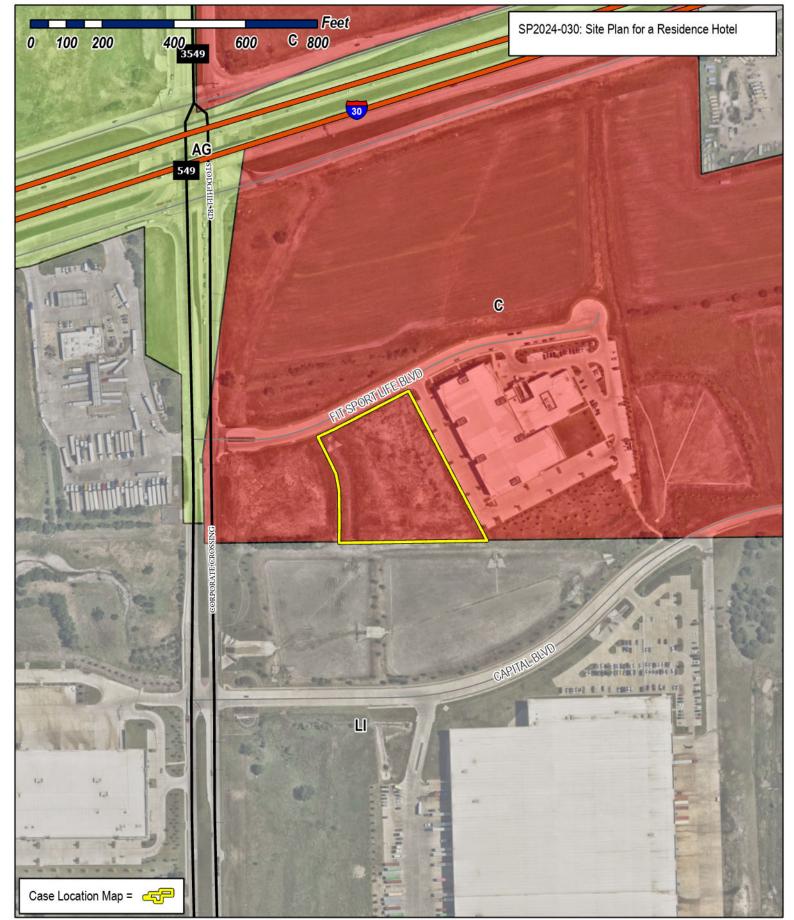
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PLATTING APPLIA MASTER PLAT PRELIMINARY FINAL PLAT (\$300) REPLAT (\$300) AMENDING OR PLAT REINSTA SITE PLAN APPLI	CATION FEES: (\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 300.00 + \$20.00 ACRE) 1 00 + \$20.00 ACRE) 1 R MINOR PLAT (\$150.00) TEMENT REQUEST (\$100.00)	1	ZONING A ZONIN ZONIN SPECI PD DE OTHER A TREE VARIAL NOTES: 1: IN DETERM PER ACREAM 3: A \$1,000	APPLIC G CHA FIC US VELOP PPLIC REMO\ NCE RI MOUNT. I MOUNT. I 9 FEE W	ATION FEES: NGE (\$200.00 + \$ E PERMIT (\$200.) MENT PLANS (\$2 ATION FEES: /AL (\$75.00) EQUEST/SPECIA FOR REQUEST ON LE /ILL BE ADDED TO TI CTION WITHOUT OR N	515.00 ACRE) 00 + \$15.00 A 200.00 + \$15. L EXCEPTIO HE EXACT ACRE SS THAN ONE AC HE APPLICATION)1 ACRE)1&2 00 ACRE)1 NS (\$100.00) ² EAGE WHEN MULTIPL RE, ROUND UP TO OD N FEE FOR ANY REC	NE (1) ACRE. QUEST THAT
PROPERTY INFO	ORMATION [PLEASE PRINT]							
ADDRES	s Fit Sport Life Blvc	1.						
SUBDIVISIO	N Fit Sport Life Add	lition			LOT	6	BLOCK	В
GENERAL LOCATIO			ection of l	-30 a	and Cornor	ate Cros	sina	
				000			onig	
	LAN AND PLATTING IN	FURMATION [PLEASE						
CURRENT ZONIN	G Commercial - C		CURRENT	USE	Vacant			
PROPOSED ZONIN	G Commercial - C v	vith SUP	PROPOSED) USE	Hotel			
ACREAG	E 2.819 acres	LOTS [CURRENT]	1		LOTS	[PROPOSED	0] 1	
REGARD TO ITS	<u>D PLATS</u> : BY CHECKING THIS BC APPROVAL PROCESS, AND FAILL DENIAL OF YOUR CASE.							
OWNER/APPLIC	ANT/AGENT INFORMA	TION [PLEASE PRINT/CHE	CK THE PRIMAR	Y CONT	ACT/ORIGINAL SK	GNATURES AF	RE RÉQUIRED]	
	Structured REA-Roo				Wier & Ass			
CONTACT PERSON	Conor Keilty, AIA		CONTACT PERS	SON	Renee Wa			
ADDRESS	3104 E. Camelback	Road, Ste. 2387	ADDR	ESS			vd, Ste 200	F
							a, 010 200	
CITY, STATE & ZIP	Phoenix, Arizona 8	5016	CITY, STATE &	ZIP	Arlington,	Texas 7	6006	
PHONE	(480) 856-8808	0010		ONE	(817) 467		0000	
E-MAIL	conork@structured	rea com		AIL	. ,		sociates.co	
NOTARY VERIFIC	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DA ION ON THIS APPLICATION TO BE	AY PERSONALLY APPEARED	CONOR	KE			RJ THE UNDERS	
S 306.38	I AM THE OWNER FOR THE PURPO TO COVER THE COS 20 24: BY SIGNING WITHIN THIS APPLICATION TO FION WITH THIS APPLICATION, IF SU	ST OF THIS APPLICATION, HAS G THIS APPLICATION, I AGREE THE PUBLIC THE CITY IS A	BEEN PAID TO TH THAT THE CITY	ie city of roc d and	OF ROCKWALL ON KWALL (I.E. "CITY") PERMITTED TO RI TO A REQUESTFOR	THIS THE IS AUTHORIZE PRODUCE AN PUBLIC INFOR	TAND PERMITTE (Ang Renger Man MAT (1986) MAT (1986)	DAY OF D TO PROVIDE INPORMATION
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS TI	HE & DAYOF June		20 <u>24</u>			ks County Expires April 1, 20 Number 1393757	025
	Pagenty / vini 2	TP	\geq					
NUTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	lank			MY COMM	ISSION EXPIR	ES OI or 2	ns

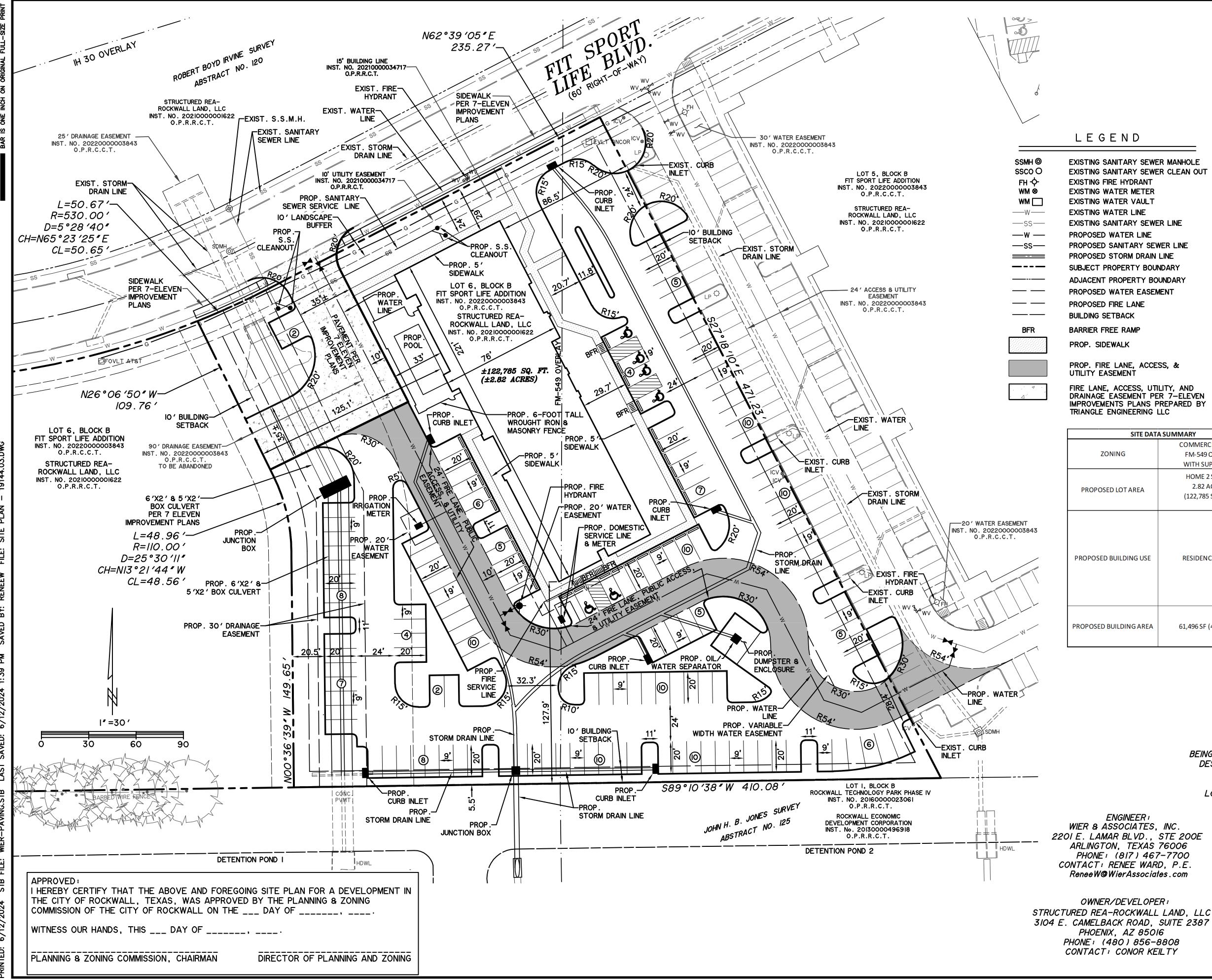




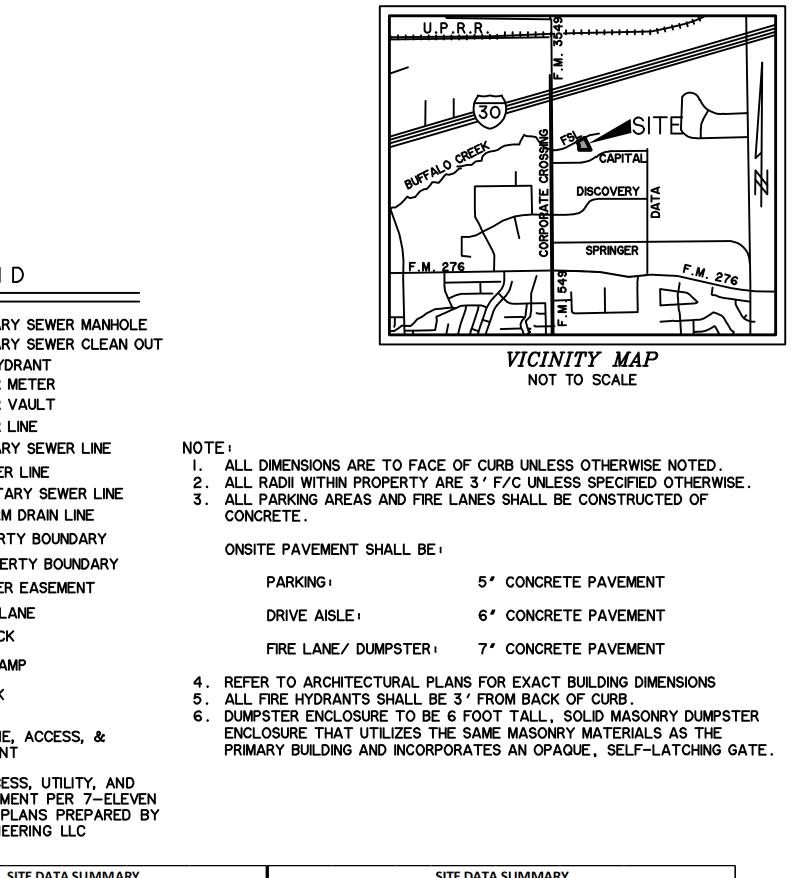
City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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STB



SITE DATA	A SUMMARY	SITE DATA SUMMARY					
G	COMMERCIAL (C) & FM-549 Overlay WITH SUP# S-266		GUEST ROOM 1/ROOM = 107				
DT AREA	HOME 2 SUITES 2.82 ACRES (122,785 SQ. FT)		STORAGE USES 1/1000 SF (1,499 SF) = 2 OFFICE 1/300 SF (1,340 SF) = 5 LIMITED SERVICE RESTAURANT				
.DING USE	RESIDENCE HOTEL	MINIMUM PARKING REQUIRED	1/250 SF (1,661 SF) = 1/2 (AS ACCESSORY USE) = 4 MARKET 1/250 SF (99 SF) = 1/2 (AS ACCESSORY USE) = 1 FITNESS CENTER & POOL 1/200 SF (2,266 SF) = 1/2 (AS ACCESSORY USE) = 6 TOTAL = 125 PARKING SPACES PARKING REMOVED FROM AMERISPORTS = 12 TOTAL REQUIRED PARKING = 137				
DING AREA	61,496 SF (4-STORY)	MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	5				
		TOTAL PARKING PROVIDED	STANDARD (9'X20') = 138 HANDICAP-ACCESSIBLE = 6 TOTAL = 144 PARKING SPACES				

SITE PLAN **HOME 2 SUITES**

BEING A 2.819 ACRE PORTION OF A LARGER 4.767 ACRE TRACT OF LAND DESCRIBED IN A PLAT AS LOT 6, BLOCK B, FIT SPORT LIFE ADDITION RECORDED IN INSTRUMENT NO. 2022000003843, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 ROCKWALL COUNTY, TEXAS CASE NO. XXXX

ARLINGTON, TEXAS 76006 PHONE: (817) 467-7700 Renee W@WierAssociates.com

EXISTING ZONING: COMMERCIAL & FM-549 OVERLAY WITH SUP# S-266 PROPOSED LAND USE RESIDENCE HOTEL



PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR BIDDING OR PERMIT PURPOSES Prepared By/Or Under Direct Supervision Of Renee Ward, PE Texas Registration No. 140049 On Date Shown Below.

SHEET 1 OF 1

DATE: 6/12/2024 W.A. No. 19144.03







(3)

(4)

•

(2)

1

BK 2

_ - _ _ _ _ _ _ _

(5)

(6)

EF 1



	TOTAL SURFACE AREA	TOTAL GLAZING NET SURFACE AREA ST				BRICK		EIFS*		
EAST ELEVAT	ON 11791 sq. ft.	3291 sq. ft.	27.9 %	8500 sq. ft.	1717 sq. ft.	20.2 %	5800 sq. ft.	68 %	980 sq. ft.	11 %
WEST ELEVAT	ON 11571 sq. ft.	2574 sq. ft.	22.2 %	8997 sq. ft.	2248 sq. ft.	24.9 %	5900 sq. ft.	65 %	848 sq. ft.	9.4 %
NORTH ELEVAT	4124 sq. ft.	293 sq. ft.	7%	3831 sq. ft.	674 sq. ft.	18 %	2826 sq. ft.	73 %	373 sq. ft.	9 %
SOUTH ELEVAT	ON 4112 sq. ft.	142 sq. ft.	3.4%	3970 sq. ft.	950 sq. ft.	24 %	2612 sq. ft.	66 %	403 sq. ft.	10 %
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	BK 1				<u> </u>		SEC			
								OND FLOOR	Ψ	
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FI	NISH KEY :							
BK 1	BRICK - ACME BRICK SNOWDRIFT							
BK 2	BRICK - ACME BRICK ONYX							
ST 1	STONE - STONE VENEER - AUSTIN 6" LIMESTONE							
CS 1	CAST STONE							
EF 1	EIFS - BENJAMIN MOORE GRAY 2121							
EF 2	EIFS (BEACON REVEAL) COLOR: HOME 2 SUITES SIGNATURE GREEN BENJAMIN MOORE 398 "FLOWER POWER"							
MT 1	METALS - CANOPY, ALUMINUM WINDOWS, EXTERIOR LOUVERS AND GRILLES - MATTE BLACK FINISH							
GL 1	GL 1 GLASS - GUARDIAN, SUN GUARD SN54, CRYSTAL GRAY - CLEAR							
GEN	NERAL NOTES THIS SHEET:							
1. 2.								
	·							
INCC	ARCHITECTURAL ELEMENTS INCORPORATED INTO THE BUILDING DESIGN FOR EACH FACADE.							
1. C	1. CANOPIES, AWNINGS, OR PORTICOS							

- 2. RECESSES/ PROJECTIONS
- 3. OUTDOOR PATIOS
- 4. ARTICULATED GROUND FLOOR LEVELS OR BASES
- 5. ARTICULATED CORNICE LINE 6. VARIED ROOF HEIGHTS

NE	



owner GATEHOUSE CAPITAL 1. 214.922.4315

architecture **STUDIO RED DOT** 10000 NCX, Suite 1045 Dallas, TX 75231 t. 469.941.4145

structural engineer URBAN STRUCTURE 8140 Walnut Hill Lane, Suite 905 Dallas, Texas 75231 t. 214.295.5775

mep engineer MEP GREEN DESIGN AND BUILD 915 Gemini St. Houston, Texas 77058 t. 281.786.1195

civil engineer WIER & ASSOCIATES, INC. 2201 E. Lamar Blvd., Suite 200E Arlington, TX 76006 t. 817.467.7700

project HOME 2 SUITES by Hilton Rockwall, TX 75032



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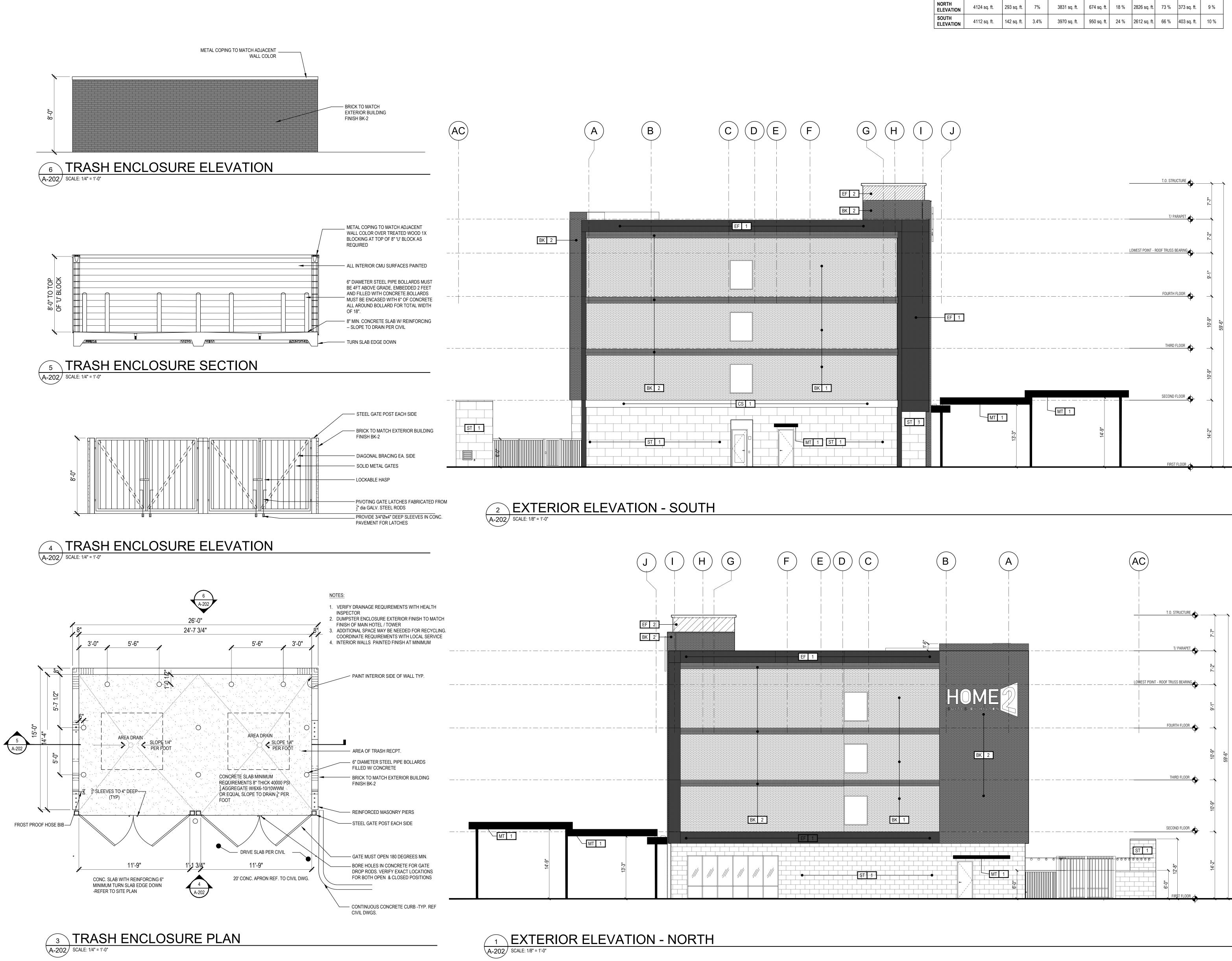
revisions

title EXTERIOR ELEVATIONS

date 06/14/2024

sheet





ING ELE	VATIO	N AR	EAS								FI	NISH KEY :
TOTAL SURFACE AREA	TOTAL C AR	Glazing Ea	NET SURFACE AREA	STC	DNE	BRI	СК	EIF	S*		BK 1	BRICK - ACME BRICK SNOWDRIFT
11791 sq. ft.	3291 sq. ft.	27.9 %	8500 sq. ft.	1717 sq. ft.	20.2 %	5800 sq. ft.	68 %	980 sq. ft.	11 %		BK 2	BRICK - ACME BRICK ONYX
11571 sq. ft.	2574 sq. ft.	22.2 %	8997 sq. ft.	2248 sq. ft.	24.9 %	5900 sq. ft.	65 %	848 sq. ft.	9.4 %			
4124 sq. ft.	293 sq. ft.	7%	3831 sq. ft.	674 sq. ft.	18 %	2826 sq. ft.	73 %	373 sq. ft.	9 %		ST 1	STONE - STONE VENEER - AUSTIN 6" LIMESTONE
4112 sq. ft.	142 sq. ft.	3.4%	3970 sq. ft.	950 sq. ft.	24 %	2612 sq. ft.	66 %	403 sq. ft.	10 %		CS 1	CAST STONE
	1		I	I		1 1		1		1	EF 1	EIFS - BENJAMIN MOORE GRAY 2121
											EF 2	EIFS (BEACON REVEAL) COLOR: HOME 2 SUITES SIGNATURE GREEN BENJAMIN MOORE 398 "FLOWER POWER"
											MT 1	METALS - CANOPY, ALUMINUM WINDOWS, EXTERIOR LOUVERS AND GRILLES - MATTE BLACK FINISH
											GL 1	GLASS - GUARDIAN, SUN GUARD SN54, CRYSTAL GRAY - CLEAR
											GEN	IERAL NOTES THIS SHEET:
												GROUT/MORTAR COLOR TO MATCH EXTERIOR TILE OR MASONRY. BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION, INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUNS.
					-		T.O. STRI	JCTURE	"L-12			

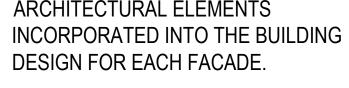
BUILDING ELEVATION AREAS

EAST

WEST

ELEVATION

ELEVATION



- 1. CANOPIES, AWNINGS, OR PORTICOS
- 2. RECESSES/ PROJECTIONS
- 3. OUTDOOR PATIOS
- 4. ARTICULATED GROUND FLOOR LEVELS OR BASES
- 5. ARTICULATED CORNICE LINE 6. VARIED ROOF HEIGHTS

16	Ξ		



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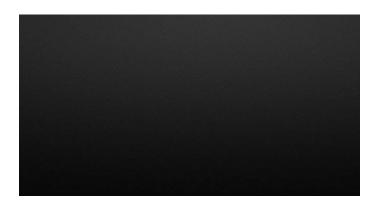
revisions

title **EXTERIOR ELEVATIONS**

date 06/14/2024

sheet





MT-1 METALS, MATTE BLACK



GL 1 – GUARDIAN GLASS, SUN GUARD SN54, CRYSTAL GREY – CLEAR



EF 2 BENJAMIN MOORE FLOWER POWER BM 398





CS-1 CAST STONE



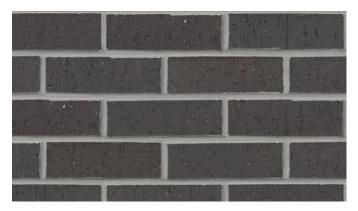
ST-1 STONE VENEER - AUSTIN 6" LIMESTONE







EF 1 BENJAMIN MOORE GRAY 2121

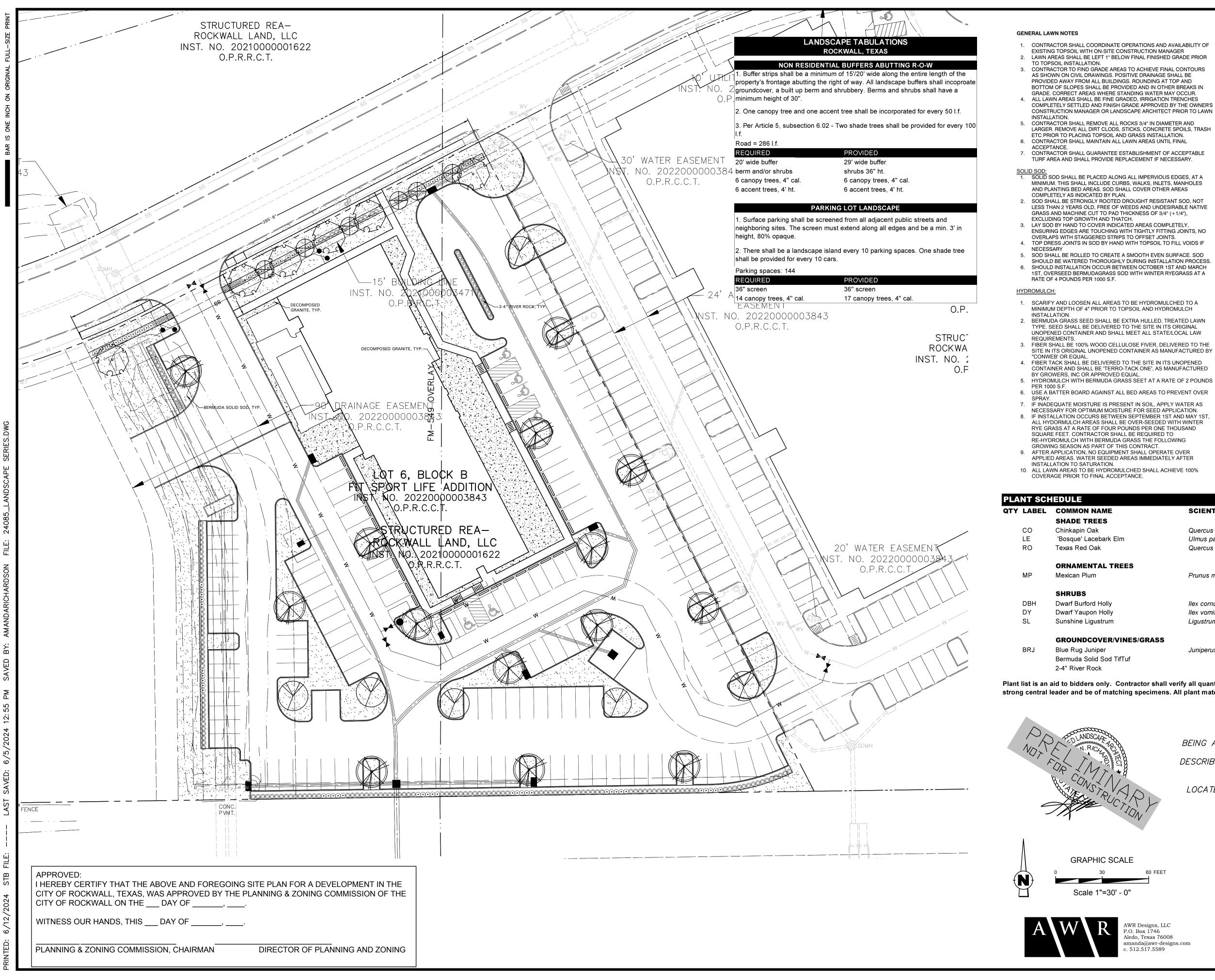


BK-2 ACME BRICK ONYX



BK-1 ACME BRICK SNOWDRIFT





CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF 2. LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR

- AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE, CORRECT AREAS WHERE STANDING WATER MAY OCCUR. 4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S
- LARGER. REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.
- MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES
- 2. SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"),
- ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF
- 5. SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS. SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A
- 2. BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW
- SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY
- 4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED
- HYDROMULCH WITH BERMUDA GRASS SEET AT A RATE OF 2 POUNDS
- NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION. 8. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDORMULCH AREAS SHALL BE OVER-SEEDED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING
- APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER
- 10. ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100%

- LANDSCAPE NOTES
- 1. CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
- 2. CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- 3. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES. 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN
- ARFAS 5. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- 6. PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS
- AND/OR CURBS 8. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- 9. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS. 10. CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS
- APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST. 11. TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE
- HYDRANTS. 12. 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL, PINE STRAW MULCH IS
- PROHIBITED. 13. WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
- 14. CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:

1. ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE
- 2. MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- 3. ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS: 1. STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS. RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER

- ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC
- DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

E	SCIENTIFIC NAME	SIZE	NOTES
	Quercus muhlenbergii	4" cal.	12' ht., 4' spread, matching
⁺k Elm	Ulmus parvifolia 'UPMTF'	4" cal.	14' ht., 5' spread, matching
	Quercus texana	4" cal.	12' ht., 4' spread, matching
TREES			
	Prunus mexicana	30 gal.	8' ht., 4' spread min.
ly	llex cornuta ' Burford Nana'	36" ht.	full, 20" spread, 36" o.c.
lly	llex vomitoria 'Condeaux'	5 gal.	full, 24" sprd, 24" o.c.
im	Ligustrum sinense 'Sunshine'	36" ht.	full, 20" spread, 36" o.c.
R/VINES/GRASS			
	Juniperus horizontalis 'Wiltonii'	1 gal.	full, 18" o.c.

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



BEING A 2.819 ACRE PORTION OF A LARGER 4.767 ACRE TRACT OF LAND DESCRIBED IN A PLAT AS LOT 6, BLOCK B, FIT SPORT LIFE ADDITION RECORDED IN INSTRUMENT NO. 20220000003843, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 ROCKWALL COUNTY, TEXAS CASE NO. XXXX

LANDSCAPE PLAN

HOME 2 SUITES

EXISTING ZONING: COMMERCIAL & FM-549 OVERLAY WITH SUP# S-266PROPOSED LAND USE: RESIDENCE HOTEL

60 FEET

AWR Designs, LLC P.O. Box 1746 Aledo, Texas 76008 nanda@awr-designs.com 512.517.5589

DATE: 6/7/2024

SECTION 32 9300 - LANDSCAPE

- PART 1 GENERAL
- .1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR. A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING
- 1.2 REFERENCE DOCUMENTS A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS
- .3 SCOPE OF WORK / DESCRIPTION OF WORK
- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
 - PLANTING (TREES, SHRUBS, GRASSES) BED PREP AND FERTILIZATION
 - 3. NOTIFICATION OF SOURCES
 - 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
- 5. GUARANTEE B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIAL S
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK REFERENCES
- AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; 27 OCTOBER 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTUTUTE (Z60.1) - PLANT MATERIAL
- AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942 EDITION OF STANDARDIZED PLANT NAMES
- C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS 1.5 SUBMITTALS
- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER'S REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA. . BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE
- AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING
- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO
- COMMENCE. B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CUBBS, CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE. 7 SEQUENCING
- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.
- 1.8 MAINTENANCE AND GUARANTEE
- MAINTENANCE
- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION,
- WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE. D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION, AN ON SITE
- INSPECTION BY THE OWNER'S AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE. E. NOTIFY OWNER OR OWNER'S REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD
- G. REMOVE GUYING AND STAKING MATERIALS AFTER ONE YEAR H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY
- SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE,
- WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER
- FROM AN IRRIGATION SYSTEM. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION
- REAPPLY MULCH TO BARE AND THIN AREAS. M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IBBIGATION SYSTEM THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL. HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR: a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH
- EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE. b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE

- A. TREES, SHRUBS, GROUNDCVOER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON A WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS. LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER "WORK" OF THIS SECTION.
- THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE
- BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS. MACHINES. THEFT OR NEGLIGENCE BY OWNER. . ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION
- BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE. UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK
- 1.9 QUALITY ASSURANCE

APPROVED:

m

A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK

CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

WITNESS OUR HANDS, THIS ____ DAY OF _____, ____

PLANNING & ZONING COMMISSION, CHAIRMAN

- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN. C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF
- CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS. D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.
- E DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PI ANT
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
- G. OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION THE OWNER'S REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS
- HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.
- 1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

A. PREPARATION 1. BALLED AND BURLAPPED B&B PLANTS): DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT

2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS. B. DELIVERY

- 1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT. ANALYSIS AND NAME OF MANUFACTURER, PROTECT MATERIALS FROM
- DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE. 2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS.
- ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE
- 3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
- 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES. 5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
- 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY
- OF PLANT MATERIAL AT JOB SITE. 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
- 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL. B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS AS BINDING AS IF SHOWN AND CALLED FOR ON BOTH, THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY, CONFIRM ALL
- QUANTITIES ON PLAN C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY. WELL SHAPED. FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERSIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE AND WITH SIMILAR CLIMACTIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
- H. WHERE MATERIALS ARE PLANTED IN MASSES. PROVIDE PLANTS OF UNIFORM SIZE. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE
- FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS). ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD,
- DISFIGURING KNOTS, OR\INSECT DAMAGE WILL BE REJECTED. M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLÀRE FOR TREES UP TO AND INCLUDING
- FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED
- FROM THE TOP OF THE ROOT BALL. O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE BEJECTED
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY MATURE TURE WITH SOIL THICKNESS OF 3/4" TO 1" EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

FOREIGN

SANDY

NUTGRASS

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
- 1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS
- MATERIAL AND REASONABLY FREE OF WEEDS AND GRASSES. LOAM CONTAINING DALLASGRASS OR

SHALL BE REJECTED

- 2. PHYSICAL PROPERTIES AS FOLLOWS:
- a. CLAY BETWEEN 7-27% b. SILT – BETWEEN 15-25%
- c. SAND LESS THAN 52%
- 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY

4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN

APPROVED SOIL TESTING LABORATORY VERIFYING THAT LOAM MEETS THE ABOVE REQUIREMENTS.

- B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL
- PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES GLADEWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING FARTH TECHNOLOGY DALLAS TEXAS OR ACID GRO MUNICIPAL MIX AS
- SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL. D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS
- E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED DARK BROWN. ORGANIC FERTILIZER: FERTILAID, SUSTANE, OR GREEN SENSE OR EQUAL AS
- RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
- H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL

2.3 MISCELLANEOUS MATERIALS

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE

- A. STEEL EDGING SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING. DURAEDGE STEEL OR APPROVED EQUAL. B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO
- DFTAILS C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE. AVAILABLE

AT LONE STAR PRODUCTS, INC. (469-523-0444)

D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.

DIRECTOR OF PLANNING AND ZONING

E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5" F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF

PART 3 - EXECUTION

C. GRASS AREAS:

'ROOT SCORING'.

I. DO NOT WRAP TREES.

PLACEMENT

APPEARANCE.

COMMENCE

END OF SECTION

3.2 INSTALLATION

3.1 PREPARATION

DECOMPOSED EARTH BASE. G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN DIAMETER. H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER. B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:

1 PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") PLACING COMPOST AND FERTILIZER. APPLY INCHES PRIOR TO FERTILIZER AS PER MANUEACTURER'S RECOMMENDATIONS ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF

SPECIFIED MULCH (SETTLED THICKNESS 2. BACKELL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.

1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPED OPEN, THEN WATERED THOROUGHLY.

A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED. B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS. ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSIT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER

DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF B & B PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE. C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN. D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND

APPROVAL OF ALL POSITIONING OF PLANT MATERIALS. F. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOU INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED. THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO SOIL SURFACE IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH

AND JAGGED, NEVER SLICK OR GLAZED SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN IT'S VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER ($\frac{3}{7}$ ") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.

G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.

H. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP 1/2 OF THE BALL AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WIL USUALLY BE ROOT BOUND, IF SO FOLLOW STANDARD NURSERY PRACTICE OF

. DO NOT OVER PRUNE. K. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS

L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER

N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE

TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH. P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.

Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. WHERE LOCATIONS CANNOT BE CHANGED THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3') FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT TH REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.

TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS BEOL POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES

SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES. 2. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED. ALL

TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

Q. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION 1. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS.

2. TOP OF EDGING SHALL BE ½" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRAD 3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE. 4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS

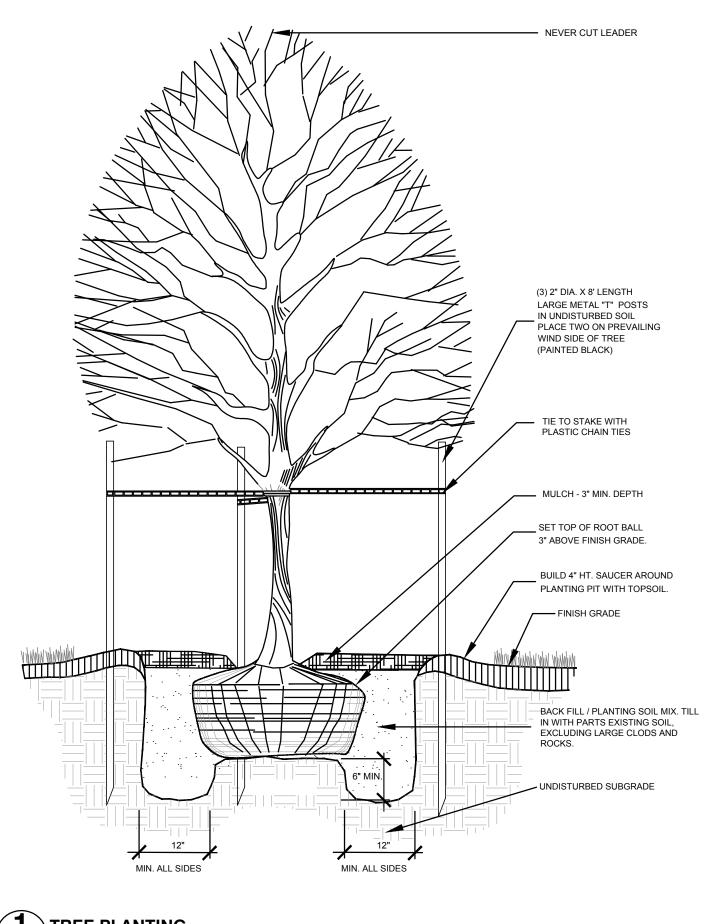
SIDEWALKS OR CURBS. 3.3 CLEANUP AND ACCEPTANCE A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP

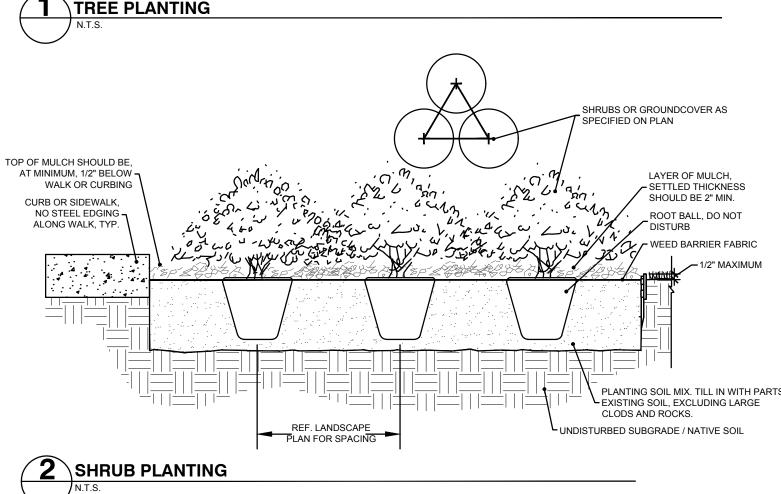
PAVED AREAS CLEAN BY SWEEPING OR HOSING THEM AT END OF EACH WORK B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES. C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.

D UPON COMPLETION OF THE WORK. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.

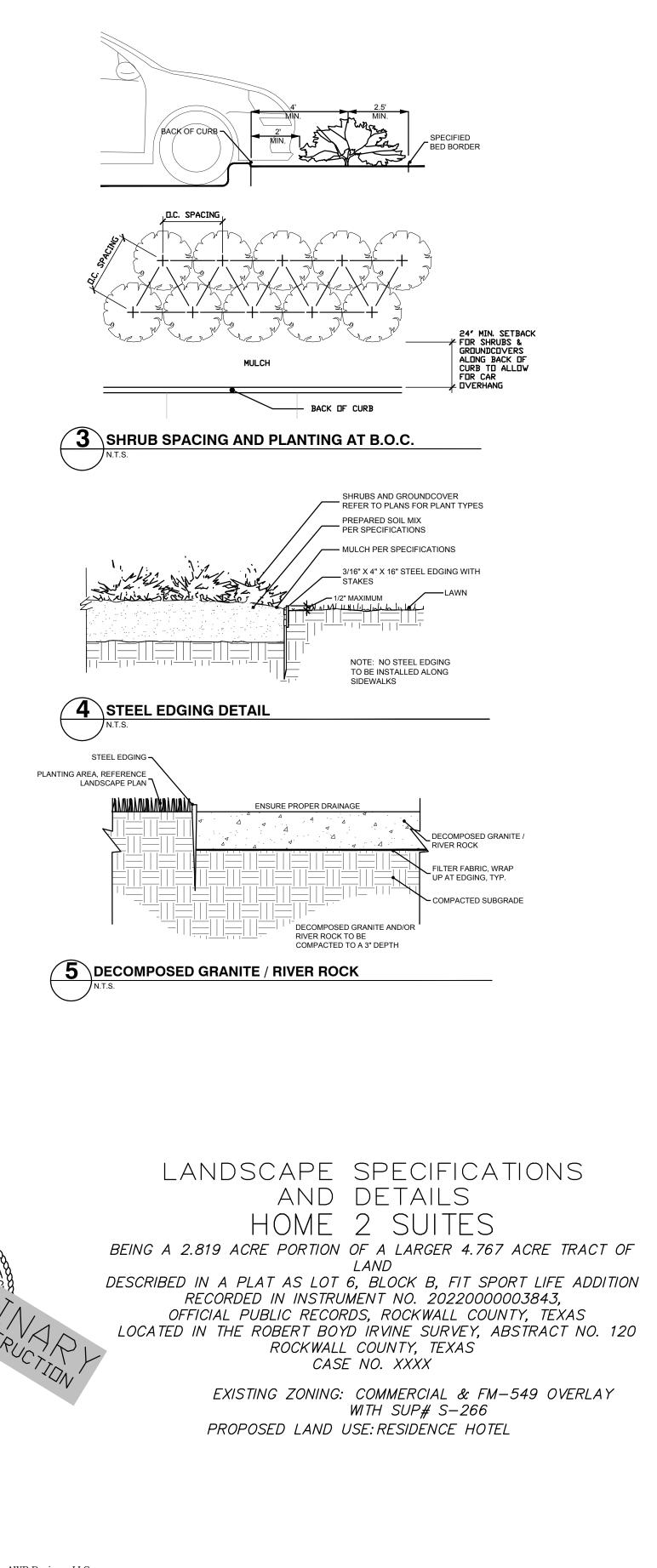
E. WHEN/IF THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS. F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE

ACCEPTABLE AT THAT TIME A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WIL





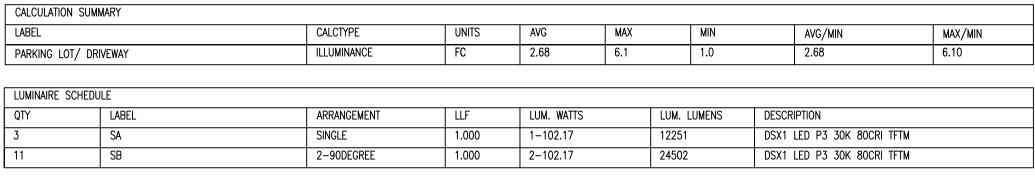




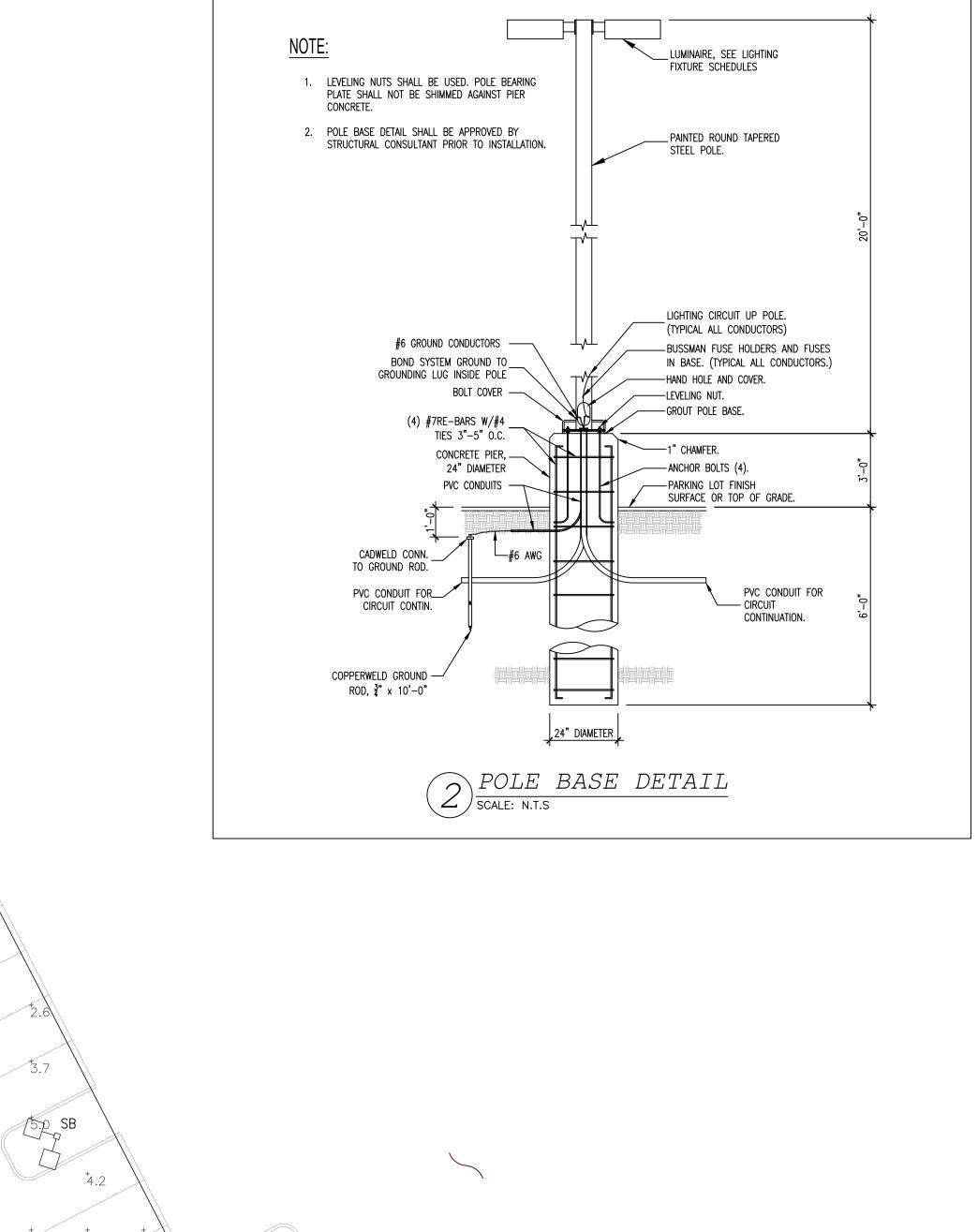
AWR Designs, LLC P.O. Box 1746 Aledo, Texas 76008 manda@awr-designs.com 512.517.5589



PHOTOMETRIC PLAN $\int \frac{1}{\text{SCALE: 1/16"=1'-0"}}$



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING THE SITE LIGHTING PHOTOMETRIC TESTING AND COMMISSIONING TO ENSURE THE ACTUAL PHOTOMETRIC READINGS





title PHOTOMETRIC PLAN

date 06/14/2024

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E5.1

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1 LIGHTING CUT-SHEETS TYPE "SA", "SB"

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structural engineer URBAN STRUCTURE 8140 Walnut Hill Lane, Suite 905 Dallas, Texas 75231 t. 214.295.5775

mep engineer MEP GREEN DESIGN AND BUILD 915 Gemini St. Houston, Texas 77058 t. 281.786.1195

civil engineer WIER & ASSOCIATES, INC. 2201 E. Lamar Blvd., Suite 200E Arlington, TX 76006 t. 817.467.7700

project HOME 2 SUITES by Hilton Rockwall, TX 75032



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revisions



date 06/14/2024

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