



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1325 Breezy Hill Ln, Rockwall, TX 75087
 SUBDIVISION Breezy Hill Addition LOT 1 BLOCK -
 GENERAL LOCATION end of Breezy Hill Ln

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Ag. CURRENT USE Ag.
 PROPOSED ZONING Ag./Residential PROPOSED USE Ag./Residential
 ACREAGE 10 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kaylee + Taylor Henson APPLICANT _____
 CONTACT PERSON Taylor Henson CONTACT PERSON _____
 ADDRESS 2710 Morning Mist Lane ADDRESS _____
 CITY, STATE & ZIP Nevada, TX 75173 CITY, STATE & ZIP _____
 PHONE 9034077848 PHONE _____
 E-MAIL hensontaylor@gmail.com E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

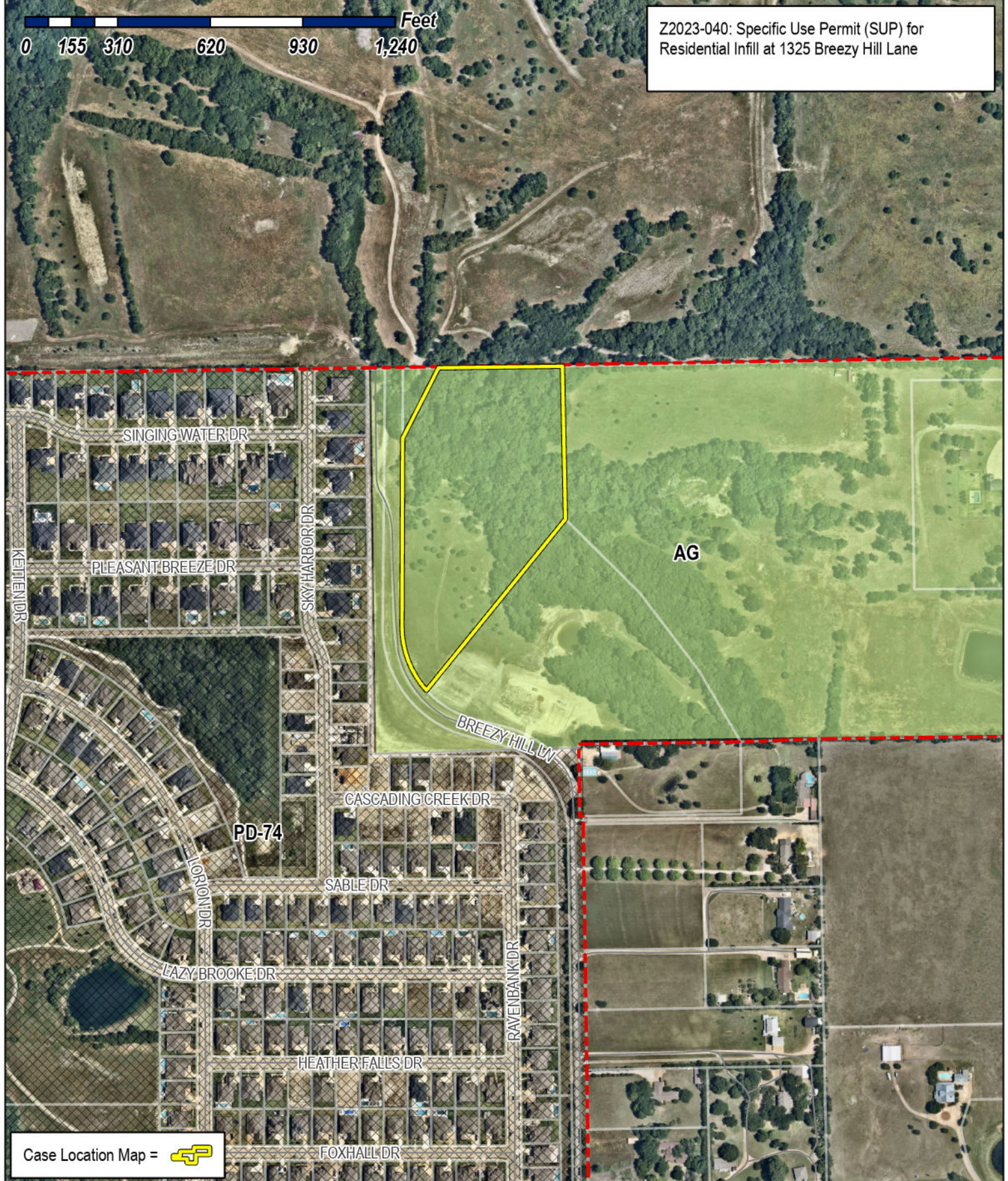
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023
 OWNER'S SIGNATURE Kaylee Henson
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Trena L. Jackson

Trena L. Jackson
 Notary Public, State of Texas
 Comm. Expires 04/05/2024
 Notary ID 1193003-0
 MY COMMISSION EXPIRES 4/5/2024



Z2023-040: Specific Use Permit (SUP) for Residential Infill at 1325 Breezy Hill Lane



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

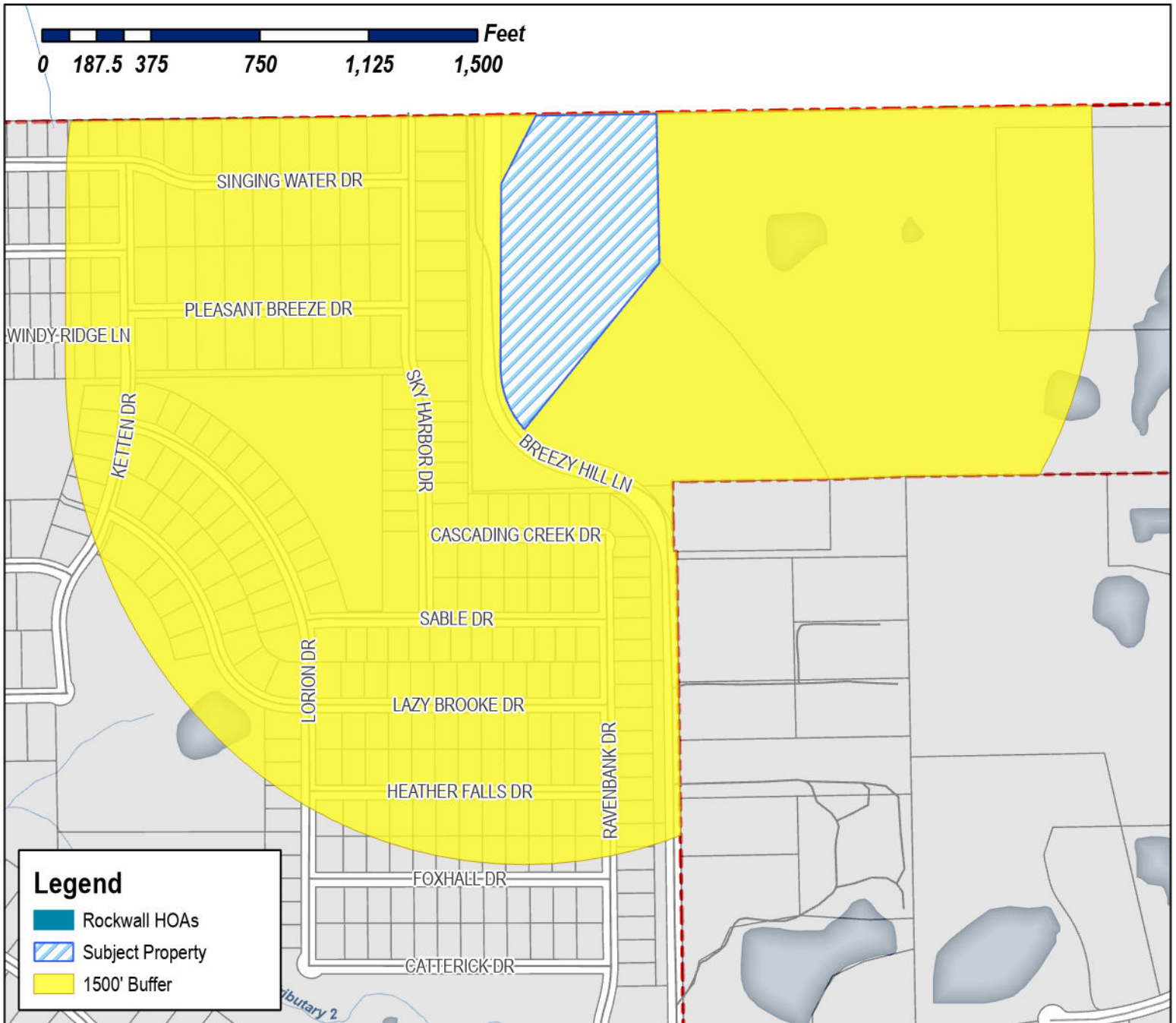




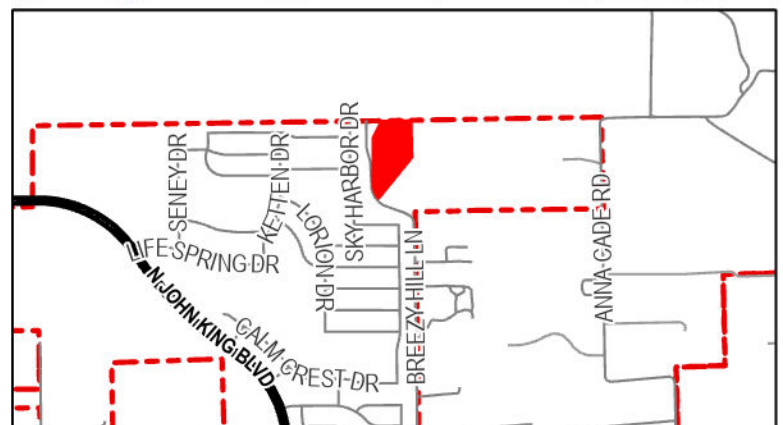
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Case Number: Z2023-040
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1325 Breezy Hill Lane



Date Saved: 8/14/2023

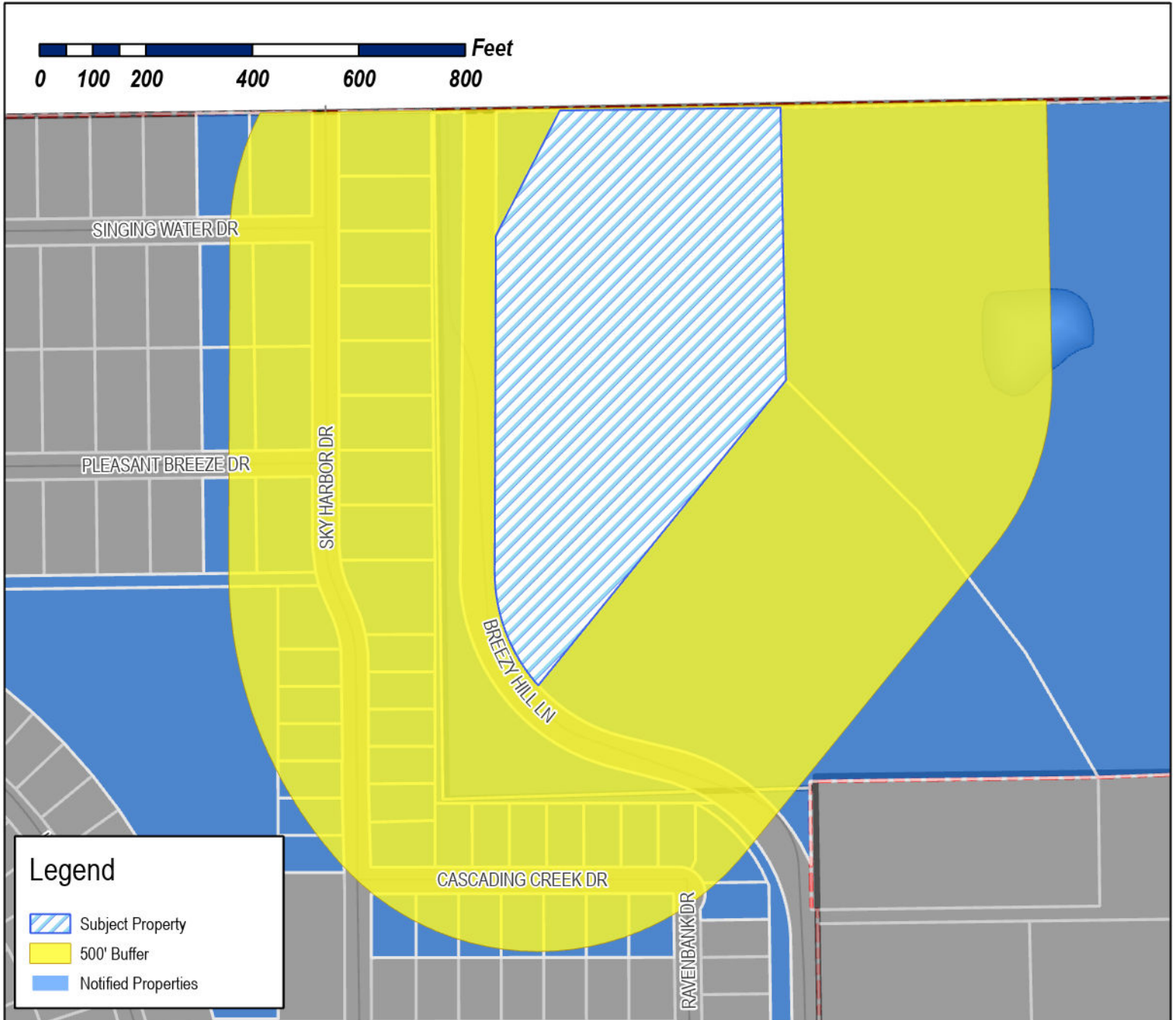
For Questions on this Case Call (972) 771-7745



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Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1325 Breezy Hill Lane

Date Saved: 8/14/2023
 For Questions on this Case Call: (972) 771-7746



RESIDENT
1001 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1005 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1006 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1009 CASCADING CREEK DR
ROCKWALL, TX 75032

YOUSEF RITA A & OSAMA S SHENOUDA
1010 CASCADING CREEK DR
ROCKWALL, TX 75087

RESIDENT
1013 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1014 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1017 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1018 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1020 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1021 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1024 CASCADING CREEK DR
ROCKWALL, TX 75032

BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
1025 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1028 CASCADING CREEK DR
ROCKWALL, TX 75032

KNOWLTON COREY D
1460 ANNA CADE ROAD
ROCKWALL, TX 75087

FISCHER DAVID SCOTT AND CHRISTINE
1608 LAKE CREST LANE
PLANO, TX 75023

RESIDENT
205 BREEZY HILL DR
ROCKWALL, TX 75032

RESIDENT
205 ROCKHOUSE LN
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
4505 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4506 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4511 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4514 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4516 RAVENBANK DR
ROCKWALL, TX 75032

RESIDENT
4521 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4525 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4528 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4529 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4532 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4533 SKY HARBOR DR
ROCKWALL, TX 75032

VALLABINENI RAJESH AND THRIVIDYA
MADAPATI
THRIVIDYA MADAPATI
4536 SKY HARBOR DR
ROCKWALL, TX 75087

RESIDENT
4537 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4538 SKY HARBOR DR
ROCKWALL, TX 75032

SANCHEZ ELENA
4546 SKY HARBOR DRIVE
ROCKWALL, TX 75087

WALLER DAVID AND SORAYA
4550 SKY HARBOR DRIVE
ROCKWALL, TX 75087

RESIDENT
4602 RAVENBANK DR
ROCKWALL, TX 75032

RESIDENT
4602 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4606 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4610 SKY HARBOR DR
ROCKWALL, TX 75032

ECHOLS BRITTNEY
4614 SKY HARBOR DRIVE
ROCKWALL, TX 75087

RESIDENT
4618 SKY HARBOR DR
ROCKWALL, TX 75032

BRATBERG NEIL
4622 SKY HARBOR DRIVE
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC
5310 HARVEST HILL RD SUITE 162
DALLAS, TX 75230

HENSON TAYLOR RAY AND KAYLEE RAYE
7138 LAUREL RIDGE
DALLAS, TX 75231

MCCORMACK JAMES ROSSI AND ELENA LOUISE
731 PLEASANT BREEZE DRIVE
ROCKWALL, TX 75087

GNANAYUTHAM JEREMY AND JESSIE
732 PLEASANT BREEZE DRIVE
ROCKWALL, TX 75087

GILLIGAN DEBORAH ANN AND TRAVIS EGUENE
733 SINGING WATER DRIVE
ROCKWALL, TX 75087

JACKS DALLAS CLAYTON AND MAGEN NICOLE
734 SINGING WATER DRIVE
ROCKWALL, TX 75087

RESIDENT
735 PLEASANT BREEZE DR
ROCKWALL, TX 75032

SIEVERT SHANNON AND CHRISTY
736 PLEASANT BREEZE DR
ROCKWALL, TX 75087

GARCIA KRIS A AND ANGELA M
737 SINGING WATER DRIVE
ROCKWALL, TX 75087

BAKER CHRISTOPHER AND RHYANA
738 SINGING WATER DRIVE
ROCKWALL, TX 75087

BH PHASE XI LTD
8214 WESTCHESTER DRIVE SUITE 900
DALLAS, TX 75225

SINKS CHARLES W
8854 CR 2472
ROYSE CITY, TX 75189

HEFNER SCOTT & CHERYL
897 ANACONDA COURT
CASTLE ROCKWA, CO 80108

DOOR SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	D01	4080	2	1	4080	110"X84"	GARAGE-GARAGE DOOR CH200	2X12X16' (2)	
	D02	6080	3	1	6080 L/R EX	74"X94"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11' (2)	
	D03	3080	1	1	3080 L EX	38"X94"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D04	3080	1	1	3080 R EX	38"X94"	EXT. HINGED-DOOR E02	2X6X41' (2)	
	D05	2080	1	1	2080 L IN	25 13/16"X98 1/2"	HINGED-DOOR P04	2X6X26 13/16' (2)	
	D06	2480	1	1	2480 R IN	30"X98 1/2"	HINGED-DOOR P04	2X6X33' (2)	
	D07	2880	1	1	2880 L IN	32"X98 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D08	2880	1	1	2880 R	61 1/4"X98 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D09	2880	1	1	2880 R IN	32"X98 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D10	3080	1	1	3080 L IN	30"X98 1/2"	HINGED-DOOR P04	2X6X41' (2)	
	D11	2880	1	1	2880 R IN	34"X98 1/2"	HINGED-DOOR P04	2X6X37' (2)	
	D12	2880	2	1	2880 L	61 1/4"X98 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D13	2880	1	1	2880 L	50"X98"	SHOWER-GLASS SLAB		
	D14	2860	1	2	2860 R	59 3/8"X82 1/2"	POCKET-DOOR P04	2X6X59 3/8' (2)	
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4' (2)	
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X39' (2)	
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X39' (2)	

WINDOW SCHEDULE									
SYMBOL	ELEVATION	NUMBER	QTY	FLOOR	SIZE	NO.	DESCRIPTION	HEADER	
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS	2X6X28' (2)	
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS	2X6X34' (2)	
	W04	3050FX	4	1	3050FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W05	3060FX	2	1	3060FX	37"X48"	FIXED GLASS	2X6X40' (2)	
	W06	3050DH	6	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40' (2)	
	W07	3050FX	0	2	3050FX	37"X61"	FIXED GLASS	2X6X40' (2)	



E1 FRONT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



E2 REAR EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

NO. DATE DESCRIPTION

SHEET TITLE:
FRONT & REAR EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
**BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON**

DATE:
3/10/2023

SCALE:
1/4"=1'-0"

SHEET:
A-5



E3 LEFT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



E4 RIGHT EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

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AREA CALCULATIONS:

1ST FLOOR HVAC	1,655 SQ. FT.
2ND FLOOR HVAC	1,095 SQ. FT.
TOTAL HVAC	2,750 SQ. FT.
FRONT COVERED PORCH	79 SQ. FT.
BACK COVERED PATIO	280 SQ. FT.
GARAGE & STORAGE	722 SQ. FT.
GARAGE COVERED PORCH	46 SQ. FT.
TOTAL UNDER ROOF	3,877 SQ. FT.*
FOUNDATION FOOTPRINT	2,932 SQ. FT.**

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

**FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



FRONT EXTERIOR PERSPECTIVE RENDERING

FOR ILLUSTRATION ONLY

GENERAL NOTES

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.

SHEET TITLE:
PROJECT OVERVIEW

PROJECT DESCRIPTION:
**BREEZY HILL LANE ADDITION
 ROCKWALL, TEXAS
 TAYLOR HENSON**

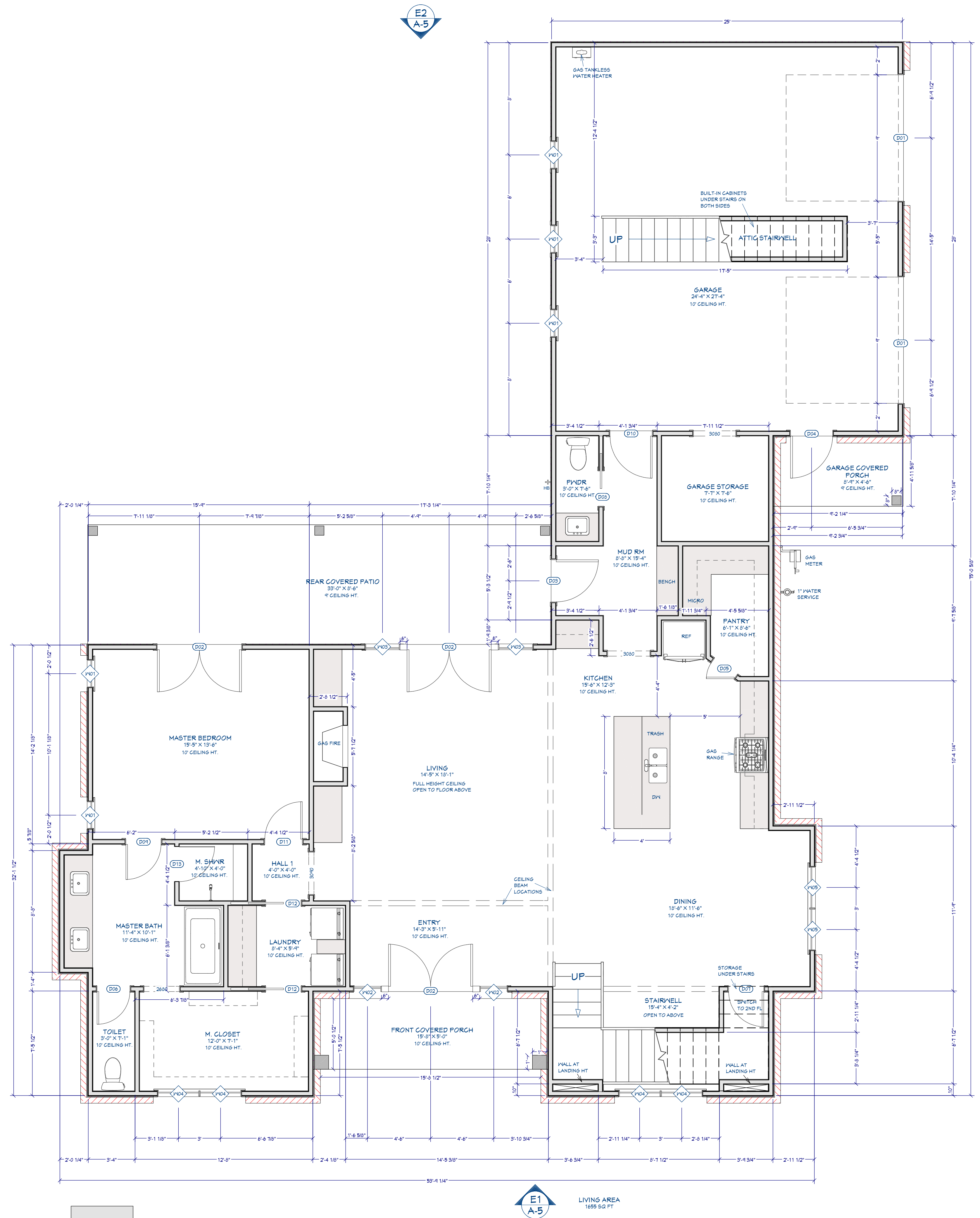
DATE:
 3/10/2023

SCALE:
 NO SCALE

SHEET:
A-1

DOOR SCHEDULE		NO.		DESCRIPTION		HEADER		
DEPTH	ELEVATION	NO.	QTY	NO.	DESCRIPTION	NO.	DESCRIPTION	
D01	4080	2	1	4080	11'0"X8'	2X12X116'	(2)	
D02	6080	3	1	6080 L/R EX	74"X8"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X11'	(2)
D03	3080	1	1	3080 L EX	38"X8"	EXT. HINGED-DOOR E02	2X6X41'	(2)
D04	3080	1	1	3080 R EX	38"X8"	EXT. HINGED-DOOR E02	2X6X41'	(2)
D05	2080	1	1	2080 L IN	25'13 1/8"X8' 1/2"	HINGED-DOOR P04	2X6X20'13 1/8"	(2)
D06	2480	1	1	2480 R IN	30"X8' 1/2"	HINGED-DOOR P04	2X6X33'	(2)
D07	2880	1	1	2880 L IN	32"X8' 1/2"	HINGED-DOOR P04	2X6X39'	(2)
D08	2880	1	1	2880 R	61'11 4/8"X8' 1/2"	POCKET-DOOR P04	2X6X84'11 4/8"	(2)
D09	2880	1	1	2880 R IN	32"X8' 1/2"	HINGED-DOOR P04	2X6X39'	(2)
D10	3080	1	1	3080 L IN	30"X8' 1/2"	HINGED-DOOR P04	2X6X41'	(2)
D11	2880	1	1	2880 R IN	34"X8' 1/2"	HINGED-DOOR P04	2X6X37'	(2)
D12	2880	2	1	2880 L	61'11 4/8"X8' 1/2"	POCKET-DOOR P04	2X6X84'11 4/8"	(2)
D13	2880	1	1	2880 L	30"X8"	SHOWER-GLASS SLAB		
D14	2880	1	2	2880 R	59'310'X82'112"	POCKET-DOOR P04	2X6X59'310'	(2)
D15	2880	2	2	2880 L IN	32"X82'112"	HINGED-DOOR P04	2X6X39'	(2)
D16	2880	1	2	2880 R	61'11 4/8"X82'112"	POCKET-DOOR P04	2X6X84'11 4/8"	(2)
D17	2880	6	2	2880 R IN	32"X82'112"	HINGED-DOOR P04	2X6X39'	(2)
D18	4080	3	2	4080 L/R IN	50"X82'112"	DOUBLE HINGED-DOOR P04	2X6X89'	(2)

WINDOW SCHEDULE		NO.		DESCRIPTION		HEADER		
DEPTH	ELEVATION	NO.	QTY	NO.	DESCRIPTION	NO.	DESCRIPTION	
W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS	2X6X28'	(2)
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W04	3050FX	4	1	3050FX	37"X48"	FIXED GLASS	2X6X40'	(2)
W05	3060FX	2	1	3060FX	37"X48"	FIXED GLASS	2X6X40'	(2)
W06	3050DH	6	2	3050DH	37"X48"	DOUBLE HUNG	2X6X40'	(2)
W07	3050FX	0	2	3050FX	37"X48"	FIXED GLASS	2X6X40'	(2)



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION

SHEET TITLE:
FIRST FLOOR PLAN

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

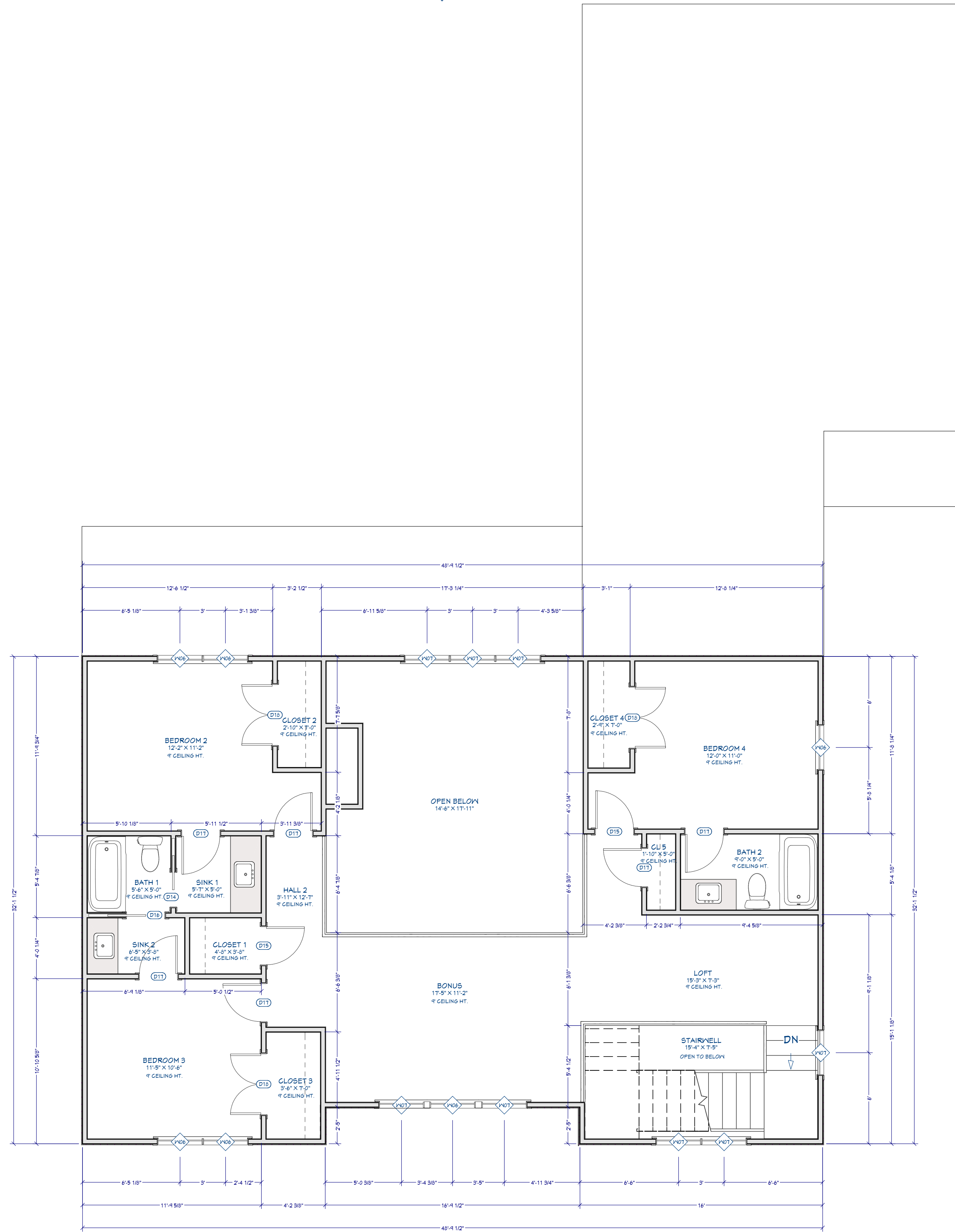
DATE:
3/10/2023

SCALE:
1/4"=1'-0"

SHEET:
A-3

DOOR SCHEDULE							
SYMBOL	ELEVATION	NUMBER	TYPE	FLOOR	SIZE	DESCRIPTION	
	D01	4080	2	1	4080	110"X96"	GARAGE-GARAGE DOOR CH200
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL
	D03	3080	1	1	3080 L EX	33"X96"	EXT. HINGED-DOOR E02
	D04	3080	1	1	3080 R EX	33"X96"	EXT. HINGED-DOOR E02
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04
	D07	2880	1	1	2880 L IN	32"X96 1/2"	HINGED-DOOR P04
	D08	2880	1	1	2880 R	61 1/4"X96 1/2"	POCKET-DOOR P04
	D09	2880	1	1	2880 R IN	32"X96 1/2"	HINGED-DOOR P04
	D10	3080	1	1	3080 L IN	33"X96 1/2"	HINGED-DOOR P04
	D11	2880	1	1	2880 R IN	34"X96 1/2"	HINGED-DOOR P04
	D12	2880	2	1	2880 L	61 1/4"X96 1/2"	POCKET-DOOR P04
	D13	2880	1	1	2880 L	30"X96"	SHOWER-GLASS SLAB
	D14	2860	1	2	2860 R	59 3/8"X82 1/2"	POCKET-DOOR P04
	D15	2860	2	2	2860 L IN	32"X82 1/2"	HINGED-DOOR P04
	D16	2860	1	2	2860 R	61 1/4"X82 1/2"	POCKET-DOOR P04
	D17	2860	6	2	2860 R IN	32"X82 1/2"	HINGED-DOOR P04
	D18	4080	3	2	4080 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04

WINDOW SCHEDULE							
SYMBOL	ELEVATION	NUMBER	TYPE	FLOOR	SIZE	DESCRIPTION	
	W01	2040FX	3	1	2040FX	28"X48"	FIXED GLASS
	W02	2080FX	2	1	2080FX	28"X48"	FIXED GLASS
	W03	2680FX	2	1	2680FX	31"X48"	FIXED GLASS
	W04	3050FX	4	1	3050FX	37"X48"	FIXED GLASS
	W05	3060FX	2	1	3060FX	37"X48"	FIXED GLASS
	W06	3050DH	6	2	3050DH	37"X81"	DOUBLE HUNG
	W07	3050FX	8	2	3050FX	37"X81"	FIXED GLASS



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

LIVING AREA
1098 SQ FT

NO.	DATE	DESCRIPTION

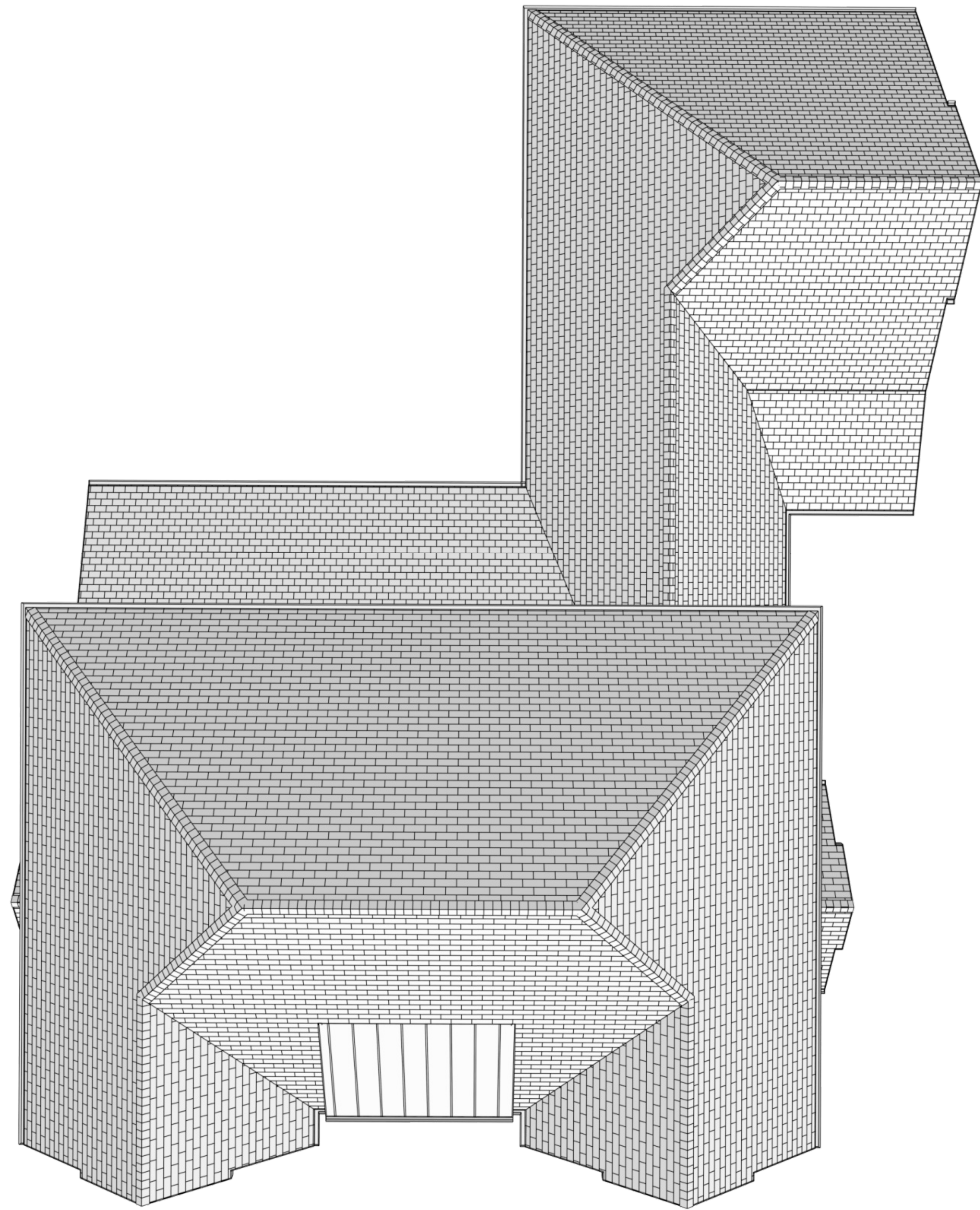
SHEET TITLE:
SECOND FLOOR PLAN

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

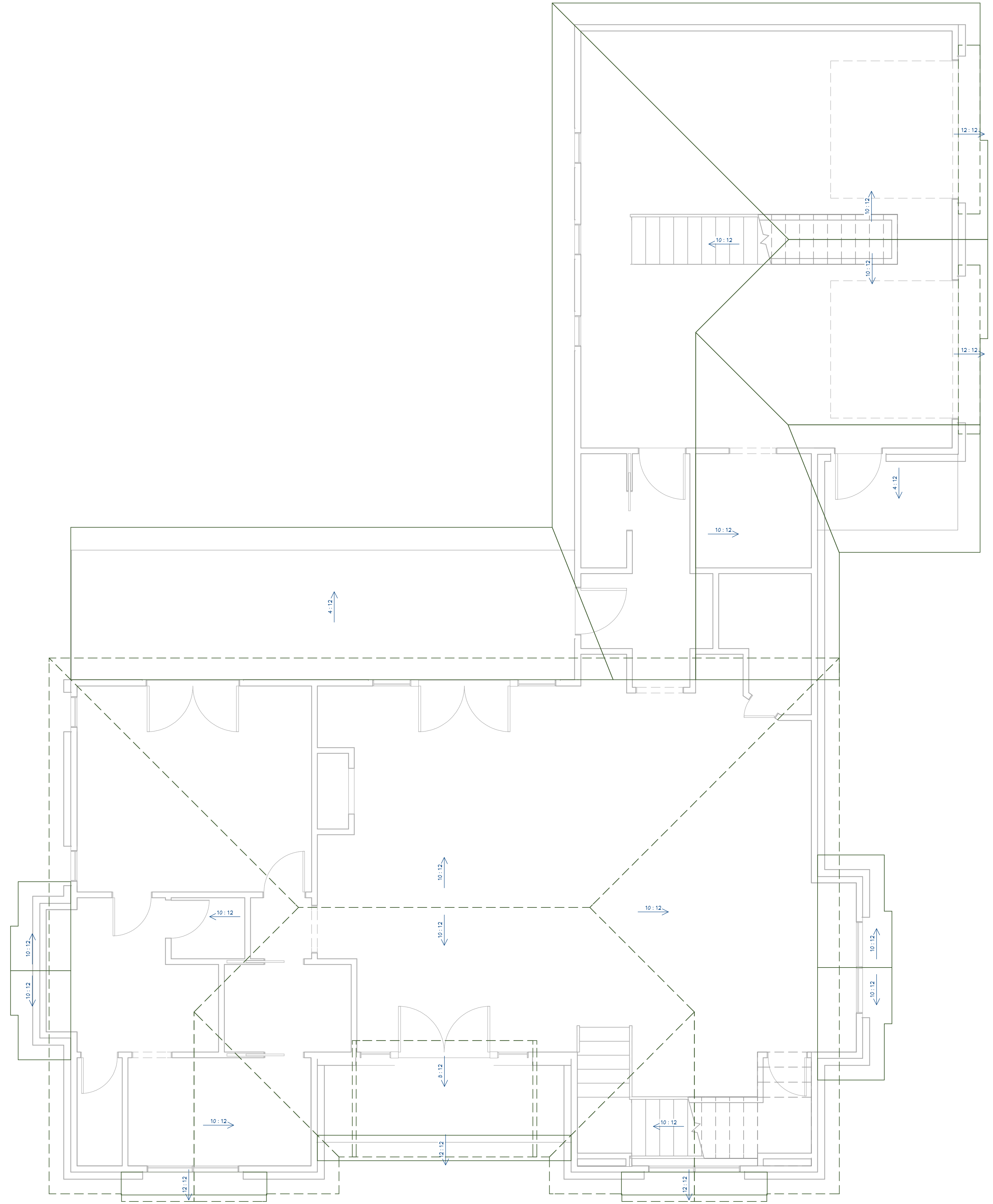
DATE:
3/10/2023

SCALE:
1/4"=1'-0"

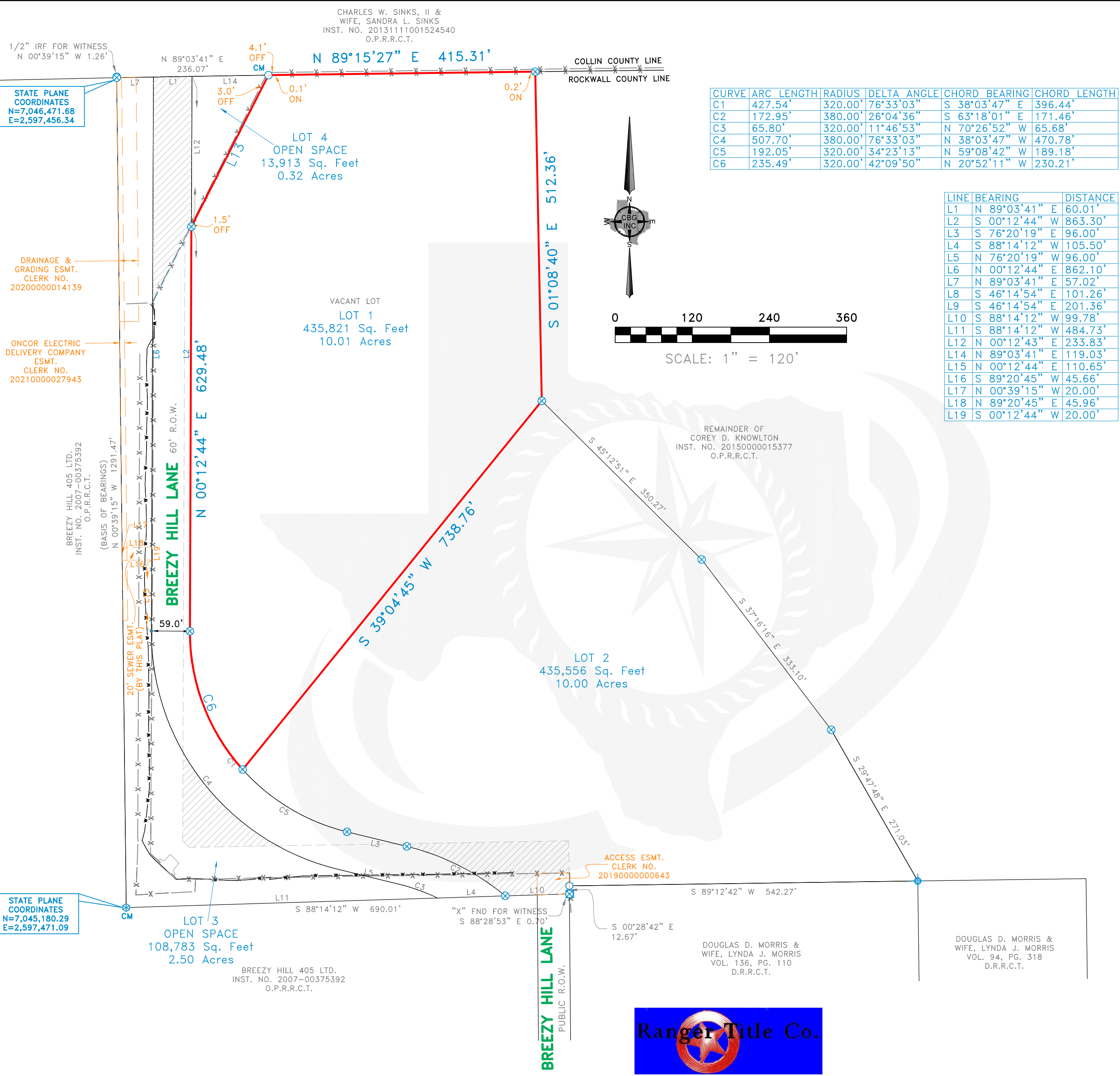
SHEET:
A-4



ROOF OVERVIEW PERSPECTIVE



ROOF PLAN
SCALE: 1/4"=1'-0"



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	427.54'	320.00'	76°33'03"	S 38°03'47" E	396.44'
C2	172.95'	380.00'	26°04'36"	S 63°18'01" E	171.46'
C3	65.80'	320.00'	11°46'53"	N 70°26'52" W	65.68'
C4	507.70'	380.00'	76°33'03"	N 38°03'47" W	470.78'
C5	192.05'	320.00'	34°23'13"	N 59°08'42" W	189.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 89°03'41" E	60.01'
L2	S 00°12'44" W	863.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	862.10'
L7	N 89°03'41" E	57.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.73'
L12	N 00°12'43" E	233.83'
L14	N 89°03'41" E	119.03'
L15	N 00°12'44" E	110.65'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

Breezy Hill Lane (Lot 1)

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 2020000009078, Plat Records, Rockwall County, Texas.

SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries or the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

Michael Churchwell
 Registered Professional Land Surveyor



NOTE: According to the F.I.R.M. in Map No. 48397C0030L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE _____

NOTES:
 BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#: 2020000009078, 2020000004363
 3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

REVISIONS		
DATE	BY	NOTES

LEGEND	
○	CONTROLLING MONUMENT
⊗	1/2" IRON ROD FOUND
⊙	1/2" IRON ROD SET
⊠	1" IRON PIPE FOUND
⊞	FENCE POST CORNER
⊞	"X" FOUND / SET
⊞	5/8" ROD FOUND
⊞	UNDERGROUND ELECTRIC
⊞	OVERHEAD ELECTRIC
⊞	POWER POLE
⊞	POINT FOR CORNER
⊞	GRAVEL/ROCK ROAD OR DRIVE
PE	POOL EQUIPMENT
■	COLUMN
AC	AIR CONDITIONING
⊞	FIRE HYDRANT
⊞	OES - OES
⊞	OHP - OHP
⊞	CONCRETE PAVING
⊞	DOUBLE SIDED WOOD FENCE
⊞	ASPHALT PAVING
⊞	CHAIN LINK FENCE
⊞	WOOD FENCE
⊞	0.5" WIDE TYPICAL BARBED WIRE
⊞	IRON FENCE
⊞	PIPE FENCE
⊞	COVERED PORCH, DECK OR CARPORT
⊞	OVERHEAD ELECTRIC SERVICE
⊞	OVERHEAD POWER LINE

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 Garland, TX 75043
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 F 214.349.2216
 Firm No. 10168800
 www.cbgtxl.com

SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 120'	02/21/2022	1513780-13	SEE CERT.	MARIA

FINAL SURVEY

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BREEZY HILL LANE (LOT 1)