



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)¹

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2031 Terraces Blvd, Rockwall, TX 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01

LOT

BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-93

CURRENT USE Single Family

PROPOSED ZONING

PROPOSED USE

ACREAGE 21.648

LOTS [CURRENT] 82

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER TM Terraces, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Bret Pedigo

CONTACT PERSON Ryan Joyce

ADDRESS 4416 W. Lovers Lane, Suite 200

ADDRESS 767 Justin Road

CITY, STATE & ZIP Dallas, TX 76209

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRET L. PEDIGO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

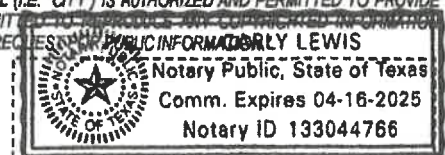
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 682.96 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MARCH 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO APPROVE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION. **DRURY LEWIS**

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF MARCH 2024

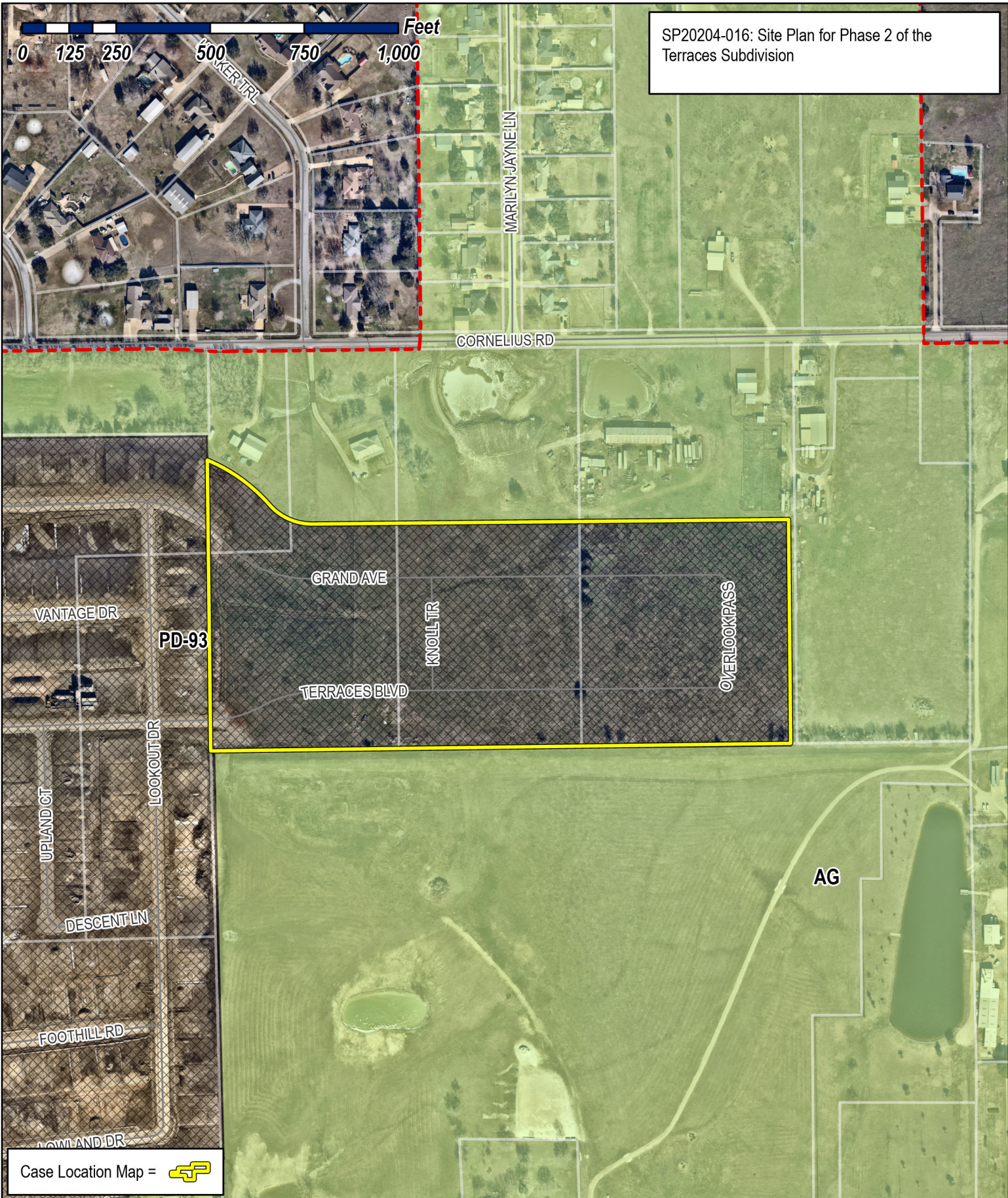
OWNER'S SIGNATURE

[Handwritten signature of Bret L. Pedigo]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 4-16-25



SP20204-016: Site Plan for Phase 2 of the Terraces Subdivision

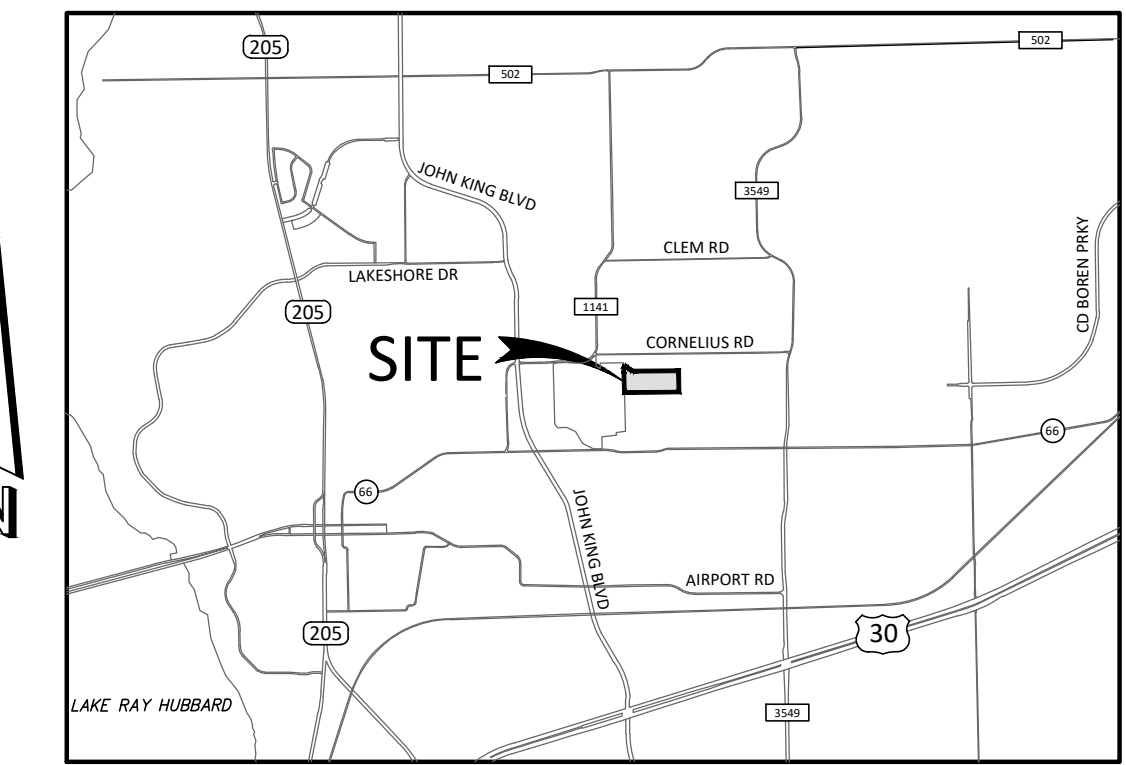


City of Rockwall

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 385 S. Goliad Street
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 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

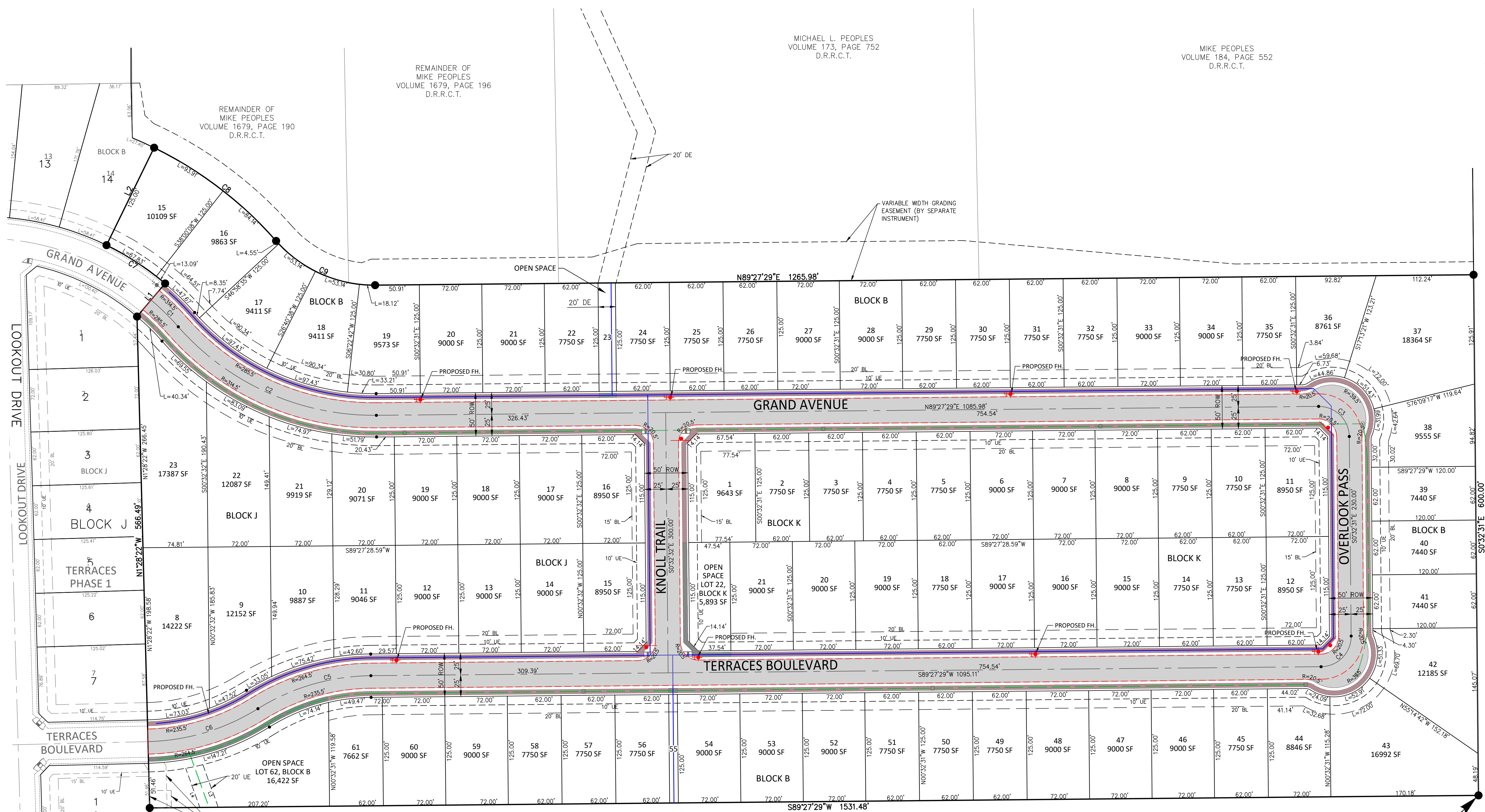




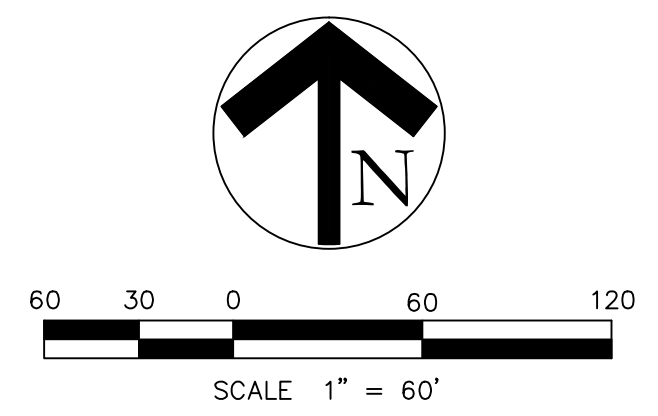
VICINITY MAP
N.T.S.

LEGEND

- 6" PAVEMENT
- SIDEWALK (DEVELOPER)
- SIDEWALK (BUILDER)
- PROPOSED SIGNAGE
- PROPOSED WATER
- PROPOSED SEWER



DONNIE PEOPLES
VOLUME 188, PAGE 357
P.R.R.C.T.



**SITE PLAN
TERRACES
PHASE 2**

LOTS 15-62, BLOCK B; LOTS 8-23, BLOCK J;
LOTS 1-22, BLOCK K
21.648 ACRES OR 942,975 SQ. FT.
82 SINGLE FAMILY LOTS,
4 OPEN SPACE LOTS
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,
AND ALL OF TRACT 13 & 25 OF THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
AND TRACT 4 & 4-01 OF THE
M.B. JONES SURVEY, ABSTRACT NO. 122
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2022-049

March 5, 2024
EXIST. ZONING: PD-93
LAND USE: SF

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

MICHAEL L. PEOPLES
VOLUME 173, PAGE 752
D.R.R.C.T.

MIKE PEOPLES
VOLUME 184, PAGE 552
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REMAINDER OF
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CAIN FAMILY PARTNERSHIP LTD.
DOCUMENT NO. 2008-00396788
D.R.R.C.T.

ZONED: AG

- NOTES:
- INTERNAL SIDEWALKS ARE 5' WIDE.
 - DISTANCE BETWEEN ADJACENT PADS IS MIN. 12'

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on ____ day of _____, 2023.

WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

Owner/Applicant:
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4416 W. Lovers Ln, Suite 200
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Phone: 214-577-1431

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE

BENCHMARKS

CITY OF ROCKWALL MONUMENT NO. COR-10:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE.
ELEVATION = PLAN 521.61' FIELD 521.57'

CITY OF ROCKWALL MONUMENT NO. COR-11:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30.
ELEVATION = PLAN 565.98' FIELD 566.02'

Line Table

Line	Length	Direction
L1	50.00	N40° 18' 38"E
L2	125.00	N26° 02' 41"E
L3	52.23	N19° 53' 05"W
L4	47.98	N19° 53' 05"W

Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	44.01	300.00	008°24'17"	43.97	N45° 29' 13"W
C2	257.91	300.00	049°15'27"	250.04	S65° 54' 48"E
C3	54.98	35.00	090°00'00"	49.50	N45° 32' 31"W
C4	54.98	35.00	090°00'00"	49.50	N44° 27' 29"E
C5	137.34	250.00	031°28'34"	135.62	S73° 43' 11"W
C6	133.88	250.00	030°40'58"	132.29	N73° 19' 23"E
C7	80.92	325.00	014°15'57"	80.71	N56° 49' 20"W
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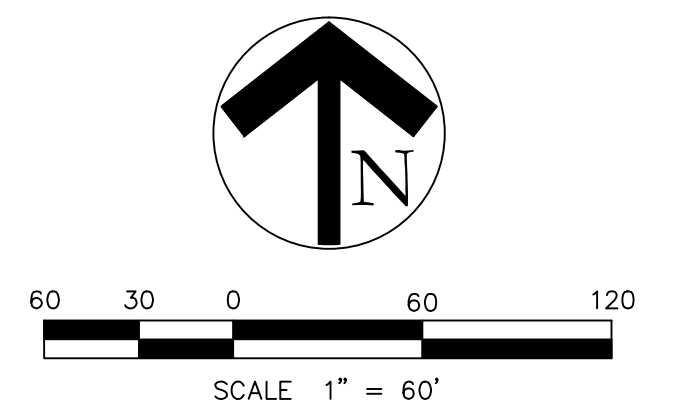
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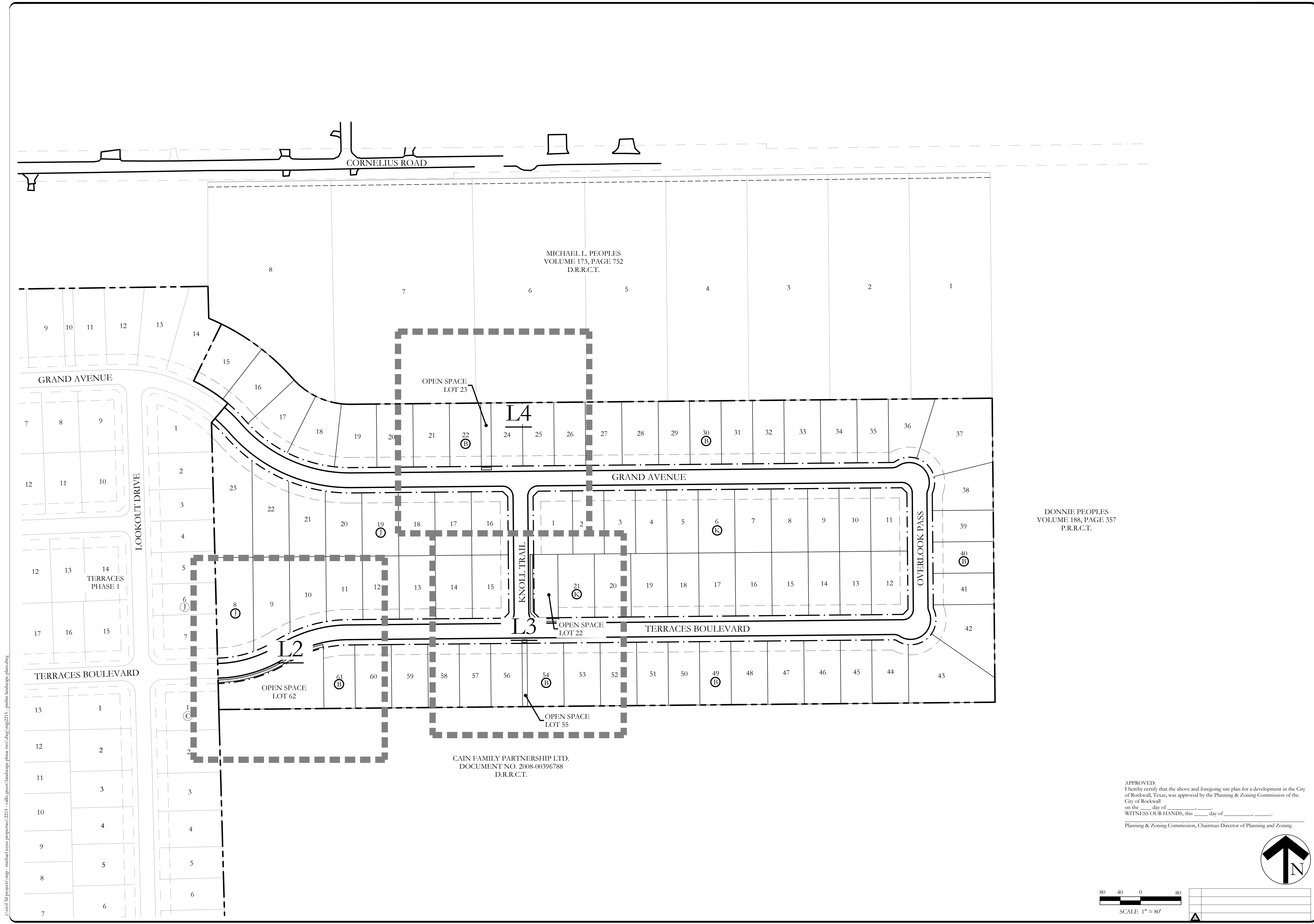
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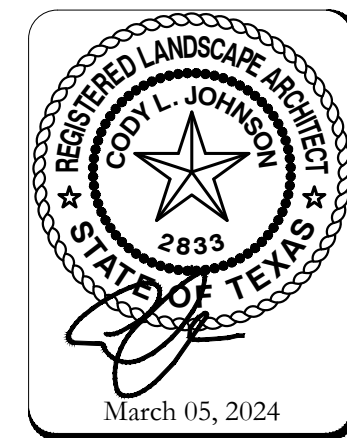
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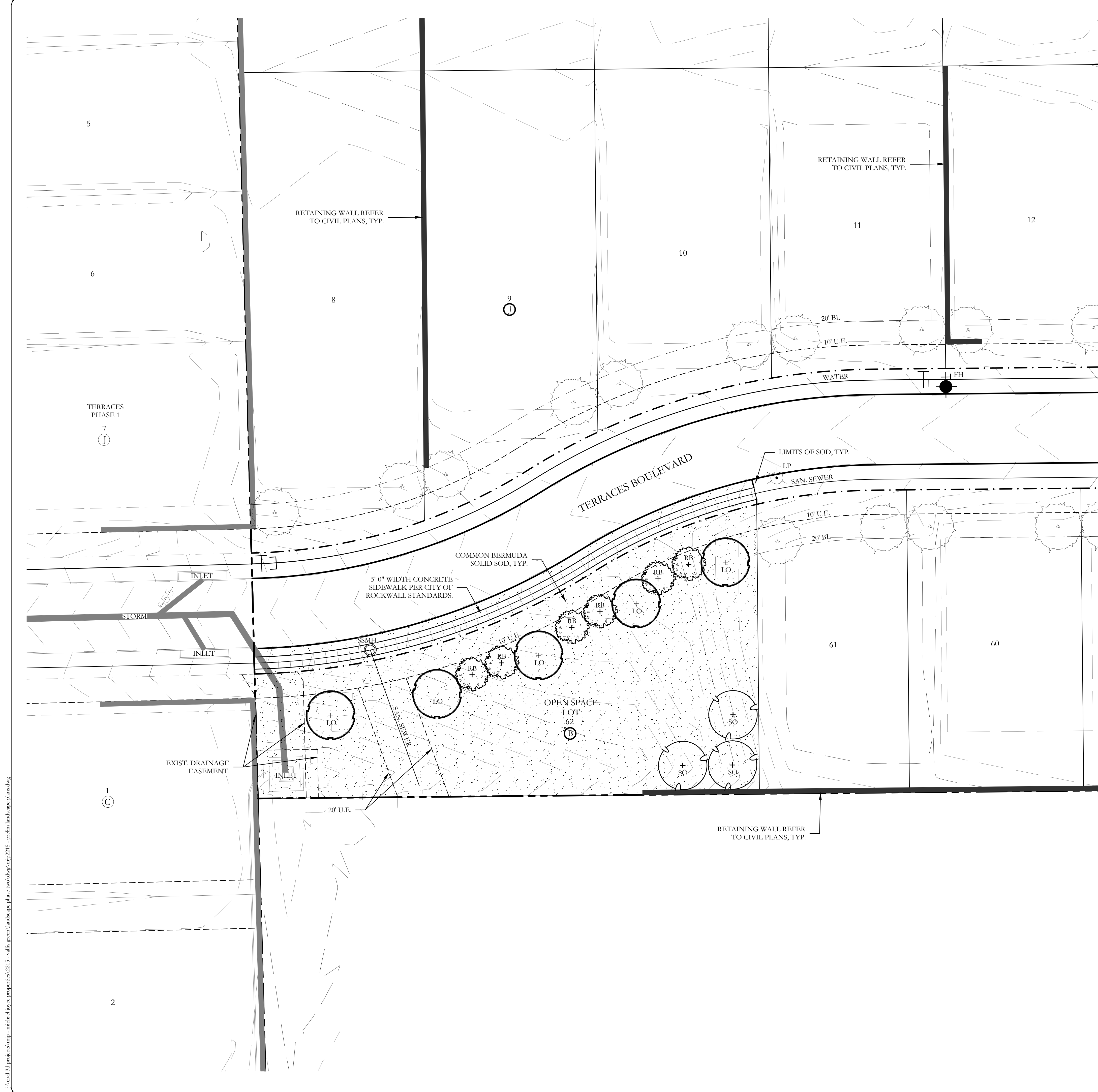
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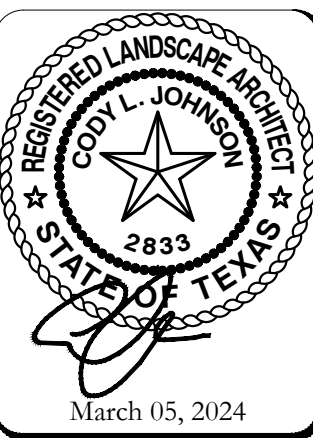
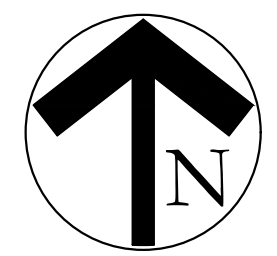
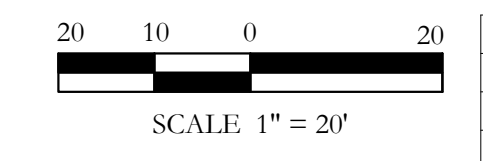


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
		2 SHADE TREE SHALL BE LOCATED ON EACH RESIDENTIAL LOT; 4 SHADE TREES REQUIRED FOR CORNER LOTS. EACH SPECIES OF TREE SHALL BE DETERMINED AT THE TIME OF ISSUANCE OF A BUILDING PERMIT	N/A	4" CALIPER	AS SHOWN
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

- GENERAL LANDSCAPE NOTES**
- ANY EASEMENTS TO BE ESTABLISHED WILL BE IDENTIFIED AND PROVIDED AT TIME OF PLATTING.
 - GRAPHIC ILLUSTRATIONS IN THE OPEN SPACES ARE NOT INTENDED TO COMMUNICATE, SHOW, OR REPRESENT ACTUAL LAYOUT, OR DETAILED LANDSCAPE DESIGN.
 - ALL ROADS, SIDEWALKS, FIRE LANES, DRIVE AISLES AND INTERSECTIONS WILL COMPLY WITH THE CITY OF ROCKWALL ENGINEERING DESIGN STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
 - SIDEWALKS WILL BE CONSTRUCTED ALONG ALL CITY STREETS. INTERCONNECTIVITY WILL BE PROVIDED THAT MEETS CITY OF ROCKWALL CITY AND ADA STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
 - ALL DISTURBED AREAS WITHIN COMMON AREA LOTS AND STREET BUFFERS SHALL BE COMMON BERMUDA GRASS OR OKLAHOMA RIVER ROCK.
 - ALL LANDSCAPE AREAS SHOWN ON THESE PRELIMINARY LANDSCAPE PLANS SHALL RECEIVE A COMPLETE IRRIGATION SYSTEM.
 - NO TREES TO BE WITHIN 10' OF ANY PUBLIC WATER SEWER OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".

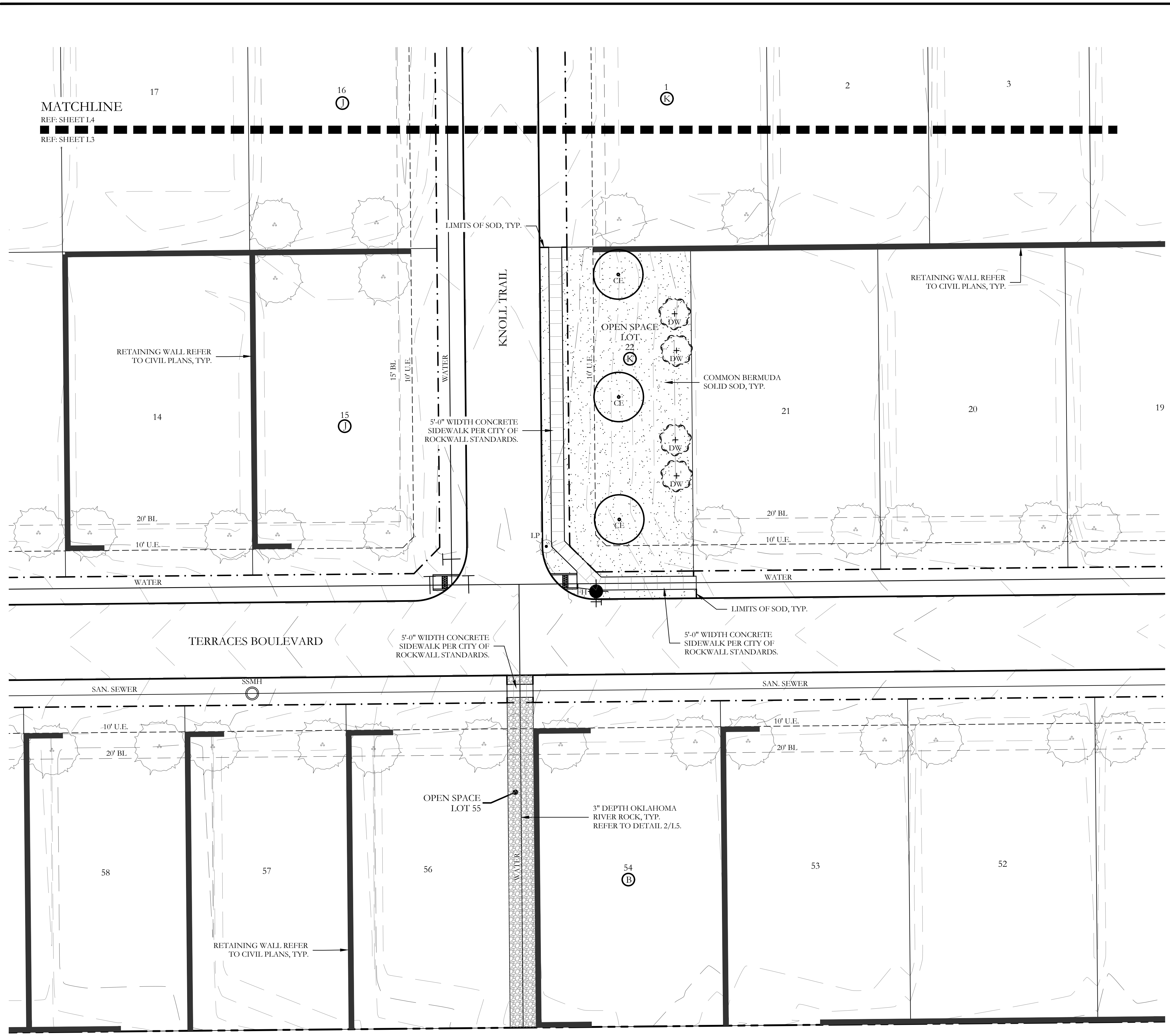
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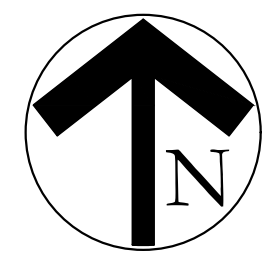
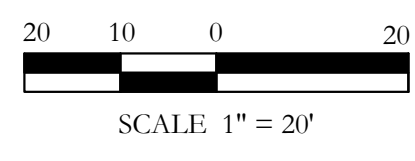


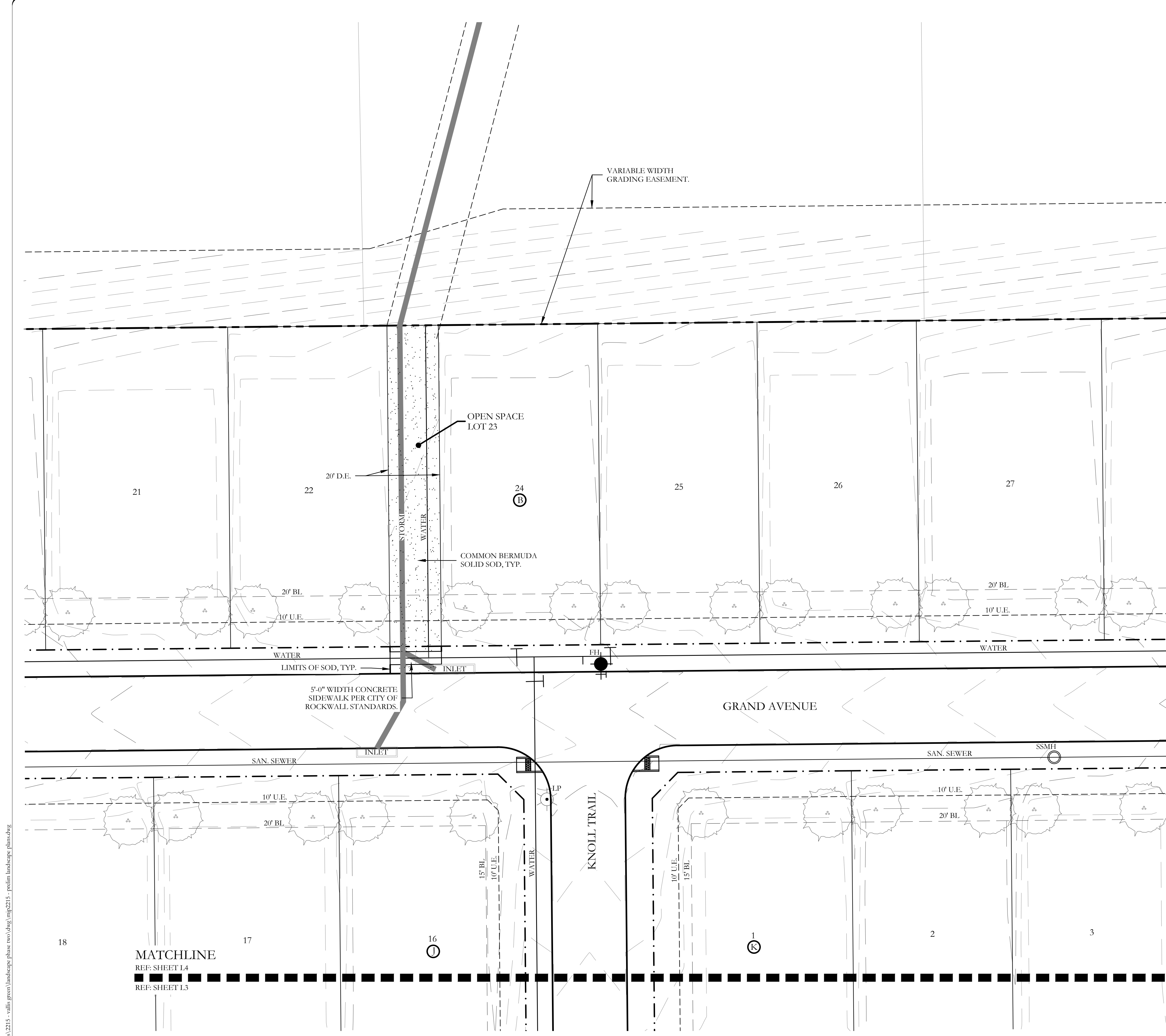
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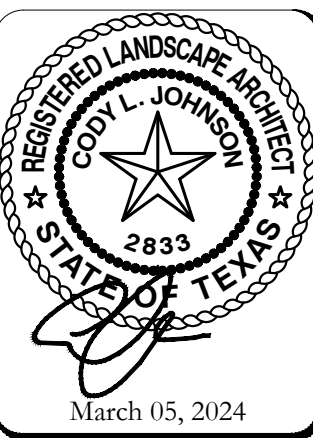
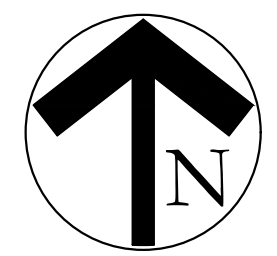
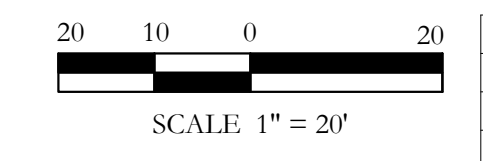




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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"

- GENERAL LANDSCAPE NOTES**
- ANY EASEMENTS TO BE ESTABLISHED WILL BE IDENTIFIED AND PROVIDED AT TIME OF PLATTING.
 - GRAPHIC ILLUSTRATIONS IN THE OPEN SPACES ARE NOT INTENDED TO COMMUNICATE, SHOW, OR REPRESENT ACTUAL LAYOUT, OR DETAILED LANDSCAPE DESIGN.
 - ALL ROADS, SIDEWALKS, FIRE LANES, DRIVE AISLES AND INTERSECTIONS WILL COMPLY WITH THE CITY OF ROCKWALL ENGINEERING DESIGN STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
 - SIDEWALKS WILL BE CONSTRUCTED ALONG ALL CITY STREETS. INTER-CONNECTIVITY WILL BE PROVIDED THAT MEETS CITY OF ROCKWALL CITY AND ADA STANDARDS REGARDLESS OF WHAT IS SHOWN ON THIS EXHIBIT.
 - ALL DISTURBED AREAS WITHIN COMMON AREA LOTS AND STREET BUFFERS SHALL BE COMMON BERMUDA GRASS OR OKLAHOMA RIVER ROCK.
 - ALL LANDSCAPE AREAS SHOWN ON THESE PRELIMINARY LANDSCAPE PLANS SHALL RECEIVE A COMPLETE IRRIGATION SYSTEM.
 - NO TREES TO BE WITHIN 10' OF ANY PUBLIC WATER SEWER OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall
 on the ___ day of _____,
 WITNESS OUR HANDS, this ___ day of _____,
 Planning & Zoning Commission, Chairman Director of Planning and Zoning



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LANDSCAPE PROVIDED

TERRACES BOULEVARD

- A. 10' LANDSCAPE BUFFER PROVIDED
- B. 1-4" CAL. CANOPY TREE / 50 LF OF LINEAR FRONTAGE.
222 LF OF FRONTAGE / 50 LF = 5 - 4" CAL. TREES REQUIRED.
- 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE.
222 LF OF FRONTAGE / 50 LF = 5 - ACCENT TREES REQUIRED.
- PROVIDED: 5 - 4" CALIPER CANOPY TREES
6 - ACCENT TREES

KNOLL TRAIL

- A. 10' LANDSCAPE BUFFER PROVIDED
- B. 1-4" CAL. CANOPY TREE / 50 LF OF LINEAR FRONTAGE.
115 LF OF FRONTAGE / 50 LF = 3 - 4" CAL. TREES REQUIRED.
- 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE.
115 LF OF FRONTAGE / 50 LF = 3 - ACCENT TREES REQUIRED.
- PROVIDED: 3 - 4" CALIPER CANOPY TREES
4 - ACCENT TREES

PLANT LIST - TREES						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	5	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	3	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	3	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
DW	4	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	26,907	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,305	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

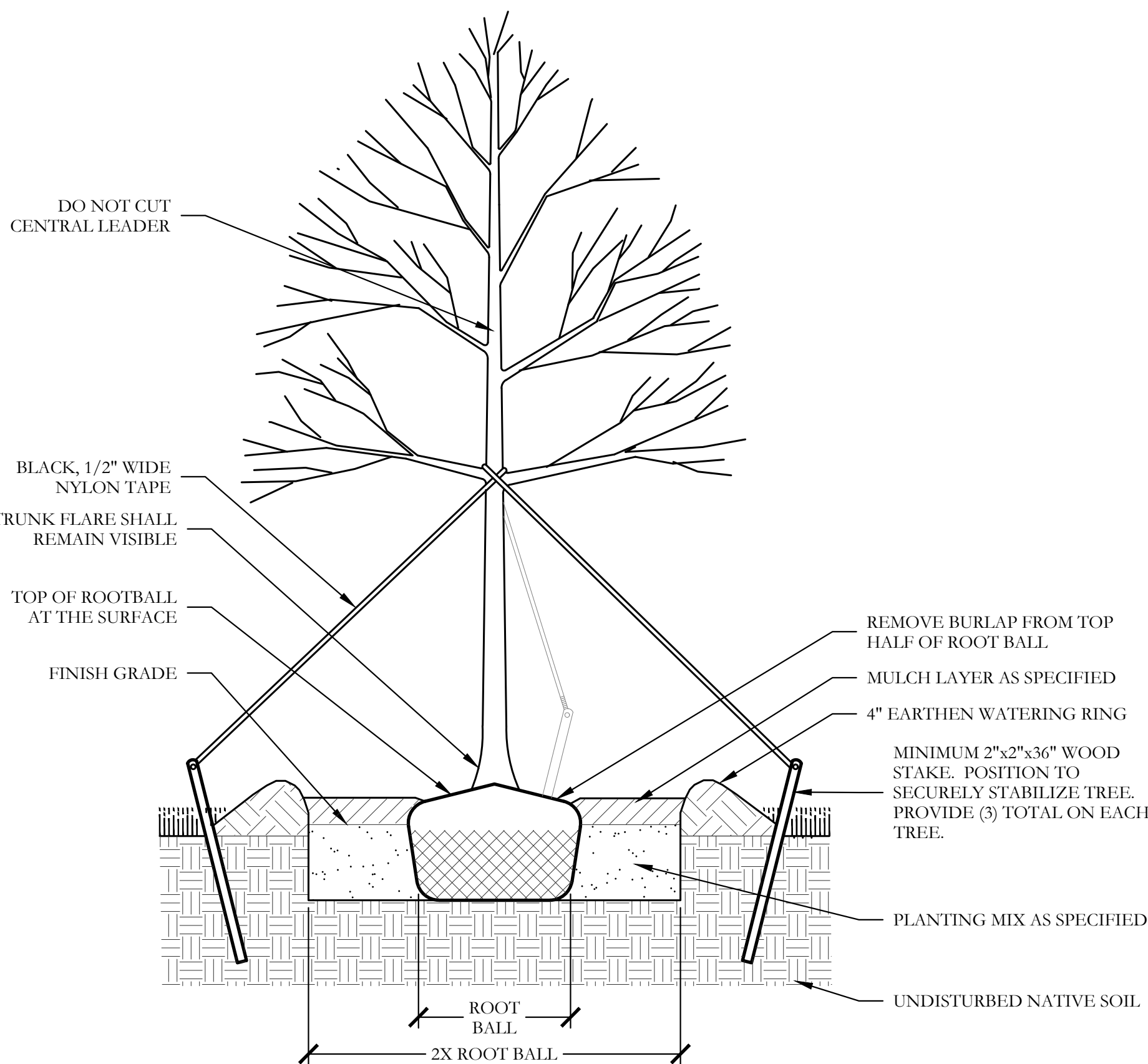
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

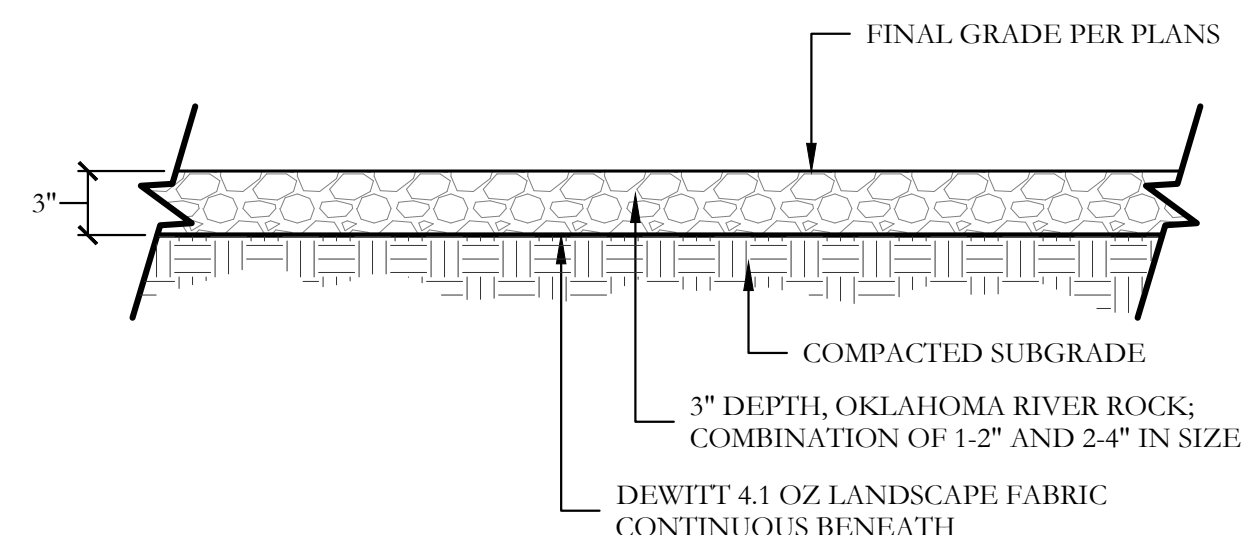
TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



1 TYPICAL TREE PLANTING SECTION

NOT TO SCALE

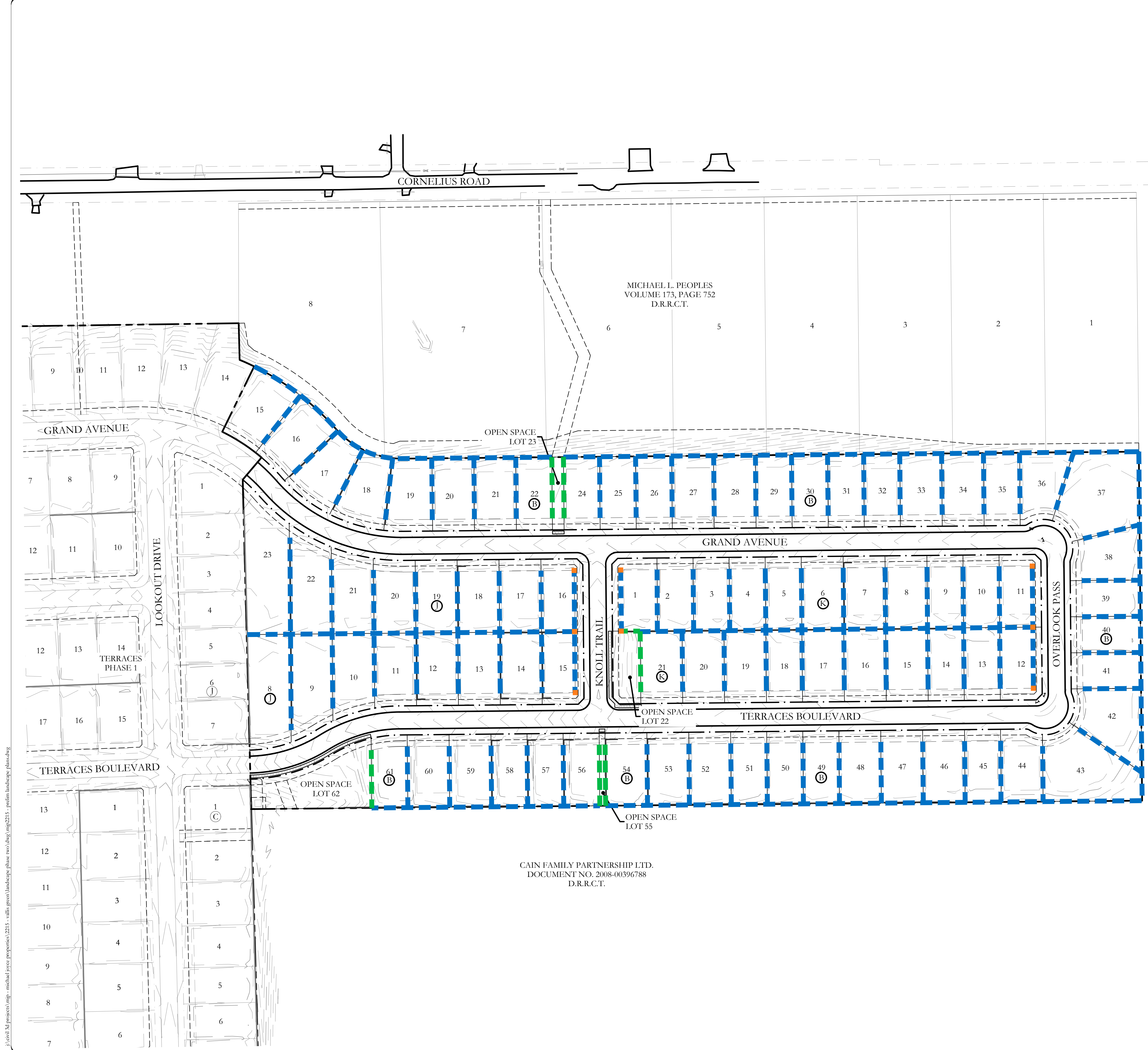


2 OKLAHOMA RIVER ROCK BED SECTION

SCALE: 1" = 1'-0"

APPROVED:
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Witness Our Hands, this ____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

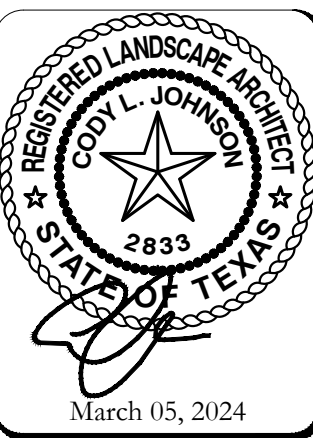


HARDSCAPE LEGEND	
	6'-0" HT. WOOD FENCE BY BUILDER. REFER TO DETAIL 1/F2.
	6'-0" HT. ORNAMENTAL METAL FENCE BY BUILDER. REFER TO DETAIL 2/F2.
	7'-0" HT. STONE COLUMN BY BUILDER. REFER TO DETAIL 1/F2.

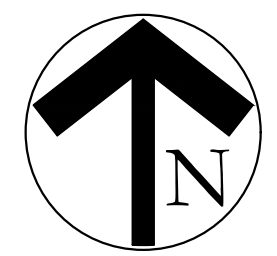
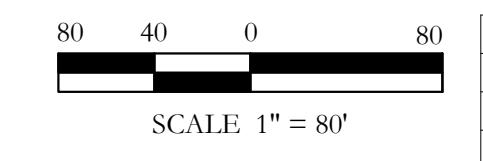
DONNIE PEOPLES
 VOLUME 188, PAGE 357
 P.R.R.C.T.

CAIN FAMILY PARTNERSHIP LTD.
 DOCUMENT NO. 2008-00396788
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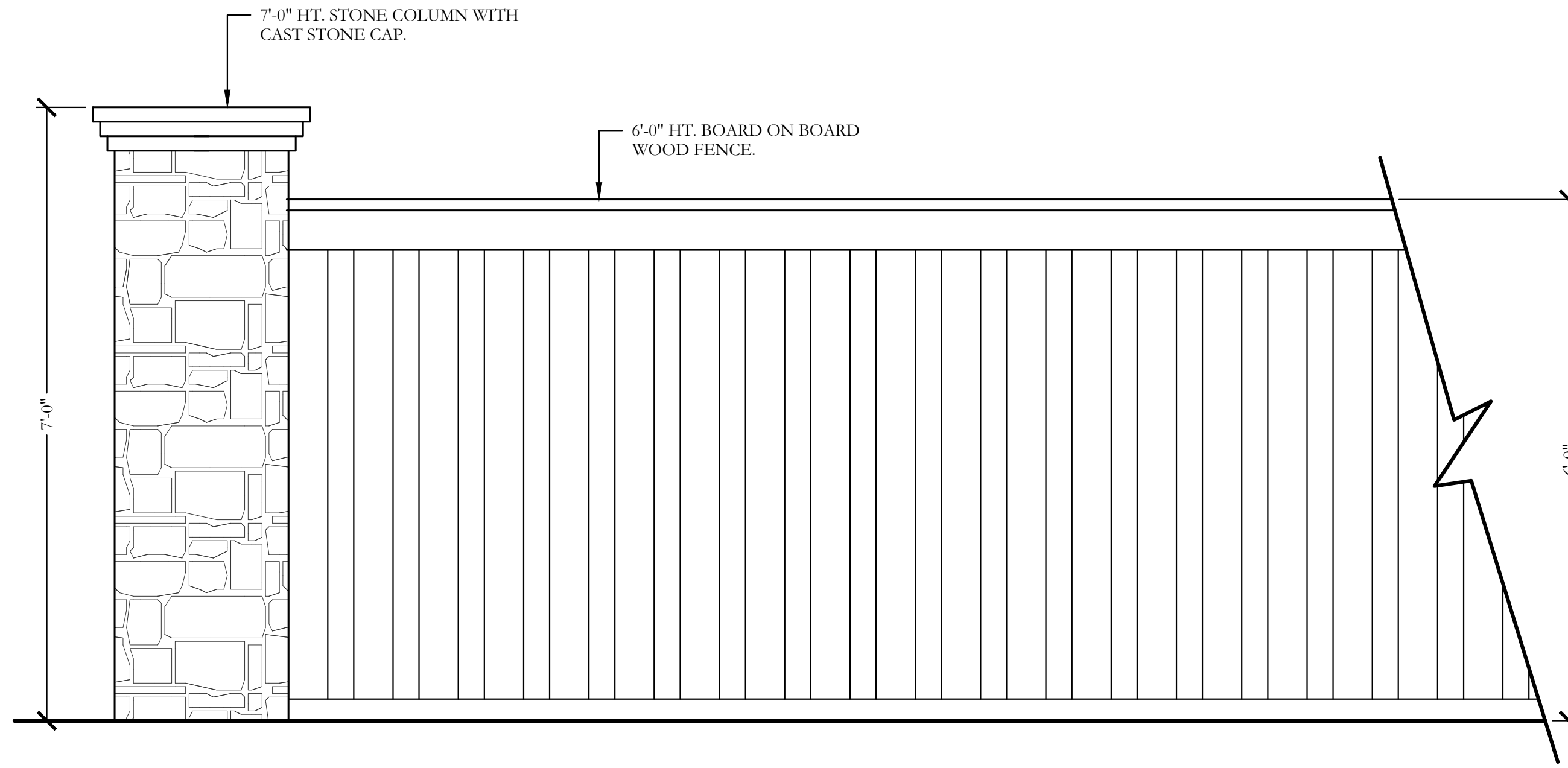
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 Planning & Zoning Commission, Chairman Director of Planning and Zoning



SCALE:
 1" = 80'
 One Inch
 JVC No MJP2215

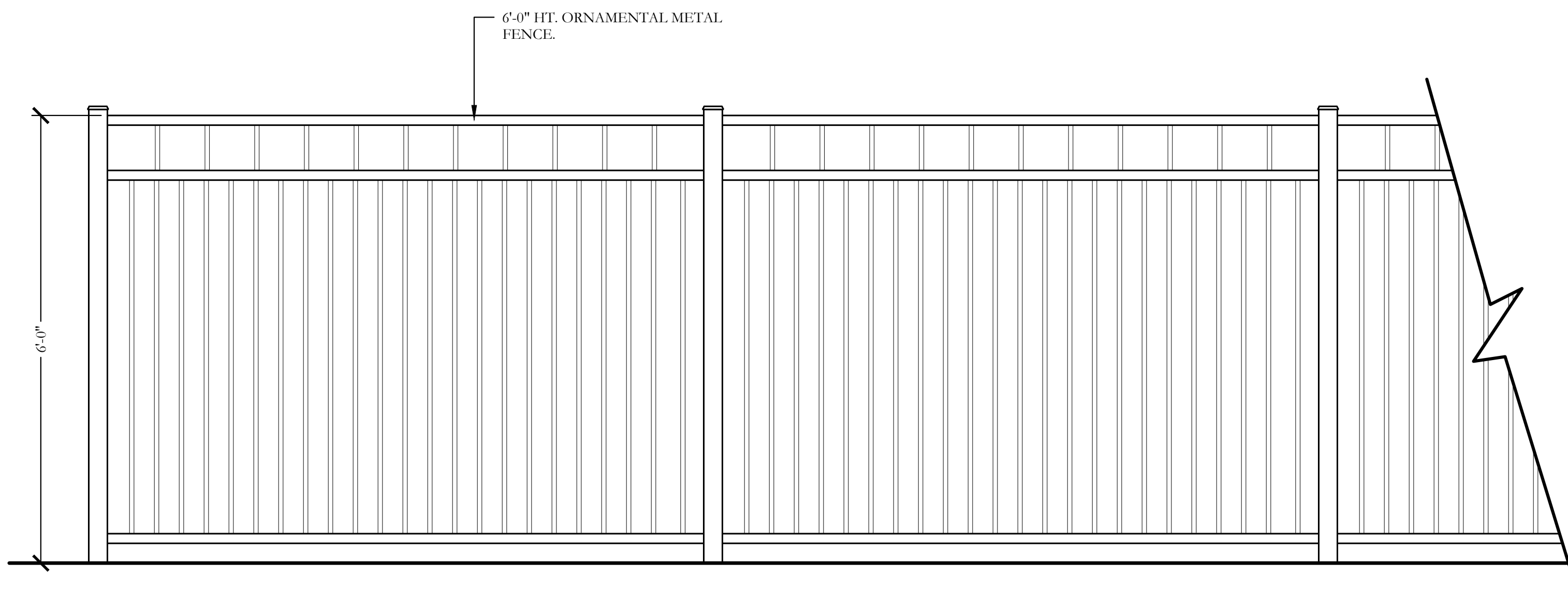


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1 TYPICAL WOOD FENCE AND COLUMN BY BUILDER
ELEVATION

SCALE: 3/4" = 1'-0"



2 TYPICAL ORNAMENTAL METAL FENCE BY BUILDER
ELEVATION

SCALE: 3/4" = 1'-0"

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WITNESS OUR HANDS, this ____ day of _____, 2024.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



March 05, 2024

SCALE:
 REFER TO
 DETAILS
 One Inch
 JVC No MJP2215

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