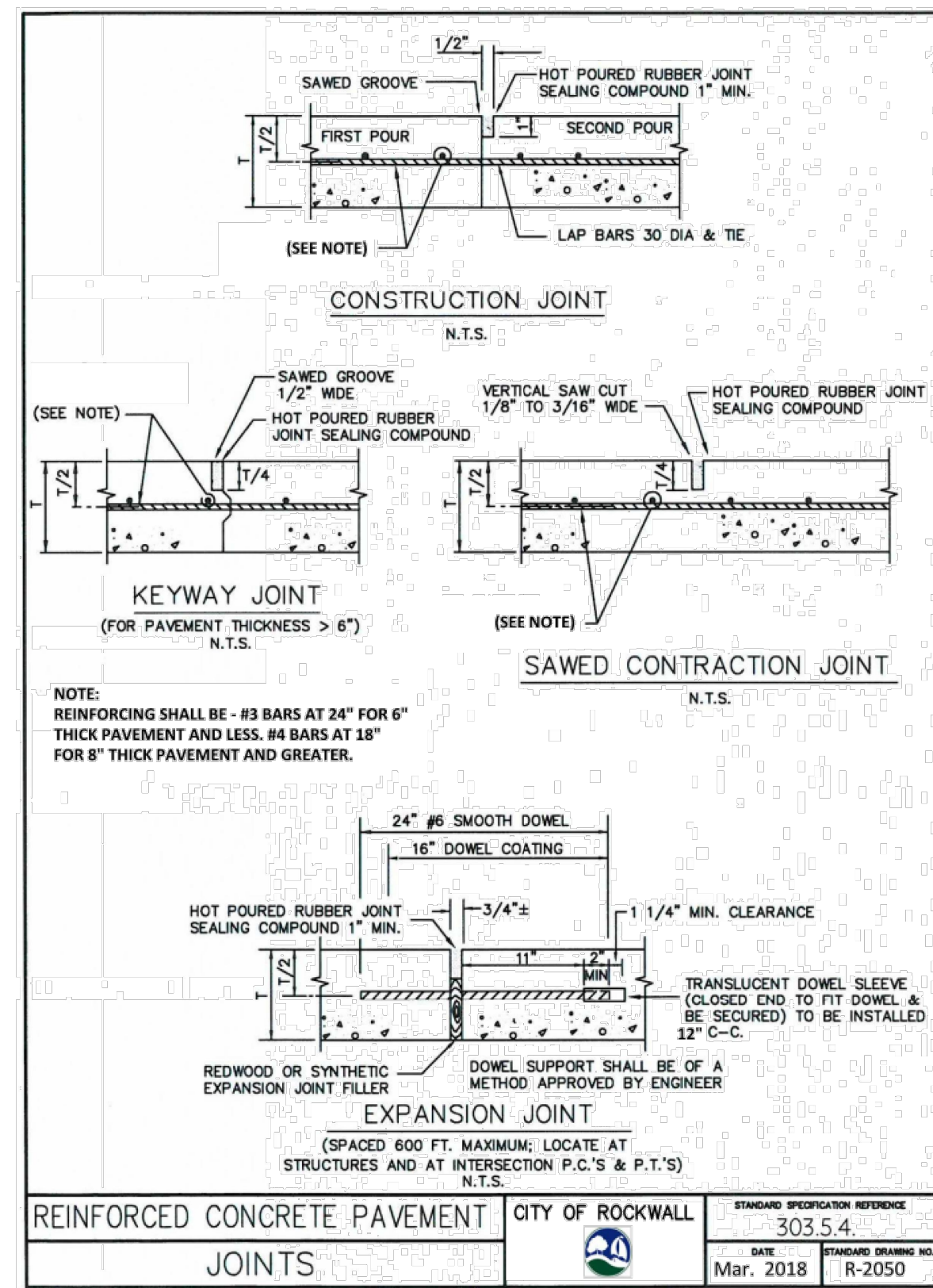
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning


THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.  
 June 14, 2024

SCALE:  
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning





# JOHNSON VOLK CONSULTING

704 Central Parkway East | Suite 1200 | Plano, Texas 75074 | 972.201.3100

Planning and Zoning Department  
City of Rockwall – Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

June 14, 2024

## **Tree Survey Affidavit**

Terraces, Amenity Center  
City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

Sincerely,

Cody Johnson, RLA, ASLA, LI  
**Johnson Volk Consulting**  
704 Central Parkway East  
Suite 1200  
Plano, Texas 75074