



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2024-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1201 T L Townsend Dr, Rockwall, TX 75087

SUBDIVISION Herman Utley Middle School

LOT 1

BLOCK 1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE Public school

PROPOSED ZONING AG

PROPOSED USE Public school

ACREAGE 41.649

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District

APPLICANT Glenn Engineering

CONTACT PERSON Tim Lyssy - Director of Project Planning and Constructio

CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive

ADDRESS 4500 Fuller Dr. #220

CITY, STATE & ZIP Rockwall, Texas 75087

CITY, STATE & ZIP Irving, Tx 75038

PHONE 469-698-7031

PHONE 972.989.2174

E-MAIL tim.lyssy@rockwallisd.org

E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

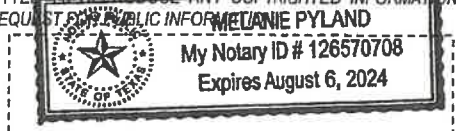
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TIM LYSSY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MAY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF MAY, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



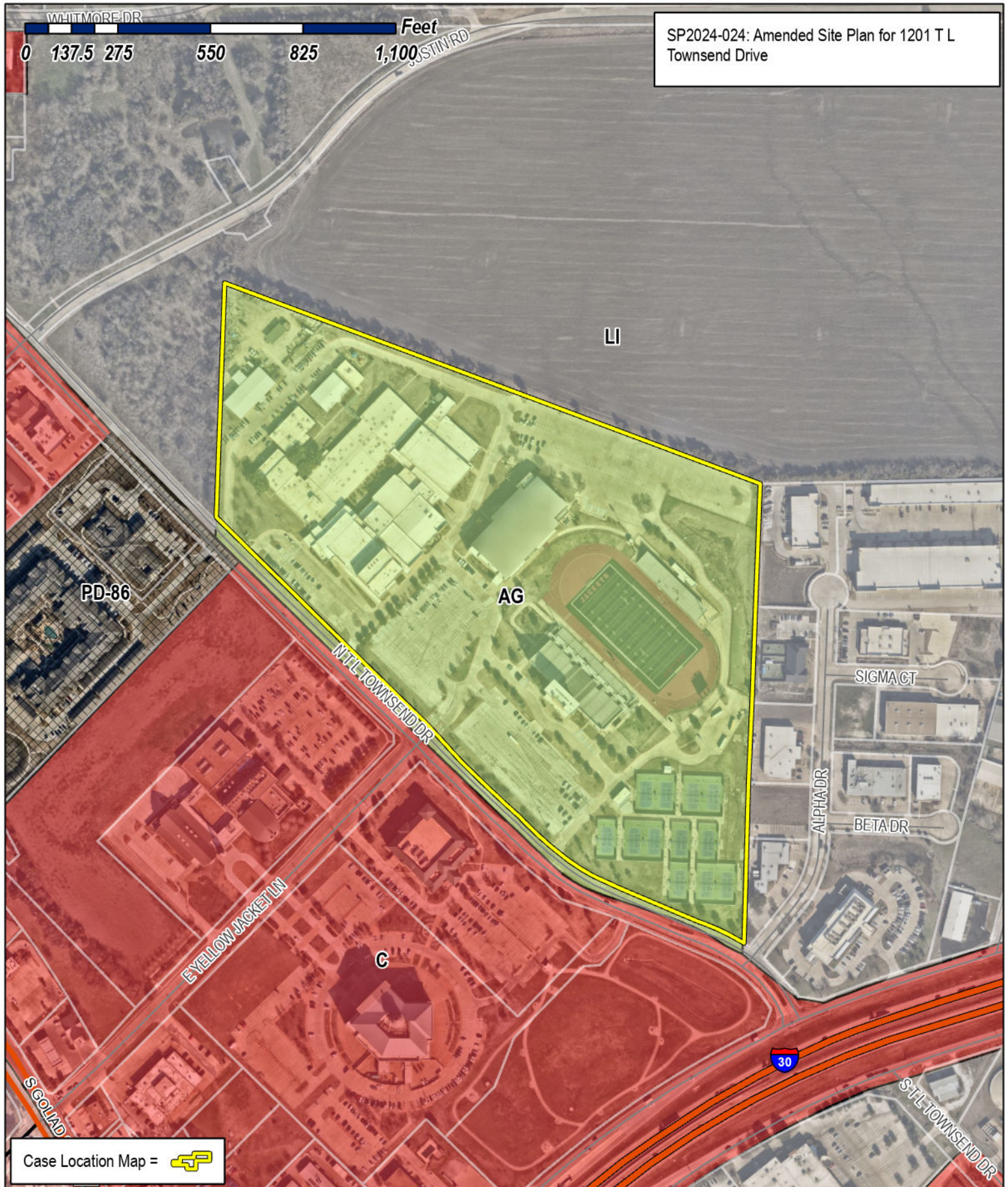
MY COMMISSION EXPIRES August 6, 2024


WHITMORE DR

Feet

0 137.5 275 550 825 1,100

SP2024-024: Amended Site Plan for 1201 T L Townsend Drive



Case Location Map = 

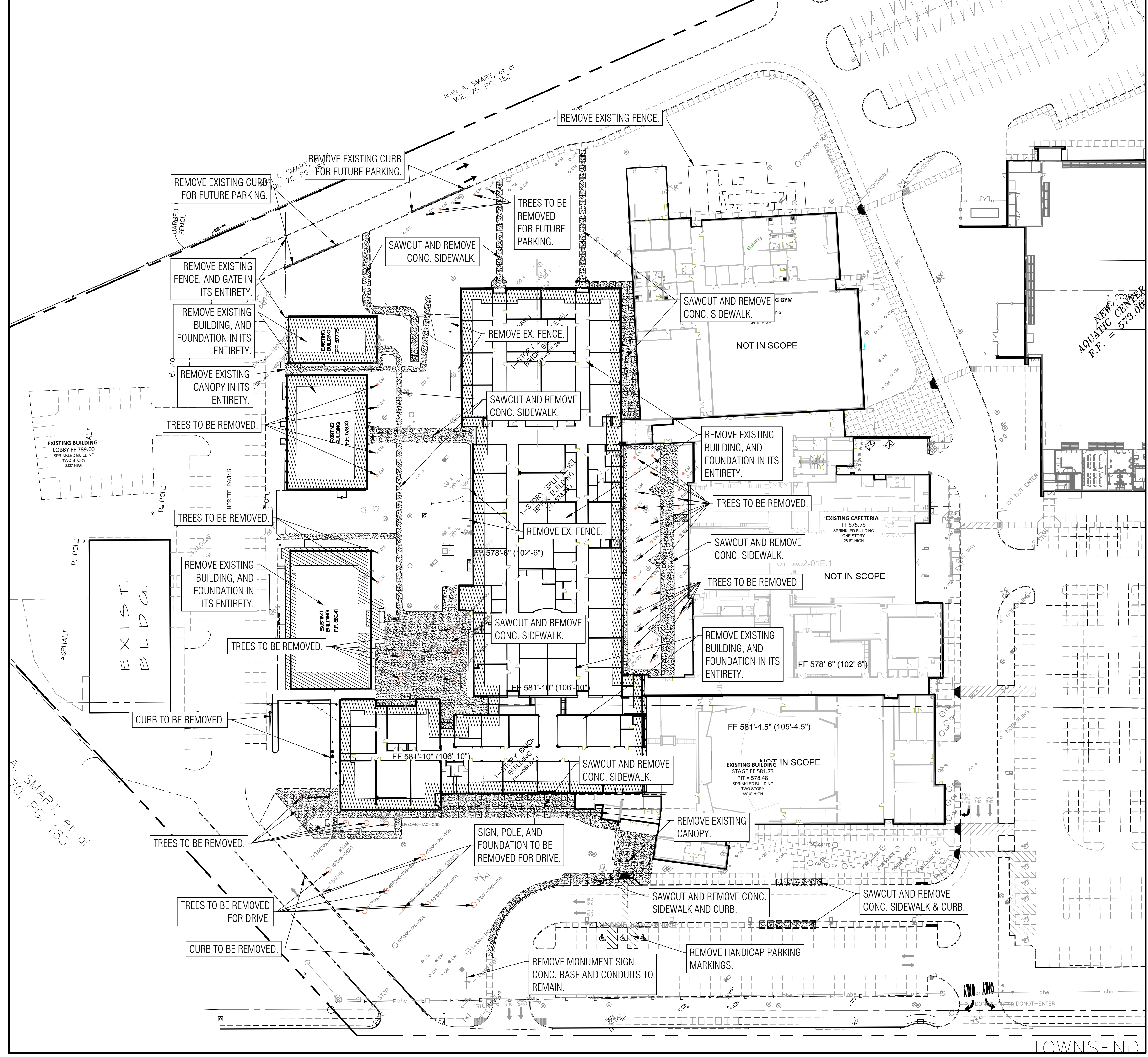


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

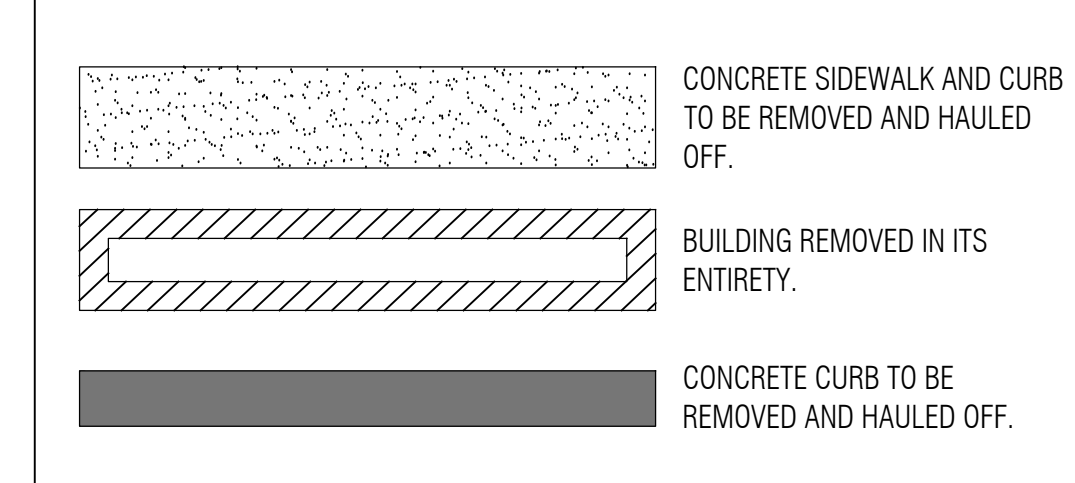




GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL CONSULT ALL UTILITY COMPANIES AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DEMOLITION. REMOVAL AND RELOCATION OF ALL UTILITY LINES, METERS, VALVES, ETC. SHALL BE PERFORMED PER REQUIREMENTS OF THE CITY OF ROCKWALL AND UTILITY COMPANIES. ANY DAMAGE TO PUBLIC UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
2. ALL DEMOLITION AND CONSTRUCTION TO BE KEPT WITHIN THE BOUNDARIES OF THE SITE OR AS DESIGNATED BY CONSTRUCTION ENGINEER. ANY DAMAGE BY CONTRACTOR TO ADJOINING PROPERTIES OR ITEMS NOT IN THE DESIGNATED DEMOLITION AREA SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CORRECT.
3. REMOVE ALL EXISTING UNDERGROUND UTILITIES, CAP AS REQUIRED. BACK FILL AND COMPACT PER CITY OF ROCKWALL SPECIFICATIONS.
4. REMOVE SURFACE PAVING AS NEEDED TO COMPLETE PAVING PLAN.
5. REMOVE EXISTING SIGNAGE, INCLUDING POSTS AND FOUNDATIONS.
6. REMOVE ANY OTHER ITEMS NOT INDICATED ABOVE BUT WHICH MUST BE DEMOLISHED TO COMPLETE PROJECT AS DESIGNATED BY SITE PLAN.
7. DEMOLITION CONTRACTOR TO CONSULT WITH ARCHITECT OR OWNER ON SALVAGING OR RELOCATING ANY AND ALL PLAYGROUND EQUIPMENT PRIOR TO REMOVING ITEM FROM THE SITE.
8. CONTRACTOR TO USE TREE PROTECTION ON ALL EXISTING TREES THAT ARE TO REMAIN.
9. CONTRACTOR SHALL REMOVE ALL SPRINKLER HEADS AND EQUIPMENT IN THE AREAS OCCUPIED BY THE CONSTRUCTION AND STAGING AREAS. TERMINATE/CAP OFF ALL LINES AS REQUIRED. ALL SPRINKLER HEADS AND EQUIPMENT SHALL BE GIVEN TO THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR MAKING ALL NECESSARY CHANGES TO THE IRRIGATION SYSTEM THAT ARE REQUIRED TO KEEP THE REMAINING AREAS OUTSIDE THE CONSTRUCTION AREAS IN WORKING ORDER. THIS INCLUDES RELOCATION OF ANY VALVES, PIPING, CONTROLS, ETC. TO OPERATE THE SYSTEM.
10. NO STRUCTURES MAY BE DEMOLISHED WITHOUT A PERMIT FROM THE BUILDING DEPARTMENT. A SEPARATE PERMIT IS REQUIRED FOR EACH STRUCTURE, PAVING, WALLS, FENCES, UTILITIES, AND FLAT WORK CAN BE REMOVED WITHOUT A PERMIT. TREES MAY REQUIRE A PERMIT BASED ON THEIR DESIGNATION PER CITY TREE ORDINANCE.

DEMOLITION LEGEND (TO BE REMOVED)

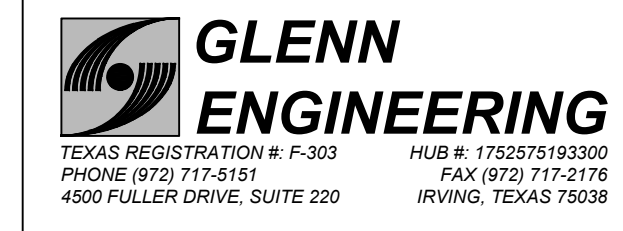


CORGAN

CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES		
1	05/17/24	90% CD SET

REVISIONS



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON MAY 17, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Date of issue:
05.17.2024

**UTLEY MIDDLE SCHOOL
PHASE 2**
1201 T. L. Townsend DR., Rockwall, TX 75087

DEMOLITION PLAN

JOB 23035
DATE 05.17.2024
SHEET

C02.00

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

GENERAL SITE NOTES

1. ALL DIMENSIONS ARE FROM FACE OF CURB
2. ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
3. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
5. ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
6. IF UNFORESEEN PROBLEMS OR CONDITIONS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
7. IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
8. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
9. TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
10. MARK FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION, "NO PARKING FIRE LANE" EVERY 20' WHITE 4" LETTERS ON A 4" RED STRIPED BACKGROUND.
11. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
12. BARRIER FREE RAMPS (BFR) IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
13. ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 0.20 FOOT-CANDLE OR LESS.
14. ALL EXISTING CHAIN LINK FENCE IS TO BE REMOVED AND REPLACED WITH NEW FENCING.

PAVING LEGEND (EXISTING)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	PROPERTY LINE

BENCHMARKS

CITY OF ROCKWALL BENCHMARK COR-4
ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON NORTH SIDE OF DALTON RD. + 210' WEST OF INTERSECTION OF SH 205 AND DALTON RD. + 10' NORTH OF NORTH CURB LINE.
N: 7040336.992 E: 2392422.633 ELEVATION 541.67

CITY OF ROCKWALL BENCHMARK COR-12
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHERLY SIDE OF RIDGE RD. WEST AT THE NORTHEAST CORNER OF A CURB BULLET + 250' NORTHEAST OF THE INTERSECTION OF RIDGE ROAD WEST AND TWIN CREEK LANE.
N: 7037197.891 E: 2392384.786 ELEVATION 497.13

ONSITE BENCHMARK
CAPPED IRON ROD LABELED "BOWMAN CONTROL"
N: 7038623.314 E: 2600421.475 ELEVATION 537.556

ONSITE BENCHMARK
CAPPED IRON ROD LABELED "BOWMAN CONTROL"
N: 7037384.481 E: 2600384.414 ELEVATION 543.14

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CORGAN

CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

1	05/17/24	90% CD SET
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REVISIONS

GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 1752579193300
PHONE: 972.717.5151 FAX: 972.717.2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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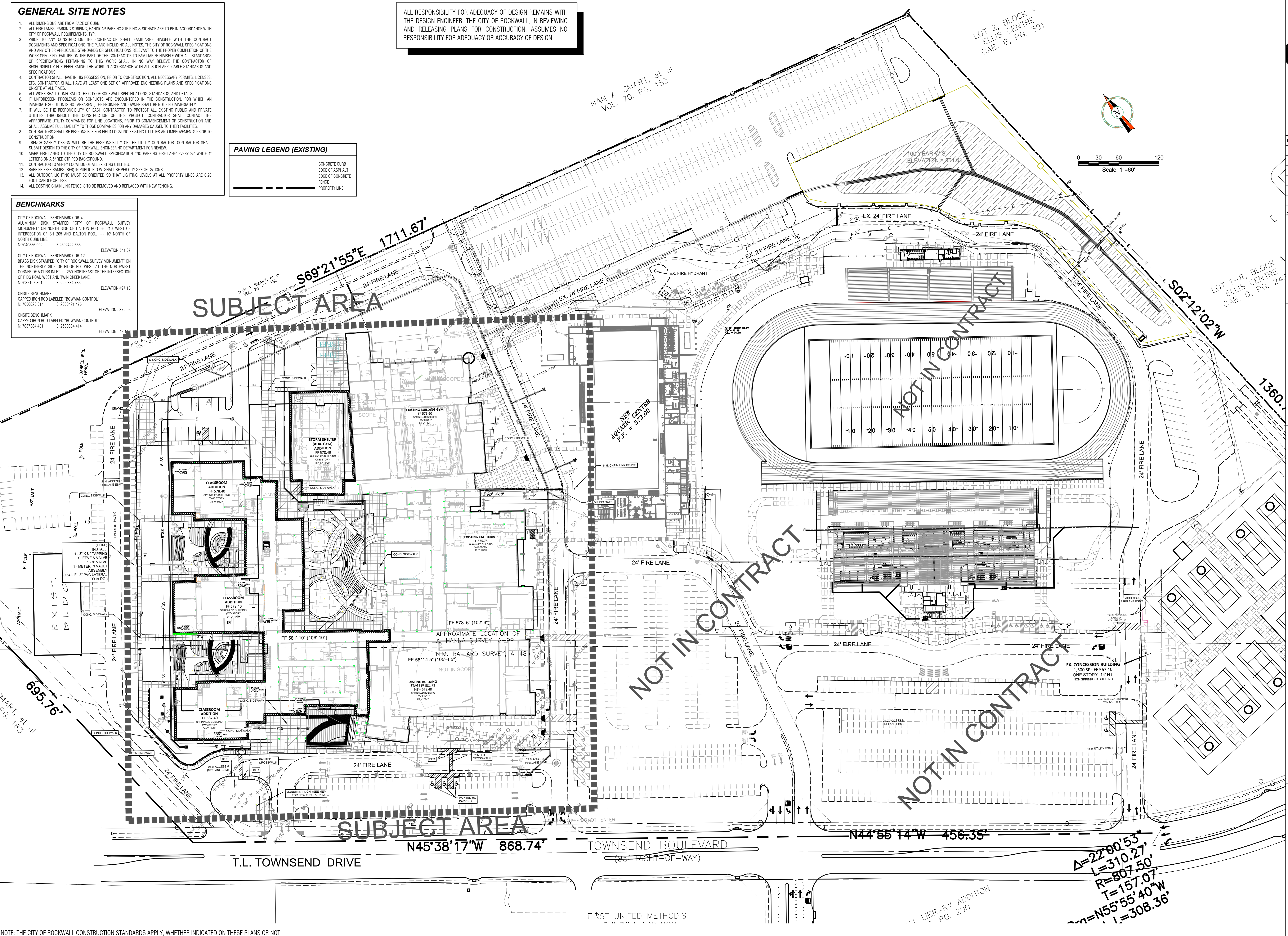
Date of issue:
05.17.2024

**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T. L. Townsend DR., Rockwall, TX 75087

OVERALL SITE PLAN

JOB 23035
DATE 05.17.2024
SHEET **C03.00**



NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

$\Delta = 22^{\circ}00'53''$
 $L = 310.27'$
 $R = 807.50'$
 $T = 157.07'$
 $\Delta = N55^{\circ}55'40''W$
 $L = 308.36'$

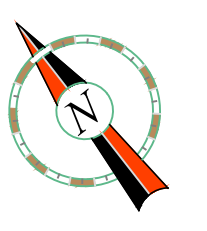
LIBRARY ADDITION
PG. 200

R:\ROCKWALL\UTLEY 2023 - ADDITIONS AND RENOVATIONS\BUDSET\2023 UTLEY PH2 RENO ENG 3.dwg
SMART, et al
VOL. 70, PG. 183

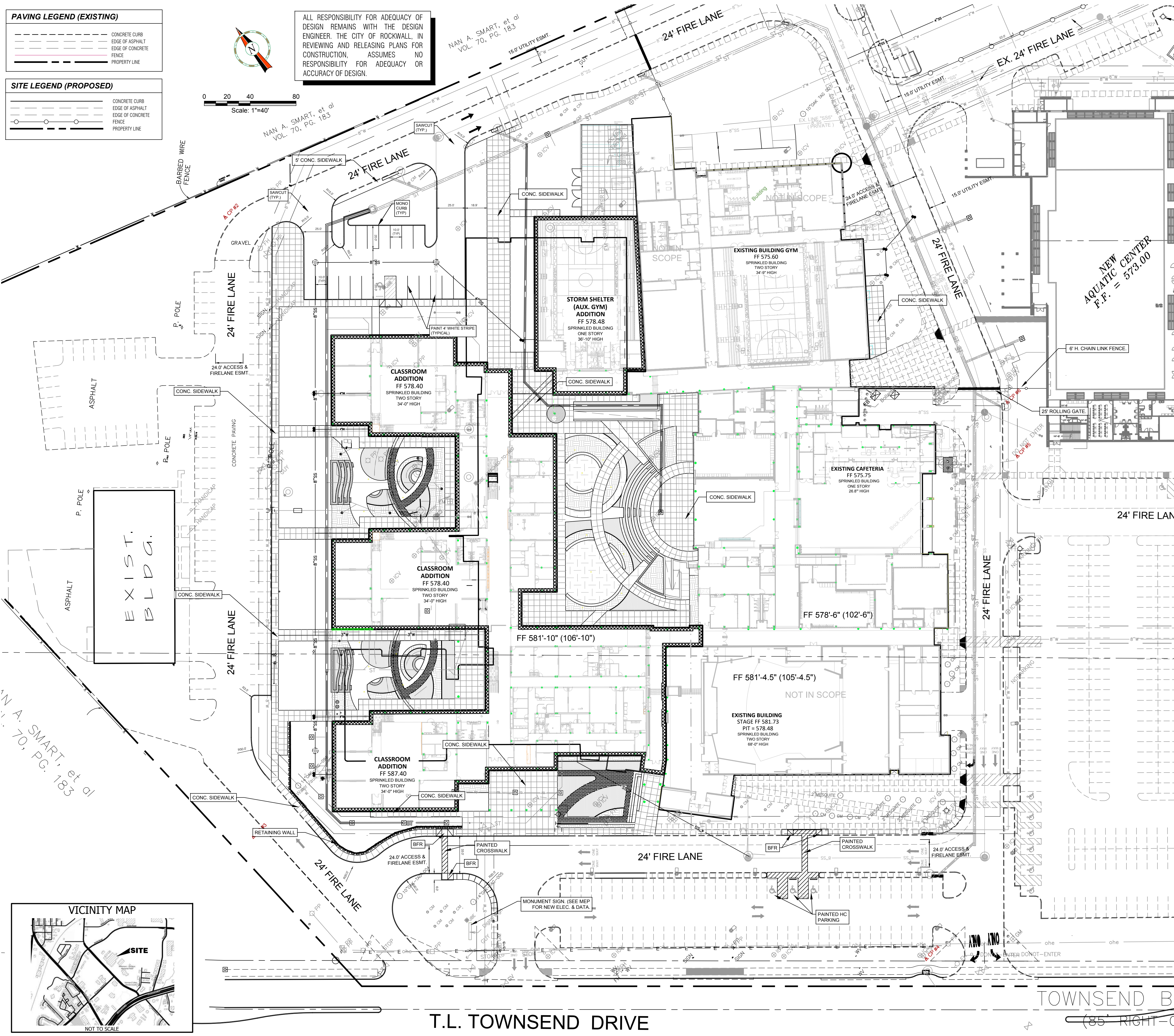
PAVING LEGEND (EXISTING)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

SITE LEGEND (PROPOSED)	
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

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Scale: 1"=40'



GENERAL SITE NOTES

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- ALL EXISTING CHAIN LINK FENCE IS TO BE REMOVED AND REPLACED WITH NEW FENCING.

SITE LEGEND (PROPOSED)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FIRE LANE
	ORNAMENTAL FENCE
	PROPERTY LINE
	(PRIVATE) 6" REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/4 REBAR ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(PUBLIC) 10" REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/4 REBAR ON 18" CENTERS EACH WAY OVER 6" LINE TREATED SUBGRADE PER SOILS REPORT.
	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/4 REBAR ON 18" CENTERS EACH WAY OVER 6" COMPACTED SUBGRADE PER SOILS REPORT.
	(PRIVATE) 7" REINFORCED CONCRETE NON FIRE LANE PAVEMENT 3,600 P.S.I. CONCRETE, 6% SACK HAND FINISH 6 SACK MACHINE FINISH W/4 REBAR ON 18" CENTERS EACH WAY OVER 6" SUBGRADE PER SOILS REPORT.
	(PRIVATE) STAMPED 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/4 REBAR ON 18" CENTERS EACH WAY COLOR B PER GEOTECHNICAL REPORT.
	(CITY) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5% SACK MIX W/4 REBAR ON 24" CENTERS EACH WAY PER CITY OF ROCKWALL STANDARD DETAILS (ALONG MUNI ROAD).
	TURF, COLOR A
	TURF, COLOR B
	PLANTING AREA RE. LANDSCAPE

6.9.2 Portland Cement Concrete (PCC) Pavement

Following subgrade improvement as recommended in Section 6.9.1, the following PCC (reinforced) pavement sections are recommended in Table F.

TABLE F Recommended PCC Pavement Sections		
Paving Type and/or Area	Subgrade Thickness, Inches	PCC Thickness, Inches
Parking, Areas Subjected Exclusively to Passenger Vehicle Traffic	Scarified and Compacted, 6	5
Drive Lanes & Fire Lanes, Bus Lanes, Areas Subjected to Light Volume Truck Traffic	Lime Modified, 6	6
Dumpster & Truck Traffic Areas, Areas Subjected to Moderate Volume Truck Traffic	Lime Modified, 6	7

NOTE: SEE ALPHA TESTING REPORT NO. G223259 FOR COMPLETE RECOMMENDATIONS.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2024.
WITNESS OUR HANDS, this ____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning
HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: WILLIAM SALEE

SURVEYOR: KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(972) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2024-000

CORGAN
CORGAN
401 N. Houston St., Dallas, TX 75202
T. 214.748.2000

ISSUES		
1	05/17/24	90% CD SET
REVISIONS		

GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 175257193300
PHONE: (972) 717-5151 FAX: (972) 717-5176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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Date of issue:
05.17.2024

**UTLEY MIDDLE SCHOOL
PHASE 2**
1201 T. L. Townsend DR., Rockwall, TX 75087

**DETAILED
SITE PLAN**

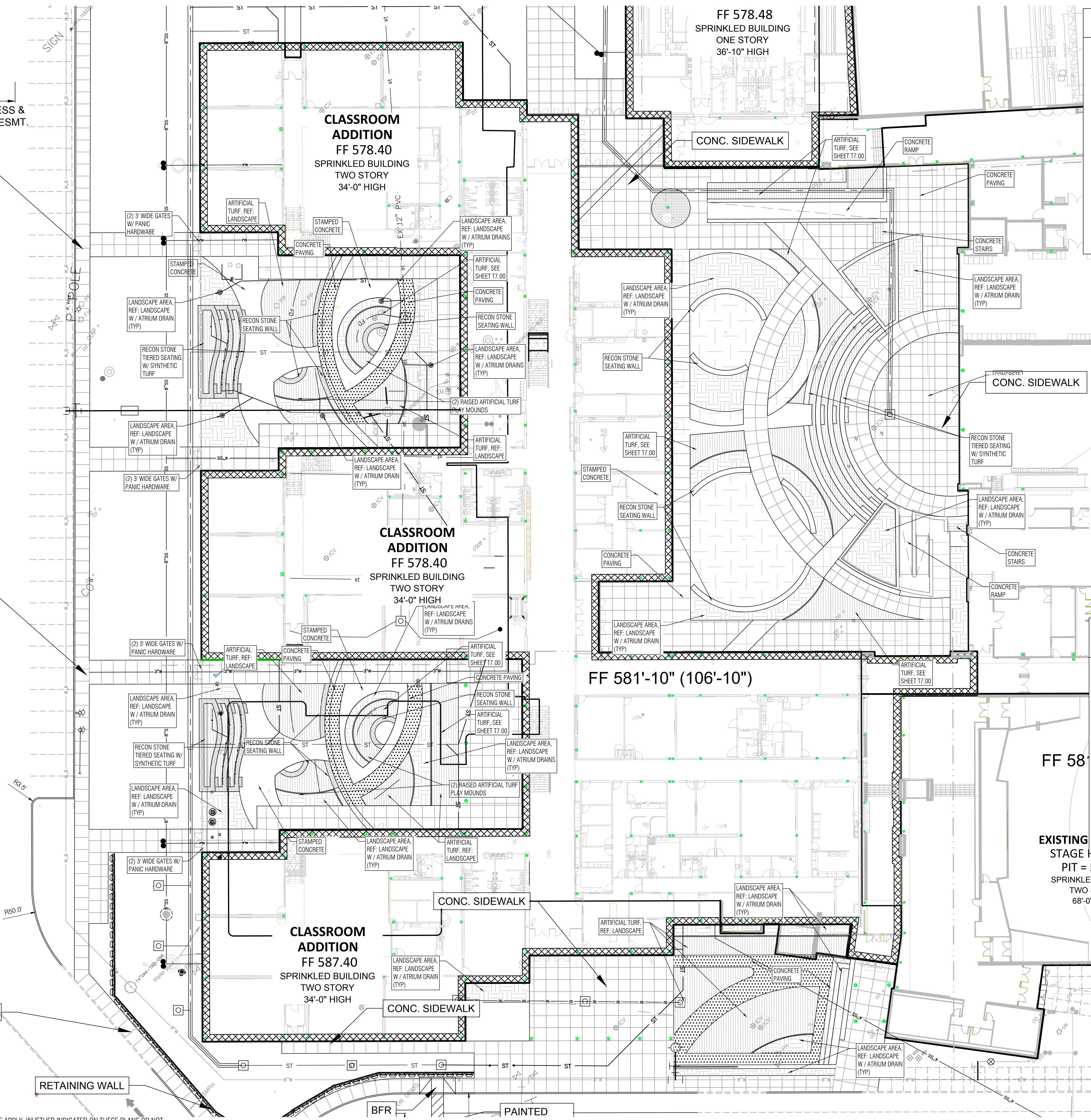
JOB 23035
DATE 05.17.2024
SHEET

C03.01

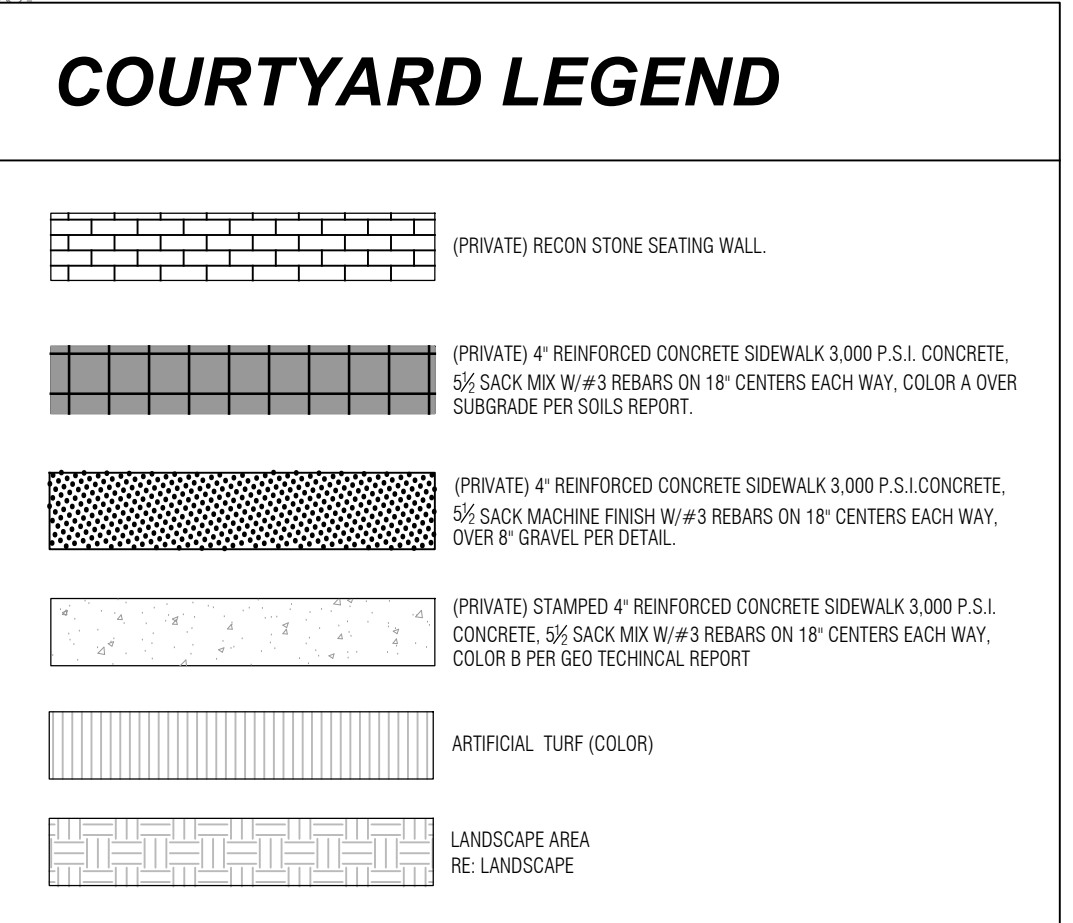
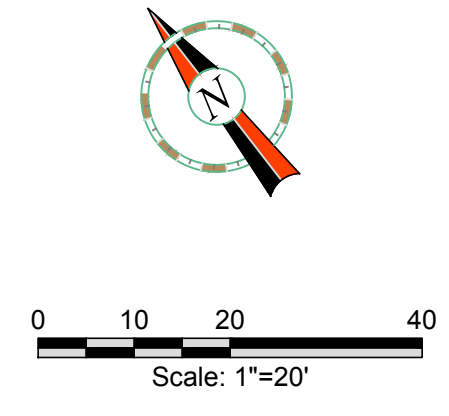
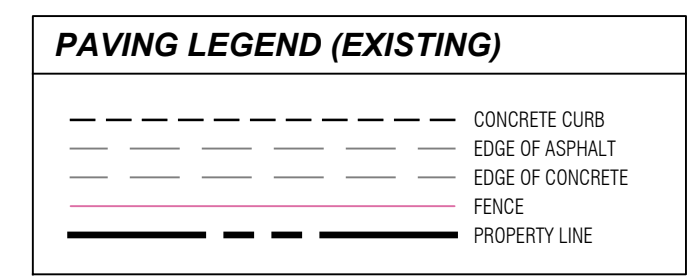
NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

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24' F
24.0' ACCESS & FIRELANE ESMT.
CONC. SIDEWALK
CONCRETE PAVING
CONC. SIDEWALK
24' FIRE LANE
CONC. SIDEWALK
RETAINING WALL



- ### GENERAL SITE NOTES
- STRIPING & SIGNAGE DIMENSIONS ARE FROM FACE OF CURB.
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CORGAN
CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

1	05/17/24	90% CD SET
---	----------	------------

REVISIONS

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GLENN ENGINEERING
TEXAS REGISTRATION # F-303 HUB # 1752575193300
PHONE (972) 717-9161 FAX (972) 717-2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MIKE GLENN, P.E. 35059, ON MAY 17, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Date of issue:
05.17.2024

UTLEY MIDDLE SCHOOL PHASE 2
1201 T. L. Townsend DR., Rockwall, TX 75087

SITE PLAN - COURTYARD

JOB 23035
DATE 05.17.2024
SHEET
C03.02

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

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LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

ARTIFICIAL TURF, REF: LANDSCAPE

CONC. SIDEWALK

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

CONC. SIDEWALK

BFR

PAINTED CROSSWALK

BFR

MONUMENT SIGN. (SEE MEP FOR NEW ELEC. & DATA.)

REF: LANDSCAPE W / ATRIUM DRAINS (TYP)

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

ARTIFICIAL TURF, REF: LANDSCAPE

CONCRETE PAVING

LANDSCAPE AREA, REF: LANDSCAPE W / ATRIUM DRAIN (TYP)

24' FIRE LANE

GENERAL SITE NOTES

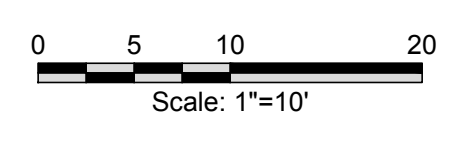
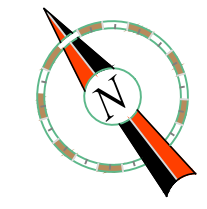
1. STRIPING & SIGNAGE DIMENSIONS ARE FROM FACE OF CURB.
2. ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
3. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
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PAVING LEGEND (EXISTING)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

SITE LEGEND (PROPOSED)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE



COURTYARD LEGEND

	(PRIVATE) RECON STONE SEATING WALL.
	(PRIVATE) 4" REINFORCED CONCRETE SIDEWALK 3,000 P.S.I. CONCRETE, 5/8" SACK MIX W/#3 REBARS ON 18" CENTERS EACH WAY, COLOR A OVER SUBGRADE PER SOILS REPORT.
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	ARTIFICIAL TURF (COLOR)
	LANDSCAPE AREA RE LANDSCAPE

CORGAN

CORGAN
401 N. Houston St., Dallas, TX 75202
T: 214.748.2000

ISSUES

1	05/17/24	90% CD SET
---	----------	------------

REVISIONS

GLENN ENGINEERING

TEXAS REGISTRATION # F-303 HUB # 175257193300
PHONE (972) 717-5151 FAX (972) 717-2176
4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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Date of issue:
05.17.2024

UTLEY MIDDLE SCHOOL PHASE 2

1201 T. L. Townsend DR., Rockwall, TX 75087

SITE PLAN - COURTYARD ENTRY

JOB 23035
DATE 05.17.2024
SHEET **C03.03**

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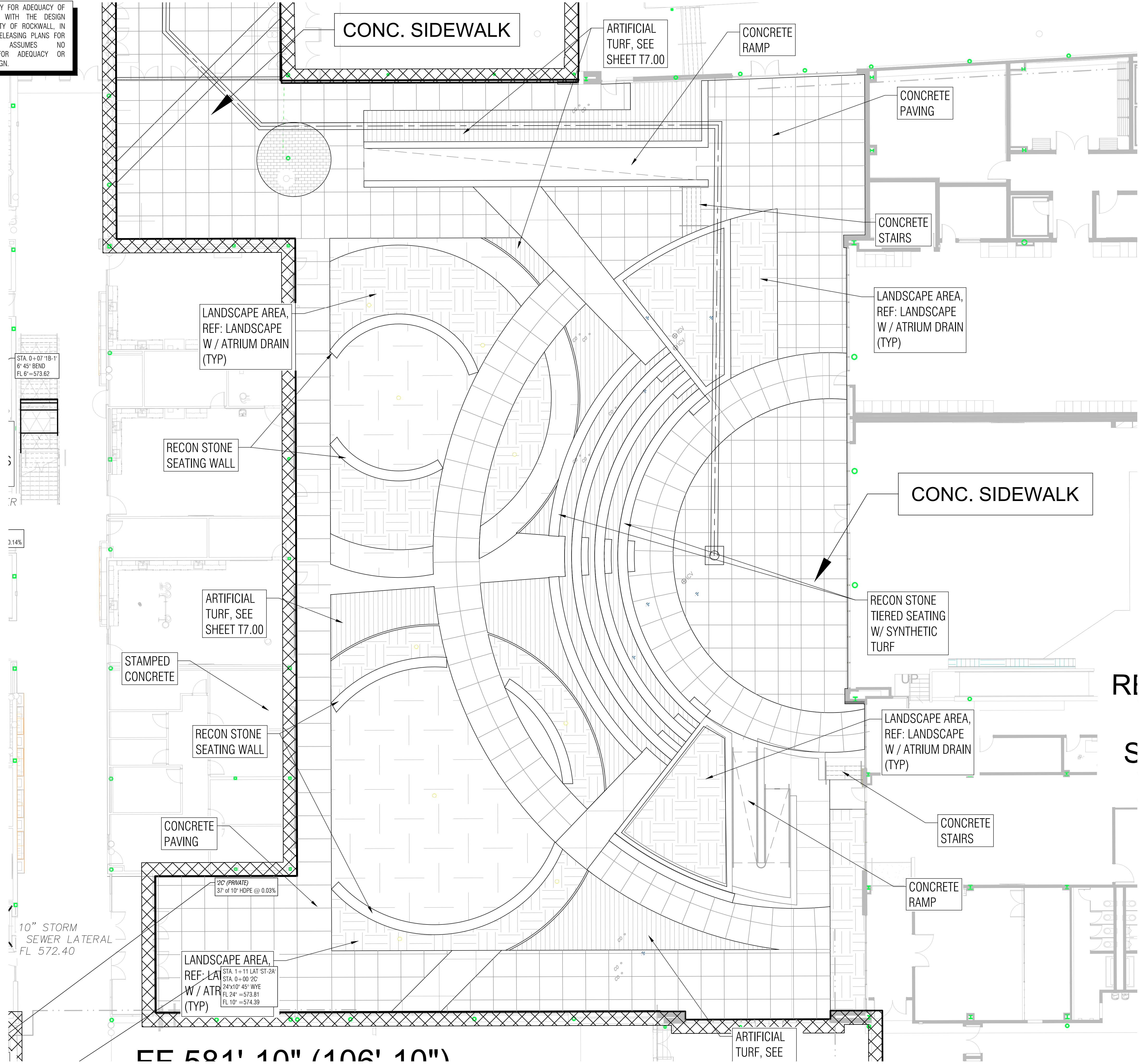
Date of issue:
05.17.2024

UTLEY MIDDLE SCHOOL PHASE 2

1201 T. L. Townsend DR., Rockwall, TX 75087

SITE PLAN - COURTYARD

JOB 23035
DATE 05.17.2024
SHEET C03.04



PAVING LEGEND (EXISTING)

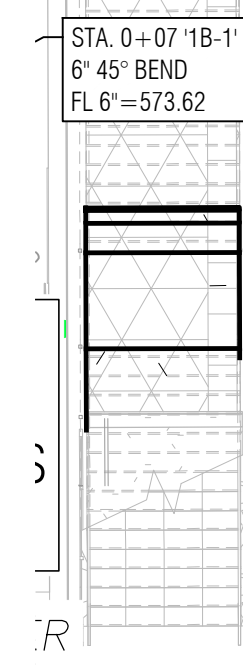
	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

SITE LEGEND (PROPOSED)

	CONCRETE CURB
	EDGE OF ASPHALT
	EDGE OF CONCRETE
	FENCE
	PROPERTY LINE

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	ARTIFICIAL TURF (COLOR)
	LANDSCAPE AREA RE LANDSCAPE



LANDSCAPE AREA, REF: LA W / ATR (TYP)
STA. 1+11 LAT ST-2A
STA. 0+00 2C
24"x10" 45° WYE
FL 24" = 573.81
FL 10" = 574.39

12C (PRIVATE)
37' of 10" HDPE @ 0.03%

10" STORM SEWER LATERAL
FL 572.40

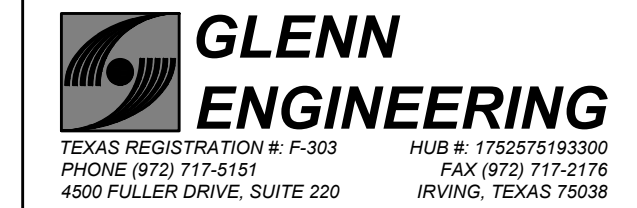
EE 501' 10" (106' 10")

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ISSUES

1	05/17/24	90% CD SET
---	----------	------------

REVISIONS



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Date of issue:

05.17.2024

**UTLEY MIDDLE SCHOOL
PHASE 2**

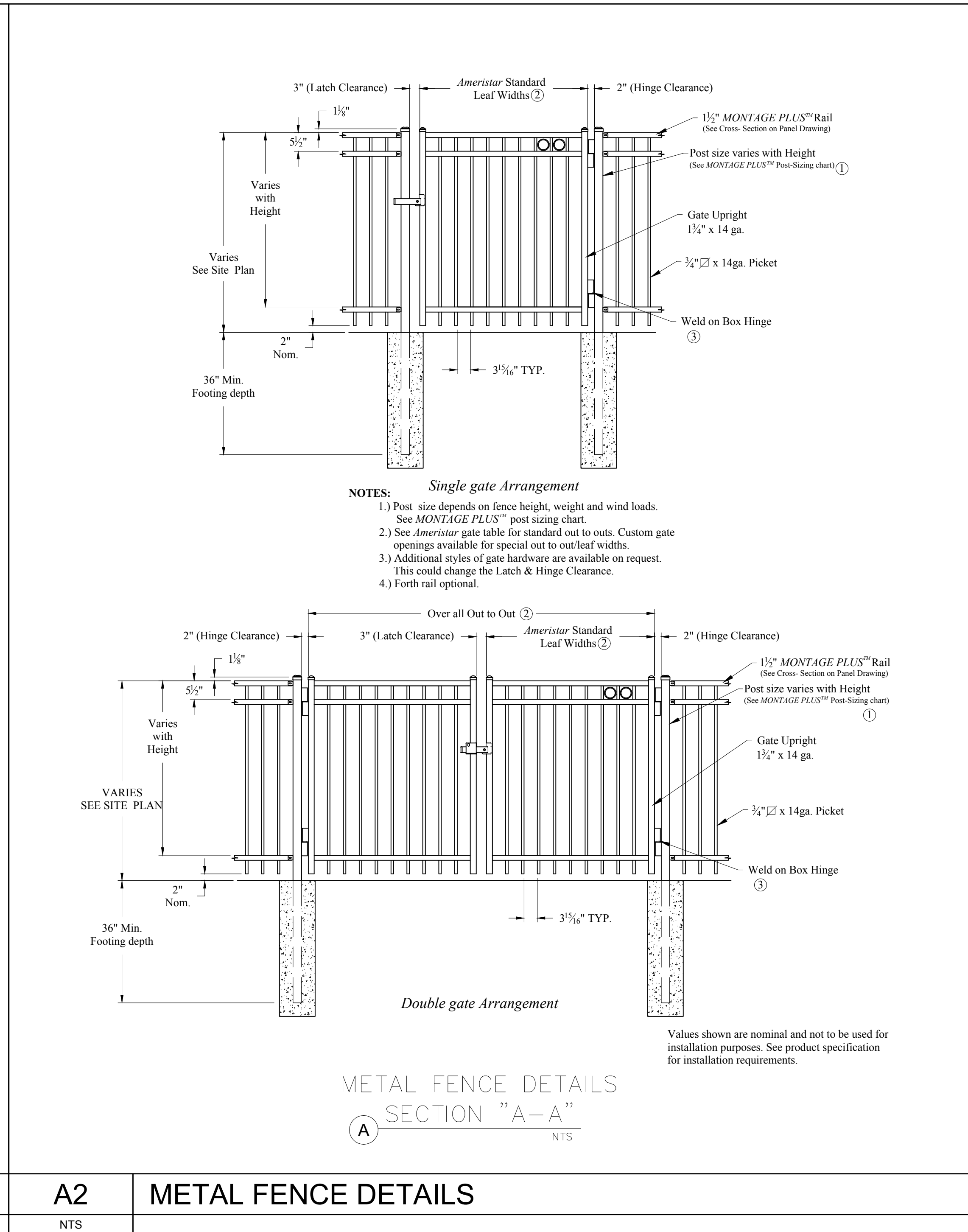
1201 T. L. Townsend DR., Rockwall, TX 75087

PRIVATE METAL FENCE DETAILS

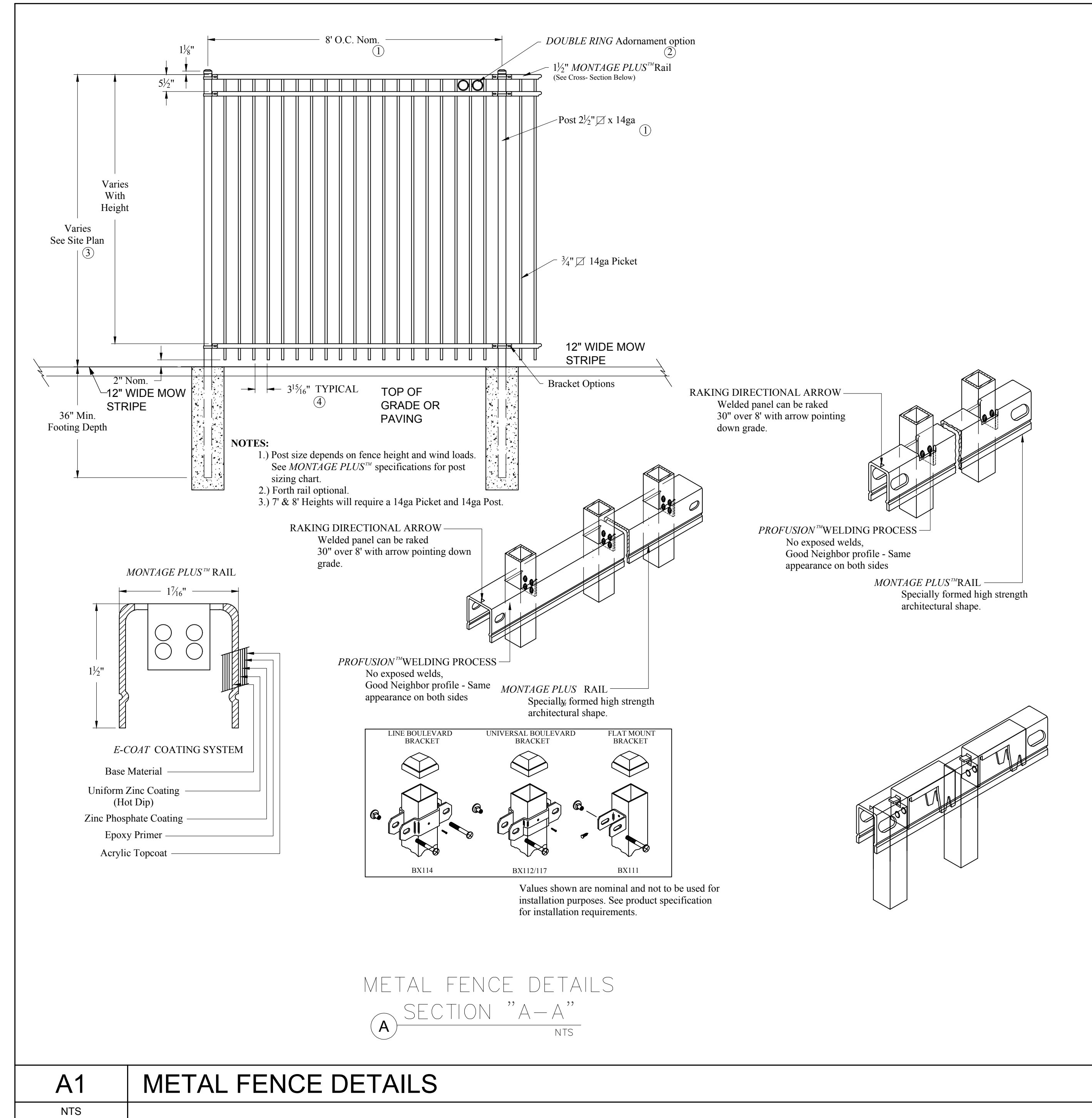
JOB 23035
DATE 05.17.2024
SHEET

C03.53

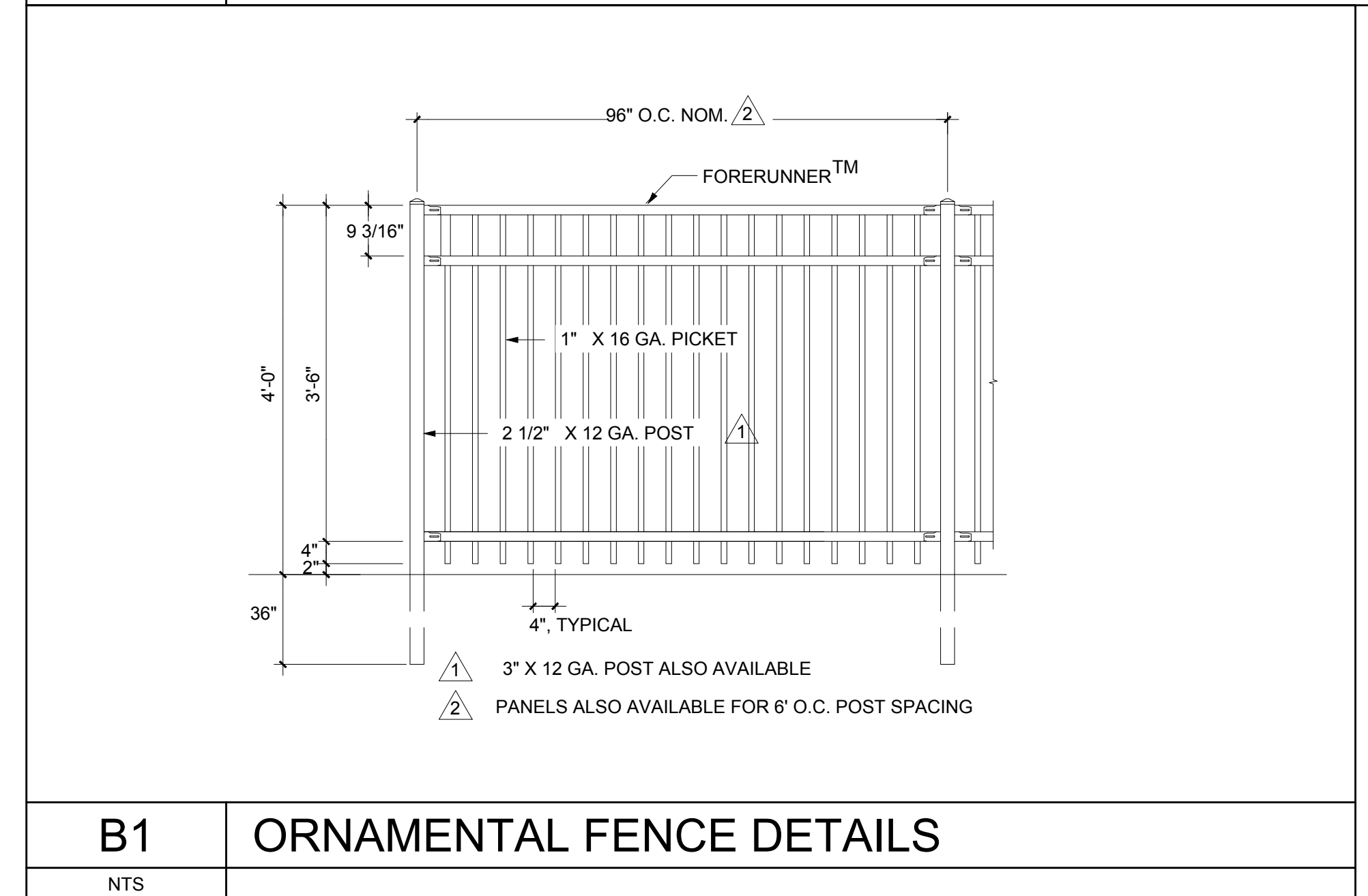
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A2 METAL FENCE DETAILS



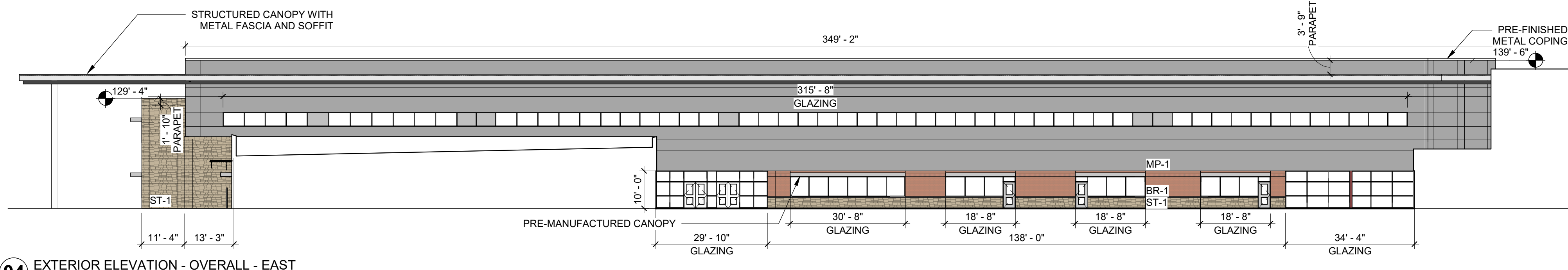
A1 METAL FENCE DETAILS



B1 ORNAMENTAL FENCE DETAILS

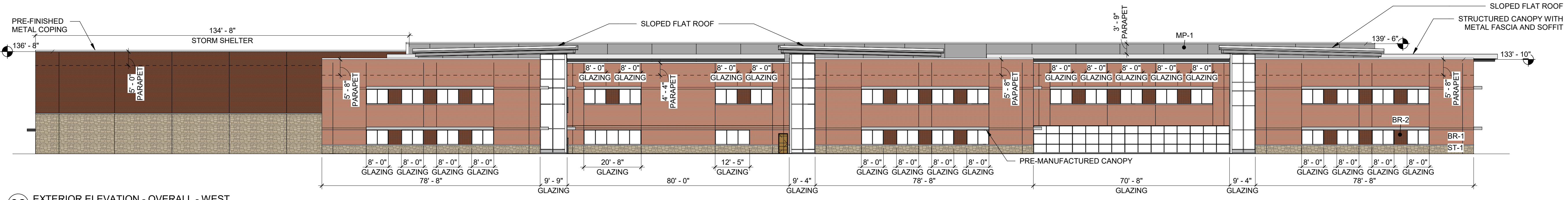
NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

R:\ROCKWALL\UTLEY 2023 ADDITIONS AND RENOVATIONS\BIDSET\UTLEY PH 2 MS-DETAILS.dwg



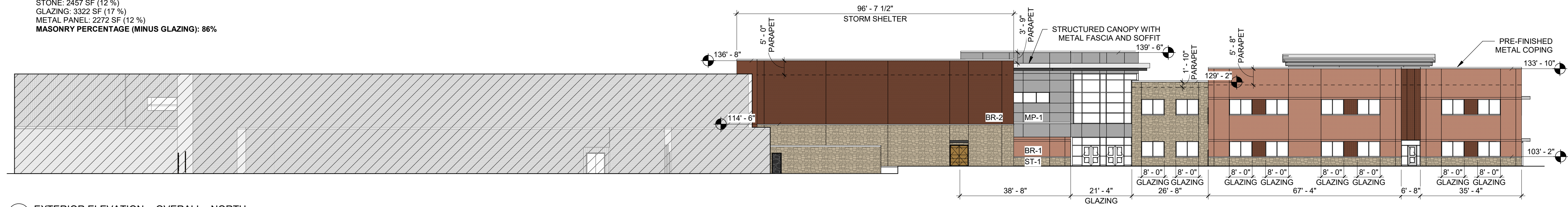
04 EXTERIOR ELEVATION - OVERALL - EAST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 12,136 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 9795 SF
BRICK: 934 SF (8%)
STONE: 969 SF (8%)
GLAZING: 2341 SF (19%)
METAL PANEL: 7892 SF (65%)
MASONRY PERCENTAGE (MINUS GLAZING): 20%



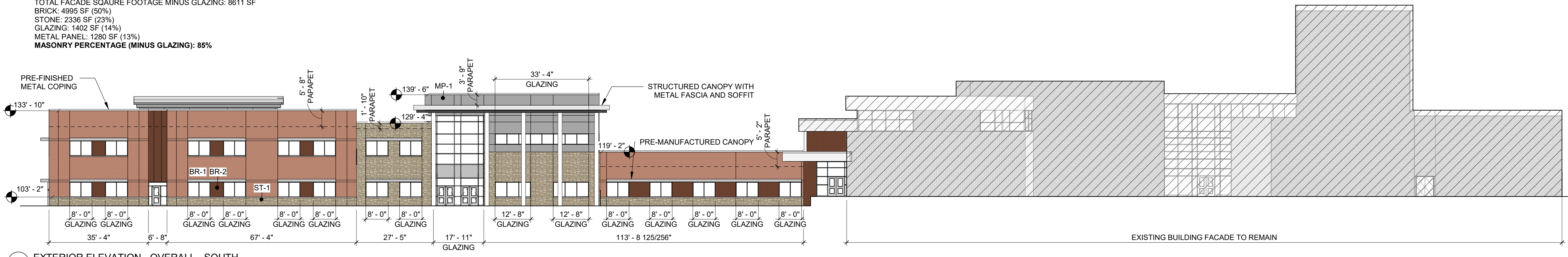
03 EXTERIOR ELEVATION - OVERALL - WEST
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 19,737 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 16,415 SF
BRICK: 11,686 SF (59%)
STONE: 2457 SF (12%)
GLAZING: 3322 SF (17%)
METAL PANEL: 2272 SF (12%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%



02 EXTERIOR ELEVATION - OVERALL - NORTH
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 10,013 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 8611 SF
BRICK: 4995 SF (50%)
STONE: 2336 SF (23%)
GLAZING: 1402 SF (14%)
METAL PANEL: 1280 SF (13%)
MASONRY PERCENTAGE (MINUS GLAZING): 85%



01 EXTERIOR ELEVATION - OVERALL - SOUTH
1" = 20'-0"

NEW ADDITION:
TOTAL FACADE SQUARE FOOTAGE: 8541 SF
TOTAL FACADE SQUARE FOOTAGE MINUS GLAZING: 6495 SF
BRICK: 3759 SF (45%)
STONE: 1850 SF (22%)
GLAZING: 2045 SF (23%)
METAL PANEL: 887 SF (10%)
MASONRY PERCENTAGE (MINUS GLAZING): 86%

EXT. MATERIALS LEGEND		
	ST-1	
	BR-1	
	BR-2	
	MP-1	
	MP-2	
	GL-1	



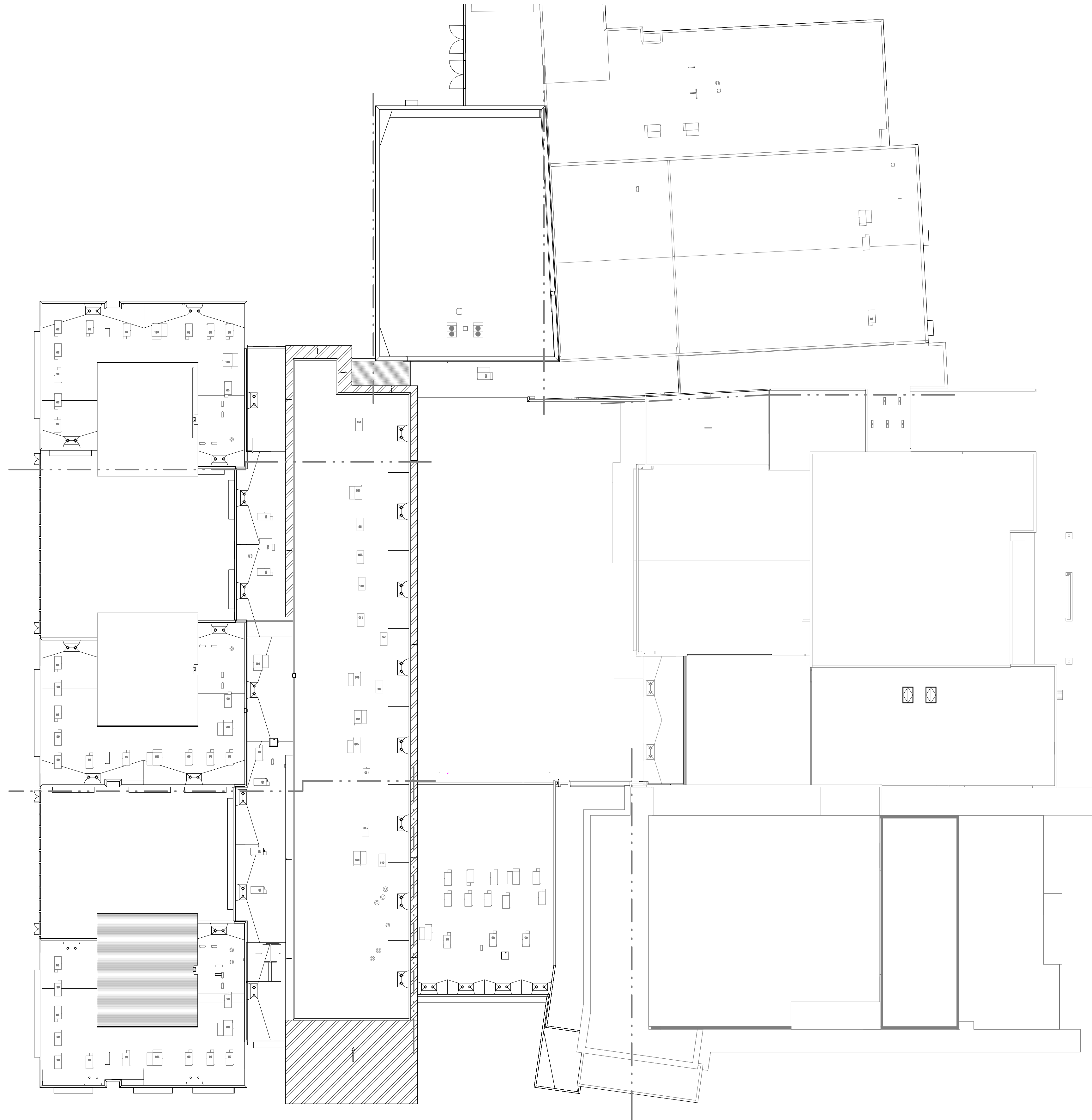
EXTERIOR ELEVATIONS UTLEY MIDDLE SCHOOL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.



Planning & Zoning Commission, Chairman

Director of Planning and Zoning



RTU LOCATIONS - UTLEY MIDDLE SCHOOL

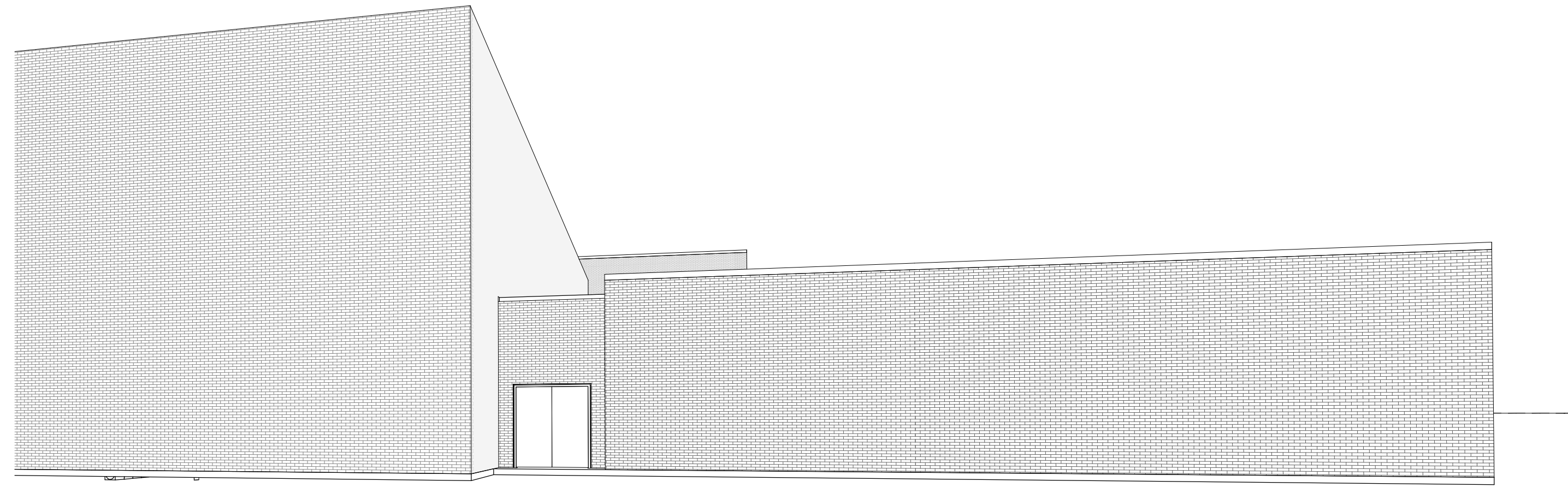


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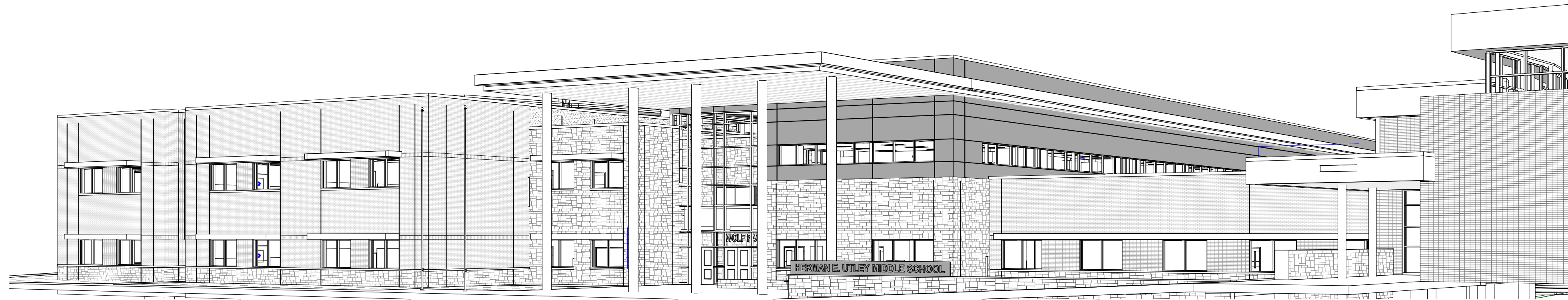


Planning & Zoning Commission, Chairman

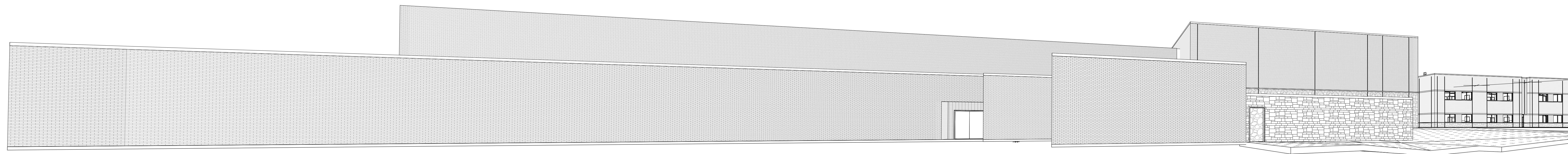
Director of Planning and Zoning



03 3D RTU VIEW - NORTHEAST
N.T.S.



02 3D RTU VIEW - TL TOWNSEND DRIVE
N.T.S.



01 3D RTU VIEW - NORTH
N.T.S.



RTU 3D VIEWS - UTLEY MIDDLE SCHOOL

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

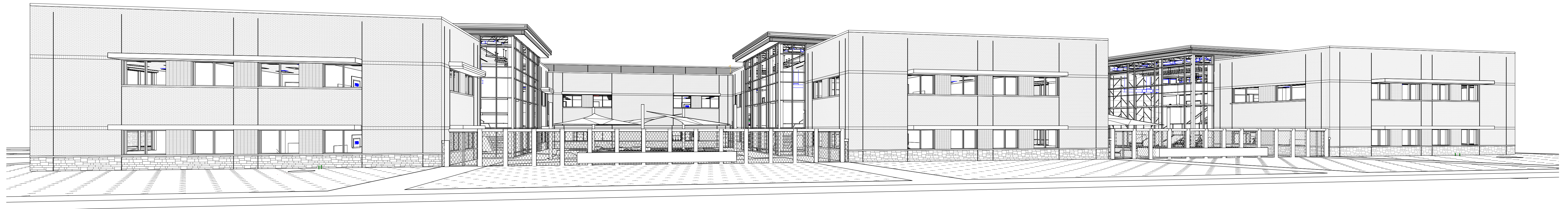




03 3D RTU VIEW - SOUTHWEST
N.T.S.



02 3D RTU VIEW - NORTHWEST
N.T.S.



01 3D RTU VIEW - WEST
N.T.S.

RTU 3D VIEWS - UTLEY MIDDLE SCHOOL



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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ISSUES

1	05/13/2023	PERMIT SET
2		
3		
4		
5		
6		

REVISIONS

1		
2		
3		
4		
5		
6		

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

1201 T L Townsend Dr., Rockwall, TX 75087

**OVERALL
LANDSCAPE PLAN**

JOB 23035
DATE 05.13.2024
SHEET

SITE DATA SUMMARY TABLE

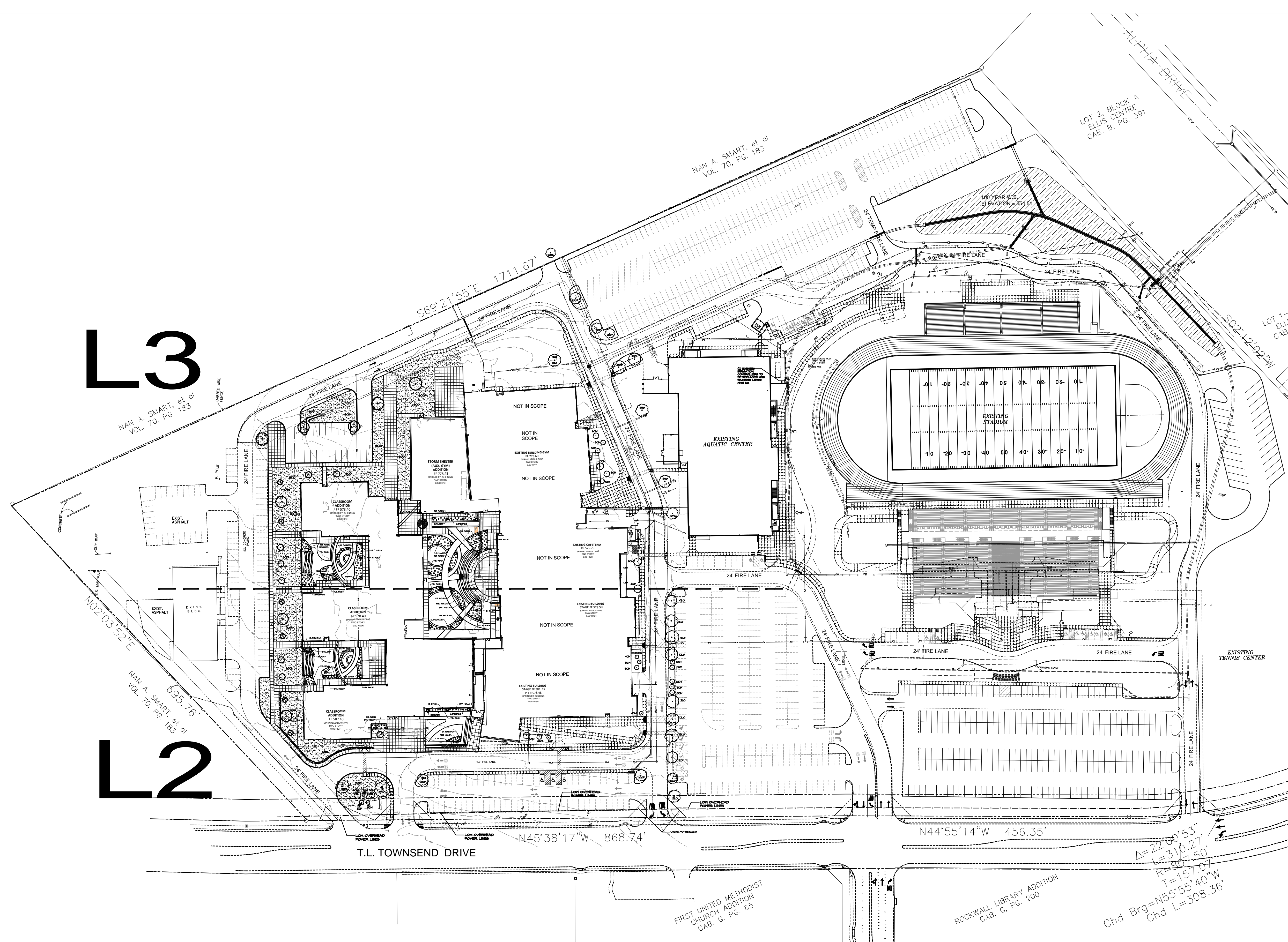
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,075 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8:10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	
EXISTING 9.0' x 18.0'	1,083 SPACES (Includes 31 HC Spaces)
NEW 10.0' x 20.0' PARALLEL	18 SPACES (Includes 1 HC Space)
TOTAL PARKING PROVIDED	1,101 SPACES

LANDSCAPE NOTES

LANDSCAPE CONTRACTOR SHALL REPLACE ALL AREAS DISTURBED BY CONSTRUCTION. THE DISTURBED AREAS SHALL BE REPLACED WITH SOD/STYRO FOR THE SPECIFICATIONS UNLESS NOTED OTHERWISE ON THE PLANS.

LANDSCAPE CONTRACTOR SHOULD VISIT SITE AND REFERENCE CIVIL ENGINEER'S GRADING PLAN PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION TO VERIFY AREAS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.

REFERENCE CIVIL PLANS FOR FINAL GRADING AND UTILITIES.



**HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: WILLIAM SALEE

SURVEYOR:
KMCE, Inc.
17774 PRESTON ROAD
DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

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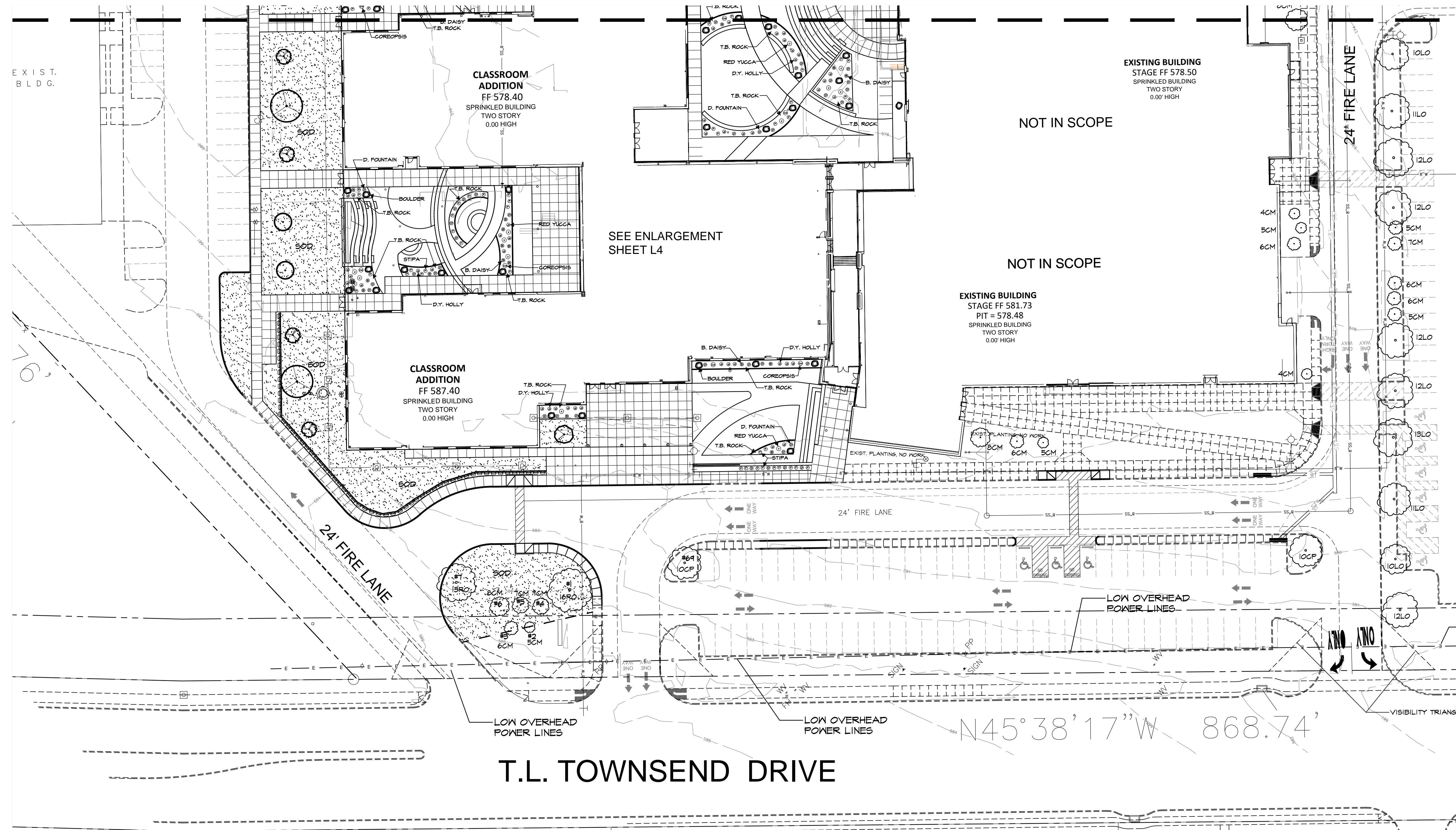
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

L3

L2

MATCHLINE SEE SHEET L3



T.L. TOWNSEND DRIVE

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ISSUES

1	05/13/2023	PERMIT SET
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REVISIONS

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RAMSEY LANDSCAPE ARCHITECTS, L.L.C.

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**UTLEY MIDDLE SCHOOL
PHASE 2**

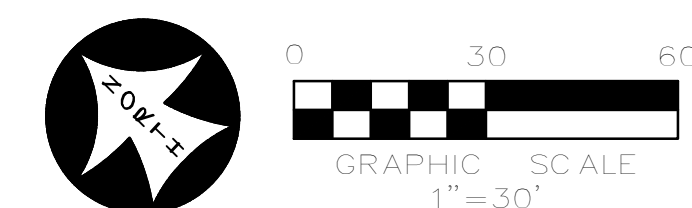
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
AREA A

JOB 23035
DATE 05.13.2024
SHEET

L 2

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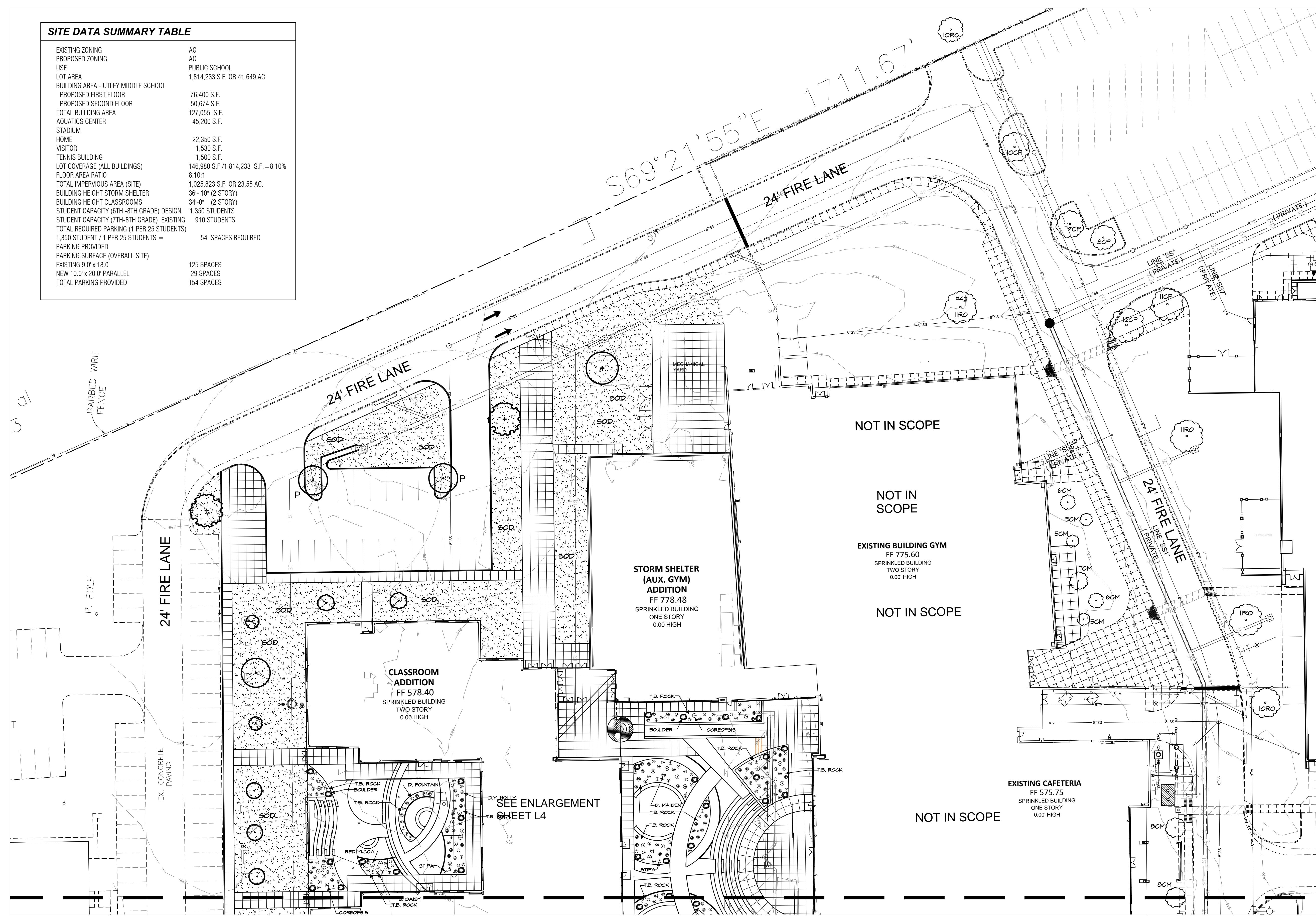
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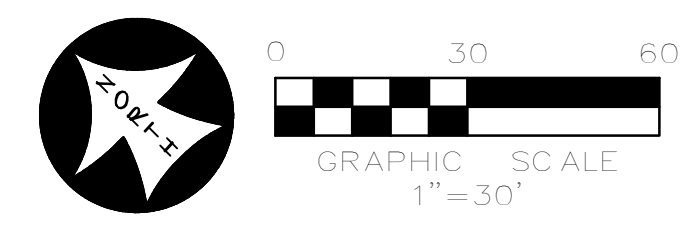
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CITY OF ROCKWALL CASE NO. SP2024-___

SITE DATA SUMMARY TABLE	
EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PUBLIC SCHOOL
LOT AREA	1,814,233 S.F. OR 41.649 AC.
BUILDING AREA - UTLEY MIDDLE SCHOOL	
PROPOSED FIRST FLOOR	76,400 S.F.
PROPOSED SECOND FLOOR	50,674 S.F.
TOTAL BUILDING AREA	127,055 S.F.
AQUATICS CENTER	45,200 S.F.
STADIUM	
HOME	22,350 S.F.
VISITOR	1,530 S.F.
TENNIS BUILDING	1,500 S.F.
LOT COVERAGE (ALL BUILDINGS)	146,980 S.F./1,814,233 S.F. = 8.10%
FLOOR AREA RATIO	8.10:1
TOTAL IMPERVIOUS AREA (SITE)	1,025,823 S.F. OR 23.55 AC.
BUILDING HEIGHT STORM SHELTER	36'-10" (2 STORY)
BUILDING HEIGHT CLASSROOMS	34'-0" (2 STORY)
STUDENT CAPACITY (6TH-8TH GRADE) DESIGN	1,350 STUDENTS
STUDENT CAPACITY (7TH-8TH GRADE) EXISTING	910 STUDENTS
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	54 SPACES REQUIRED
1,350 STUDENT / 1 PER 25 STUDENTS =	
PARKING PROVIDED	
PARKING SURFACE (OVERALL SITE)	125 SPACES
EXISTING 9.0' x 18.0'	29 SPACES
NEW 10.0' x 20.0' PARALLEL	154 SPACES
TOTAL PARKING PROVIDED	



MATCHLINE SEE SHEET L2



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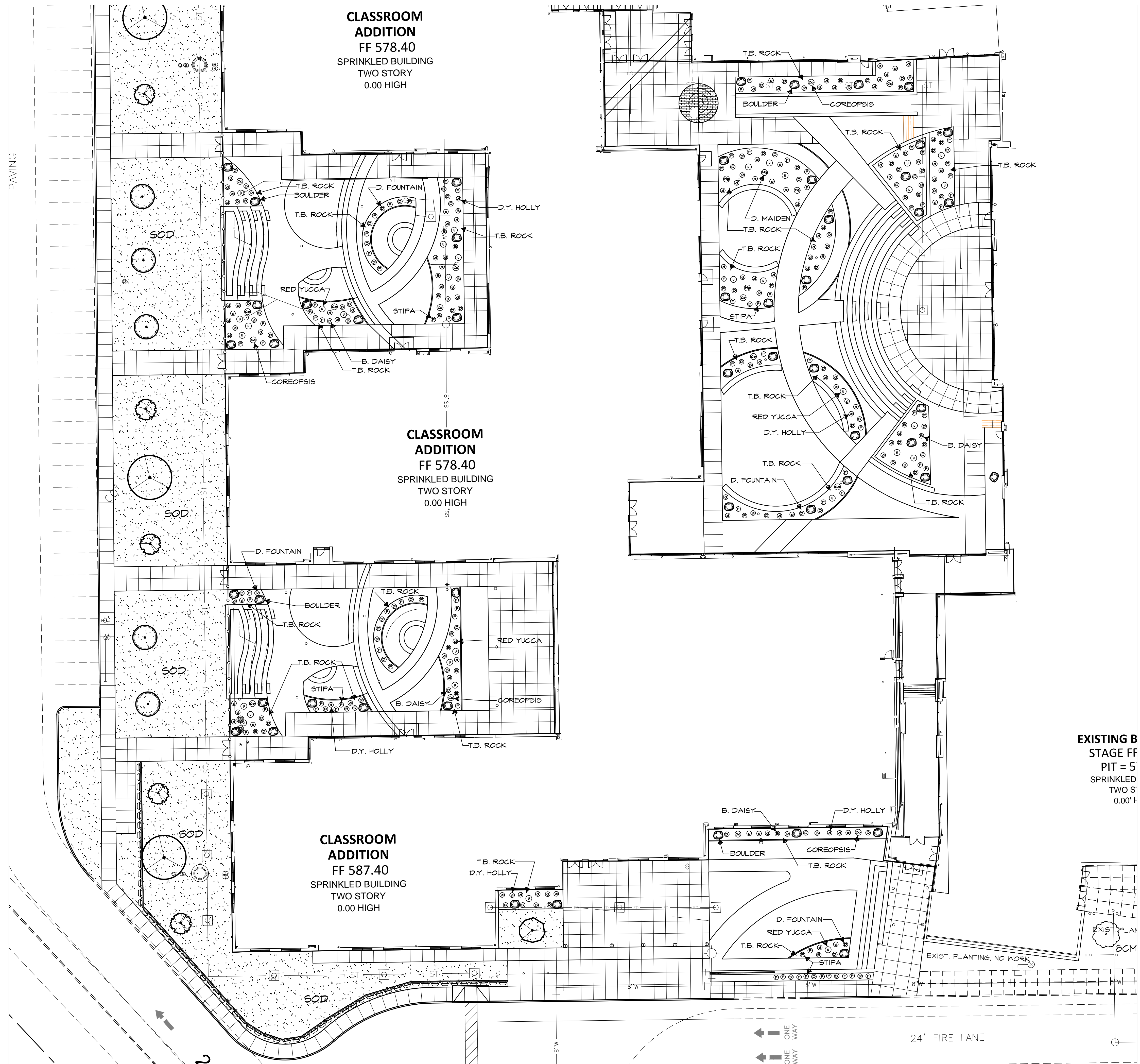
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PHASE 2**
1201 T L Townsend Dr., Rockwall, TX 75087

LANDSCAPE PLAN
AREA B

JOB 23035
DATE 05.13.2024
SHEET

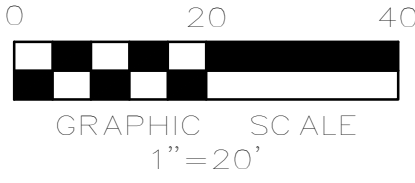
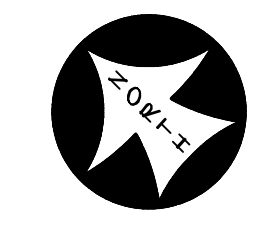


CLASSROOM ADDITION
 FF 578.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

CLASSROOM ADDITION
 FF 578.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

CLASSROOM ADDITION
 FF 587.40
 SPRINKLED BUILDING
 TWO STORY
 0.00 HIGH

EXISTING B
 STAGE FF
 PIT = 5'
 SPRINKLED
 TWO S'
 0.00' F



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 LOT 1, BLOCK 1
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CITY OF ROCKWALL CASE NO. SP2024-___

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**UTLEY MIDDLE SCHOOL
 PHASE 2**
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LANDSCAPE ENLARGEMENT

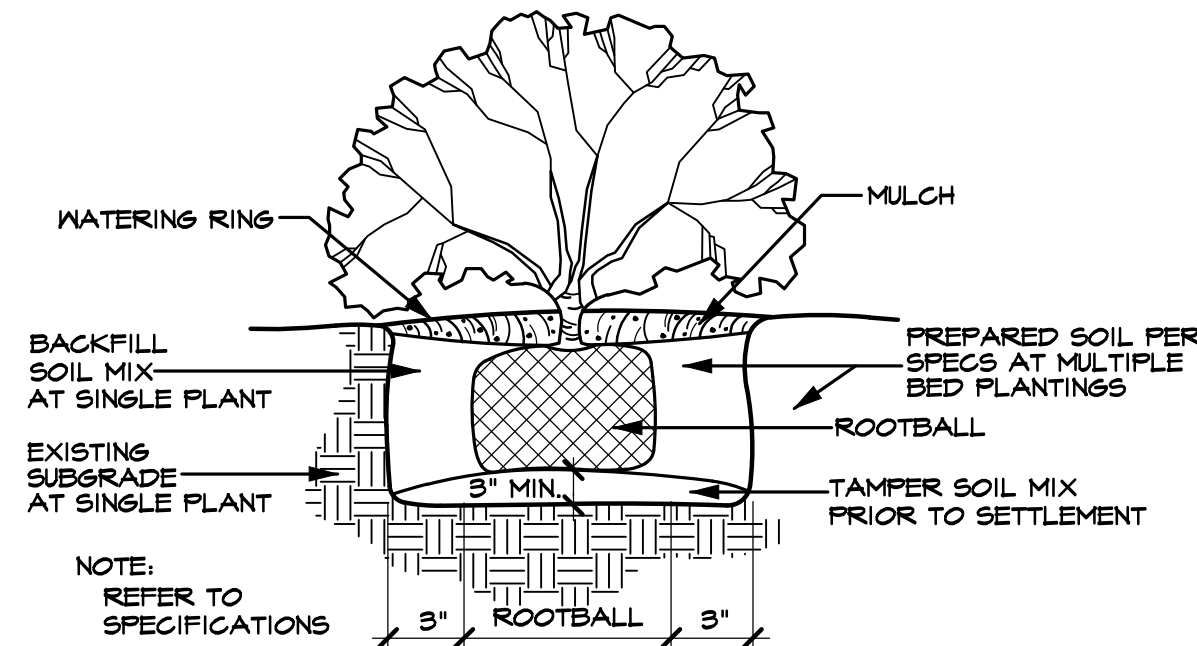
JOB 23035
DATE 05.13.2024
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LANDSCAPE NOTES

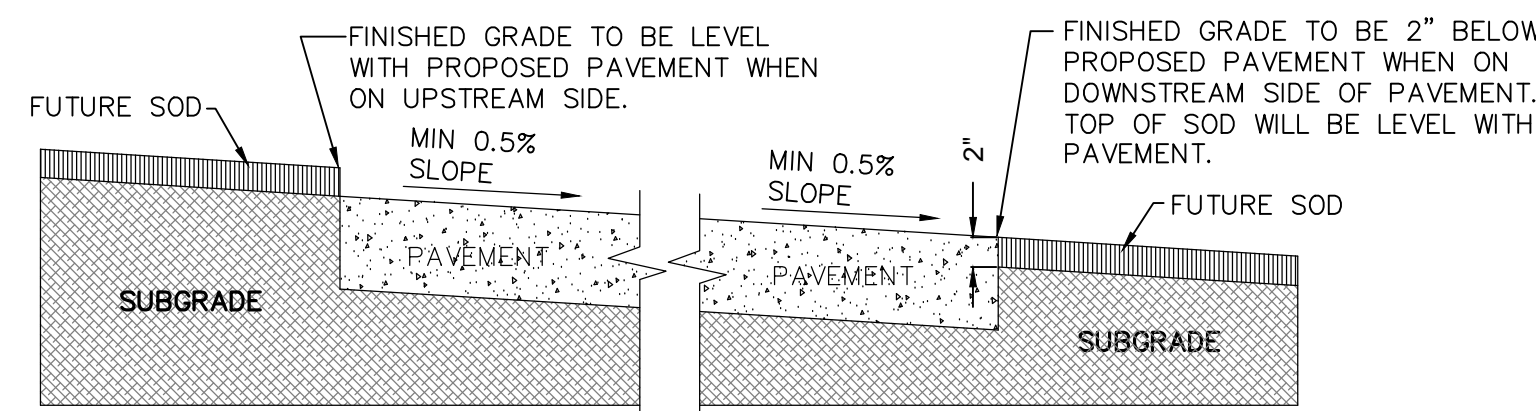
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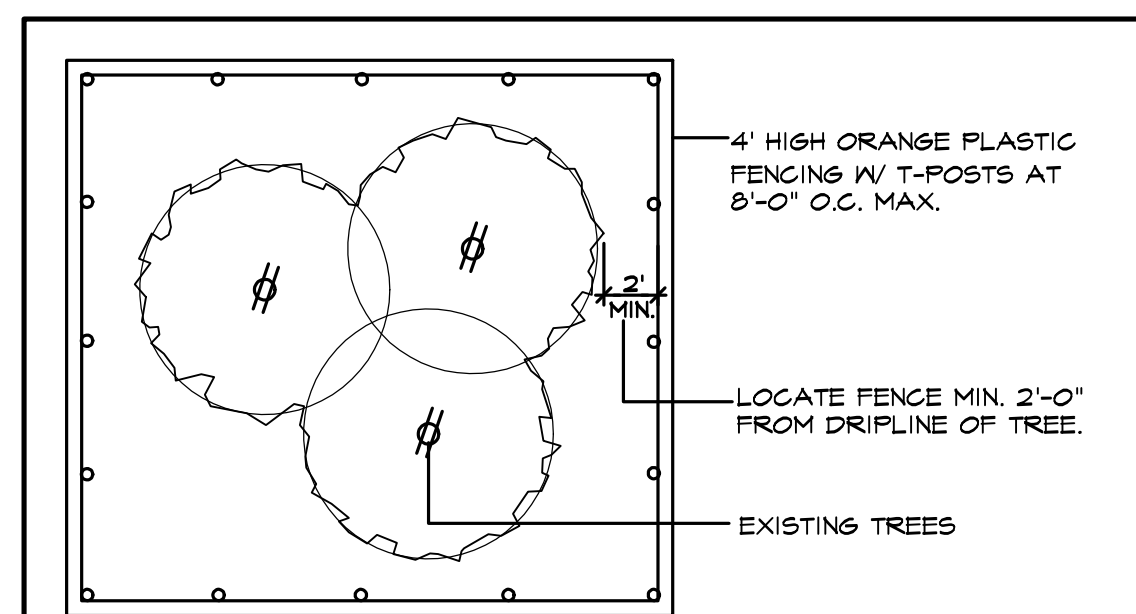
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SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.



- EXISTING TREES WITHIN CONTRACT LIMITS ARE SHOWN ON THE DRAWINGS. EXISTING TREES DESIGNATED FOR REMOVAL SHALL BE FLAGGED AT THE PROJECT SITE WITH FLAGGING BY THE CONTRACTOR.
- PROTECT ALL INDIVIDUAL TREES OR GROUPS OF TREES TO BE PRESERVED BY ERECTING A BARRIER AROUND EACH TREE OR GROUP OF TREES. INSTALL AND MAINTAIN BARRIER AT TREE DRIPLINE. BARRIERS SHALL REMAIN IN PLACE UNTIL REMOVAL IS NECESSARY.
- IN THE EVENT THAT HEAVY CONSTRUCTION IS SCHEDULED TO OCCUR WITHIN THE DRIPLINE OF AN EXISTING TREE, CONTRACTOR SHALL ERECT A PROTECTION FENCE OUTSIDE THE DRIPLINE UNTIL THIS CONSTRUCTION IS SCHEDULED TO OCCUR. THE PROTECTION FENCE MAY THEN BE ADJUSTED AS REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION. AFTER CONSTRUCTION IN THIS AREA IS COMPLETED, THE PROTECTION FENCE SHALL BE ADJUSTED TO ITS ORIGINAL LOCATION.
- CONTRACTORS SHALL NOT PARK, CLEAN TOOLS AND EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINE OF ANY TREE.
- ALL ROOTS OVER 1" IN DIAMETER SHALL BE CUT CLEAN WITH A HAND SAW.

TREE PROTECTION FENCE AND NOTES
SCALE: N.T.S.

LANDSCAPE TABULATIONS

LANDSCAPE REQUIRED
1 ROW OF SHADE TREES 50' O.C. AND SCREENING SHRUBS AT HEAD IN PARKING
NOT APPLICABLE - EXISTING CONDITIONS

STREET BUFFER
2 CANOPY AND 4 ACCENT TREES PER 100 LF
NOT APPLICABLE - EXISTING CONDITIONS

PARKING LOT LANDSCAPING
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.

PARKING SPACES
PARKING LANDSCAPE REQUIRED (350 SF X 5% =) 21 NEW SPACES
PARKING LANDSCAPE PROVIDED 368 SF
PARKING LANDSCAPE PROVIDED 305 SF
PARKING TREES REQUIRED (21 SPACES / 10 =) 2 TREES
PARKING TREES PROVIDED P 2 TREES

AMOUNT OF LANDSCAPING
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.
NOT APPLICABLE

TREE MITIGATION
AS SHOWN ON TREESCAPES PLANS

ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.

TREES

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
1	(Circle with cross)	LIVE OAK	Live Oak	Quercus virginiana	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
2	(Circle with cross and dots)	RED OAK	Shumard Red Oak	Quercus shumardii	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
5	(Circle with three lines)	PISTACHIO	Chinese Pistachio	Pistacia chinensis	4" caliper, 12'-14' Ht./ 3'-6" spread, B&B straight trunk full rounded canopy
6	(Circle with dots)	D. WILLOW	Desert Willow	Chilopsis linearis	4'-5" ht, 3'-4" spread, container
3	(Circle with cross and dots)	T. YAUPON	Yaupon Holly	Ilex vomitoria	3/4" caliper per trunk, 5 trunk min., 8' Ht./4" spread, container, male, tree form, limbed to 4'
5	(Circle with dot)	RED BUD	Oklahoma Red Bud	Cercis canadensis 'oklahoma'	6' Ht./3' spread min., container only single straight trunk, bushy specimen

SHRUBS

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
106	(Circle with cross)	D.Y. HOLLY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 gallon, 16" Ht./14" spread, bushy, full to ground
32	(Circle with dot)	RED YUCCA	Red Yucca	Hesperaloe parviflora	5 gallon
83	(Circle with cross)	D. FOUNTAIN	Dwarf Fountain Grass	Fennislatum atapeurilades hamlin'	1 gallon
15	(Circle with cross)	COREOPSIS	Lanceleaf Coreopsis	Coreopsis lanceolata	1 gallon
87	(Circle with cross)	STIPA	Mexican Feathergrass	Stipa tenuissima	1 gallon
37	(Circle with cross)	B. DAISY	Blackfoot Daisy	Melampodium leucanthum	1 gallon
4	(Circle with cross)	D. MAIDEN	Dwarf Maiden Grass	Miscanthus sinensis 'Adagio'	5 gallon

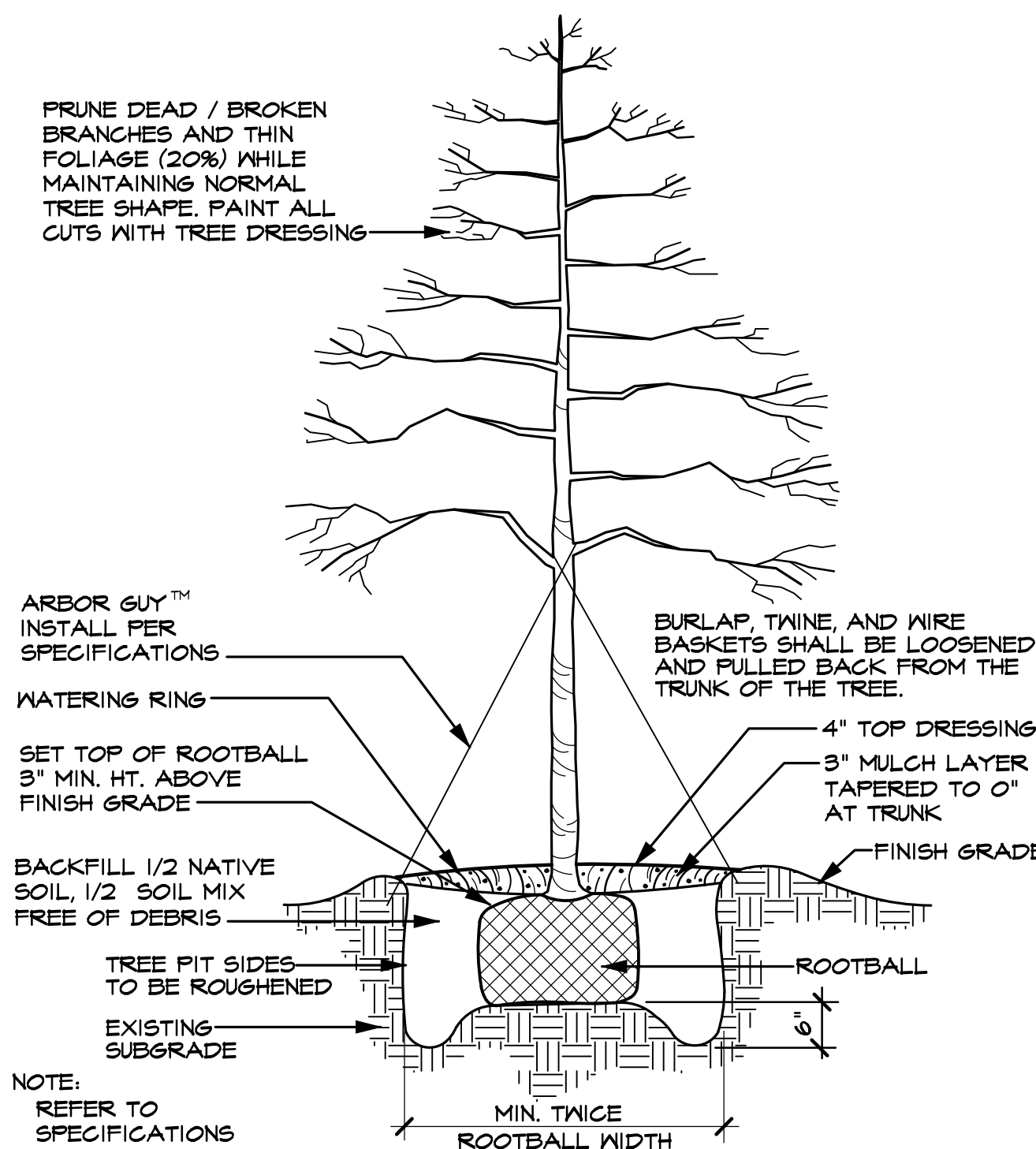
GROUND COVER

QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	(Square with dots)	SOD	Common Bermuda Grass	Cynodon dactylon	Solid Rolled Sod refer to specifications

MISCELLANEOUS

AS SHOWN	(Line)	EDGE	L.F. Ryerson steel edge 1/8" x 4" with 12" stakes, green in color
51	(Circle with dot)	BOULDER	600 to 800 pounds each BROWN MOSS BOULDERS
AS SHOWN	(Square with dots)	T.B. ROCK	3'-5" Texas Black rock, 6"-8" deep. Provide weed barrier mat below rock. Separate all grass/soil areas with edging. Rock to cover all weed barrier mat.

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

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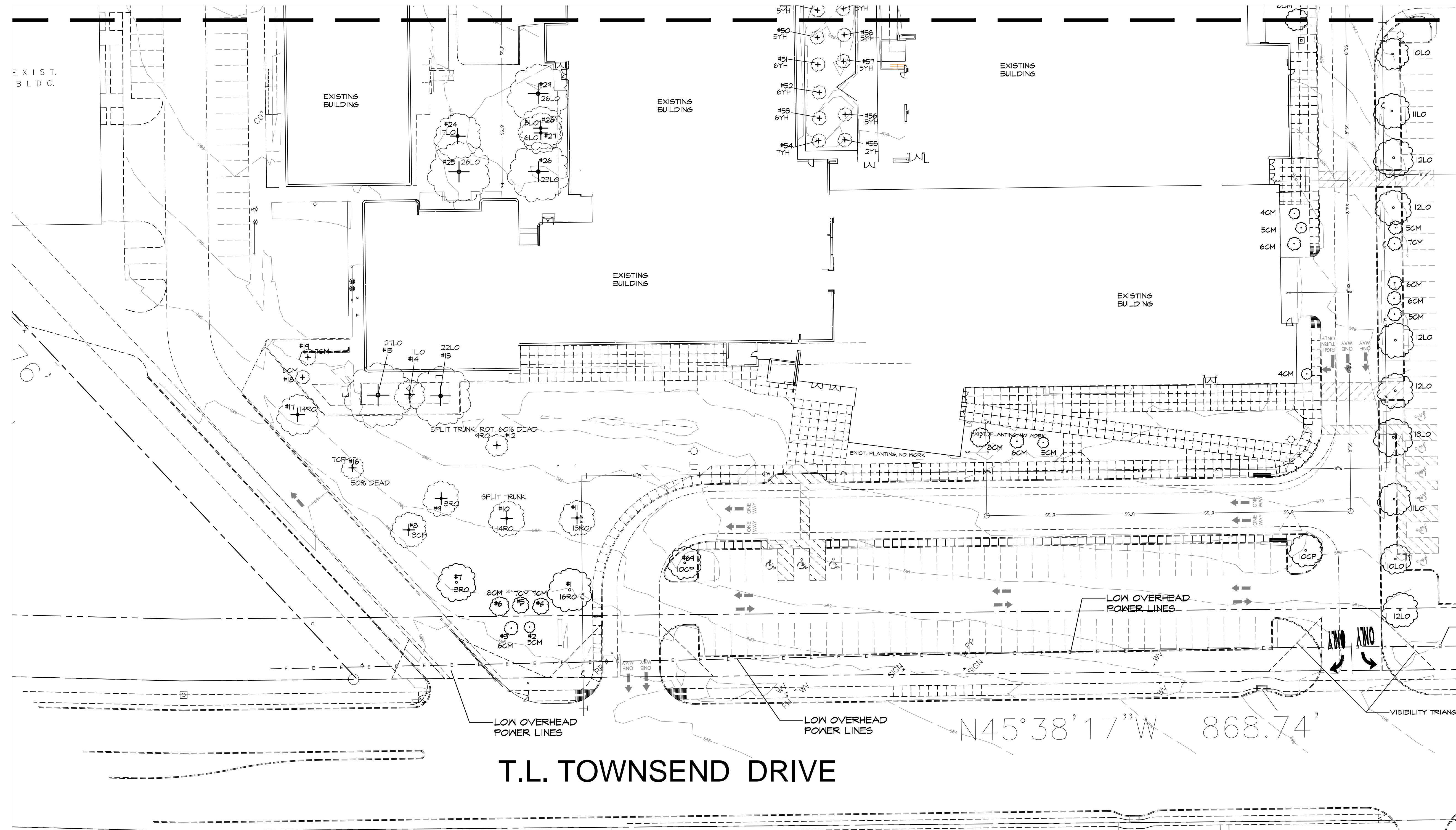
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**LANDSCAPE
DETAILS**

**JOB 23035
DATE 05.13.2024
SHEET**

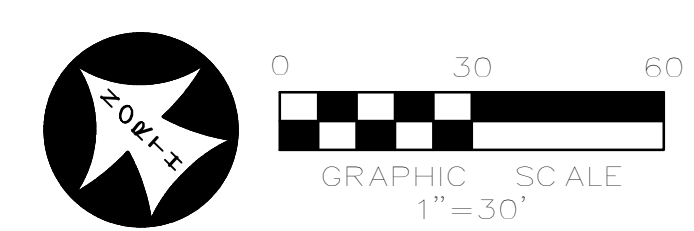
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MATCHLINE SEE SHEET L3



T.L. TOWNSEND DRIVE

EXISTING TREE NOTE:
EXISTING TREES WITHIN 50'
OF CONSTRUCTION ARE
NUMBERED AND CHARTED.
TREES OUTSIDE THIS AREA
ARE SHOWN FOR GENERAL
INFORMATION.



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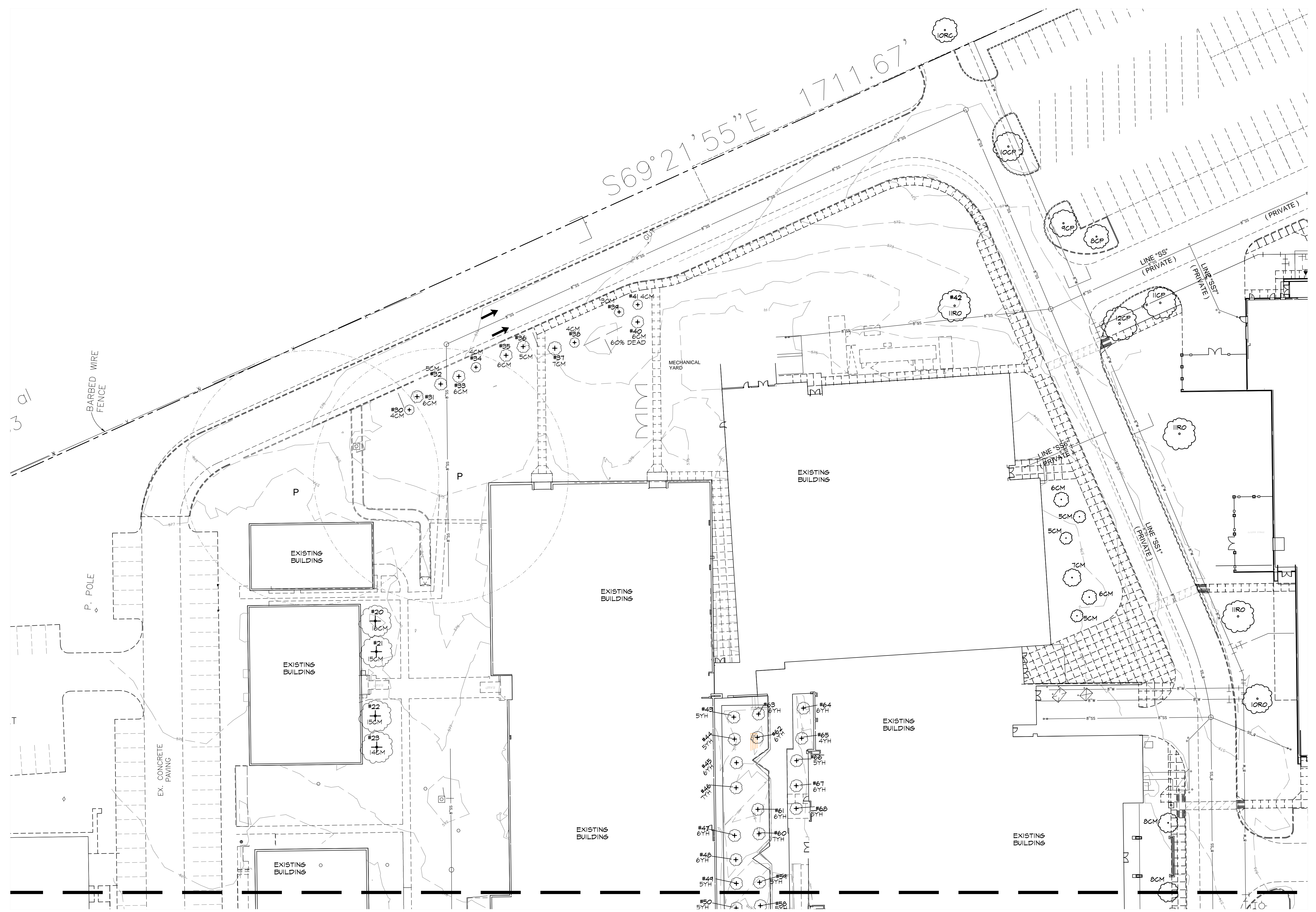
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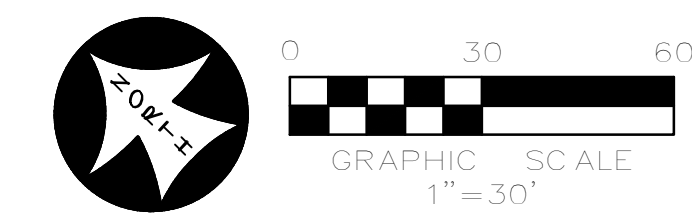
TREESCAPE
PLAN AREA A

JOB 23035
DATE 05.13.2024
SHEET

TS 1



MATCHLINE SEE SHEET L2



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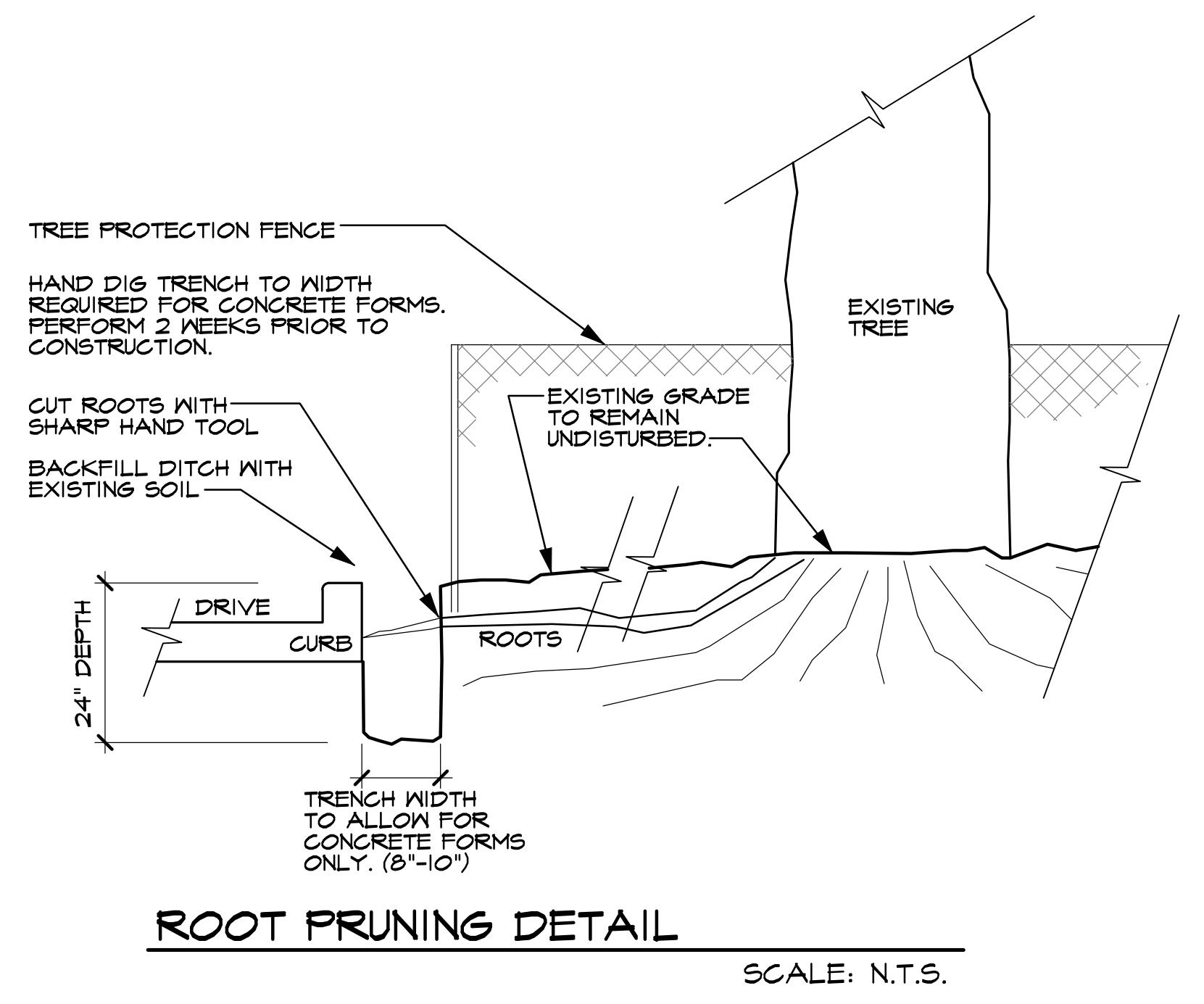
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DATE 05.13.2024
SHEET TS 2

TREE TABLE (TREES WITHIN 50' OF CONSTRUCTION)								
#	Size/Type	TREE HEALTH	DISEASE	INSECT	STRUCTURAL	SAVE/REM	MITIGATE	CREDIT
1	16" RED OAK	6	N	N	N	SAVE	0	0
2	5" CREPE MYRTLE	5	N	N	N	SAVE	0	0
3	6" CREPE MYRTLE	5	N	N	N	SAVE	0	0
4	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0
5	7" CREPE MYRTLE	5	N	N	N	SAVE	0	0
6	8" CREPE MYRTLE	5	N	N	N	SAVE	0	0
7	13" RED OAK	5	N	N	N	SAVE	0	0
8	13" CHIN. PISTACHE	5	N	N	N	REMOVE	13	0
9	13" RED OAK	5	N	N	N	REMOVE	13	0
10	14" RED OAK	3 SPLIT TRUNK	N	N	Y	REMOVE	14	0
11	13" RED OAK	5	N	N	N	REMOVE	13	0
12	9" RED OAK	2 60% DEAD	N	N	Y	REMOVE	0 HEALTH	0
13	22" LIVE OAK	5	N	N	N	REMOVE	22	0
14	11" LIVE OAK	5	N	N	N	REMOVE	11	0
15	27" LIVE OAK	5	N	N	N	REMOVE	54	0
16	7" CHIN. PISTACHE	3 50% DEAD	N	N	Y	REMOVE	7	0
17	14" RED OAK	5	N	N	N	REMOVE	14	0
18	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
19	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
20	16" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
21	15" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
22	15" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
23	14" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
24	17" LIVE OAK	5	N	N	N	SAVE	17	0
25	26" LIVE OAK	5	N	N	N	SAVE	52	0
26	23" LIVE OAK	5	N	N	N	SAVE	23	0
27	16" LIVE OAK	5	N	N	N	REMOVE	16	0
28	18" LIVE OAK	5	N	N	N	REMOVE	8	0
29	26" LIVE OAK	5	N	N	N	SAVE	52	0
30	4" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
31	6" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
32	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
33	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
34	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
35	6" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
36	5" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
37	7" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
38	4" CREPE MYRTLE	5	N	N	N	REMOVE	0 VARIANCE	0
39	3" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
40	6" CREPE MYRTLE	2 60% DEAD	N	N	Y	SAVE	0 VARIANCE	0
41	4" CREPE MYRTLE	5	N	N	N	SAVE	0 VARIANCE	0
42	11" RED OAK	5	N	N	N	SAVE	0	0
43	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
44	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
45	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
46	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
47	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
48	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
49	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
50	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
51	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
52	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
53	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
54	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
55	2" YAUPON HOLLY	4	N	N	N	REMOVE	EXEMPT	0
56	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
57	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
58	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
59	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
60	7" YAUPON HOLLY	4	N	N	N	REMOVE	7	0
61	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
62	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
63	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
64	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
65	4" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
66	5" YAUPON HOLLY	4	N	N	N	REMOVE	4	0
67	6" YAUPON HOLLY	4	N	N	N	REMOVE	6	0
68	5" YAUPON HOLLY	4	N	N	N	REMOVE	5	0
69	10" CHIN. PISTACHE	5	N	N	N	REMOVE	0 EXEMPT	0
TREE TABLE B SUBTOTAL							-471	+0
7 PROPOSED 4" TREES								+28
SUB-TOTAL							-443	
TREE MITIGATION TO TREE FUND (-443)								
443 INCHES X \$100.00 = \$44,300.00 PAYMENT								

CERTIFIED ARBORIST SITE INSPECTIONS:
GENERAL CONTRACTOR TO PROVIDE FOR CERTIFIED ARBORIST VISITS FOR ALL EXISTING TREES TO REMAIN ONCE PER MONTH DURING CONSTRUCTION. G.C. TO FOLLOW ARBORIST RECOMMENDATIONS FOR TRIMMING OR THINNING OF BRANCHES, HAND WATERING SCHEDULE, ROOT AERATION, AND GENERAL PROTECTION.

EXISTING TREE WATERING:
GENERAL CONTRACTOR TO PROVIDE HAND WATERING OF EXISTING TREES TO REMAIN. WATERING SHALL BE ON AN AS NEEDED BASIS TO MAINTAIN TREE HEALTH. FOLLOW CERTIFIED ARBORIST RECOMMENDATIONS.



HERMAN E. UTLEY MIDDLE SCHOOL
LOT 1, BLOCK 1
OUT OF THE
M.N. BALLARD SURVEY, ABSTRACT NO. 48
AND THE A. HANNA SURVEY, ABSTRACT NO. 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2024.
WITNESS OUR HANDS, this ___ day of ___, 2024.

OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087
CONTACT: WILLIAM SALEE

SURVEYOR: KMCE, Inc.
17774 PRESTON ROAD DALLAS, TEXAS 75252
(817) 889-6500
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR. IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUO

CITY OF ROCKWALL CASE NO. SP2024-___

CORGAN
CORGAN
www.corgan.com
T: 214.748.2000

ISSUES	
1	05/13/2023 PERMIT SET
2	
3	
4	
5	
6	

REVISIONS	

THIS DOCUMENT IS RELEASED FOR INTERIM REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901.
IT IS NOT TO BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT. FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

UTLEY MIDDLE SCHOOL PHASE 2

1201 T L Townsend Dr., Rockwall, TX 75087

TREESCAPE CHART

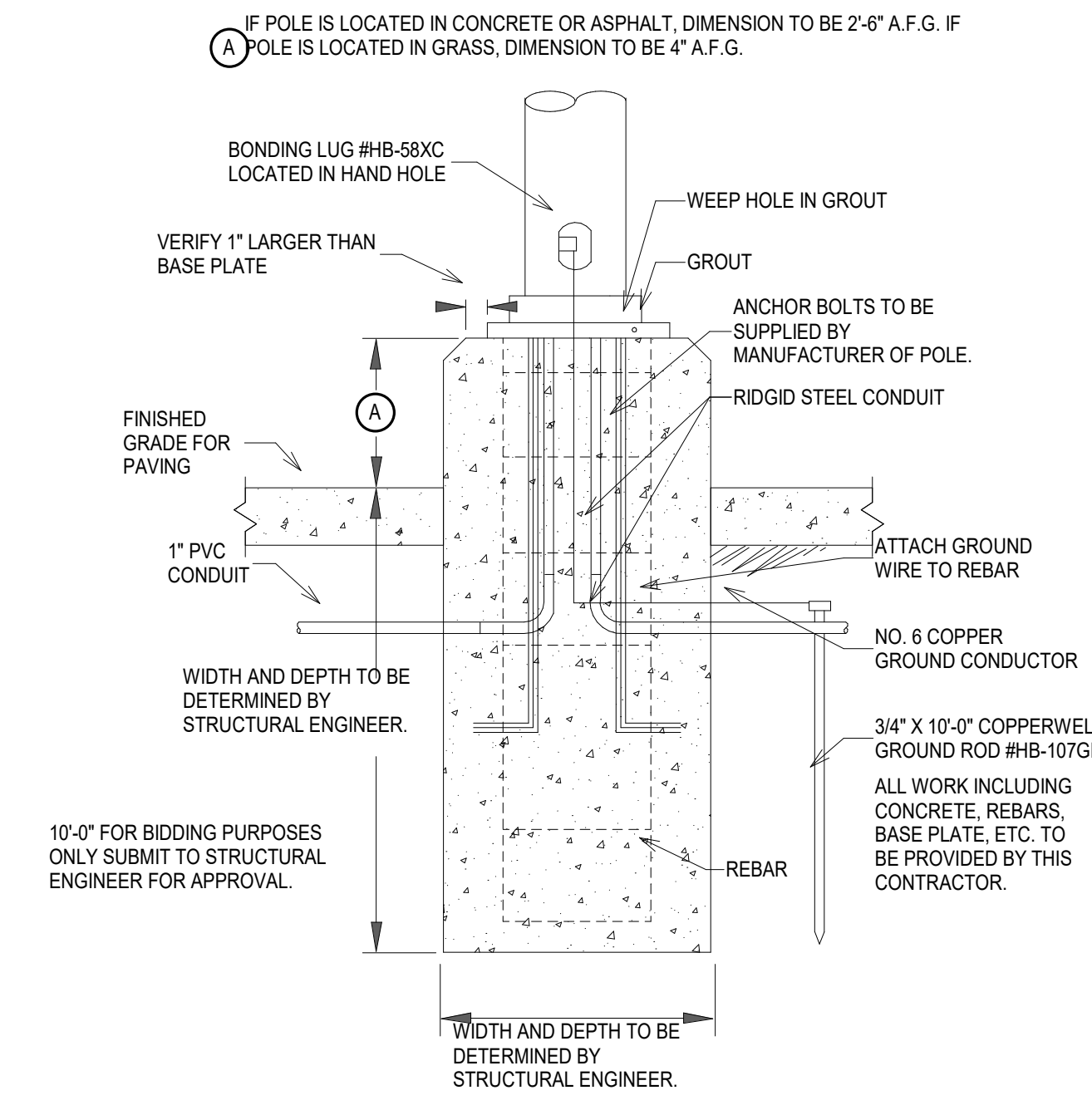
JOB 23035
DATE 05.13.2024
SHEET TS 3

PHOTOMETRIC SITE PLAN GENERAL NOTES

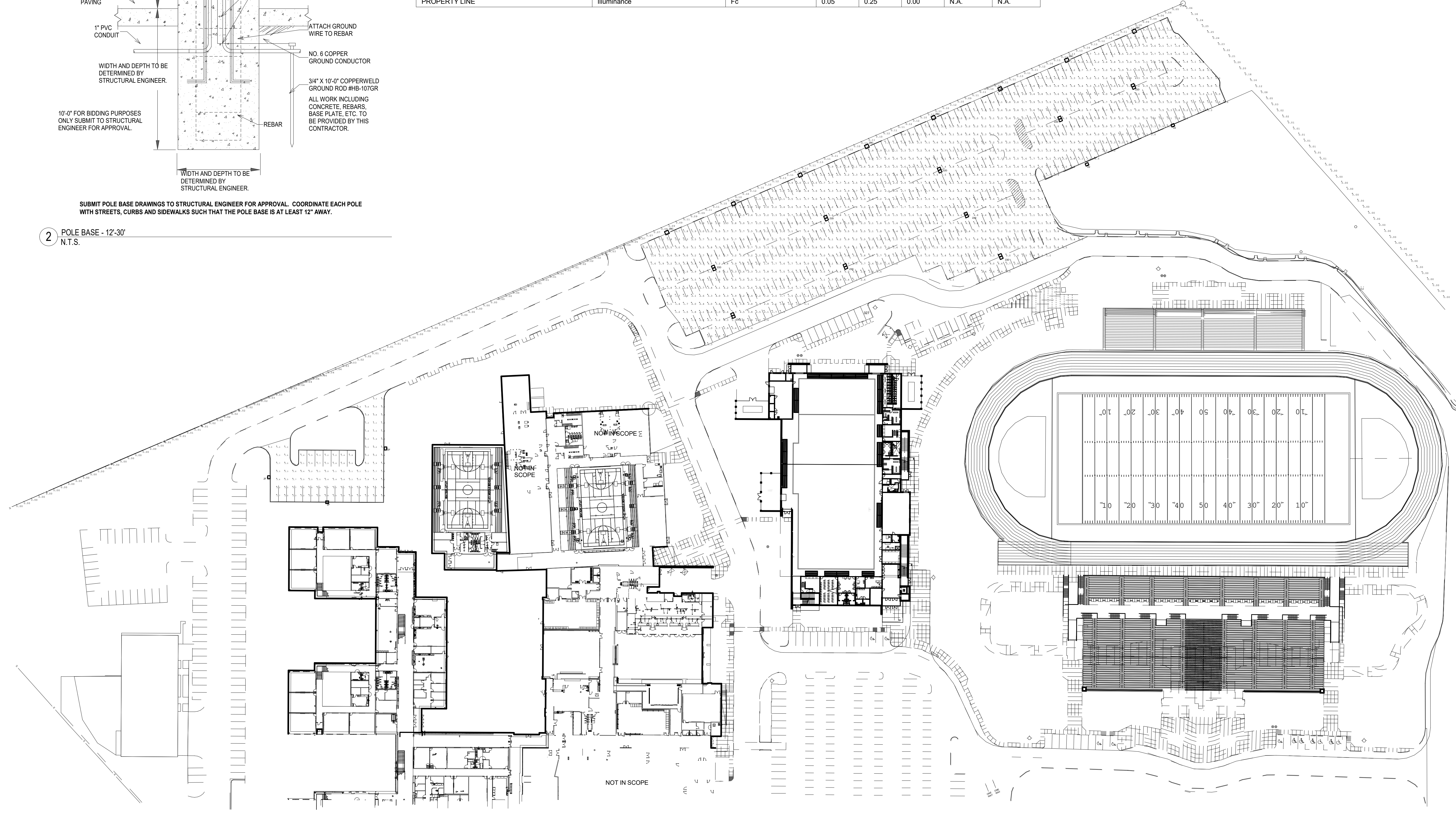
1. THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
2. ALL CALCULATIONS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
3. LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AGI32 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Description	Mounting Height
□	9	Z2D	Back-Back	DSX1 LED P5 40K T2M MVOLT	25
□	8	ZBC	Single	DSX1 LED P5 40K 80CRI BLC4	25
□	3	ZF	Single	DSX1 LED P5 40K TFTM MVOLT	25
□	2	Z2	Single	DSX1 LED P5 40K T2M MVOLT	25

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT - PLAN EAST_Planar	Illuminance	Fc	2.55	6.3	0.3	8.50	21.00
PARKING LOT - PLAN NORTH_Planar	Illuminance	Fc	1.79	2.8	0.3	5.97	9.33
PROPERTY LINE	Illuminance	Fc	0.05	0.25	0.00	N.A.	N.A.



2 POLE BASE - 12'-30" N.T.S.



ISSUES		
1	01.12.2024	60% PROGRESS SET
2	05.17.2024	90% PROGRESS SET
3		
4		
5		
6		
7		
8		
9		
10		

REVISIONS		

REVIEW ONLY
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

Engineer: Catherine L. Hollenshead
License State: TX, License No.: 103572
Date: 5/15/2024 12:10:39 PM

UTLEY MIDDLE SCHOOL PHASE 2
1201 T L Townsend Dr., Rockwall, TX 75087

PHOTOMETRIC SITE PLAN

JOB 23035
DATE 05.17.2024
SHEET ES01-02.2

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | El Paso
DFW | San Antonio | Shreveport
Texas Firm Registration No. F-893
Louisiana Firm Registration No. EF-5818
www.EMAengineer.com

DESIGN SOLVE ENHANCE

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

UTLEY MIDDLE SCHOOL - EXTERIOR MATERIALS

EXTERIOR - 1201 T L TOWNSEND DR., ROCKWALL, TX



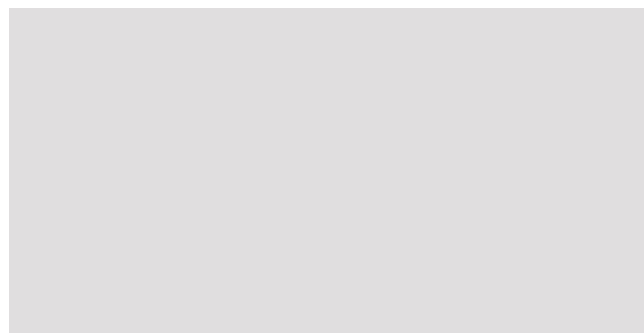
BR-1 FIELD BRICK



BR-2 ACCENT BRICK



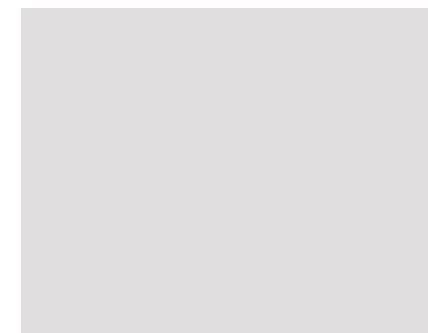
GL-1 INSULATED EXTERIOR GLAZING UNIT



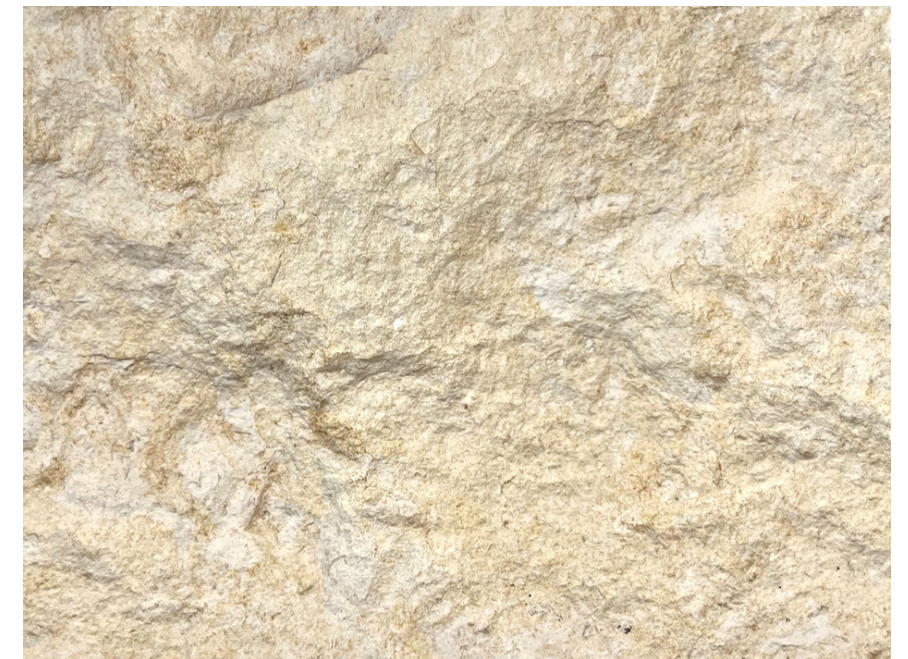
AL-1 STOREFRONT ALUMINUM



MP-1 METAL PANEL



MP-2 METAL PANEL



ST-1 STONE