



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Fit Sport Life Blvd.		
SUBDIVISION	Fit Sport Life Addition	LOT	6
		BLOCK	B
GENERAL LOCATION	750' South and 337' East of Intersection of I-30 and Corporate Crossing		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Commercial - C	CURRENT USE	Vacant
PROPOSED ZONING	Commercial - C with SUP	PROPOSED USE	Hotel
ACREAGE	2.819 acres	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Structured REA-Rockwall Land LLC	<input checked="" type="checkbox"/> APPLICANT	Wier & Associates, Inc.
CONTACT PERSON	Conor Keilty, AIA	CONTACT PERSON	Renee Ward, P.E.
ADDRESS	3104 E. Camelback Road, Ste. 2387	ADDRESS	2201 E. Lamar Blvd, Ste 200E
CITY, STATE & ZIP	Phoenix, Arizona 85016	CITY, STATE & ZIP	Arlington, Texas 76006
PHONE	(480) 856-8808	PHONE	(817) 467-7700
E-MAIL	conork@structuredrea.com	E-MAIL	ReneeW@wierassociates.com

NOTARY VERIFICATION [REQUIRED]

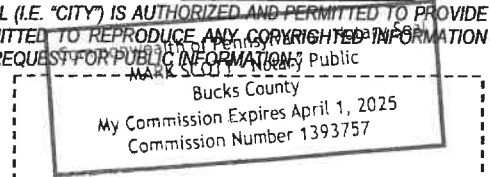
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Conor Keilty [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 306.38 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF JUNE, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6 DAY OF June, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 04/01/2025

0 100 200 400 600 800 Feet

SP2024-030: Site Plan for a Residence Hotel

3549

AG

549

STODGHILL LN

30

G

FIT SPORT LIFE BLVD

CORPORATE CROSSING

CAPITAL BLVD

LI

Case Location Map = 



City of Rockwall

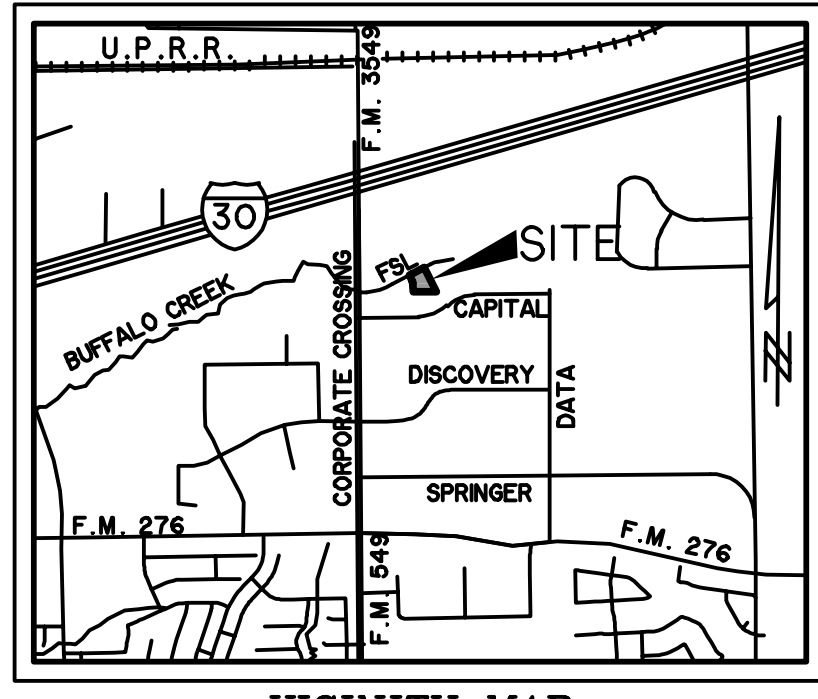
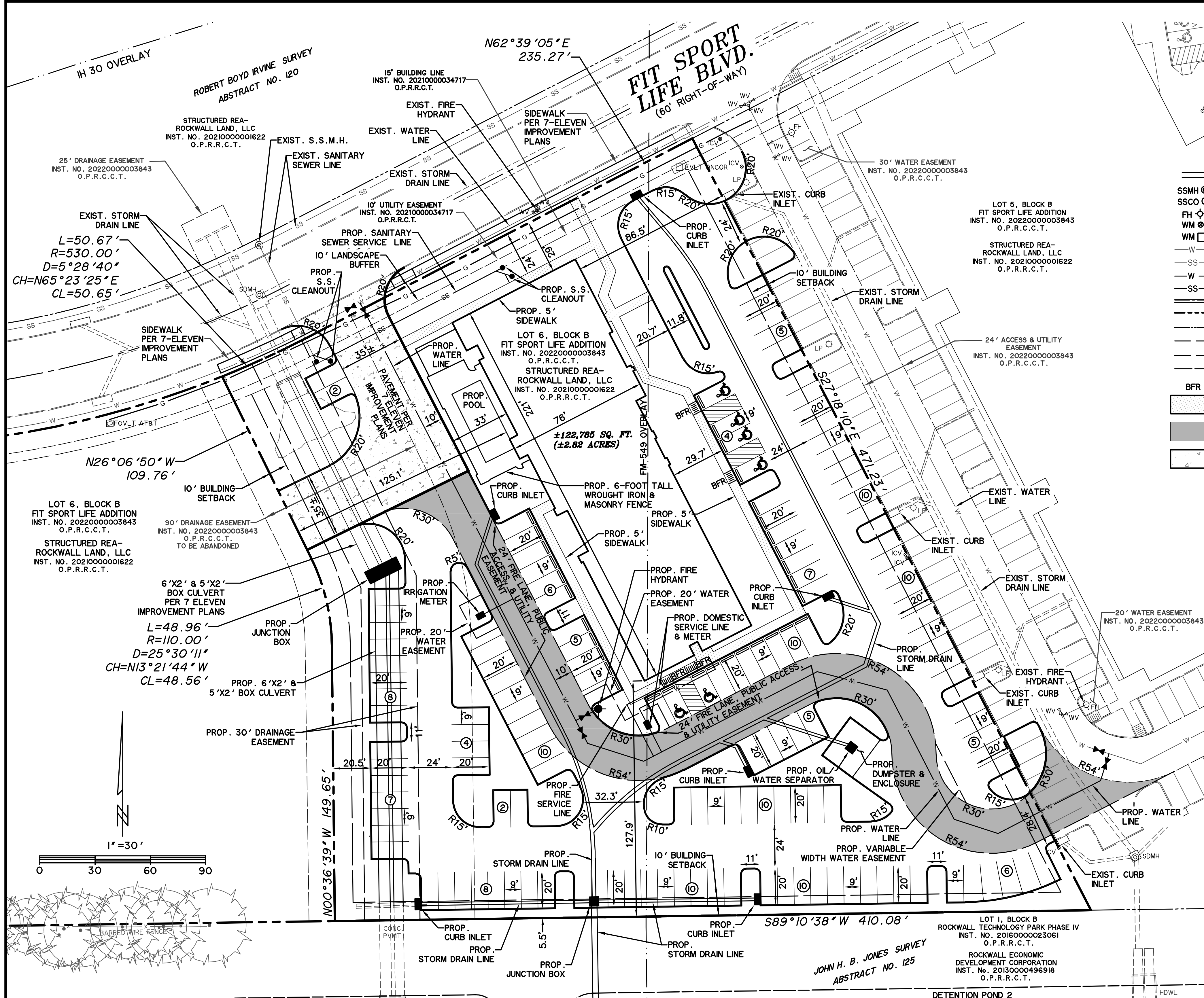
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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LEGEND

- SSMH ⊙ EXISTING SANITARY SEWER MANHOLE
- SSCO ○ EXISTING SANITARY SEWER CLEAN OUT
- FH ⊕ EXISTING FIRE HYDRANT
- WM ⊕ EXISTING WATER METER
- WM □ EXISTING WATER VAULT
- W — EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- W — PROPOSED WATER LINE
- SS — PROPOSED SANITARY SEWER LINE
- SS — PROPOSED STORM DRAIN LINE
- SUBJECT PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- PROPOSED WATER EASEMENT
- PROPOSED FIRE LANE
- BUILDING SETBACK
- BARRIER FREE RAMP
- PROP. SIDEWALK
- PROP. FIRE LANE, ACCESS, & UTILITY EASEMENT
- FIRE LANE, ACCESS, UTILITY, AND DRAINAGE EASEMENT PER 7-ELEVEN IMPROVEMENTS PLANS PREPARED BY TRIANGLE ENGINEERING LLC

- NOTE:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADI WITHIN PROPERTY ARE 3' F/C UNLESS SPECIFIED OTHERWISE.
 - ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.
- ONSITE PAVEMENT SHALL BE:
- PARKING: 5' CONCRETE PAVEMENT
 - DRIVE AISLE: 6' CONCRETE PAVEMENT
 - FIRE LANE/ DUMPSTER: 7' CONCRETE PAVEMENT
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
 - ALL FIRE HYDRANTS SHALL BE 3' FROM BACK OF CURB.
 - DUMPSTER ENCLOSURE TO BE 6 FOOT TALL, SOLID MASONRY DUMPSTER ENCLOSURE THAT UTILIZES THE SAME MASONRY MATERIALS AS THE PRIMARY BUILDING AND INCORPORATES AN OPAQUE, SELF-LATCHING GATE.

SITE DATA SUMMARY		SITE DATA SUMMARY	
ZONING	COMMERCIAL (C) & FM-549 Overlay WITH SUP# S-266	GUEST ROOM	1/ROOM = 107
PROPOSED LOT AREA	HOME 2 SUITES 2.82 ACRES (122,785 SQ. FT.)	STORAGE USES	1/1000 SF (1,499 SF) = 2
PROPOSED BUILDING USE	RESIDENCE HOTEL	OFFICE	1/300 SF (1,340 SF) = 5
		LIMITED SERVICE RESTAURANT	1/250 SF (1,661 SF) = 1/2 (AS ACCESSORY USE) = 4
PROPOSED BUILDING AREA	61,496 SF (4-STORY)	MARKET	1/250 SF (99 SF) = 1/2 (AS ACCESSORY USE) = 1
		FITNESS CENTER & POOL	1/200 SF (2,266 SF) = 1/2 (AS ACCESSORY USE) = 6
MINIMUM PARKING REQUIRED		TOTAL = 125 PARKING SPACES	
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING		PARKING REMOVED FROM AMERISPORTS = 12	TOTAL REQUIRED PARKING = 137
TOTAL PARKING PROVIDED		STANDARD (9'x20') = 138	HANDICAP-ACCESSIBLE = 6
		TOTAL = 144 PARKING SPACES	

SITE PLAN HOME 2 SUITES

BEING A 2.819 ACRE PORTION OF A LARGER 4.767 ACRE TRACT OF LAND DESCRIBED IN A PLAT AS LOT 6, BLOCK B, FIT SPORT LIFE ADDITION RECORDED IN INSTRUMENT NO. 2022000003843, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 ROCKWALL COUNTY, TEXAS CASE NO. XXXX

ENGINEER:
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RENEE WARD, P.E.
ReneeW@WierAssociates.com

OWNER/DEVELOPER:
STRUCTURED REA-ROCKWALL LAND, LLC
3104 E. CAMELBACK ROAD, SUITE 2387
PHOENIX, AZ 85016
PHONE: (480) 856-8808
CONTACT: CONOR KELTY

EXISTING ZONING: COMMERCIAL & FM-549 OVERLAY WITH SUP# S-266
PROPOSED LAND USE: RESIDENCE HOTEL

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Renee Ward, PE Texas Registration No. 140049 On Date Shown Below.

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____.

WITNESS OUR HANDS, THIS ___ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

BUILDING ELEVATION AREAS									
	TOTAL SURFACE AREA	TOTAL GLAZING AREA	NET SURFACE AREA	STONE	BRICK	EIFS*			
EAST ELEVATION	11791 sq. ft.	3291 sq. ft. 27.9 %	8500 sq. ft.	1717 sq. ft. 20.2 %	5800 sq. ft. 68 %	980 sq. ft.	11 %		
WEST ELEVATION	11571 sq. ft.	2574 sq. ft. 22.2 %	8997 sq. ft.	2248 sq. ft. 24.9 %	5900 sq. ft. 65 %	848 sq. ft.	9.4 %		
NORTH ELEVATION	4124 sq. ft.	293 sq. ft. 7%	3831 sq. ft.	674 sq. ft. 18 %	2826 sq. ft. 73 %	373 sq. ft.	9 %		
SOUTH ELEVATION	4112 sq. ft.	142 sq. ft. 3.4%	3970 sq. ft.	950 sq. ft. 24 %	2612 sq. ft. 66 %	403 sq. ft.	10 %		

FINISH KEY :	
BK 1	BRICK - ACME BRICK SNOWDRIFT
BK 2	BRICK - ACME BRICK ONYX
ST 1	STONE - STONE VENEER - AUSTIN 6" LIMESTONE
CS 1	CAST STONE
EF 1	EIFS - BENJAMIN MOORE GRAY 2121
EF 2	EIFS (BEACON REVEAL) COLOR: HOME 2 SUITES SIGNATURE GREEN BENJAMIN MOORE 388 TOWER POWER
MT 1	METALS - CANOPY, ALUMINUM WINDOWS, EXTERIOR LOUVERS AND GRILLES - MATTE BLACK FINISH
GL 1	GLASS - GUARDIAN, SUN GUARD S54, CRYSTAL GRAY - CLEAR

GENERAL NOTES THIS SHEET :

1. GROUT/MORTAR COLOR TO MATCH EXTERIOR TILE OR MASONRY.
2. BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.

- ARCHITECTURAL ELEMENTS INCORPORATED INTO THE BUILDING DESIGN FOR EACH FACADE.**
1. CANOPIES, AWNINGS, OR PORTICOS
 2. RECESSES/ PROJECTIONS
 3. OUTDOOR PATIOS
 4. ARTICULATED GROUND FLOOR LEVELS OR BASES
 5. ARTICULATED CORNICE LINE
 6. VARIED ROOF HEIGHTS



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GATEHOUSE CAPITAL
 t. 214.922.4315

architecture
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 Dallas, TX 75231
 t. 469.941.4145

structural engineer
URBAN STRUCTURE
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 Dallas, Texas 75231
 t. 214.295.5775

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MFP GREEN DESIGN AND BUILD
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 Houston, Texas 77058
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civil engineer
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 2201 E. Lamar Blvd., Suite 200E
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project
HOME 2 SUITES by Hilton
 Rockwall, TX 75082



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revisions

title
EXTERIOR ELEVATIONS

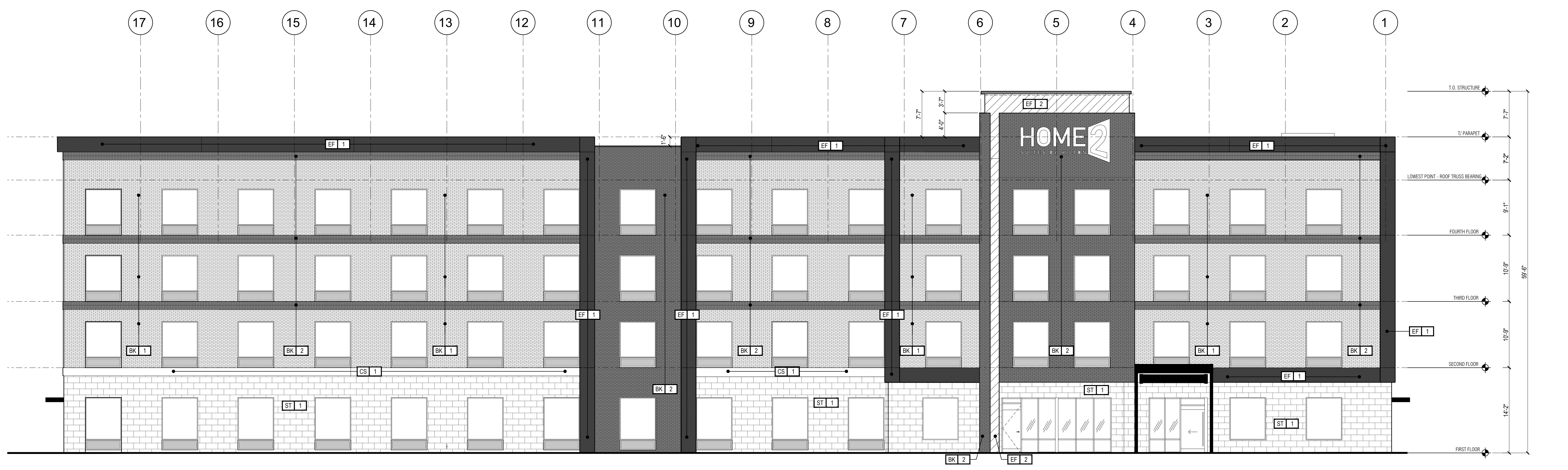
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A-201



2 EXTERIOR ELEVATION - WEST
 SCALE: 1/8" = 1'-0"



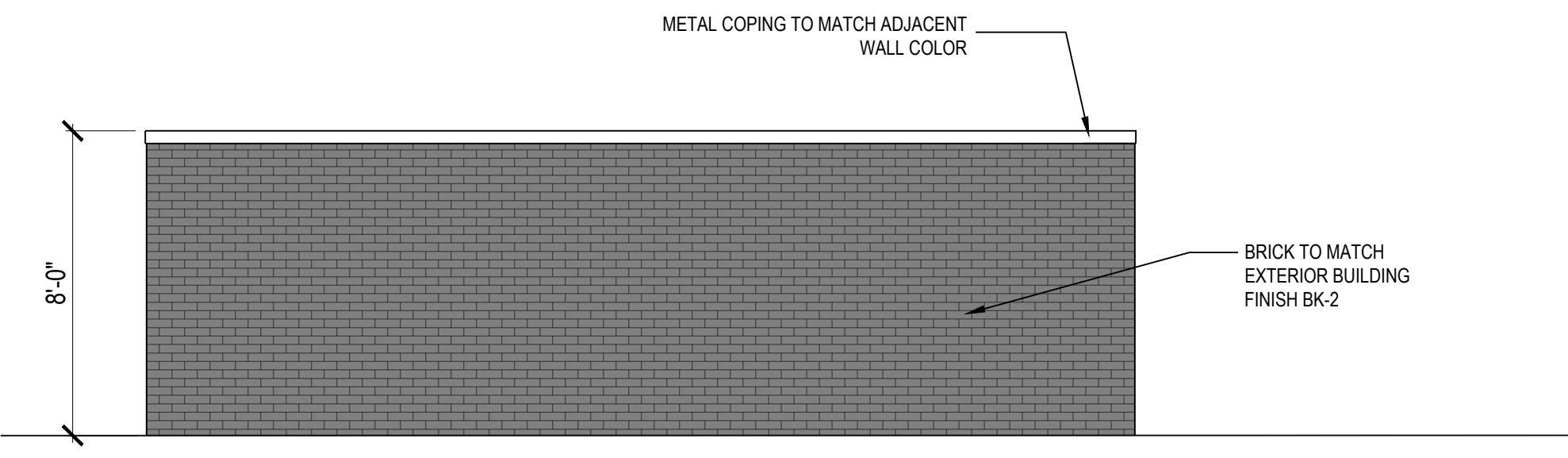
1 EXTERIOR ELEVATION - EAST
 SCALE: 1/8" = 1'-0"

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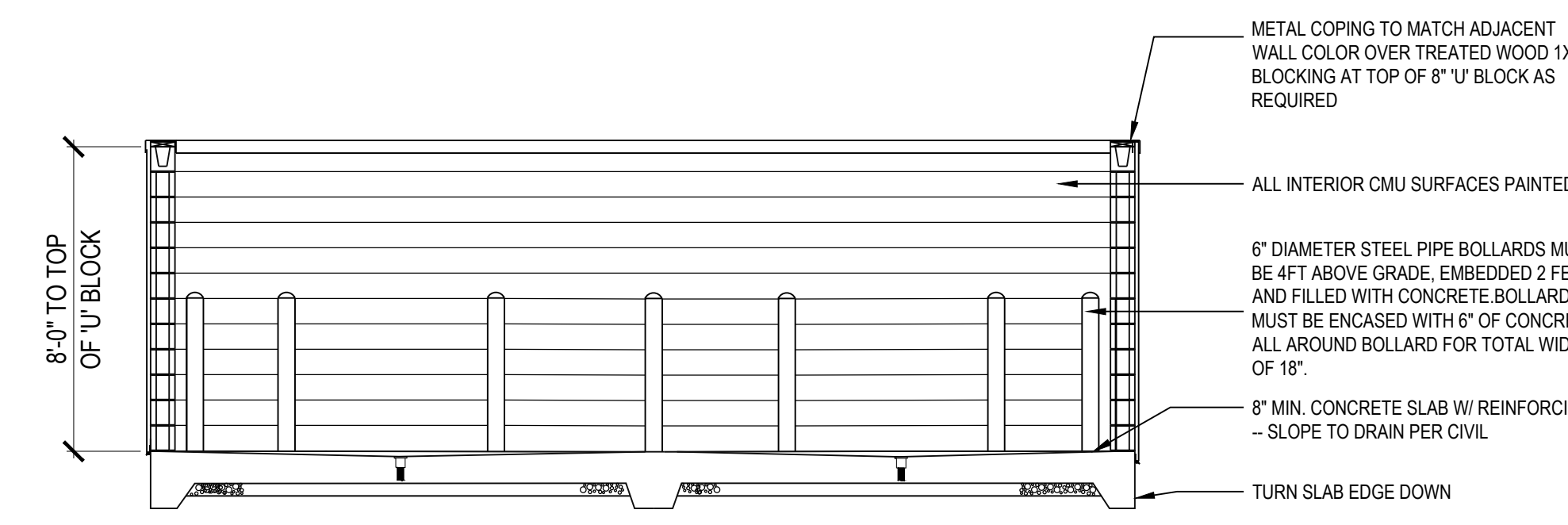
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GENERAL NOTES THIS SHEET:

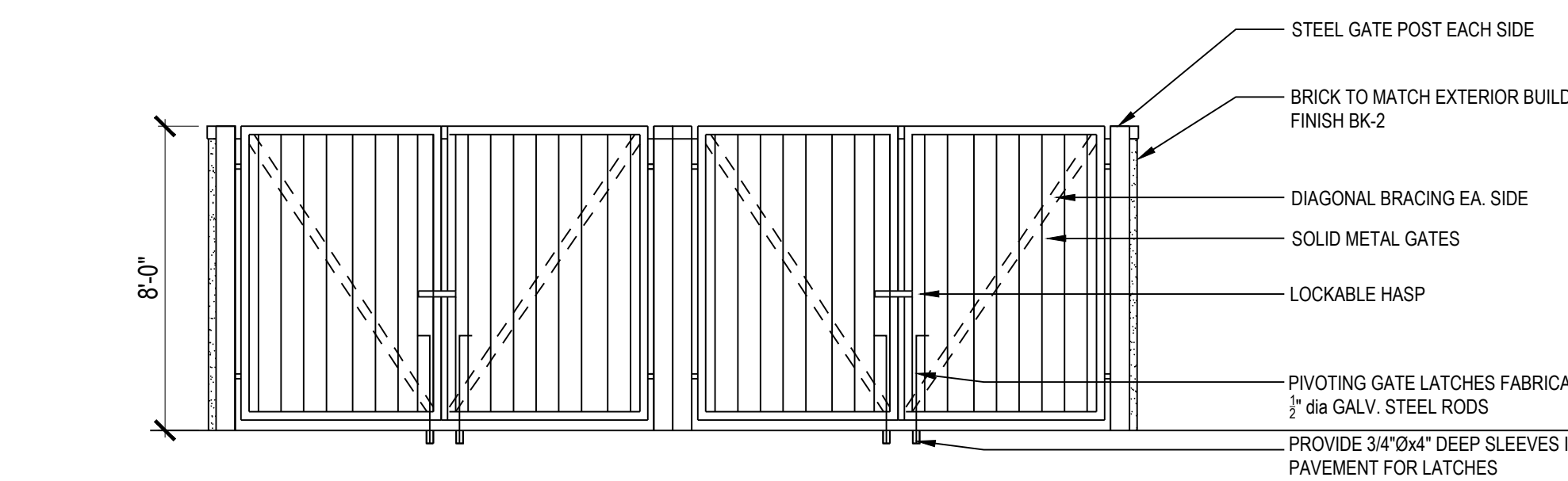
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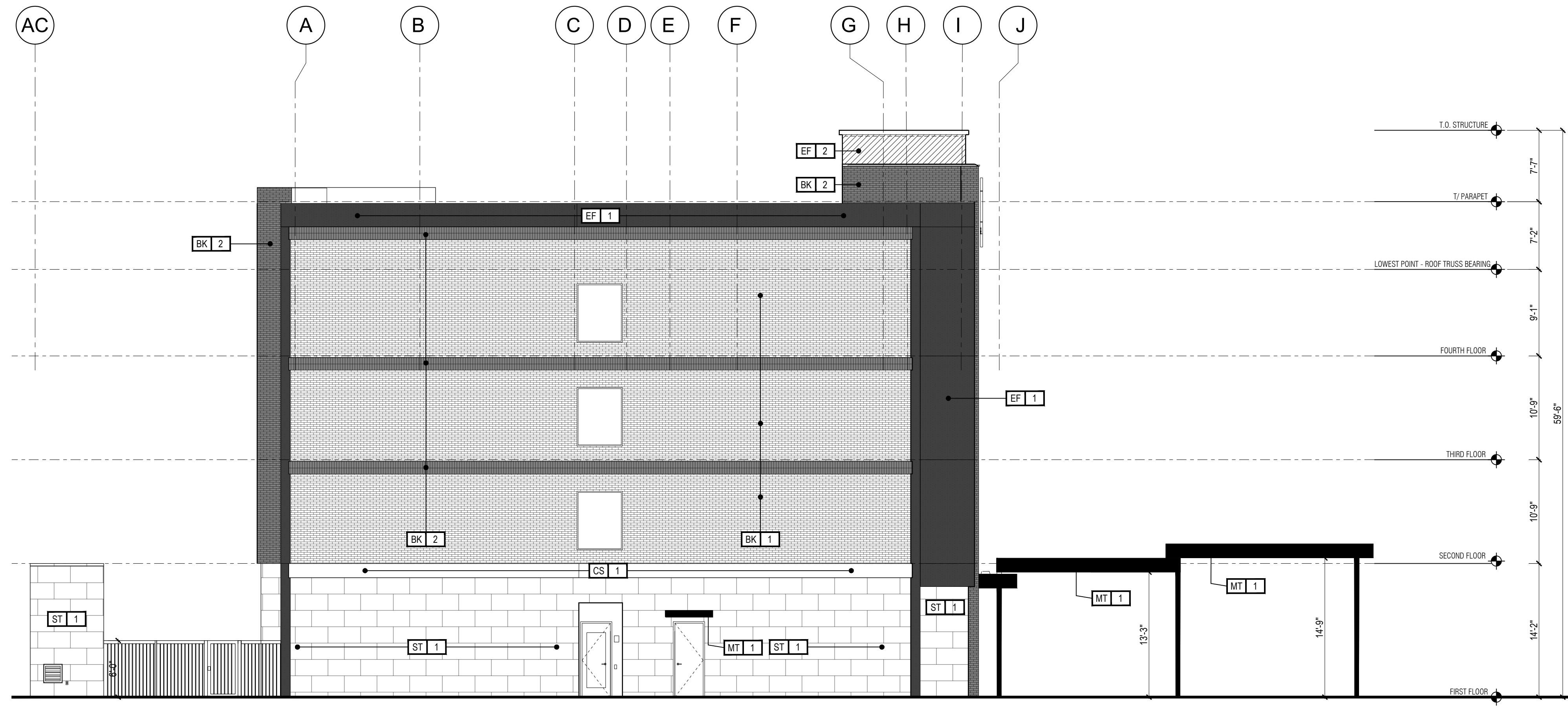
6 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



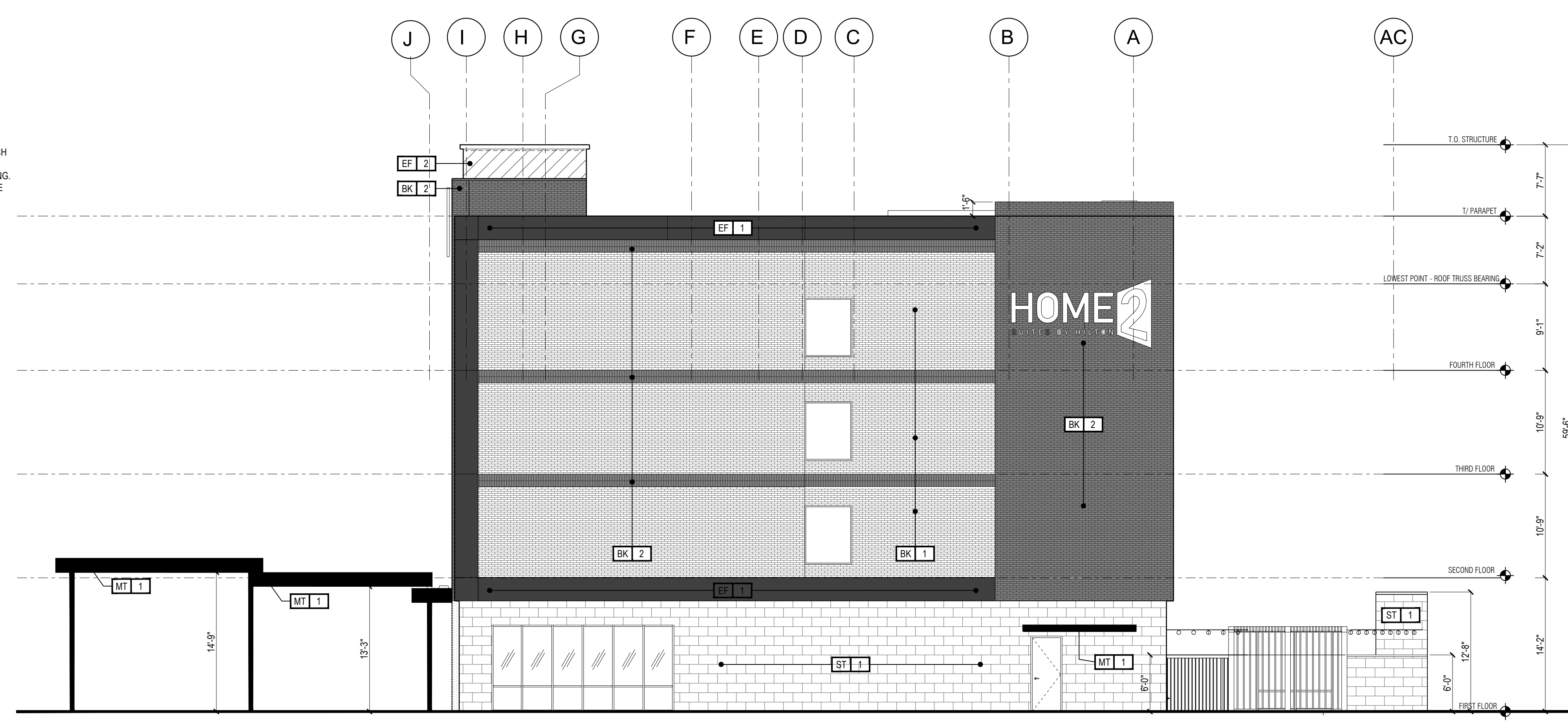
5 TRASH ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"



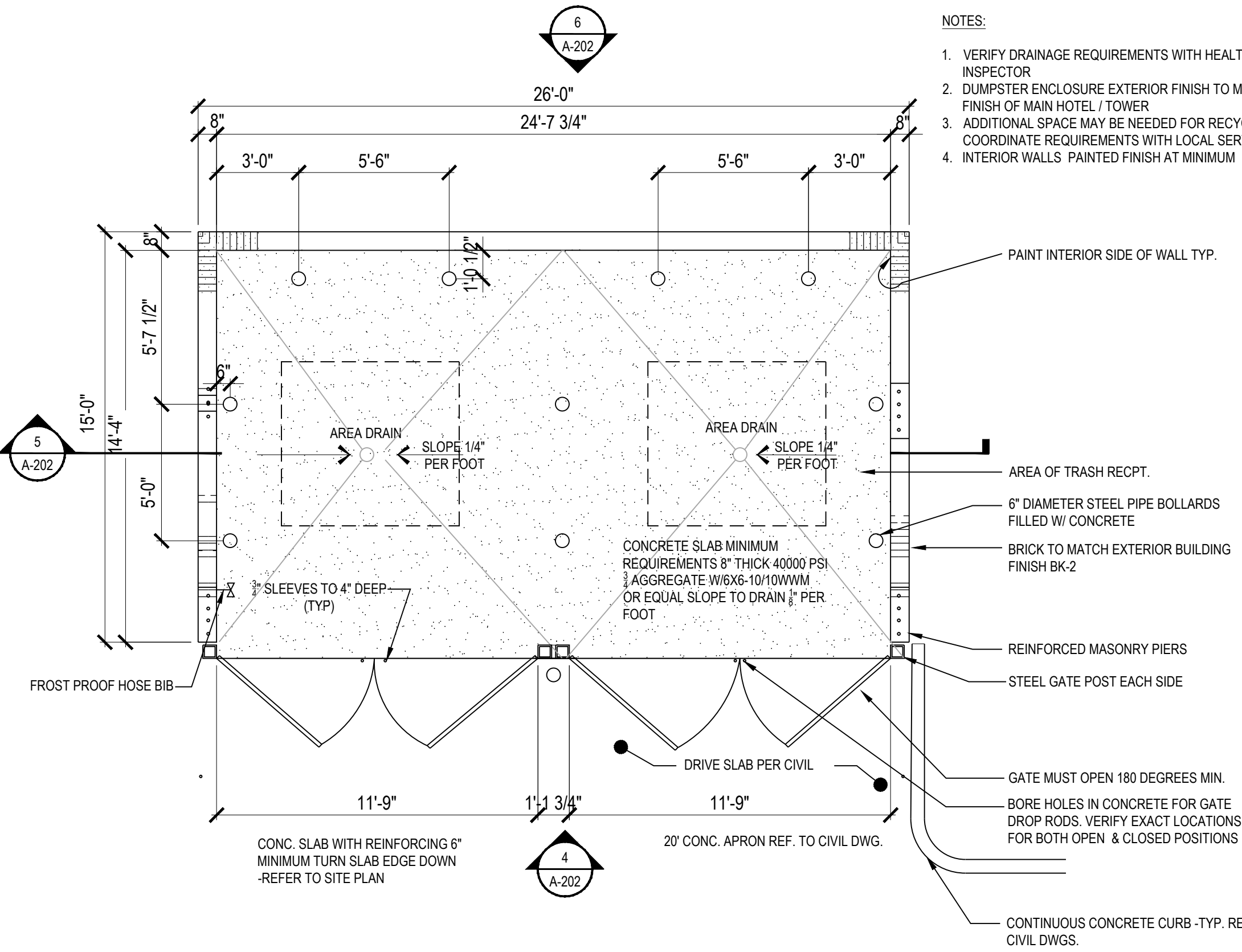
4 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



3 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

- ARCHITECTURAL ELEMENTS INCORPORATED INTO THE BUILDING DESIGN FOR EACH FAÇADE.
- CANOPIES, AWNINGS, OR PORTICOES
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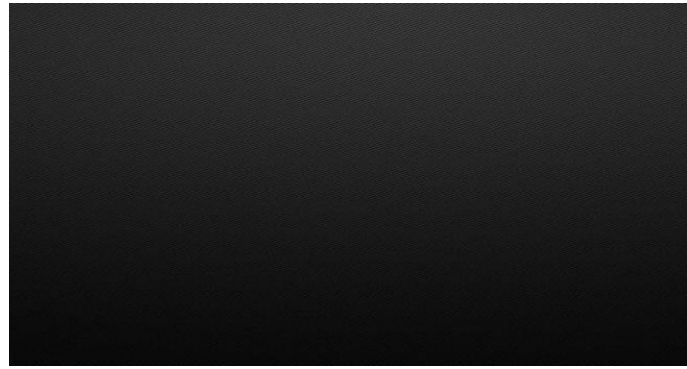
revisions

title
EXTERIOR ELEVATIONS

date 06/14/2024

sheet

A-202



MT-1 METALS, MATTE BLACK



GL 1 – GUARDIAN GLASS, SUN GUARD SN54, CRYSTAL GREY – CLEAR



EF 2 BENJAMIN MOORE FLOWER POWER BM 398



EF 1 BENJAMIN MOORE GRAY 2121



CS-1 CAST STONE



BK-2 ACME BRICK ONYX



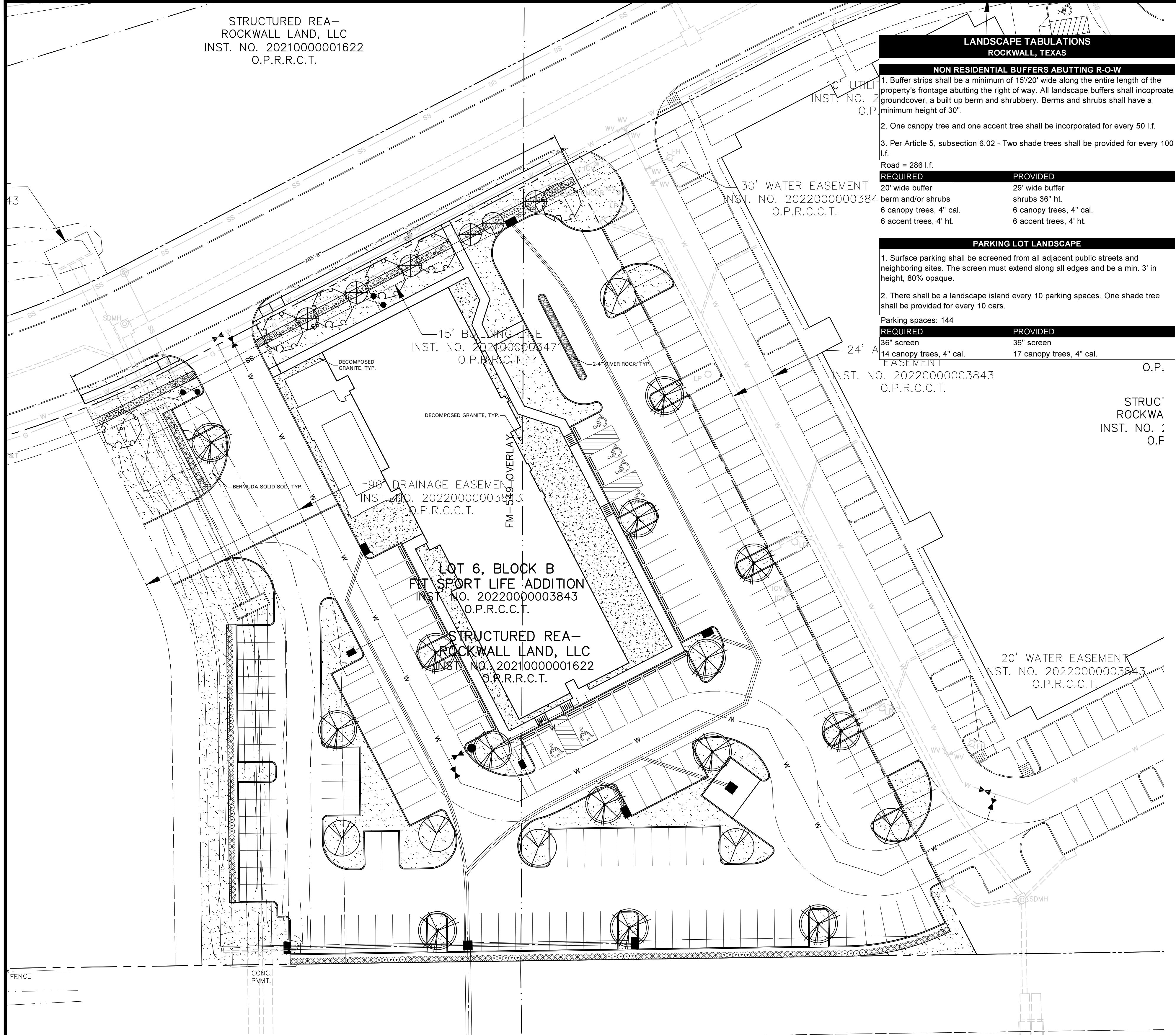
ST-1 STONE VENEER - AUSTIN 6" LIMESTONE



BK-1 ACME BRICK SNOWDRIFT

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STRUCTURED REA-
ROCKWALL LAND, LLC
INST. NO. 2021000001622
O.P.R.C.C.T.



**LANDSCAPE TABULATIONS
ROCKWALL, TEXAS**

NON RESIDENTIAL BUFFERS ABUTTING R-O-W
1. Buffer strips shall be a minimum of 15/20' wide along the entire length of the property's frontage abutting the right of way. All landscape buffers shall incorporate groundcover, a built up berm and shrubbery. Berms and shrubs shall have a minimum height of 30".
2. One canopy tree and one accent tree shall be incorporated for every 50 l.f.
3. Per Article 5, subsection 6.02 - Two shade trees shall be provided for every 100 l.f.
Road = 286 l.f.

REQUIRED	PROVIDED
20' wide buffer	29' wide buffer
berm and/or shrubs	shrubs 36" ht.
6 canopy trees, 4" cal.	6 canopy trees, 4" cal.
6 accent trees, 4" ht.	6 accent trees, 4" ht.

PARKING LOT LANDSCAPE
1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.
Parking spaces: 144

REQUIRED	PROVIDED
36" screen	36" screen
14 canopy trees, 4" cal.	17 canopy trees, 4" cal.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE, CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER. REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOD:

- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
- SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND WACKIE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH.
- LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
- TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

HYDROMULCH:

- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
- FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWEB" OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE "FERRO-TACK ONE", AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
- HYDROMULCH WITH BERMUDA GRASS SEET AT A RATE OF 2 POUNDS PER 1000 S.F.
- USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEEDDED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

PLANT SCHEDULE

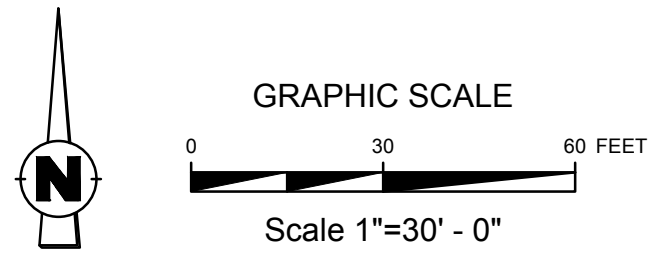
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
CO		Chinkapin Oak	<i>Quercus muhlenbergii</i>	4" cal.	12' ht., 4' spread, matching
LE		'Bosque' Lacebark Elm	<i>Ulmus parvifolia 'UPMTF'</i>	4" cal.	14' ht., 5' spread, matching
RO		Texas Red Oak	<i>Quercus texana</i>	4" cal.	12' ht., 4' spread, matching
ORNAMENTAL TREES					
MP		Mexican Plum	<i>Prunus mexicana</i>	30 gal.	8' ht., 4' spread min.
SHRUBS					
DBH		Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	36" ht.	full, 20" spread, 36" o.c.
DY		Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.
SL		Sunshine Ligustrum	<i>Ligustrum sinense 'Sunshine'</i>	36" ht.	full, 20" spread, 36" o.c.
GROUND COVER/VINES/GRASS					
BRJ		Blue Rug Juniper	<i>Juniperus horizontalis 'Wiltonii'</i>	1 gal.	full, 18" o.c.
		Bermuda Solid Sod TifTuf			
		2.4" River Rock			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

**LANDSCAPE PLAN
HOME 2 SUITES**

BEING A 2.819 ACRE PORTION OF A LARGER 4.767 ACRE TRACT OF LAND DESCRIBED IN A PLAT AS LOT 6, BLOCK B, FIT SPORT LIFE ADDITION RECORDED IN INSTRUMENT NO. 20220000003843, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS LOCATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 ROCKWALL COUNTY, TEXAS CASE NO. XXXX

EXISTING ZONING: COMMERCIAL & FM-549 OVERLAY WITH SUP# S-266
PROPOSED LAND USE: RESIDENCE HOTEL



AWR
AWR Designs, LLC
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amanda@awr-designs.com
c. 512.517.5589

APPROVED: _____
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

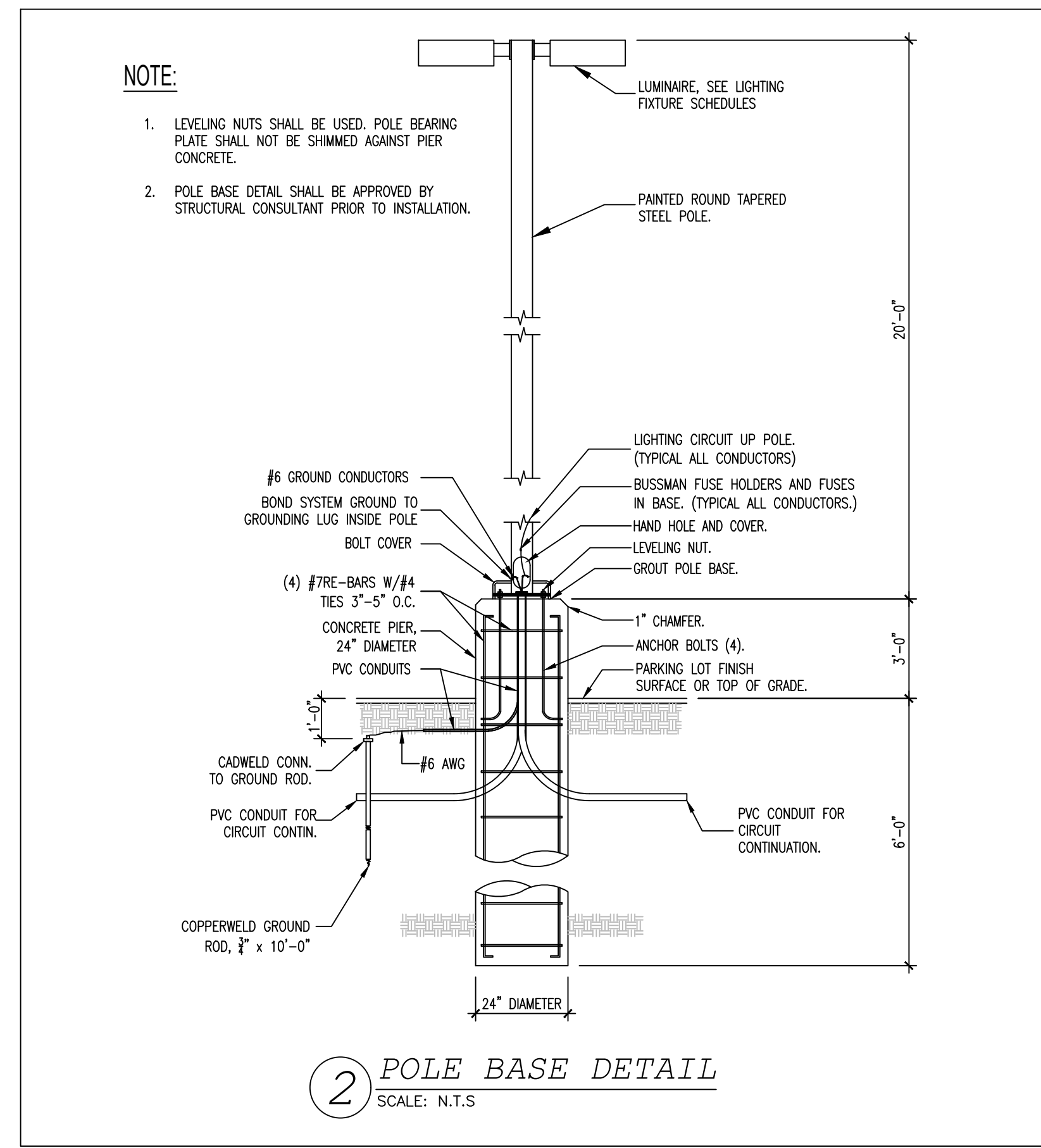
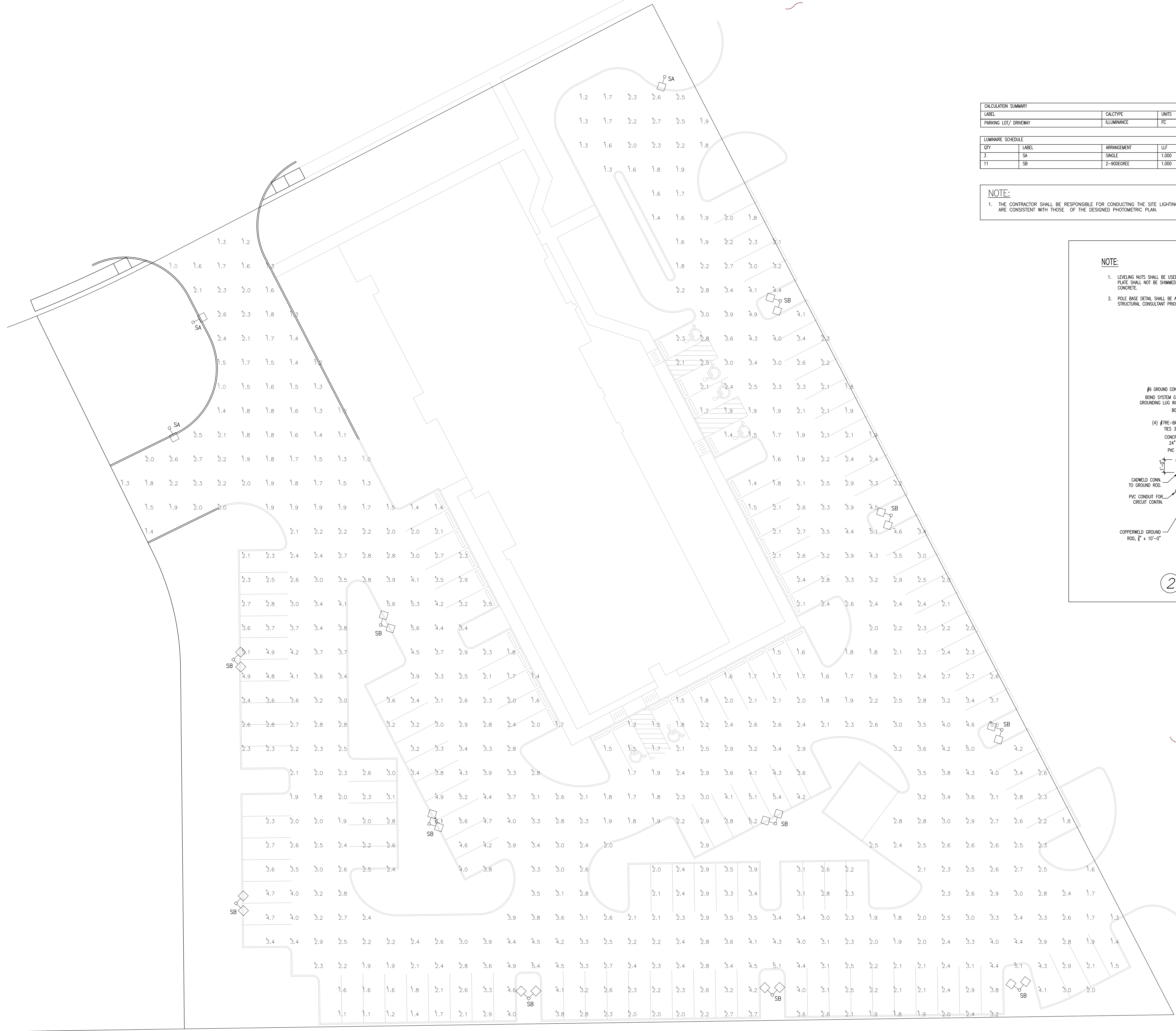
WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT/ DRIVEWAY	ILLUMINANCE	FC	2.68	6.1	1.0	2.68	6.10

LUMINAIRE SCHEDULE							
QTY	LABEL	ARRANGEMENT	ULF	LUM. WATTS	LUM. LUMENS	DESCRIPTION	
3	SA	SINGLE	1000	1-102.17	12251	DSX1 LED P3 30K B00R1 TFM	
11	SB	2-90DEGREE	1000	2-102.17	24502	DSX1 LED P3 30K B00R1 TFM	

NOTE:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING THE SITE LIGHTING PHOTOMETRIC TESTING AND COMMISSIONING TO ENSURE THE ACTUAL PHOTOMETRIC READINGS ARE CONSISTENT WITH THOSE OF THE DESIGNED PHOTOMETRIC PLAN.



owner
XXXXXXXXXX
XXXXXXXXXX
XXXXX, TX
1. XXX.XXX.XXXX

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Rockwall, TX 75082



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revisions

title
PHOTOMETRIC PLAN

date 06/14/2024

sheet

E5.1

1 PHOTOMETRIC PLAN
SCALE: 1/16"=1'-0"

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