



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **303 HARBORVIEW DR. ROCKWALL. TX 75032**

SUBDIVISION **HARBOR LANDING, PHASE 2**

LOT **18** BLOCK **B**

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **X**

CURRENT USE **VACANT LOT**

PROPOSED ZONING **N/A**

PROPOSED USE **SINGLE RESIDENTIAL**

ACREAGE **0.16 ACRES**

LOTS [CURRENT] **1 LOT**

LOTS [PROPOSED] **1 LOT**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ANGELINA NGUYEN**

APPLICANT _____

CONTACT PERSON **ANGELINA NGUYEN**

CONTACT PERSON _____

ADDRESS **1025 LAKE RIDGE DR**

ADDRESS _____

CITY, STATE & ZIP **RICHARDSON. TX 75081**

CITY, STATE & ZIP _____

PHONE **214 263 8091**

PHONE _____

E-MAIL **YMY.A.NGUYEN@GMAIL.COM**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

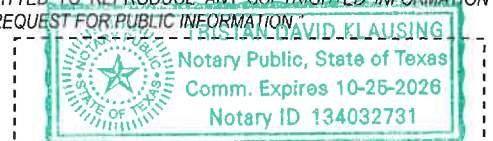
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Angelina Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

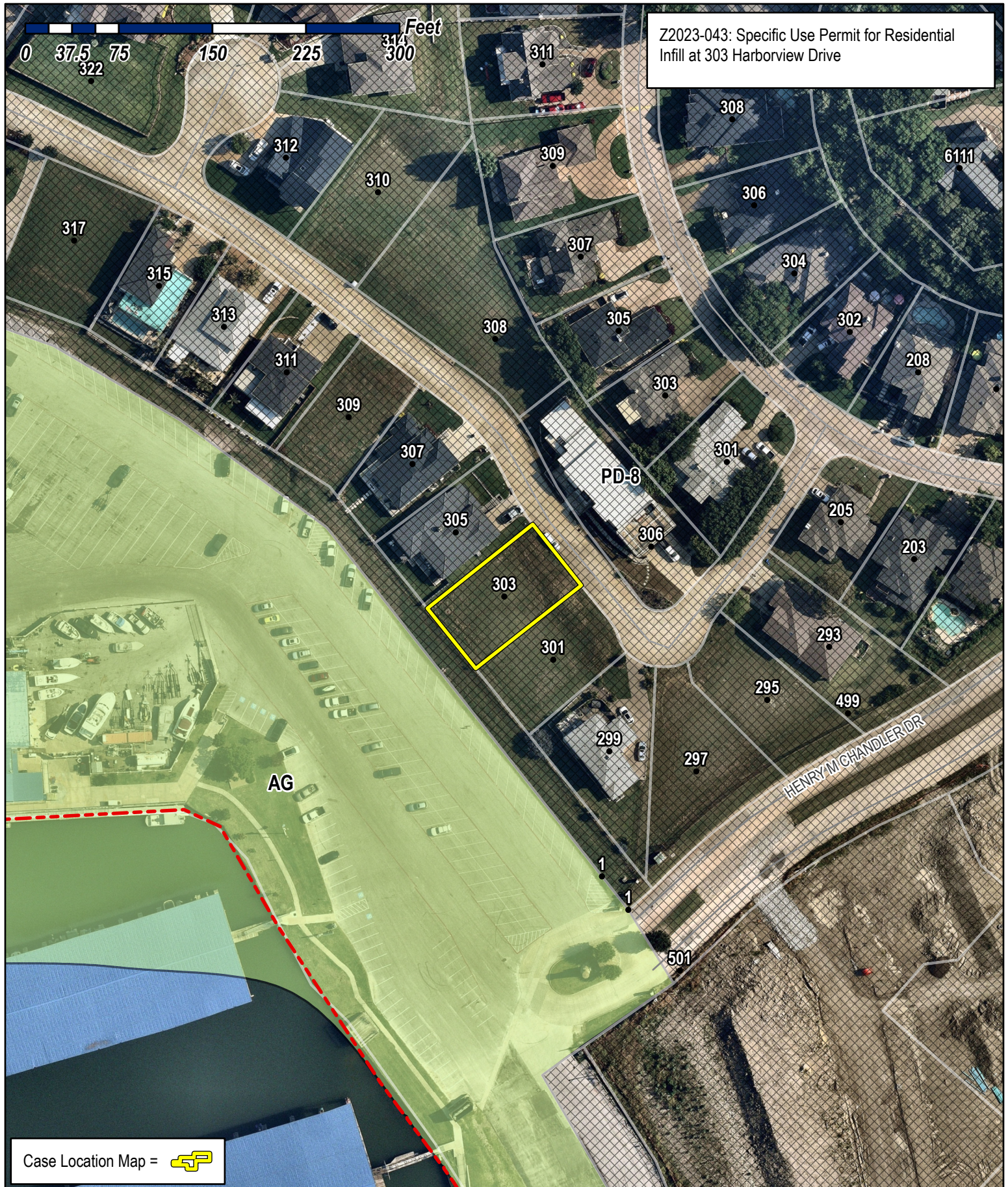
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023.

OWNER'S SIGNATURE _____


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



MY COMMISSION EXPIRES 10/29/20



Z2023-043: Specific Use Permit for Residential Infill at 303 Harborview Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

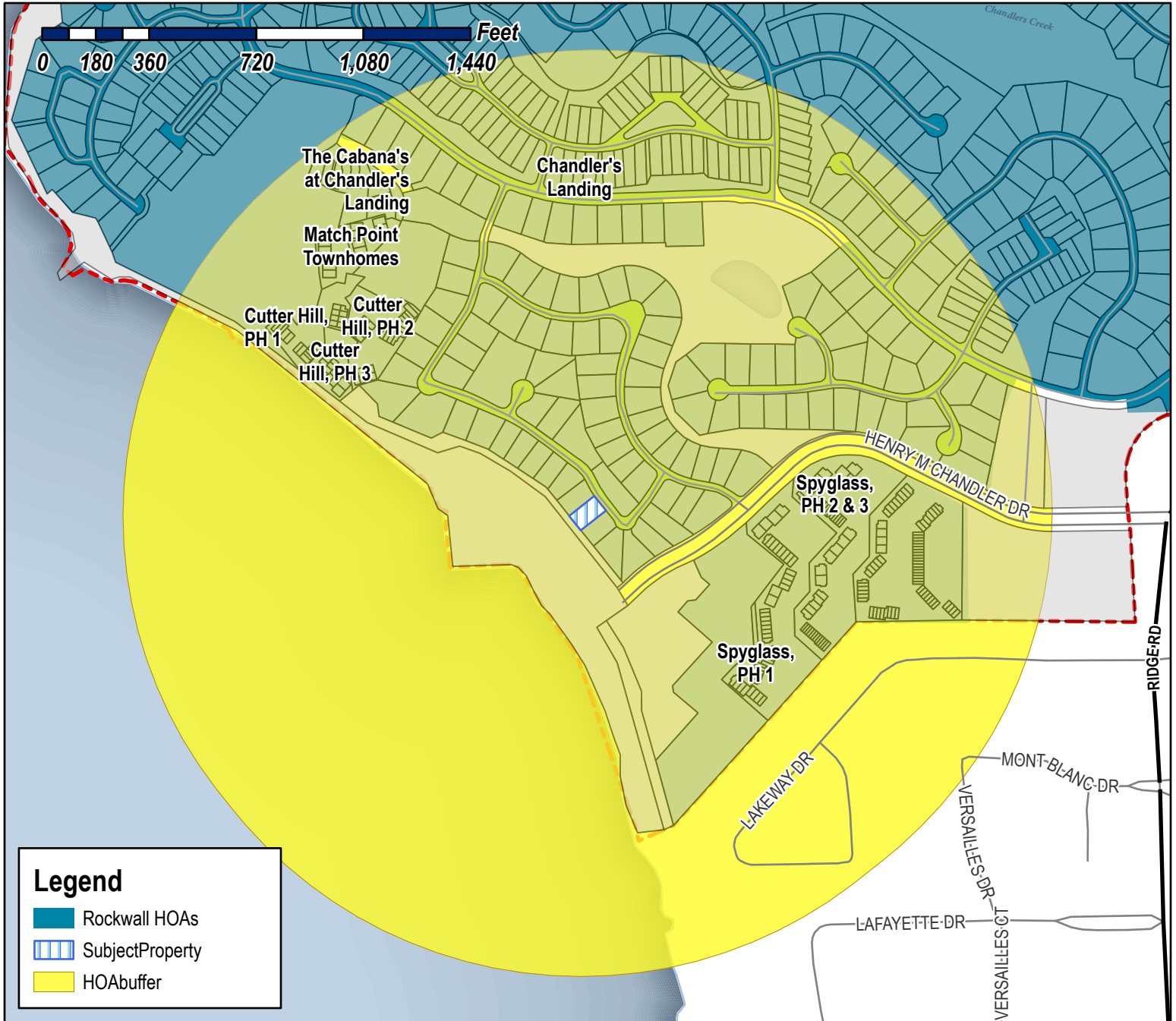




City of Rockwall

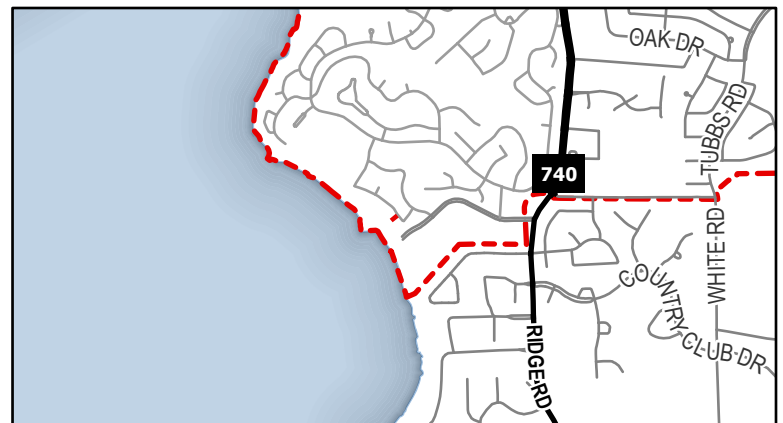
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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr

Date Saved: 8/18/2023
 For Questions on this Case Call (972) 771-7745

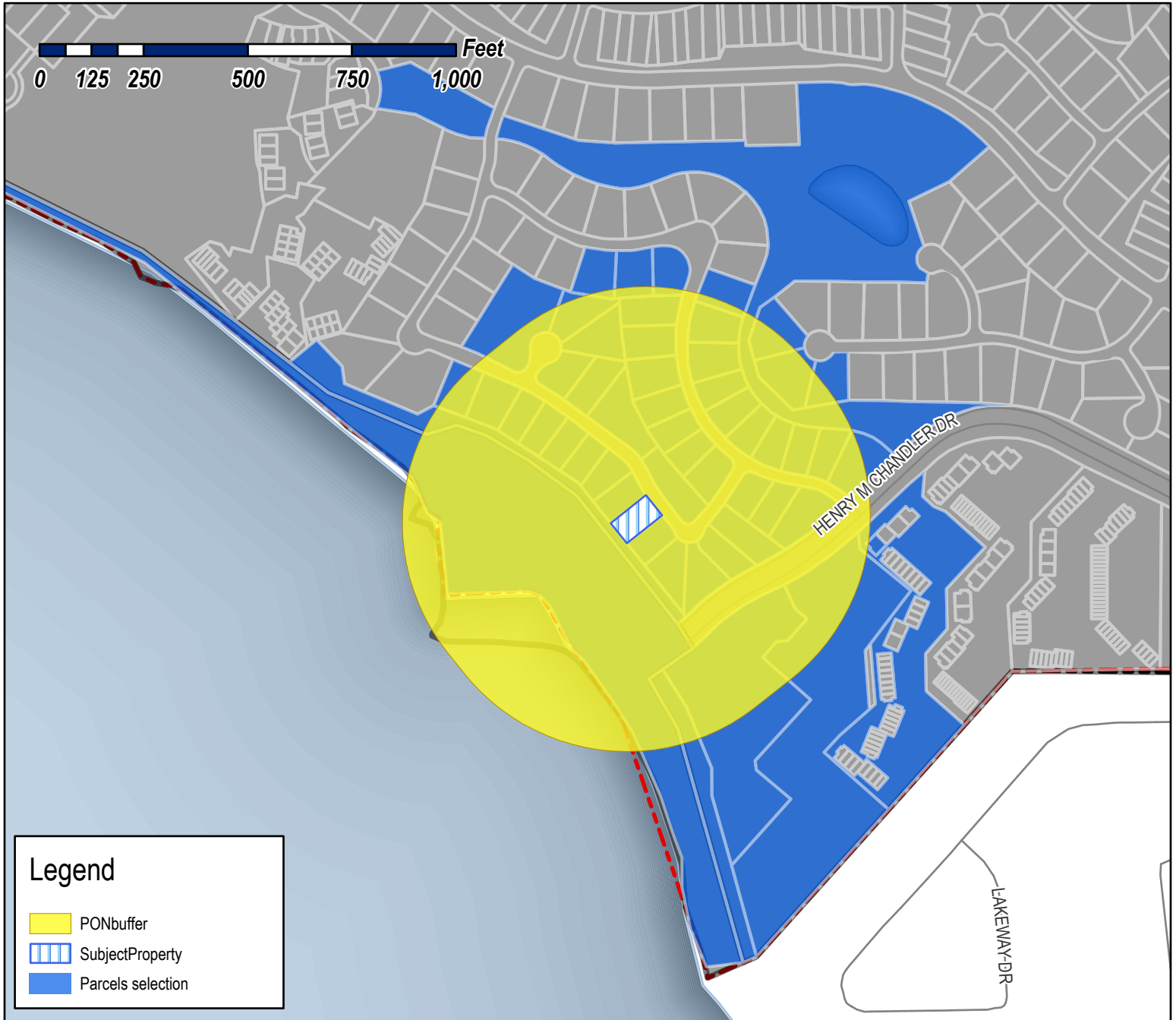




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NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
O
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

BALLARD AMANDA L &
O
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
297 HARBORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
O
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032



303 Harborview Drive

Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

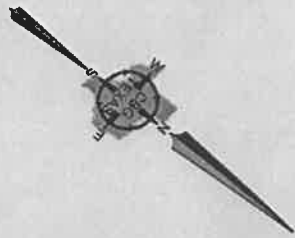


Lawyers Title

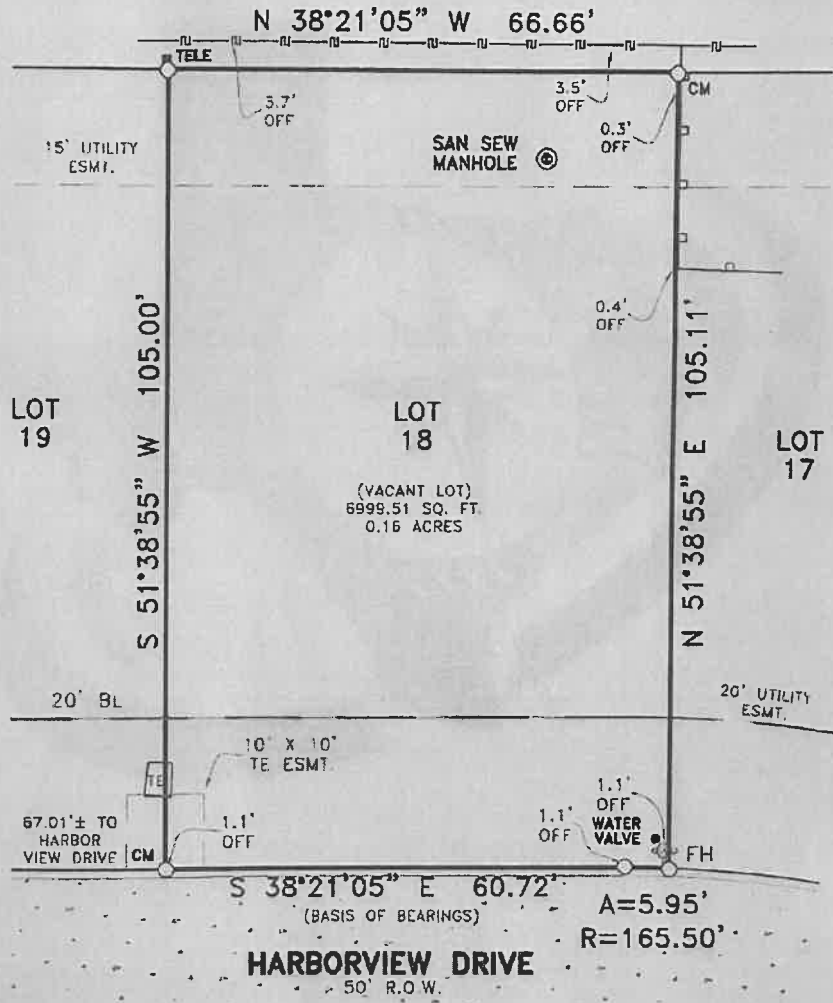
INSURANCE CORPORATION

LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 201600022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL 112, PG. 546, VOL 174, PG. 46, VOL 608, PG. 127, VOL 649, PG. 73, VOL 743, PG. 58

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 536, VOL 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JRDC/JLM
 Scale: 1" = 20'
 Date: 08/28/2020
 GF No.: LT-19145-1801452000500-KK
 Job No. 2016354

CBG
SURVEYING TEXAS LLC
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.8485
F 214.349.2216
Firm No. 10168800
www.cbgtllo.com



Accepted by: _____
 Date: _____
 Purchaser
 Purchaser

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

Sheet Name
SITE PLAN

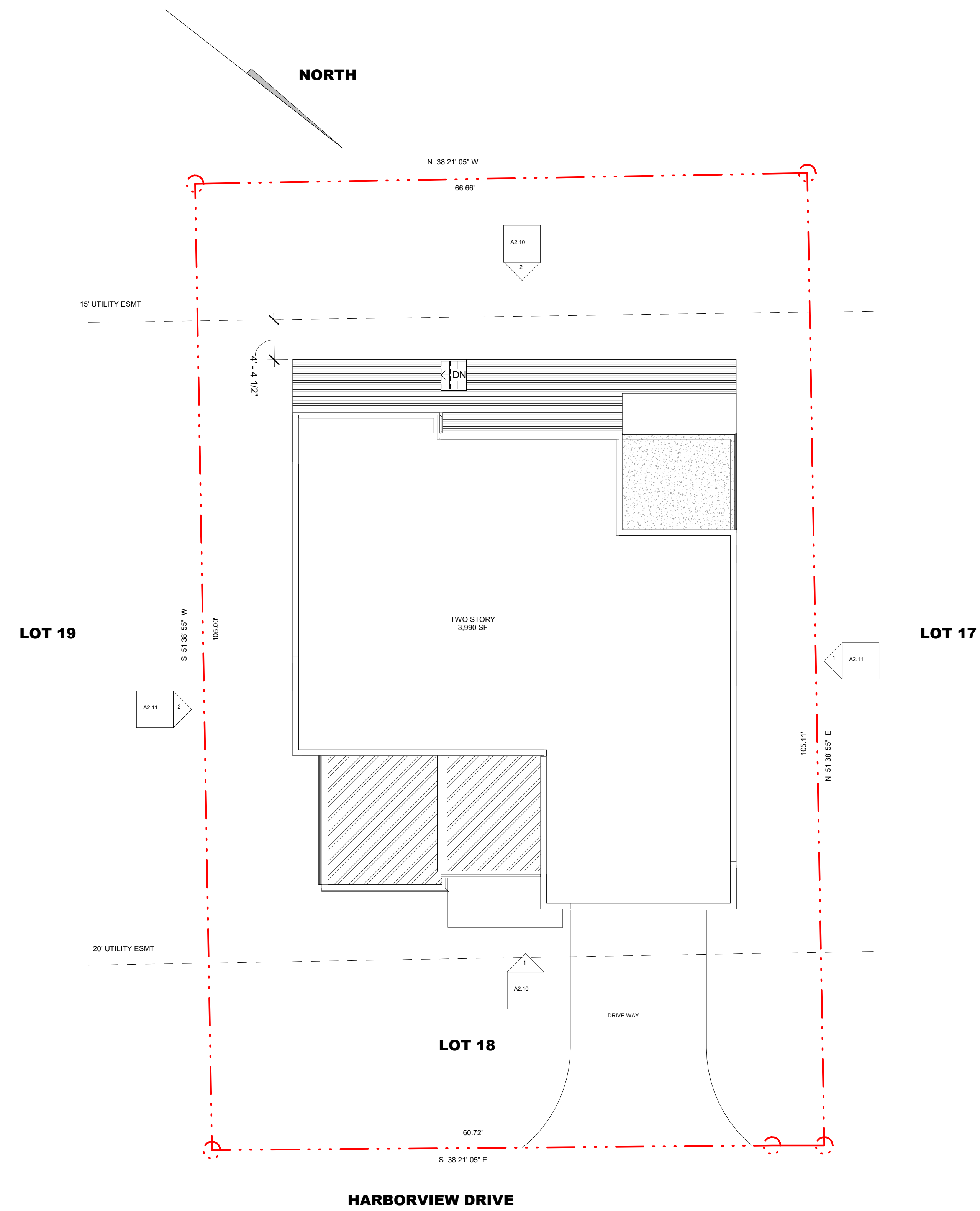
Original Issue

Sheet Number

A1.00

Project #
Project Number

Drawing Date
08/04/21



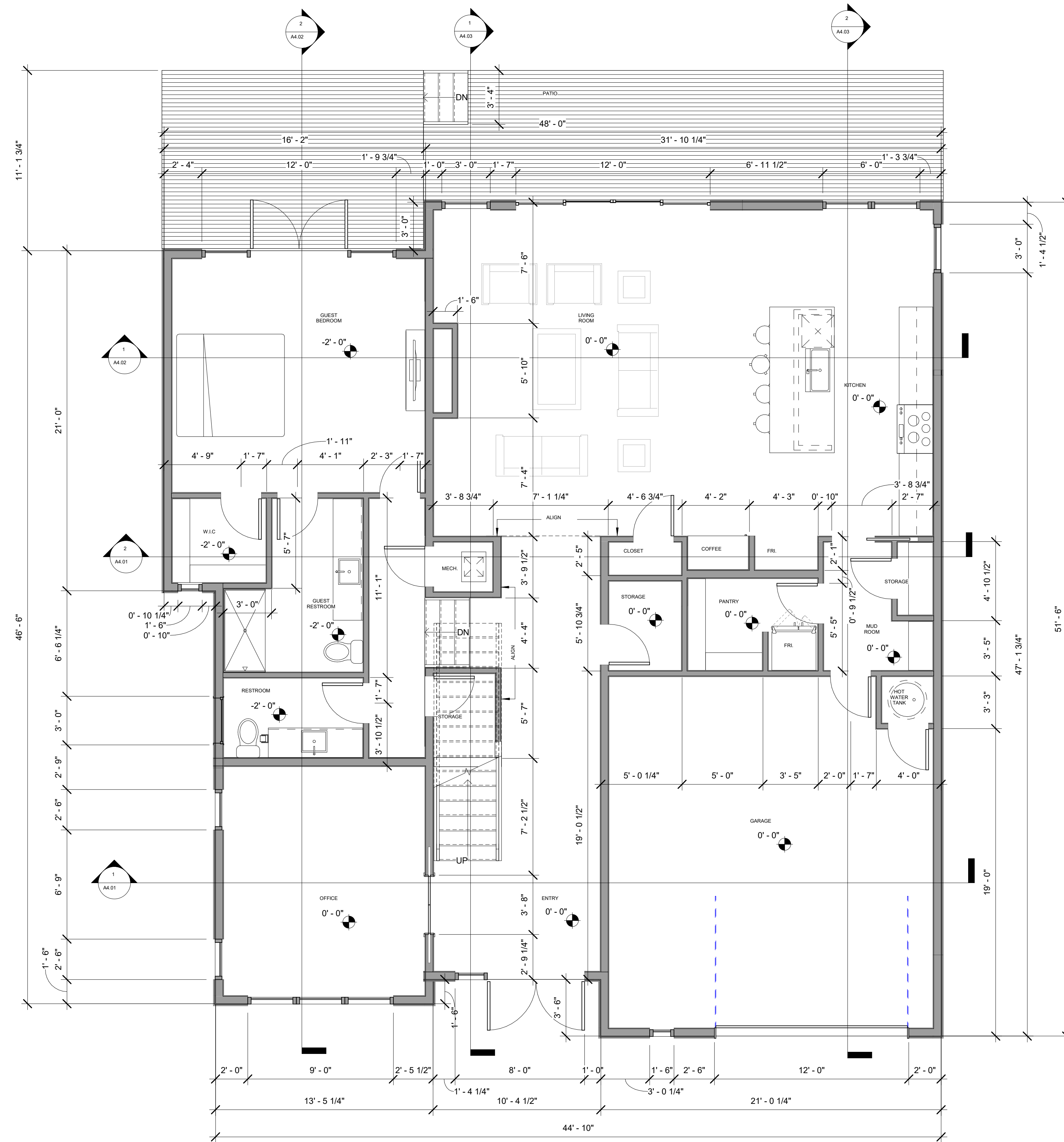
1 SITE PLAN
1/8" = 1'-0"

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE FROWELED, BROOMED AND SEALED.
2. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. METER RISER ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPRUCE CONTROL JOINTS ON CEILING SHALL BE TO MATCH EXPANSION JOINTS TO 32" MAXIMUM EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 200 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 90" OF EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FLUCCIING. OR SPACE CONTROL JOINTS AT THE CEILING AND WALL. REFER TO THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO SHEET A4.01 FOR ROOF NOTES AND FINISHES.
6. REFER TO ROOF PLAN LEGEND ON SHEET A4.01 FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		FLOOR DOWN
	WALL SECTION TAG		ASSUMED PROPERTY LINE
	DETAIL SECTION TAG		5 1/2" BRICK / STONE LEDGE
	PARTITION WALL TAG		METER
	DOOR TAG SYMBOL		FINISH FLOOR ELEVATION
	WINDOW TAG SYMBOL		



1 FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

ISSUE FOR PERMIT

Sheet Name	FLOOR PLAN
Original Issue	
Sheet Number	A1.01
Project #	
Project Number	
Drawing Date	08/04/21

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANE, PROPER GASKETS AND SEALANTS, INSULATION AS REQUIRED SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL Joints OF DISJUNCT MATERIALS, MATERIAL TRANSITIONS, TRIM, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL INTERIOR FINISHES, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO DRAINAGE DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER BC 1904.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM, FACED HEADERS, BELLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHHA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE MATCHING OR BY 2000 SHOWWOOD SHOWN BY 2000 SHOWWOOD FINISHES OR 2000 SYNCRASE TAN SMOOTH CYBER SPACE AND DRABO BLACK BEAM. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH BALCONY WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLOR BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHHA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CAVOPIY
N1	NICHHA PANEL	H1	GLASS WINDOW
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND

	DOOR TAG		T.O.P. 100'-0"	TOP OF PLATE
	WINDOW TAG		T.O.D. 100'-0"	TOP OF DECK
	WALL SECTION TAG		T.O.H. 100'-0"	TOP OF HEEL
	DETAIL SECTION TAG		T.O.S. 100'-0"	TOP OF SLAB
	SLOPE TAGS		F.F. 100'-0"	FINISH FLOOR



2 BACK ELEVATION
1/4" = 1'-0"



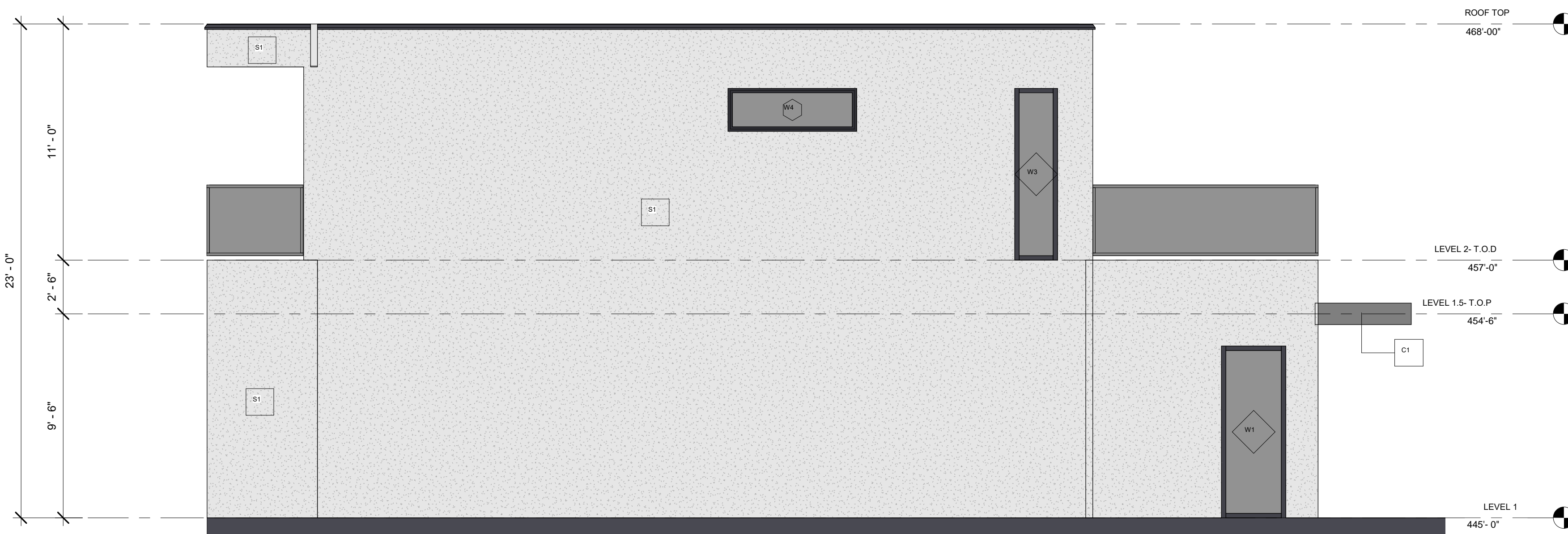
1 FRONT ELEVATION
1/4" = 1'-0"

Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.10	
Project #	Drawing Date
Project Number	03/27/22



2 LEFT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

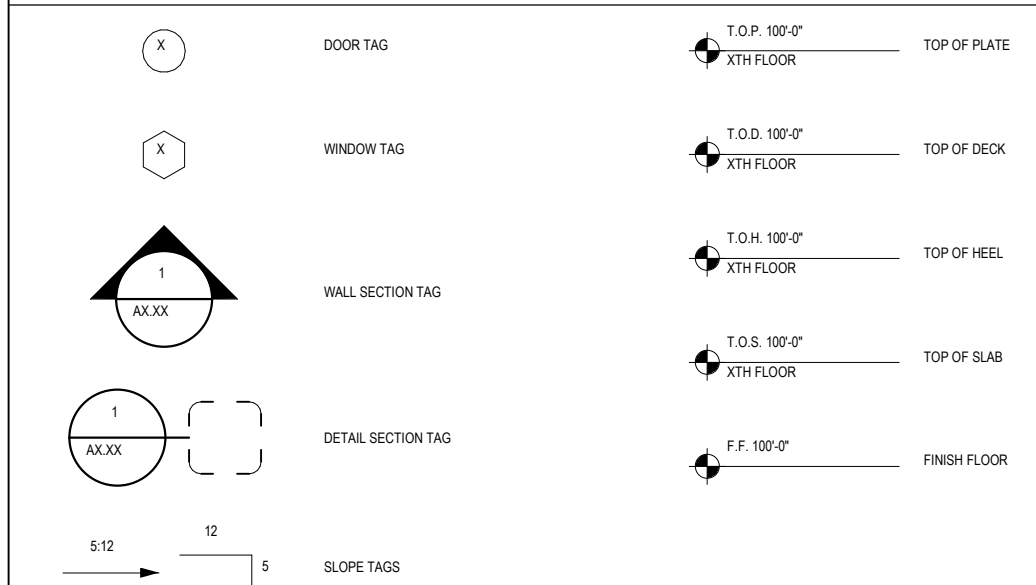
1. PROVIDE 1/2" MINIMUM SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES THREE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GUTTERS AND SEAMING, INSULATION AS REQUIRED SHALL BE INSTALLED ACCORDING TO WINDOW, DOOR, ROOF, CORNER, HORIZONTAL AND VERTICAL Joints OF GROUNDWATER MATERIALS, MATERIALS, TRANSITION, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BALCONY, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL PITCHED ROOFS, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6" MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER BC 1904.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.E.
10. ALL METAL MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM (FACED, HEADERS, BELLS, TRILLS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS) TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHIA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE FINISH OF S108 SHOWING SHOWING S108 SHOWING FINISHES ON 2000 SYNCHRONIC TAN S108 CYBER SPACE AND GRABBE BLACK BEAR. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH EXTERIOR WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLORS BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CANOPY
N1	NICHIA PANEL	H1	GLASS HORIZONTAL
M1	METAL COPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND



Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.11	
Project #	Drawing Date
Project Number	04/24/22