

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.
<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEED.

	Rockwall, Texas /508/	CI	TY ENGINEER:							
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE	OF DEVELOPMENT F	MENT REQUEST [SELECT ONLY ONE BOX]:							
PLATTING APPL MASTER PLAT PRELIMINARY FINAL PLAT (\$300 REPLAT (\$300 AMENDING OF PLAT REINST, SITE PLAN APPL SITE PLAN (\$2	ICATION FEES: (\$100.00 + \$15.00 ACRE) 1 (PLAT (\$200.00 + \$15.00 ACRE) 1 (300.00 + \$20.00 ACRE) 1 (.00 + \$20.00 ACRE) 1 R MINOR PLAT (\$150.00) ATEMENT REQUEST (\$100.00)	ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2 NOTES: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.								
PROPERTY INF	ORMATION [PLEASE PRINT]									
ADDRES	Amenity Center within Terraces									
SUBDIVISIO	Terraces		LOT	18	BLOCK	Α				
GENERAL LOCATIO	at the corner of Terraces Boule	evard and Can	yon Drive							
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEA	SF PRINTI								
CURRENT ZONIN		CURRENT US	E Private Recreational Center							
PROPOSED ZONIN	G Single Family Residential	PROPOSED US								
ACREAG	E .52 LOTS [CURRENT	T) 1		S [PROPOSE						
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WIT REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.										
OWNER/APPLIC	ANT/AGENT INFORMATION (PLEASE PRINT/CI									
CONTACT PERSON	TM Terraces, LLC		Johnson V		sulting					
	4440 W. L L 0. 11. 000	CONTACT PERSON	oody oon	nson						
ADDICESS	4416 W. Lovers Lane Suite 200	ADDRESS	704 Centi		ay East					
CITY, STATE & ZIP	Dallas, TX 75209	CITY CTATE 6 710	Suite 120							
PHONE	(214)577-1431	CITY, STATE & ZIP PHONE	Plano, TX (972) 201-							
E-MAIL		E-MAIL			nsonvolk.c	om				
	CATION (REQUIRED)	L-WAIL	cody.joilii	son@joi	IIISOIIVOIK.C	iom				
BEFORE ME, THE UNDE	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE	Bobby +	arrell	[OWNE	R] THE UNDERS	SIGNED, WHO				
INFORMATION CONTAINE SUBMITTED IN CONJUNCT	TO COVER THE PURPOSE OF THIS APPLICATION; A TO COVER THE COST OF THIS APPLICATION, HAD 20 12 BY SIGNING THIS APPLICATION, I AGRICO WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSO	EE THAT THE CITY OF R	Y OF ROCKWALL ON OCKWALL (I.E. "CITY ID BERMITTED TO I	THIS THE	ED AND PERMITTE NY COPYRIGHTED BETSY LEA LUTT	DAY OF TO PROVIDE INFORMATION				
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE 10 DAY OF QUANTURE	20	# (8	N P	otary ID #12948 y Commission Ex	37170 🕴 ¦				





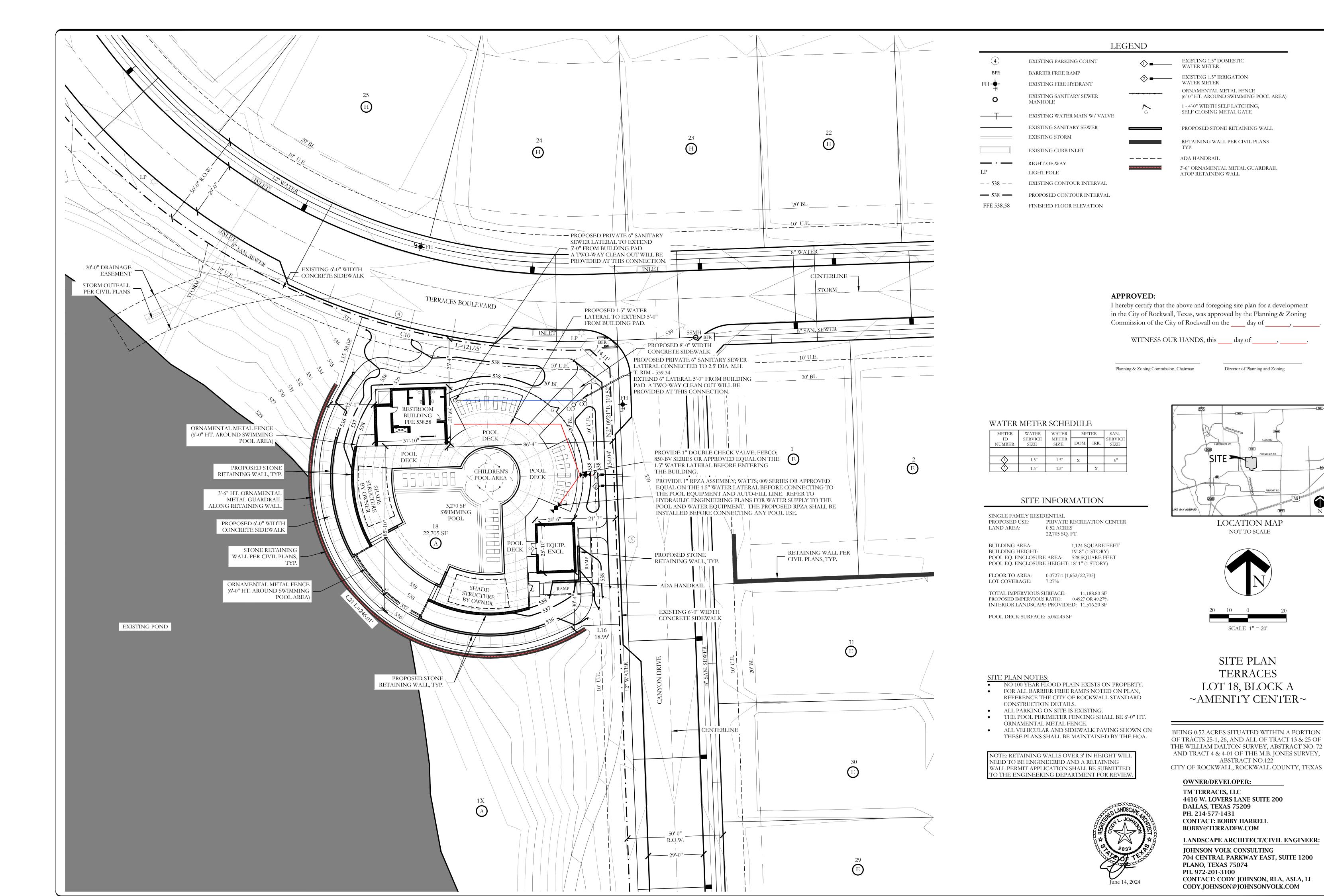
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

(P): (972) 771-7745 (W): www.rockwall.com

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`D4

One Inch JVC No JVC022

A3.00 - SD

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning

Commission of the City of Rockwall on the _____ day of ______, _____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Director of Planning and Zoning Planning & Zoning Commission, Chairman

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ FT.	438 S.F.	5	535 S.F.	357	385 S.F.	(En	385 S.F.	-
PRIMARY MATERIAL TOTALS	438 S.F.	100.00%	370 S.F.	69.16%	385 S.F.	100.00%	385 S.F.	100%
CUT STONE VENEER	438 S.F.	79.81%	370 S.F.	69.16%	198 S.F.	51.43%	385 S.F.	100%
NICHIHA FIBER CEMENT SIDING	3 <u>5</u> 54	8	2	122	187 S.F.	48.57%	2	2
SECONDARY MATERIALS	729	=	165 S.F.	30.84%	-	CEU	=	_
TILE AT SHOWER/DRINKING FOUNTAINS	724	2	165 S.F.	30.84%	(2)	(2)	<u>~</u>	<u>=</u>
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	(=):	=	2	(4)	327	(12)	2	22
STANDING SEAM METAL ROOF	-	-	_	846	1-1	(=)	-	=



EAST ELEVATION - RESTROOM BUILDING ELEVATION SCALE: 1/4"=1'-0"



WEST ELEVATION - RESTROOM BUILDING SCALE: 1/4"=1'-0" ELEVATION



NORTH ELEVATION - RESTROOM BUILDING ELEVATION

119'-8" top of roof

exposed steel beam, paint typ., -ref. structural 111'-4" top of low beam exposed steel column, paint typ., ref. structural steel mesh cap to be selected by Owner tile to be selected by Owner cut stone veneer to be selected

SOUTH ELEVATION - RESTROOM BUILDING ELEVATION

SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

One Inch JVC No JVC022

A3.01 - SD

APPROVED:

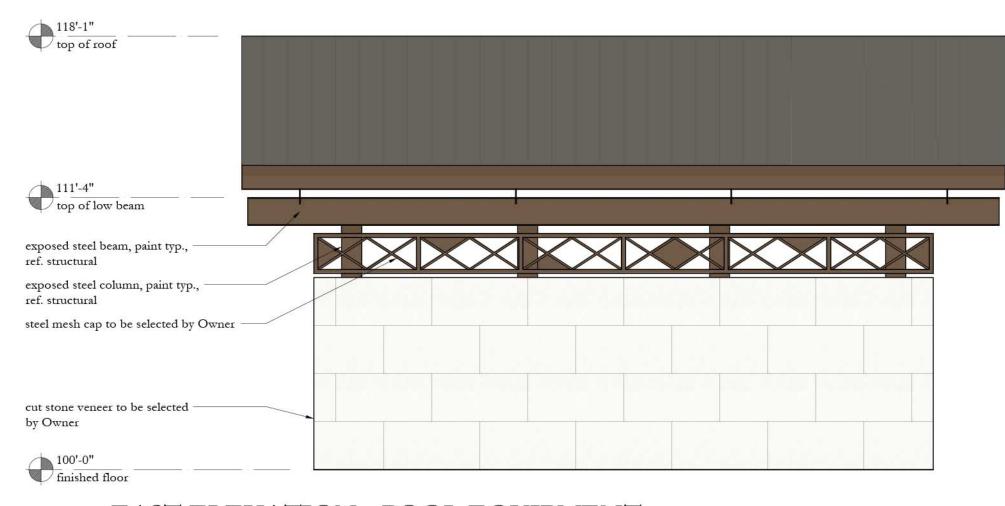
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____

WITNESS OUR HANDS, this _____ day of __

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

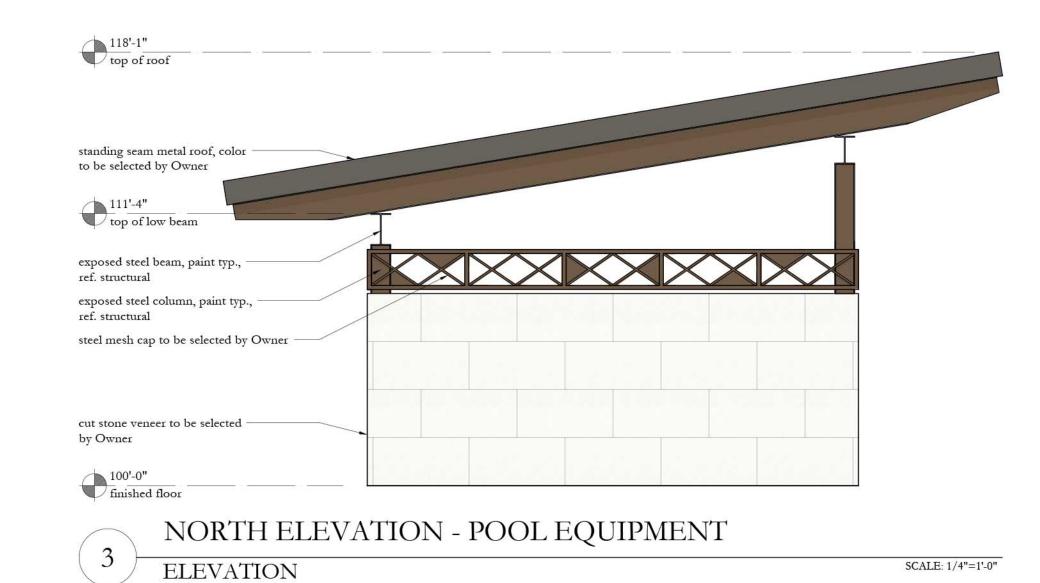
BUILDING MATERIAL CALCULATIONS									
Material	North	Percent	South	Percent	East	Percent	West	Percent	
TOTAL SQ FT.	164 S.F.	-	164 S.F.	84	206 S.F.	(=))	206 S.F.	_	
PRIMARY MATERIAL TOTALS	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	206 S.F.	100%	
CUT STONE VENEER	164 S.F.	100.00%	164 S.F.	100.00%	206 S.F.	100.00%	69 S.F.	43.13%	
NICHIHA FIBER CEMENT SIDING		-	-	S.E.	373	1711	91 S.F.	56.87%	
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	559	5	-	157	873	(71)	46 S.F.	5 52	
STANDING SEAM METAL ROOF	54	5	. a ,	157	£73	(51)		V: 550	
NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS									



EAST ELEVATION - POOL EQUIPMENT SCALE: 1/4"=1'-0" ELEVATION



WEST ELEVATION - POOL EQUIPMENT SCALE: 1/4"=1'-0" **ELEVATION**

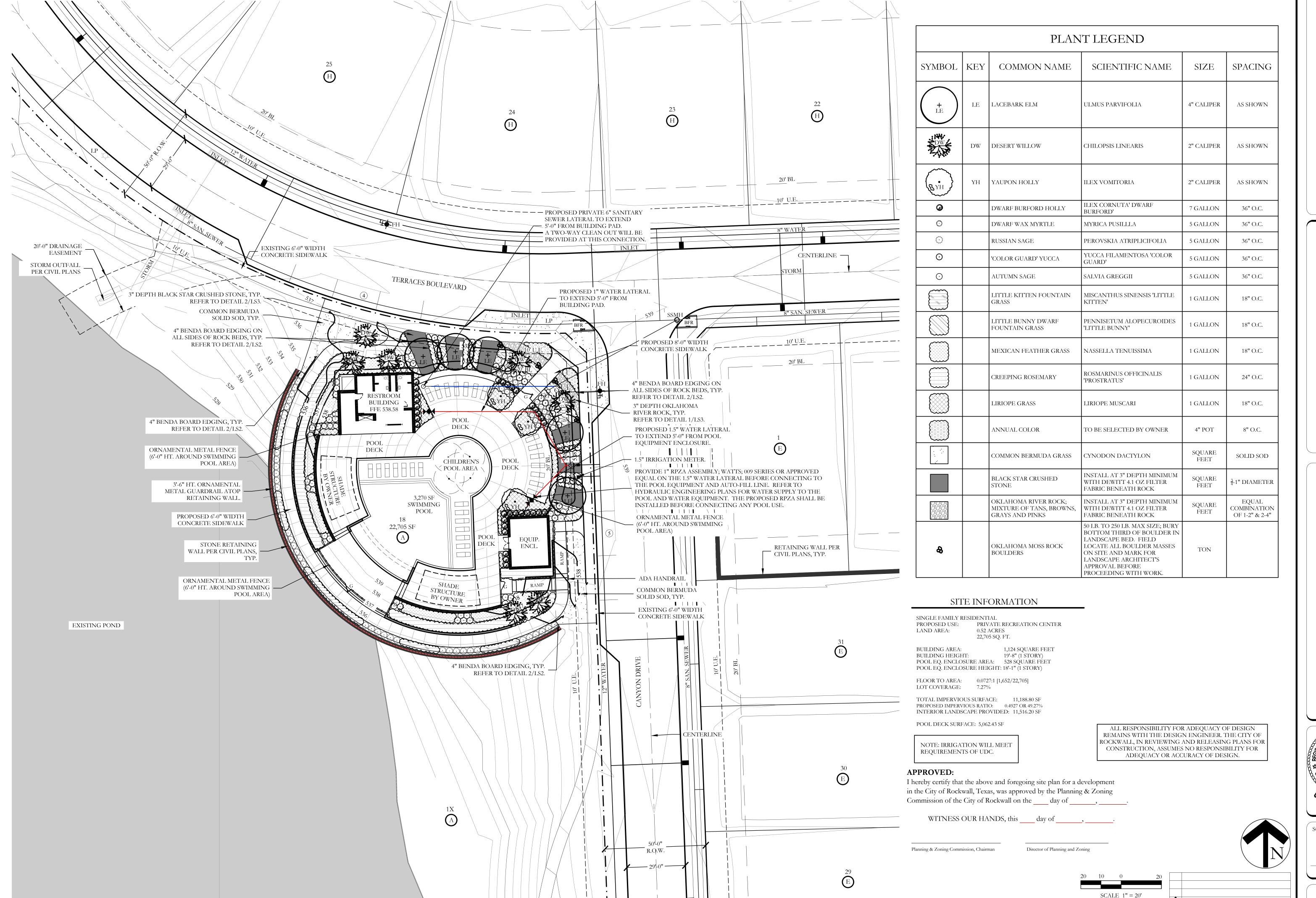


118'-1" top of roof 115'-6" top of high beam exposed steel beam, paint typ., ref. structural exposed steel column, paint typ., ref. structural steel mesh cap to be selected by Owner cut stone veneer to be selected

SOUTH ELEVATION - POOL EQUIPMENT ELEVATION

by Owner

SCALE: 1/4"=1'-0"



VOLK NS ||S

CENTER



One Inch JVC No JVC022

LS1 of 3

JVC No JVC022

. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION. 6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER

MAINTENANCE STANDARDS: THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF

7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE

IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES;

SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS

9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER

REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLÈL TO PUBLIC WATER

2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.

LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.

THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC

GENERAL LANDSCAPE NOTES

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC

2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO

3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO

WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO

GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT

PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN

3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE

INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.

THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN

TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF

9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL

10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.

11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID

WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.

UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS,

UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL

STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB

A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH

TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT

FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

INSPECTIONS:

TREE PLACEMENTS.

PURSUANT TO THE FIRE CODE.

ARBORICULTURE (ISA) STANDARDS.

LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

IRRIGATION SYSTEM.

AND SANITARY SEWER LINES.

CALLING FOR ROW INSPECTION AND PERMIT

STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.

PLANT QUALIFICATIONS, GRADES, AND STANDARDS.

TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.

SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.

4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.

5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES 1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR

TRANSPLANTING OF ANY TREES. 2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.

PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.

4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE

6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT

8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE

9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE. 10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF

ADEQUACY OR ACCURACY OF DESIGN.

ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR

CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the day of

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION

CONCRETE SIDEWALK

PROVIDE (3) TOTAL ON EACH PLANTING MIX AS SPECIFIED UNDISTURBED NATIVE SOIL NOT TO SCALE

BLACK, 1/2" WIDE

TOP HALF OF ROOT

MULCH LAYER AS

WATERING RING

WOOD STAKE.

POSITION TO

STABILIZE TREE.

SECURELY

MINIMUM 2"x2"x36"

SPECIFIED

4" EARTHEN

REMOVE BURLAP FROM

NYLON TAPE

ESTIMATED

37

300

410

335

250

300

750

210

QUANTITY

COMMON NAME

ACEBARK ELM

DESERT WILLOW

YAUPON HOLLY

RUSSIAN SAGE

AUTUMN SAGE

DWARF BURFORD HOLLY

DWARF WAX MYRTLE

COLOR GUARD' YUCCA

LITTLE KITTEN FOUNTAIN

MEXICAN FEATHER GRASS

COMMON BERMUDA GRASS

BLACK STAR CRUSHED

OKLAHOMA RIVER ROCK

OKLAHOMA MOSS ROCK

BOULDERS

LITTLE BUNNY DWARF

CREEPING ROSEMARY

FOUNTAIN GRASS

ANNUAL COLOR

LIRIOPE

KEY

DW

ΥH

TYPICAL TREE PLANTING TAPER PLANTING BED DOWN TO BE BELOW EDGING TO PREVENT MULCH FROM FLOATING OVER EDGING. MAX. 2" DOWN — FINISH GRADE MULCH LAYER AS SPECIFIED PLANTING MIX AS SPECIFIED

_ROOT ___

4" BENDA BOARD EDGING AS SPECIFIED PLASTIC EDGING STAKES @ 3'-0" O.C. MAX. WITH PLATED DECK SCREWS FOR ATTACHMENT, LOCATE ON PLANTING SIDE OF EDGE

TYPICAL BED EDGING DETAIL

1/2 SPACING AS SHOWN

DO NOT CUT

CENTRAL LEADER

TRUNK FLARE SHALL

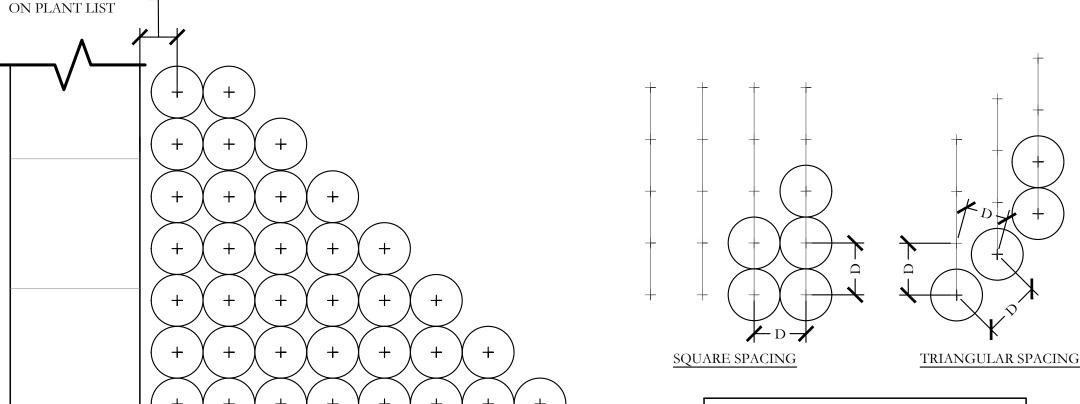
REMAIN VISIBLE

TOP OF ROOTBALL

AT THE SURFACE

FINISH GRADE -

NOT TO SCALE



SPACING AS SHOWN

ON PLANT LIST

TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS. "D" EQUALS THE SPACING DISTANCE AS

SPECIFIED ON THE PLANT LEGEND.

REMOVE ALL LABELS AND TAGS — SHALL BE 1-2" HIGHER THAN -FINISH GRADE WHEN PLANTED MULCH LAYER AS SPECIFIED -

PLANTING MIX AS SPECIFIED REMOVE CONTAINER AND

PRUNE ANY CIRCLING ROOT

TOP OF ROOTBALL

PLANT LIST

SIZE

4" CALIPER

2" CALIPER

2" CALIPER

7 GALLON

5 GALLON

5 GALLON

5 GALLON

5 GALLON

1 GALLON

1 GALLON

1 GALLON

1 GALLON

1 GALLON

4" POT

FEET

SQUARE

FEET

SQUARE

FEET

TON

SPACING

AS SHOWN

AS SHOWN

AS SHOWN

48" O.C.

36" O.C.

36" O.C.

36" O.C.

36" O.C.

18" O.C.

18" O.C.

18" O.C.

24" O.C.

18" O.C.

8" O.C.

SOLID SOD

COVERAGE

COVERAGE

AS SHOWN

REMARKS

NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING

HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.

NURSERY GROWN; FULL HEAD; MINIMUM 8'-0"

NURSERY GROWN; FULL HEAD; MINIMUM 8'-0"

CONTAINER GROWN; FULL PLANT.

DIAMETER IN SIZE.

PROCEEDING WITH WORK.

SPACING AS SHOWN ON PLANT LIST

MINIMUM 100% COVERAGE ALL AREAS SHOWN

INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ

FILTER FABRIC BENEATH ROCK. STONE SHALL BE ¾ - 1"

3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC

BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL

INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND

PINKS. RIVER ROCK SHALL BE AN EQUAL

COMBINATION OF 1"-2" AND 2"-4" IN SIZE.

50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM

THIRD OF BOULDER IN LANDSCAPE BED. FIELD

LOCATE ALL BOULDER MASSES ON SITE AND MARK

FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE

OVERALL HEIGHT.

OVERALL HEIGHT.

SCIENTIFIC NAME

ULMUS PARVIFOLIA

CHILOPSIS LINEARIS

ILEX CORNUTA' DWARF

PEROVSKIA ATRIPLICIFOLIA

YUCCA FILAMENTOSA 'COLOR

MISCANTHUS SINENSIS 'LITTLE

PENNISETUM ALOPECUROIDES

ILEX VOMITORIA

MYRICA PUSILLLA

SALVIA GREGGII

'LITTLE BUNNY'

'PROSTRATUS'

LIRIOPE MUSCARI

NASSELLA TENUISSIMA

ROSMARINUS OFFICINALIS

TO BE SELECTED BY OWNER

CYNODON DACTYLON

KITTEN'

1/2 ROOTBALL DIAMETER →

NOT TO SCALE

TOP OF MULCH SHALL BE 1/2" BELOW SIDEWALK

CONCRETE SIDEWALK

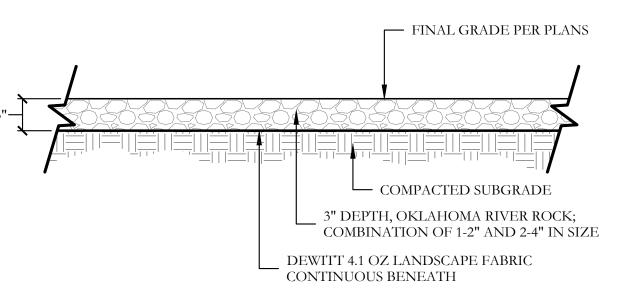
PLANTING MIX AS

SPECIFIED

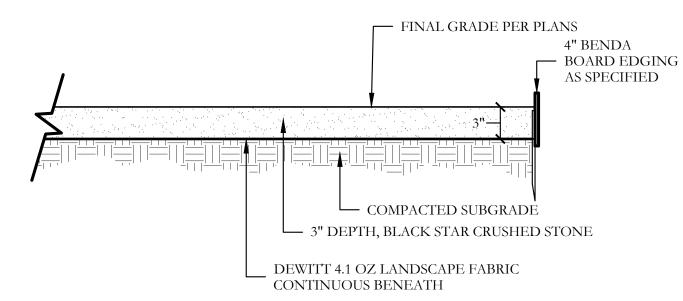
UNDISTURBED NATIVE

AMENITY CENTER

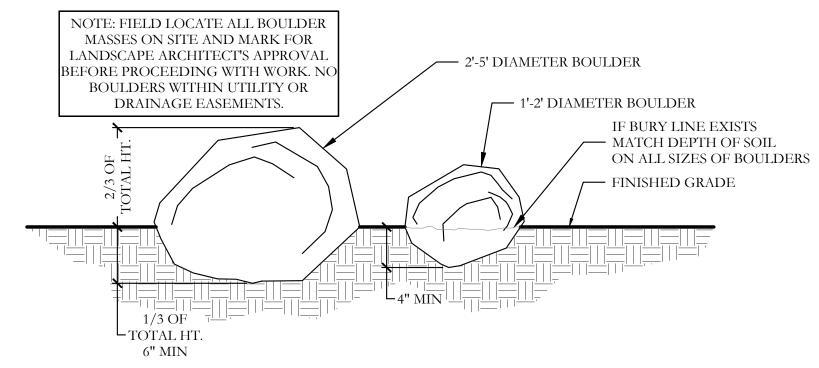
JVC No JVC022 LS3 of $\underline{3}$



OKLAHOMA RIVER ROCK BED SCALE: 1" = 1'-0"



BLACK STAR CRUSHED STONE DETAIL



LANDSCAPE BOULDER DETAIL SECTION

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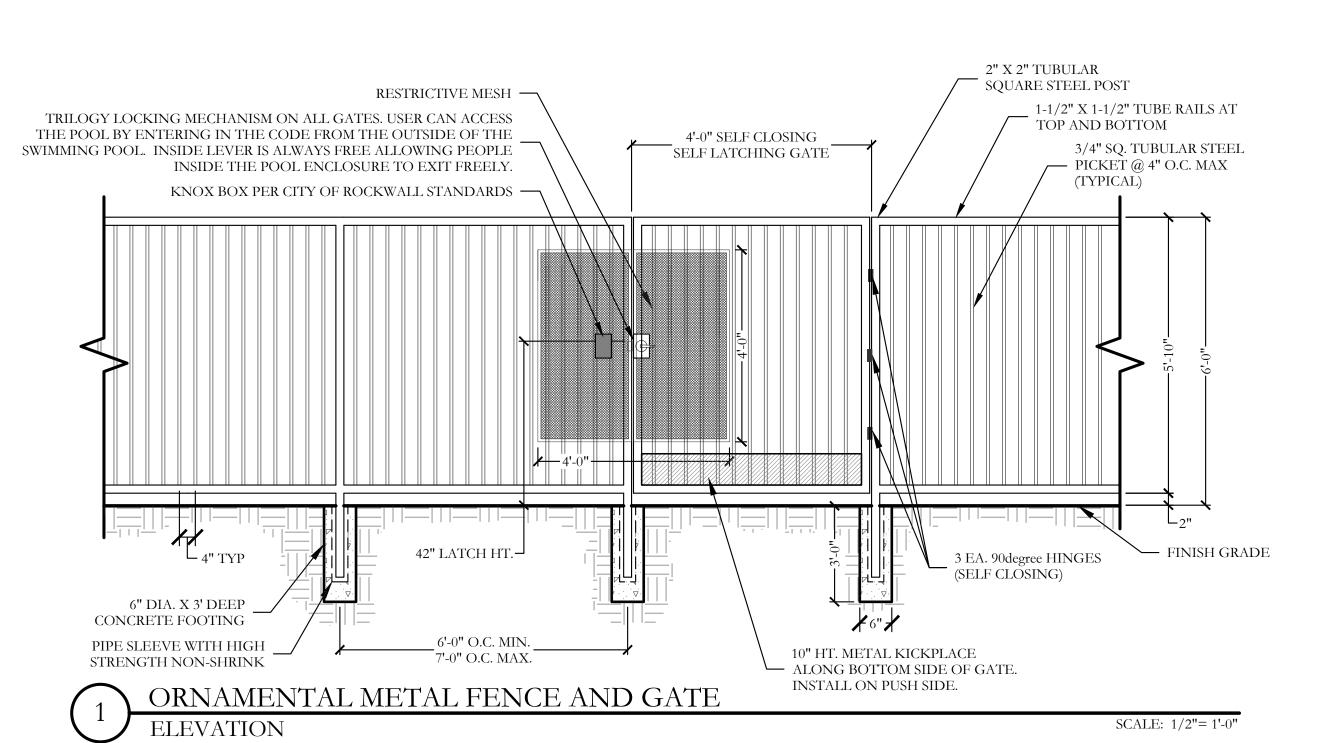
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WITNESS OUR HANDS, this ____ day of _____, ____. Planning & Zoning Commission, Chairman Director of Planning and Zoning

SCALE: DETAILS One Inch

JVC No JVC022



6'-0" HT ORNAMENTAL METAL FENCE. 4'-0" WIDTH ORNAMENTAL METAL GATE. CONCRETE PAD SHALL NOT EXCEED 2% GRADE EACH WAY VARIED WIDTH CONCRETE SIDEWALK

GATE SIDEWALK ENTRANCE/EXIT PAD

2" X 2" TUBULAR SQUARE STEEL POST 3-1/2"Ø X 18" DEPTH SCHEDULE 40 PVC SLEEVE, EPOXY GROUT POST INTO SLEEVE GRADE 1% MIN. SLOPE RETAINING WALL BY OTHERS MORTARED STONE RUBBLE FIRM NATIVE SOIL WEEP HOLE OR COMPACTED FILL FINAL GRADE TEMPORARY SLOPE

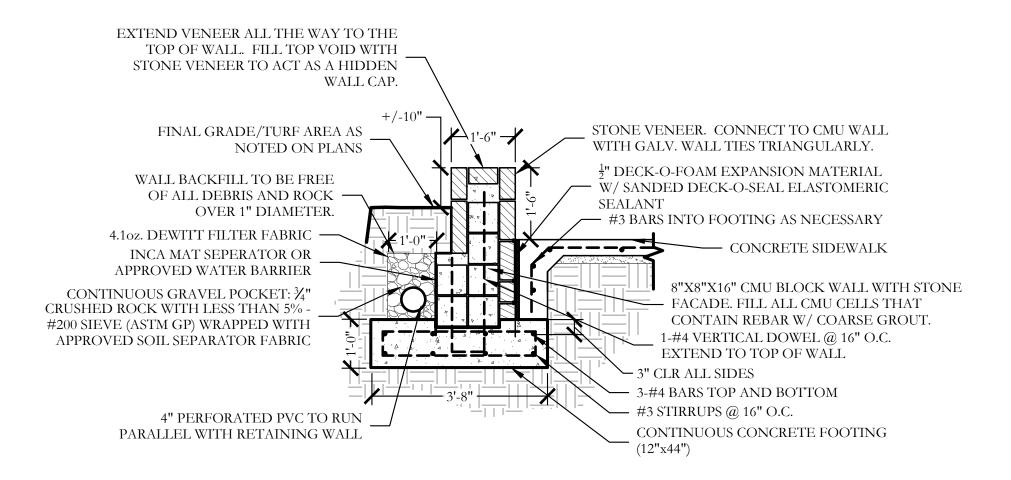
6'-0" HT. ORN. METAL FENCE ATOP RET. WALL

ORNAMENTAL METAL FENCE NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND
- 2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS. 4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS,
- SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE
- 5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
- 6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY
- SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED. 7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
- 8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- 9. FENCE MEMBER SIZES TO BE AS FOLLOWS:
- 9.1. PICKETS, 3/4" SQUARE 16 GA. 9.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
- 9.3. POSTS, 2" SQUARE 11 GA.
- 10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- 11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
- 12. GATE IS TO BE SELF CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFIC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL. DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
- 13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
- 14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
- 15. LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.

EXTEND VENEER ALL THE WAY TO THE

16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL



VARYING HT. STONE RETAINING/SEAT WALL

TOP OF WALL. FILL TOP VOID WITH STONE VENEER TO ACT AS A HIDDEN POST SLEEVE 2'-0" INTO BLOCK WALL. POST WALL CAP. SLEEVE TO BE FLUSH WITH TOP OF CMU. ½" DECK-O-FOAM EXPANSION W/ 4" LEUDER'S CHOP STONE VENEER. SANDED ELASTOMERIC SEALANT - CONNECT TO CMU WALL WITH GALV. CONCRETE POOL DECK; WALL TIES TRIANGULARLY. ELEVATION AS NOTED ON PLANS 8"X8"X16" CMU BLOCK WALL WITH STONE CONTINUOUS 9 GA. LADDER - FACADE. FILL ALL CMU CELLS THAT EACH COURSE. CONTAIN REBAR W/ COARSE GROUT. 4.1oz. DEWITT FILTER FABRIC ~--~~ INCA MAT SEPERATOR OR #4 VERTICAL DOWELS W/ APPROVED WATER BARRIER 12" HOOK @ 16" O.C. WALL BACKFILL TO BE FREE OF ALL DEBRIS AND ROCK OVER 1" DIAMETER. COMPACT IN 8" MAX. LIFTS @ 90% STANDARD DENSITY CONTINUOUS GRAVEL POCKET: 3/4" 4-#5 BARS TOP AND BOTTOM CRUSHED ROCK WITH LESS THAN 5% -W/ #3 STIRRUP @ 18" O.C. #200 SIEVE (ASTM GP) WRAPPED WITH APPROVED SOIL SEPARATOR FABRIC CONTINUOUS CONCRETE FOOTING 4" PERFORATED PVC TO RUN PARALLEL (12"x44") WITH RETAINING WALL

RETAINING WALL W/ POOL DECK

ORNAMENTAL METAL POST

SCALE: 1/2"=1'-0'

3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL

APPROVED:

7'-0" MAX SPACING TYP.

2" X 2" TUBULAR SQUARE

STEEL POST W/ CAP, TYP.

3'-6" HT. ORN. METAL GUARDRAIL ATOP RET. WALL

PERMITTED BY BUILDING INSPECTORS.

RET. WALL REFER TO

CIVIL PLANS

RETAINING WALL REFER

FINISH GRADE —

TO CIVIL PLANS

Planning & Zoning Commission, Chairman

I hereby certify that the above and foregoing site plan for a development

in the City of Rockwall, Texas, was approved by the Planning & Zoning

Commission of the City of Rockwall on the _____ day of ______, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN

REMAINS WITH THE DESIGN ENGINEER. THE CITY OF

ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

1-1/2" X 1-1/2" TUBE RAILS

3/4" SQ. TUBULAR STEEL

PICKETS @ 4" O.C. MAX. TYP.

AT TOP AND BOTTOM

4" O.C.

MAX.

SCH. 40 PVC POST SLEEVE TO BE A MINIMUM OF

GRADE. POSTS SHALL BE INSTALLED IN SLEEVE

INTO PLACE. SLEEVES SHALL BE FLUSH WITH

AT A MINIMUM DEPTH OF 3'-0" AND CONCRETED

— CLAY DRAIN CAP

DRAIN ROCK COMPOSED OF

GRANULAR BACKFILL WRAP

WITH FILTER FABRIC. REQUIRED

CLEAN 2"-4" DIAMETER

FOR WALLS OVER 2'-0".

3'-0" INTO RETAINING WALL OR NATURAL

2" X 2" TUBULAR

SQUARE STEEL POST.

TOP OF RETAINING WALL.

FINISH GRADE, CONCRETE

SIDEWALK REFER TO CIVIL PLANS

RET. WALL NOTES

1- WALL DESIGN NOT BASED ON LOADING FROM STRUCTURAL OR VEHICULAR SURCHARGES OR VISIBLE SIGNS OF GROUNDWATER. 2- VERTICAL EXPANSION JOINTS TO BE SPACED A MAXIMUM OF 25'. 3- BACKFILL MATERIAL TO CONSIST OF LOW P.I. SOILS FREE OF

ORGANIC DEBRIS.

4- DESIGN BASED ON MINIMAL WIND LOADING TO ATTACHED ORNAMENTAL FENCING.

5- MORTAR SHALL BE TYPE M BASED ON ASTM C270 WITH REINFORCING STEEL CONSISTING OF FY=60KSI PER ASTM A615. 6- BASED ON EXTREME DROUGHT CONDITIONS IN THE AREA, WATERING OF ADJACENT SOILS (AS NEEDED) IS REQUIRED FOR

PROPER MAINTENANCE OF ALL STRUCTURES.

TERRACES
AMENITY CENTER
CITY OF ROCKWALL
OCKWALL COUNTY, TEXAS

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firway East | Suite 1200 | Plano, TX 75074 | 972,201,310

AMENITY CENTER FACILITY
SITE DETAILS

THESE
DOCUMENTS
ARE FOR
INTERIM REVIEW
ONLY AND NOT
INTENDED FOR
CONSTRUCTION
OR BIDDING
PURPOSES.

June 14, 2024

SCALE:

REFER TO

DETAILS

One Inch

JVC No JVC022

L5

Thereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of ______.

WITNESS OUR HANDS, this _____ day of ______.

Mar. 2018 R-2070

STANDARD SPECIFICATION REFERENCE

305.4

Page 268

Page 272

Detectable Warning Devices (DWD) shall be pre-manufactured cast-in-place truncated dome plates installed to the manufacturer's specifications, and shall meet all ADA requirements. No Brick Pavers allowed. Color to be approved by the City. DWD shall be 24 inches in length for the full width of the street connection starting at the back of curb. A maximum 2-inch border shall be allowed on the sides of the DWD for proper installation.

SEALING COMPOUND 1" MIN.

- LAP BARS 30 DIA & TIE

- HOT POURED RUBBER JOINT

· 0 • •

SAWED CONTRACTION JOINT

1 1/4" MIN. CLEARANCE

TRANSLUCENT DOWEL SLEEVE

BE SECURED) TO BE INSTALLED

303.5.4.

Mar. 2018 R-2050

Page 266

FIRST POUR

1/2" WDE

KEYWAY JOINT (FOR PAVEMENT THICKNESS > 6")

REINFORCING SHALL BE - #3 BARS AT 24" FOR 6"

HOT POURED RUBBER JOINT

REDWOOD OR SYNTHETIC -

REINFORCED CONCRETE PAVEMENT CITY OF ROCKWALL

EXPANSION JOINT FILLER

JOINTS

SEALING COMPOUND 1" MIN.

THICK PAVEMENT AND LESS, #4 BARS AT 18" FOR 8" THICK PAVEMENT AND GREATER.

- HOT POURED RUBBER JOINT SEALING COMPOUND

(SEE NOTE) -

CONSTRUCTION JOINT

24" #6 SMOOTH DOWEL

EXPANSION JOINT

(SPACED 600 FT. MAXIMUM; LOCATE AT

STRUCTURES AND AT INTERSECTION P.C.'S & P.T.'S)

16" DOWEL COATING

DOWEL SUPPORT SHALL BE OF A

METHOD APPROVED BY ENGINEER

Also known as "Clear Space" per ADA PROWAG, the City requires a minimum landing space of 5-foot by 5-foot at the bottom of every ramp. This landing space shall have a cross slope in both directions that does not exceed 2.0% and shall be wholly outside the parallel vehicular travel

The ramp component of the directional curb ramp shall have a continuous longitudinal slope more than 5% and less than 8.3%. The ramp shall also have a cross slope of no more than 2.0%. Length of ramp can vary, but shall not exceed 15 feet to achieve desired elevation change.

Also known as "Turning Space" per ADA PROWAG, a minimum landing space of 5-foot by 5-foot shall be at the top of every ramp. This landing (turning) space shall have a cross slope in both directions that does not exceed 2.0%. Landing must match width of sidewalk and length shall be the same distance ("Squared" Landing).

All curb ramps shall have grade breaks at the top and bottom that are perpendicular to the direction of the ramp run. Where the ends of the bottom grade break are less than or equal to 5 feet, the DWD shall be placed within the ramp at the bottom grade break. Where either end of the bottom grade break is greater than 5 feet, the DWD shall be placed behind the back of the

Paving contractor shall leave block out with a keyway joint installed, minimum of 18 inches measured from back of curb. Block out shall be poured monolithically with Curb Ramp. Concrete shall tie to street paving with a keyway joint per NCTCOG detail 2050. No curb shall be constructed where a DWD is provided. The curb on either side shall have a typical 5 foot taper to transition from the standard 6-inch curb height to be flush with ramp.

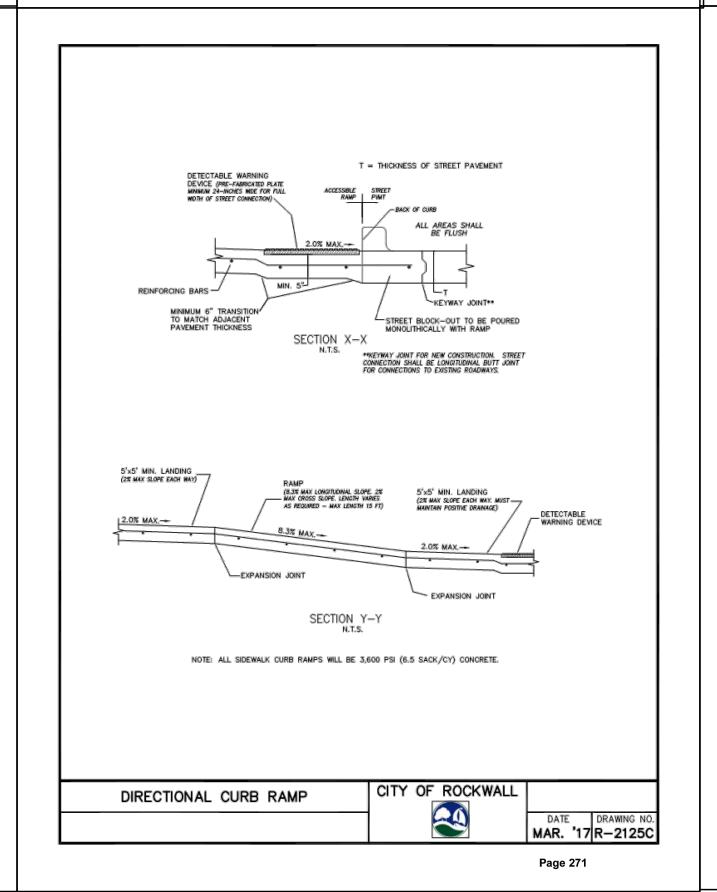
All work associated with accessible routes shall be installed flush with all features to minimize vertical surface discontinuities. Each segment along accessible route shall be flush with no more (zero tolerance) than a 1/4-inch grade separation (elevation difference), or 1/2-inch grade separation if beveled (bevel slope shall not be steeper than 50%).

(H) A sidewalk header shall be constructed at ends of all work performed.

Street crossings shall adhere to same guidelines as other accessible routes within public right-of-way, and shall be for the full width of the in-line accessible route. Cross slope shall not exceed 2%*. New street construction shall incorporate all ADA design requirements. It shall be the responsibility of the Design Professional and Contractor to ensure all street crossings meet the requirements of PROWAG. Street alterations on existing streets to bring to compliance shall be at the City Engineer's discretion.

All curbs constructed as part of an ADA Ramp shall match City curb standards. * See PROWAG special design considerations when street crossing has no stop or yield condition.

CITY OF ROCKWALL DIRECTIONAL CURB RAMP MAR. '17 R-2125B Page 270



½" DOWELED EXPANSION JOINT

EVERY 40' MAX

PLAN VIEW N.T.S.

1 1/2"₇

∠#3 BARS ON 24" --

CENTERS BOTH WAYS 1 1/2"

SIDEWALK PANELS SHALL BE

-LIGHT BRUSH FINISH

<u>SECTION "A-A"</u>

PRE-FORMED EXPANSION MATERIAL

USE EDGER-BOTH SIDES -

½" SEALED NON-EXTRUDED

1 THICKNESS OF PAVEMENT

PRE-FORMED EXPANSION MATERIAL

DOWEL #3 BAR @ 24" CENTERS

REINFORCED CONCRETE SIDEWALKS

JOINTS AND SPACING

MAX 2% SLOPE TOWARDS STREET |

GROOVED ¾" DEEP AND

SPACED PER TABLE

W AND J TO BE EQUAL

1. CROSS SLOPE OF SIDEWALK SHALL BE

SHALL BE MINIMUM 3,000 PSI (5.5

SACK/C.Y.) CONCRETE.

SIDEWALK.

RADIUS ON CURB

CITY OF ROCKWALL

JOINT LUG DETAIL FOR MEDIAN PAVEMENT

LEAD WALK CONNECTIONS OR SIDEWALK ADJACENT TO CURB

NO GREATER THAN 2%
2. SIDEWALK CONCRETE WITHIN CITY R.O.W.

5. ALL SIDEWALKS SHALL MAINTAIN POSITIVE

ADJACENT TO CURB A LUGGED INTO THE

. ALL HONEYCOMB IN BACK OD CURB TO BE TROWEL-PLASTERED BEFORE POURING

5. MINIMUM WIDTH OF 6' IF SIDEWALK

#3 BARS ON 24" CENTERS BOTH WAYS

TRANSLUCENT PVC MAT FREE OF DOWEL BAR

Page 277

6. STEEL WIRE MESH IS NOT ACCEPTABLE.

PEDESTRIAN ACCESSIBILITY (WITHIN PUBLIC R.O.W.)

RAILROAD HEADER IS TO HAVE A TWO (2) INCH

NOTCH INTO THE CONCRETE PAVEMENT FOR THE

THE END OF THE PAVEMETN AND GO TWENTY (20)

STREET HEADERS

FEET UP THE ROAD AWAY FROM THE CROSSING.

CONCRETE UNDER THE HMAC IS TO BE THE FULL

All newly constructed sidewalks, curb ramps and crosswalks installed within City of Rockwall public rights-of-way shall be considered a pedestrian access route and shall conform to the most current Guidelines for Public Rights-of-Way created by the United States Access Board.

STREET THICKNESS. THE NOTCH SHOULD START AT STREET HEADER AT RAILROAD

REINFORCED CONCRETE PAVEMENT CITY OF ROCKWALL

CURB RAMPS 1. All slopes shown are MAXIMUM ALLOWABLE. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.

2. Landings shall be 5'x 5' minimum with a maximum 2% slope in the transverse and longitudinal directions... 3. Clear space at the bottom of curb ramps shall be a minimum of 5'x 5' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.

 Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%. 5. Additional information on curb ramp location, design, light reflective value and texture may be found in the most current edition of the Texas Accessibility Standards (TAS) and 16 TAC 68.102. Federal guidelines shall supersede any conflicts.

6. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps and accessible routes shall align with theoretical crosswalks unless otherwise directed. Handrails are not required on curb ramps.

8. Provide a flush transition where the curb ramps connect to the street. 9. Accessible routes are considered "ramps" when longitudinal slopes are between 5% and 8.3%

(maximum allowable). Sidewalks under 5% longitudinal slope are deemed accessible routes and must follow all applicable guidelines. DETECTABLE WARNING DEVICE 10. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with

adjoining surfaces. Furnish and install an approved cast—in—place dark red detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the 11. Detectable Warning Materials shall be truncated dome plates in the color approved by the

City. Install products in accordance with manufacturer's specifications. 12. Detectable warning surfaces must be slip resistant and not allow water to accumulate. 13. Detectable warning surfaces shall be a minimum of 24" in depth in the direction of

pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street. 14. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. When placed on the ramp, align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Where detectable warning surfaces are provided on a surface with a slope that is less than 5 percent, dome orientation is less critical. Detectable warning surfaces may be curved along the corner radius.

15. Provide clear ground space at operable parts, including pedestrian push buttons. Operable parts shall be placed within one or more reach ranges specified in TAS 308. 16. Place traffic signal or illumination poles, ground boxes, controller boxes, signs, drainage facilities and other items so as not to obstruct the pedestrian access route or clear ground

17. Street grades and cross slopes shall be as shown elsewhere in the plans.

18. Changes in level greater than 1/4 inch are not permitted (1/2 inch with bevel). 19. The least possible grade should be used to maximize accessibility. The running slope of sidewalks and crosswalks within the public right of way may follow the grade of the parallel roadway. Where a continuous grade greater than 5% must be provided, handrails may be desirable to improve accessibility. Handrails may also be needed to protect pedestrians from potentially hazardous conditions. If provided, handrails shall comply with TAS 505.

20. Handrail extensions shall not protrude into the usable landing area or into intersecting

CITY OF ROCKWALL DIRECTIONAL CURB RAMP MAR. '17 R-2125D

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this _____ day of ______, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

7

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CWAL DET

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING

PURPOSES. June 14, 2024

SCALE: REFER TO DETAILS One Inch

JVC No JVC022



Planning and Zoning Department City of Rockwall – Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

June 14, 2024

Tree Survey Affidavit

Terraces, Amenity Center City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

Sincerely,

Cody Johnson, RLA, ASLA, LI **Johnson Volk Consulting**

704 Central Parkway East

Suite 1200

Plano, Texas 75074