

21930



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22023-017
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES: <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00) <input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: <input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING APPLICATION FEES: <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹ <input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ & * <input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ OTHER APPLICATION FEES: <input type="checkbox"/> TREE REMOVAL (\$75.00) <input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² NOTES: ¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. ² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
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PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 711 Parks Ave. Rockwall, TX 75087
SUBDIVISION Foree's Addition LOT 11 BLOCK C
GENERAL LOCATION:

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING Residential I CURRENT USE Residential I
PROPOSED ZONING Residential I PROPOSED USE Residential I
ACREAGE 0.16 LOTS (CURRENT) 1 LOTS (PROPOSED) 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input type="checkbox"/> OWNER <u>Nixon Estate</u>	<input checked="" type="checkbox"/> APPLICANT <u>Javier Silva</u>
CONTACT PERSON <u>Judy Wible</u>	CONTACT PERSON <u>Javier Silva</u>
ADDRESS <u>114 Vicksburg Loop</u>	ADDRESS <u>58 Windsor Dr.</u>
CITY, STATE & ZIP <u>Elgin TX 78621</u>	CITY, STATE & ZIP <u>Rockwall, TX 75082</u>
PHONE <u>512-944-2652</u>	PHONE <u>(972) 814-9462</u>
E-MAIL <u>jcw hnt@gmail.com</u>	E-MAIL <u>support@jmscustomhomes.net</u>

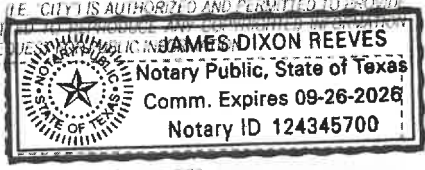
NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Judy Wible [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF March, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND TRANSMIT THIS INFORMATION IN ANY MANNER AND FOR ANY PURPOSE, INCLUDING FOR THE CITY'S WEBSITE, IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION.

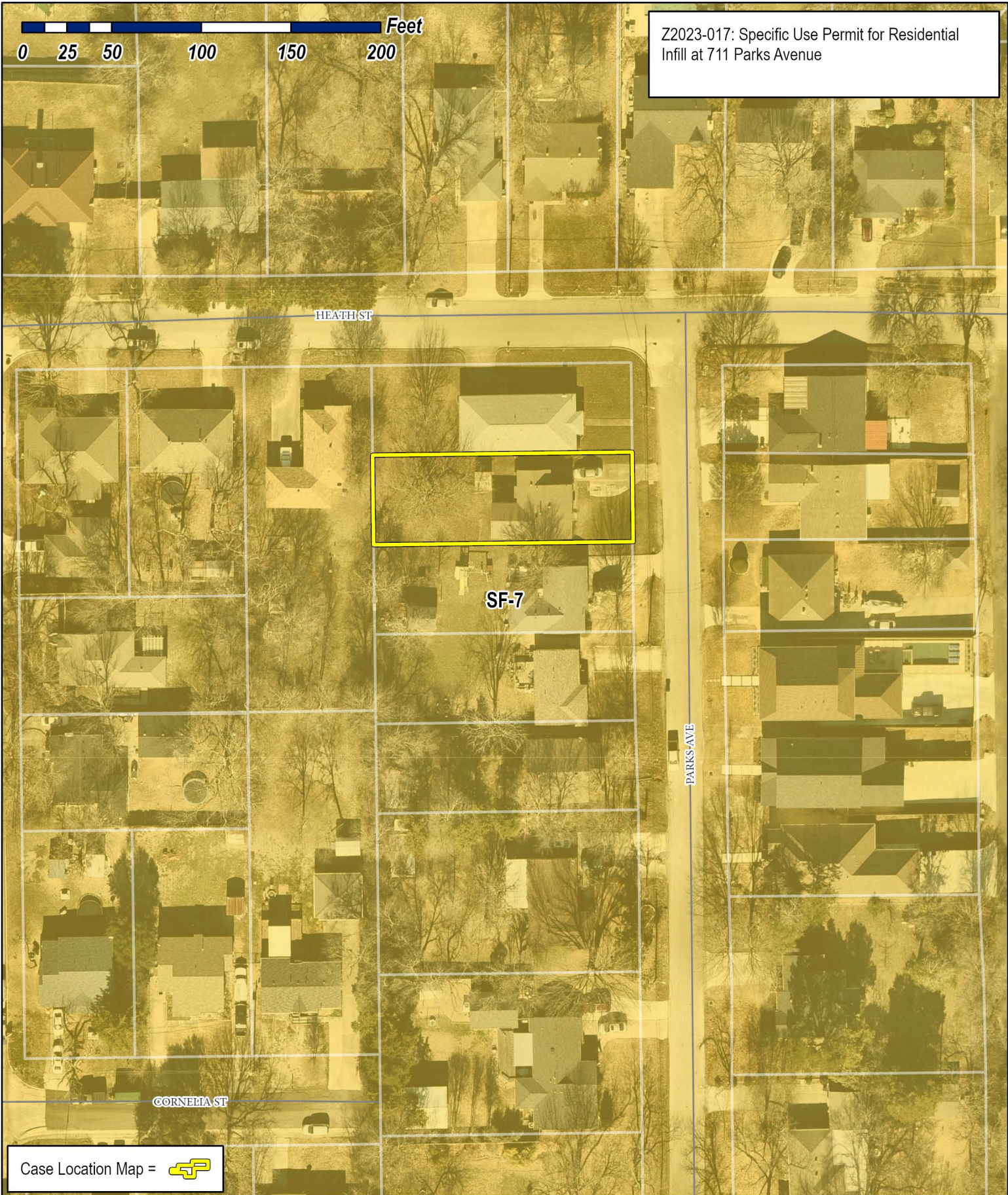
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF March, 2023
OWNER'S SIGNATURE: Judy Wible

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS James D. Reeves
MY COMMISSION EXPIRES:





Z2023-017: Specific Use Permit for Residential Infill at 711 Parks Avenue




HEATH ST

SF-7

PARKS AVE

CORNELIA ST

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

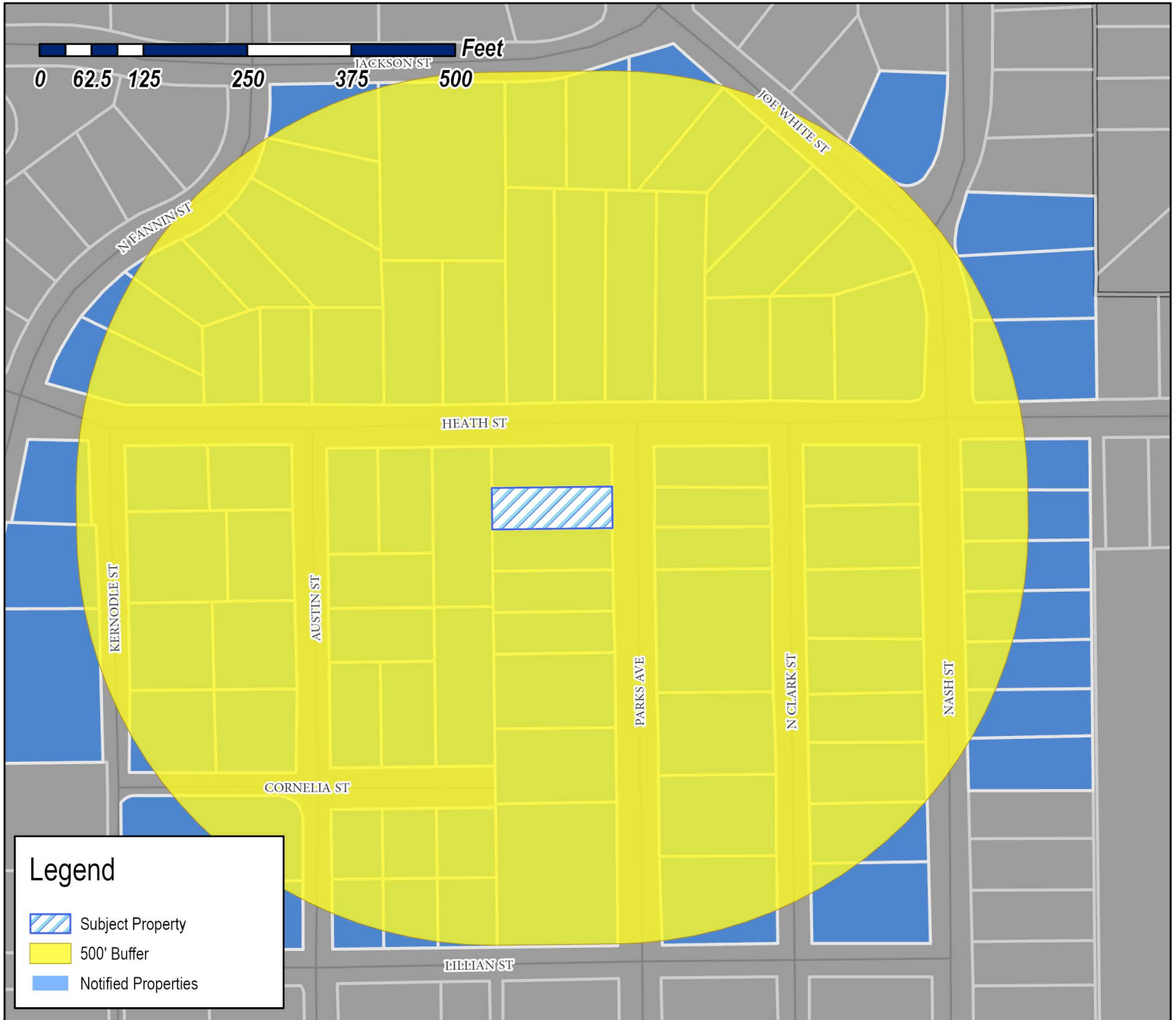




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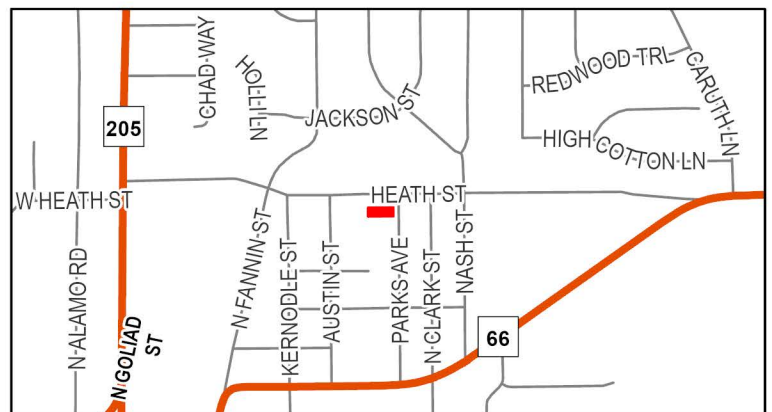
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Case Number: Z2023-017
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 711 Parks Avenue

Date Saved: 3/17/2023

For Questions on this Case Call: (972) 771-7746



ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

PYLAND KENNETH C & MELANIE M
102 JOE WHITE ST
ROCKWALL, TX 75087

SUCH ANNIE ROSE AND
RICHARD M FISKE
1022 TEXAN TRAIL
GRAPEVINE, TX 76051

RESIDENT
103 JOE WHITE ST
ROCKWALL, TX 75087

RESIDENT
105 JOE WHITE ST
ROCKWALL, TX 75087

KRIZAN RASTISLAV
107 JOE WHITE
ROCKWALL, TX 75087

RESIDENT
109 JOE WHITE ST
ROCKWALL, TX 75087

CONRAD CCC DEVELOPMENT LLC
1215 THOMASVILLE COURT
GARLAND, TX 75044

CELINE ESTATES INC
149 BRENTWOOD DRIVE
HEATH, TX 75032

SABRSULA MELISSA
1571 ANNA CADR RD
ROCKWALL, TX 75087

FINK BEVERLY A & ROYCE G
17111 255TH AVE
SPIRIT LAKE, IA 51360

CELINE ESTATES INC
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

KINSEY DONALD H & TARI L
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 10 LLC
2 MANOR COURT
HEATH, TX 75032

KINSEY TARI L AND DONALD H
2 MANOR CT
HEATH, TX 75032

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

PARK STUFF LLC
2301 LAFAYETTE DR
HEATH, TX 75032

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

CLARK APRIL N
313 NAKOMA DRIVE
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
3400 N CENTRAL EXPY #110
RICHARDSON, TX 75080

DAVILA JUAN CARLOS
3740 CASA DEL SOL LANE
DALLAS, TX 75228

TIPPING VIVIAN E AND
EARNEST TIPPING
401 EAST HEATH STREET
ROCKWALL, TX 75087

DOLLINS ROBIN KAY AND GEORGE OEN
403 E HEATH
ROCKWALL, TX 75087

RESIDENT
405 E HEATH ST
ROCKWALL, TX 75087

HODGES TERESA ANN
481 ARACADIA WAY
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
501 LILLIAN ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
503 CORNELIA
ROCKWALL, TX 75087

RESIDENT
503 LILLIAN ST
ROCKWALL, TX 75087

RESIDENT
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
505 LILLIAN ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TR
ROCKWALL, TX 75087

WILLIAMS JULI ANN AND JOH CHRISTOPHER
AND
MICHAEL ANTHONY BOSMA AND LAURA L
BOSMA
505 CORNELIA ST
ROCKWALL, TX 75087

RESIDENT
505 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
506 CORNELIA
ROCKWALL, TX 75087

RESIDENT
509 E HEATH ST
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

RESIDENT
511 E HEATH ST
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY
513 E HEATH ST
ROCKWALL, TX 75087

JMB NEWBYGINNIGS, LLC
5250 HWY 78 SUITE 750-208
SACHSE, TX 75048

JMS CUSTOM HOMES LLC
58 WINDSOR DRIVE
ROCKWALL, TX 75032

RESIDENT
601 E HEATH ST
ROCKWALL, TX 75087

EICH CHRIS AND ELENA
601 PARKS AVENUE
ROCKWALL, TX 75087

MURPHY MICHAEL
602 PARKS AVE
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
605 E HEATH ST
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
606 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
607 NASH ST
ROCKWALL, TX 75087

SPERLING SANDY
607 E HEATH ST
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
607 SAINT MARY ST
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

RESIDENT
610 NASH ST
ROCKWALL, TX 75087

RESIDENT
701 NASH ST
ROCKWALL, TX 75087

MOONEY DAVID AARON
701 AUSTIN ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

SIDDALL ANNA AND JAMES
704 NASH ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

RESIDENT
706 JACKSON ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
707 NASH ST
ROCKWALL, TX 75087

RESIDENT
707 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
708 JACKSON ST
ROCKWALL, TX 75087

RESIDENT
708 NASH ST
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D
708 PARKS AVE
ROCKWALL, TX 75087

JORDAN JOHN & ALLISON
709 NASH STREET
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON LINDA LOUISE
711 PARKS AVENUE
ROCKWALL, TX 75087

FLANAGAN RONNY LYNN JR AND JULIE
MICHELLE
714 PARKS AVENUE
ROCKWALL, TX 75087

EMBRY ASHLEY
801 AUSTIN STREET
ROCKWALL, TX 75087

RESIDENT
802 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
802 NASH ST
ROCKWALL, TX 75087

RESIDENT
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
804 NASH ST
ROCKWALL, TX 75087

RUSTY ENTERPRISES LLC
804 WILLIAMS STREET
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
806 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
806 NASH ST
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
808 AUSTIN ST
ROCKWALL, TX 75087

RESIDENT
808 KERNODLE ST
ROCKWALL, TX 75087

RESIDENT
809 AUSTIN ST
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

WIEHE JOHN THOMAS
900 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
902 N FANNIN ST
ROCKWALL, TX 75087

HALL WYNNE &
JOANN CAMPBELL
904 N FANNIN ST
ROCKWALL, TX 75087

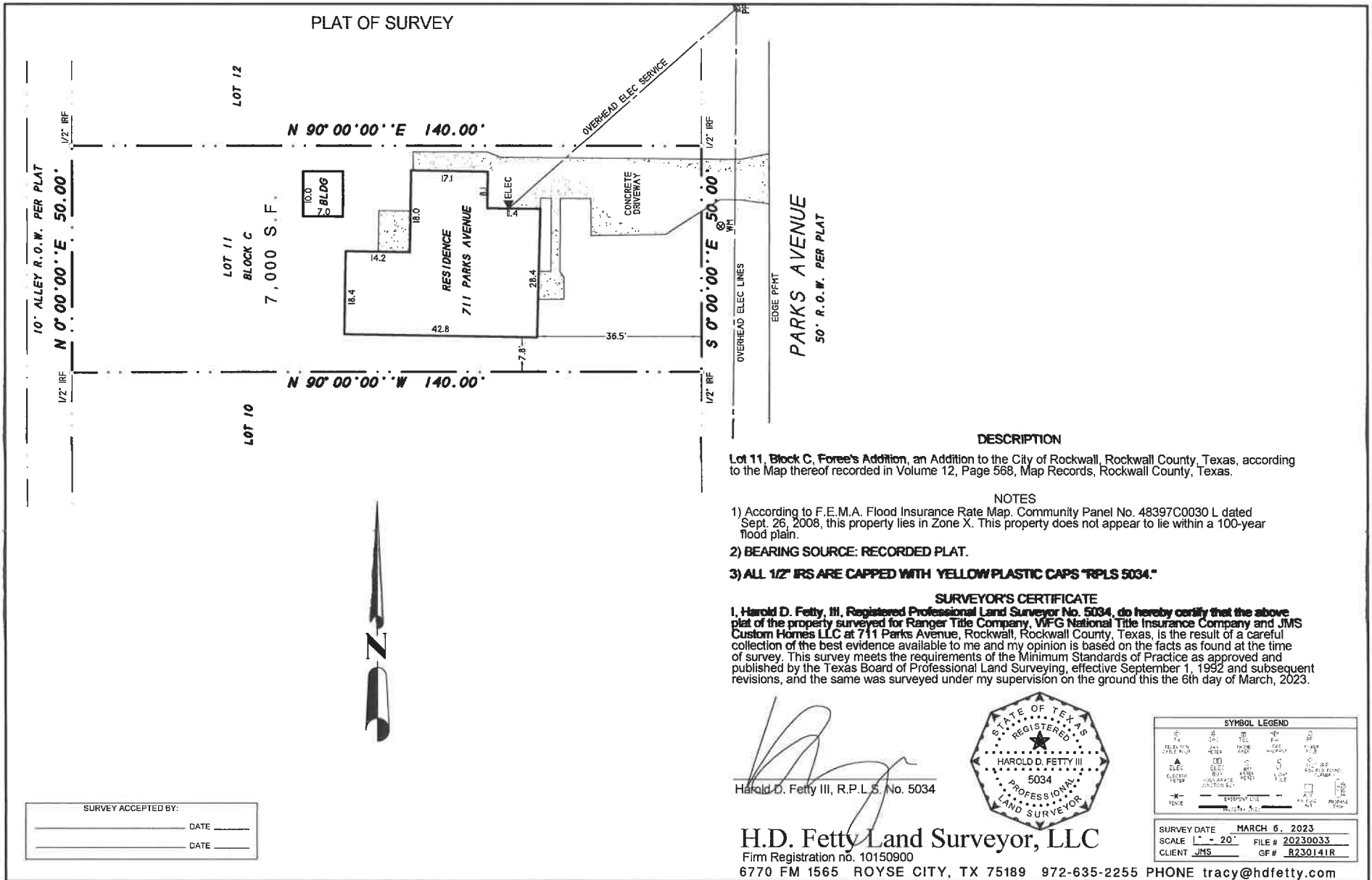
WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
908 N FANNIN ST
ROCKWALL, TX 75087

HAGENY MARY
910 N FANNIN STREET
ROCKWALL, TX 75087

MOORE NICKY A & JUDY A
912 N FANNIN ST
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087



DESCRIPTION

Lot 11, Block C, Foree's Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, Map Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Ranger Title Company, WFG National Title Insurance Company and JMS Custom Homes LLC at 711 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 6th day of March, 2023.


 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
1/2" IRF	1/2" IRF
1/4" IRF	1/4" IRF
3/8" IRF	3/8" IRF
1" IRF	1" IRF
2" IRF	2" IRF
4" IRF	4" IRF
6" IRF	6" IRF
8" IRF	8" IRF
10" IRF	10" IRF
12" IRF	12" IRF
14" IRF	14" IRF
16" IRF	16" IRF
18" IRF	18" IRF
20" IRF	20" IRF
22" IRF	22" IRF
24" IRF	24" IRF
26" IRF	26" IRF
28" IRF	28" IRF
30" IRF	30" IRF
32" IRF	32" IRF
34" IRF	34" IRF
36" IRF	36" IRF
38" IRF	38" IRF
40" IRF	40" IRF
42" IRF	42" IRF
44" IRF	44" IRF
46" IRF	46" IRF
48" IRF	48" IRF
50" IRF	50" IRF
52" IRF	52" IRF
54" IRF	54" IRF
56" IRF	56" IRF
58" IRF	58" IRF
60" IRF	60" IRF
62" IRF	62" IRF
64" IRF	64" IRF
66" IRF	66" IRF
68" IRF	68" IRF
70" IRF	70" IRF
72" IRF	72" IRF
74" IRF	74" IRF
76" IRF	76" IRF
78" IRF	78" IRF
80" IRF	80" IRF
82" IRF	82" IRF
84" IRF	84" IRF
86" IRF	86" IRF
88" IRF	88" IRF
90" IRF	90" IRF
92" IRF	92" IRF
94" IRF	94" IRF
96" IRF	96" IRF
98" IRF	98" IRF
100" IRF	100" IRF

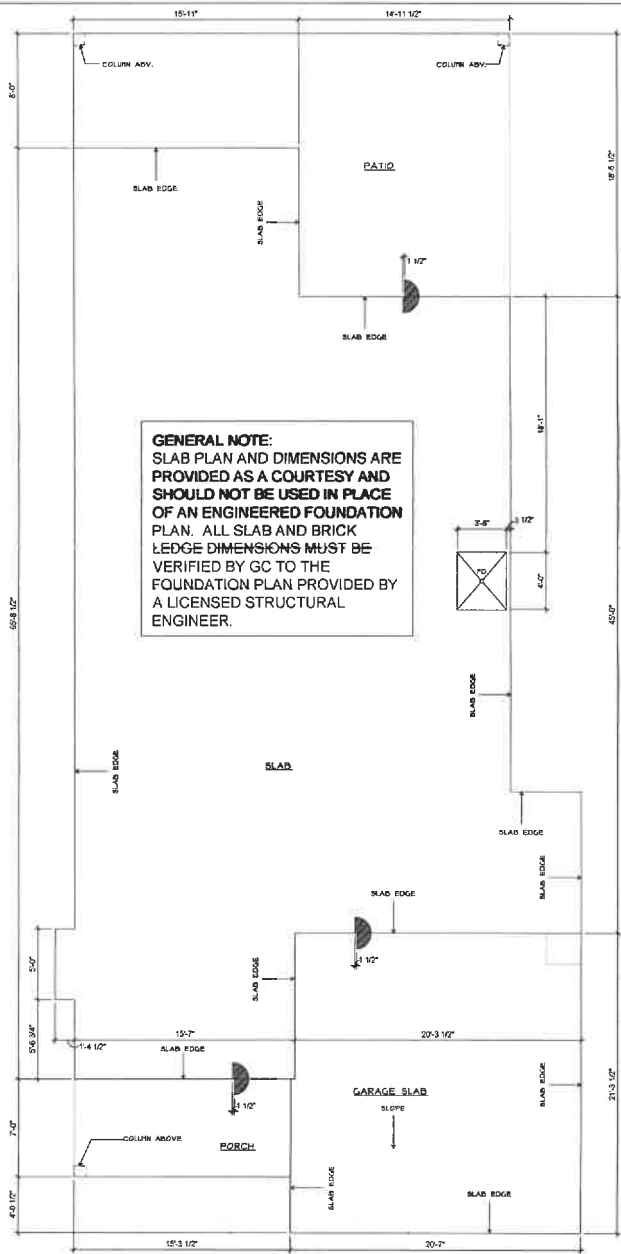
SURVEY ACCEPTED BY:

DATE _____

DATE _____

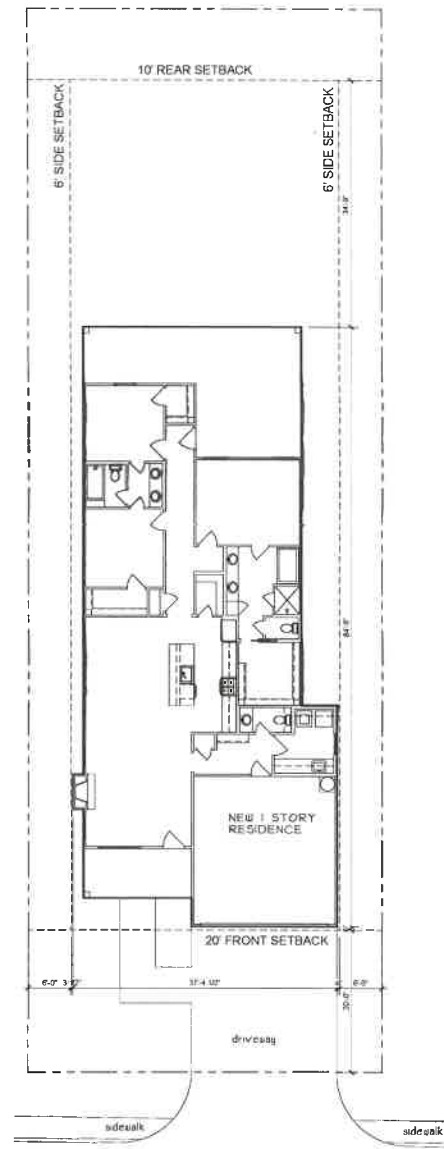
H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE	MARCH 6, 2023
SCALE	1" = 20'
CLIENT	JMS
FILE #	20230033
GF #	R230141R



GENERAL NOTE:
 SLAB PLAN AND DIMENSIONS ARE PROVIDED AS A COURTESY AND SHOULD NOT BE USED IN PLACE OF AN ENGINEERED FOUNDATION PLAN. ALL SLAB AND BRICK LEDGE DIMENSIONS MUST BE VERIFIED BY GC TO THE FOUNDATION PLAN PROVIDED BY A LICENSED STRUCTURAL ENGINEER.

02 ARCHITECTURAL SLAB PLAN
 SCALE 1/8"=1'-0"
 NORTH



01 ARCHITECTURAL SITE PLAN
 SCALE 1/8"=1'-0"
 NORTH



NEW RESIDENCE
 JMS CUSTOM HOMES
 711 PARKS AVE
 ROCKWALL
 TEXAS
 75087

ISSUE LOG

DATE	DESCRIPTION	ISSUE
		2000- FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV	NO.
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ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION

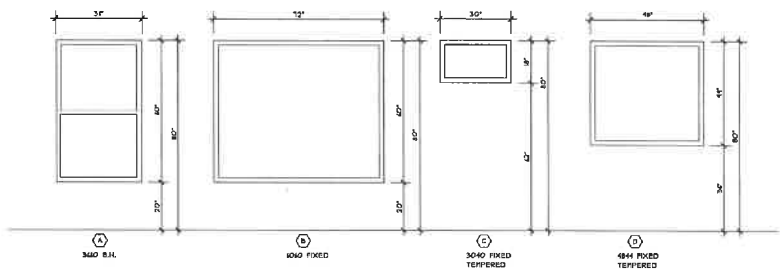


OWNER
 CONTRACTOR
 DESIGNER

ARCH PROJ #	SCALE
2100	REF DRAWING

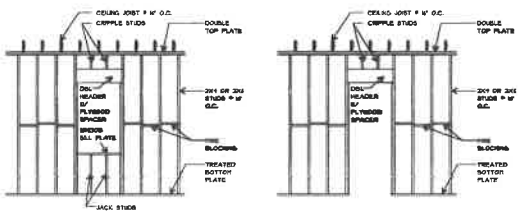
SHEET NO
A2.1
 ARCHITECTURAL SITE & SLAB PLAN

GENERAL NOTES:
 1) COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION.
 2) CONNECT ALL WATER, GAS, ELECTRIC, ETC. TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
 3) PROVIDE TERPITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
 4) ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
 5) PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER 100 SQ. FT. OF ATTIC OR PER LOCAL CODES.
 6) 5/8" MIN. DRYBALL THROUGHOUT, 5/8" TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
 1) GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE I.R. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
 2) ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.



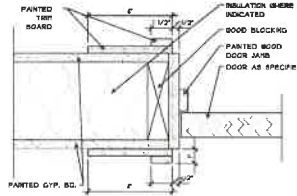
WINDOW TYPES

NOTE:
 1. VERIFY ALL WINDOW SIZES WITH MANUFACTURER FOR ALL FRAMING AND ROUGH OPENING DIMENSIONS.
 2. FINAL ALIGN DESIGN TO BE BY OWNER.

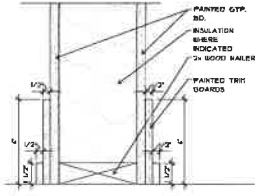


TYP. WINDOW
 08 FRAMING DIAGRAM
 SCALE 1/4"=1'-0"

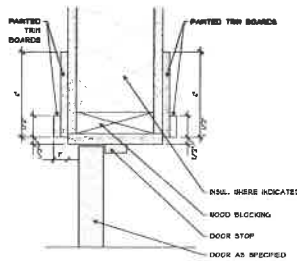
TYP. DOOR
 01 FRAMING DIAGRAM
 SCALE 1/4"=1'-0"



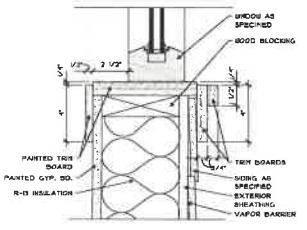
06 DOOR JAMB DETAIL
 SCALE 3/4"=1'-0"



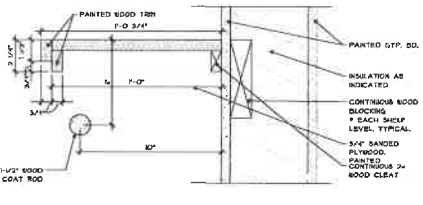
05 BASEBOARD DETAIL
 SCALE 3/4"=1'-0"



04 DOOR HEAD DETAIL
 SCALE 3/4"=1'-0"

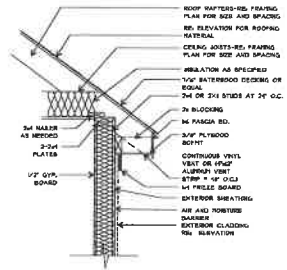


03 WINDOW SILL
 SCALE 3/4"=1'-0"



02 TYPICAL SHELF DETAIL
 SCALE 3/4"=1'-0"

SQUARE FOOTAGE	AREAS
1766	FLOOR PLAN
435	2-CAR GARAGE
107	COVERED PORCH
404	COVERED PATIO
2,712	TOTAL UNDER ROOF



01 TYP. SOFFIT DETAIL
 SCALE 1/4"=1'-0"

TYPICAL DETAILS

JMS
 NEW RESIDENCE
 JMS CUSTOM HOMES
 711 PARKS AVE
 ROCKWALL
 TEXAS
 75087

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DATE	DESCRIPTION	REV	NO.

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 REVISION
 FOR CONSTRUCTION

Fanning Pulphus
 ARCHITECTS

OWNER: JAMES BULLA
 CONTRACTOR: JMS CUSTOM HOMES
 DESIGNER: PULPHUS ARCHITECTS

MCH PROJ # 3110 SCALE REF. DRAWING
 SHEET NO.

A3.1
 NOTES, DETAILS
 SCHEDULE



NEW
RESIDENCE
JMS CUSTOM
HOMES

711 PARKS AVE
ROCKWALL
TEXAS
75087

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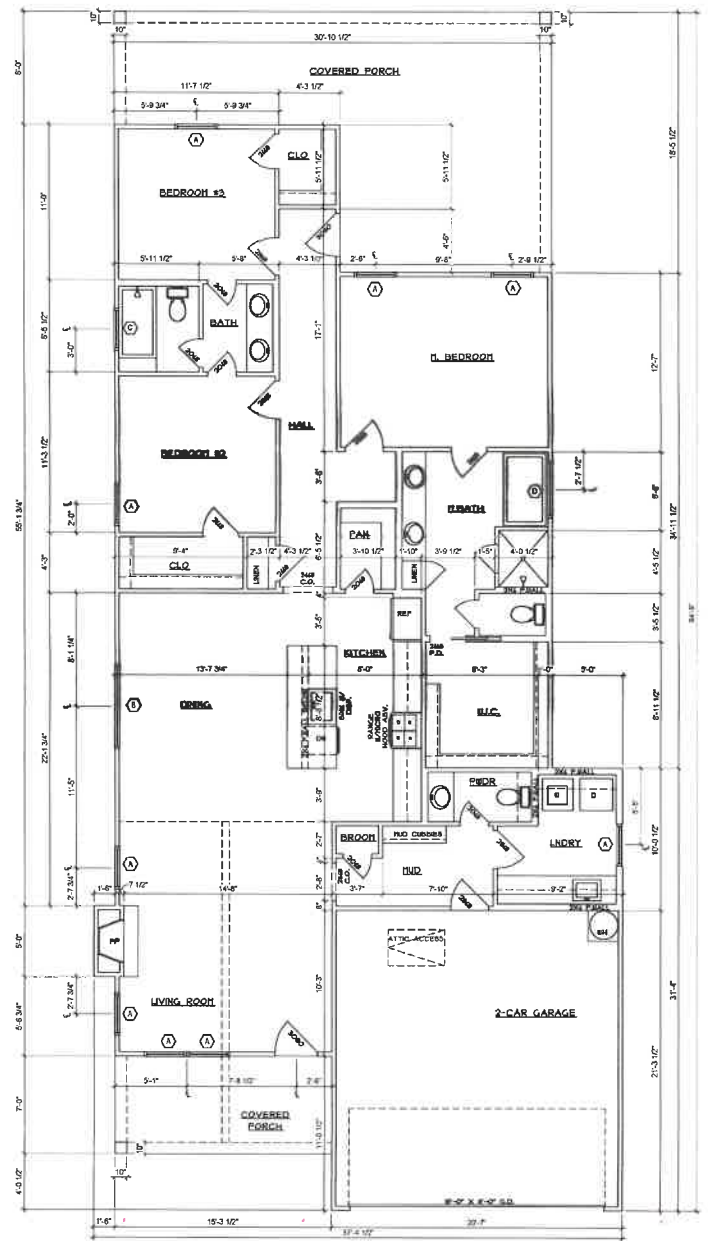
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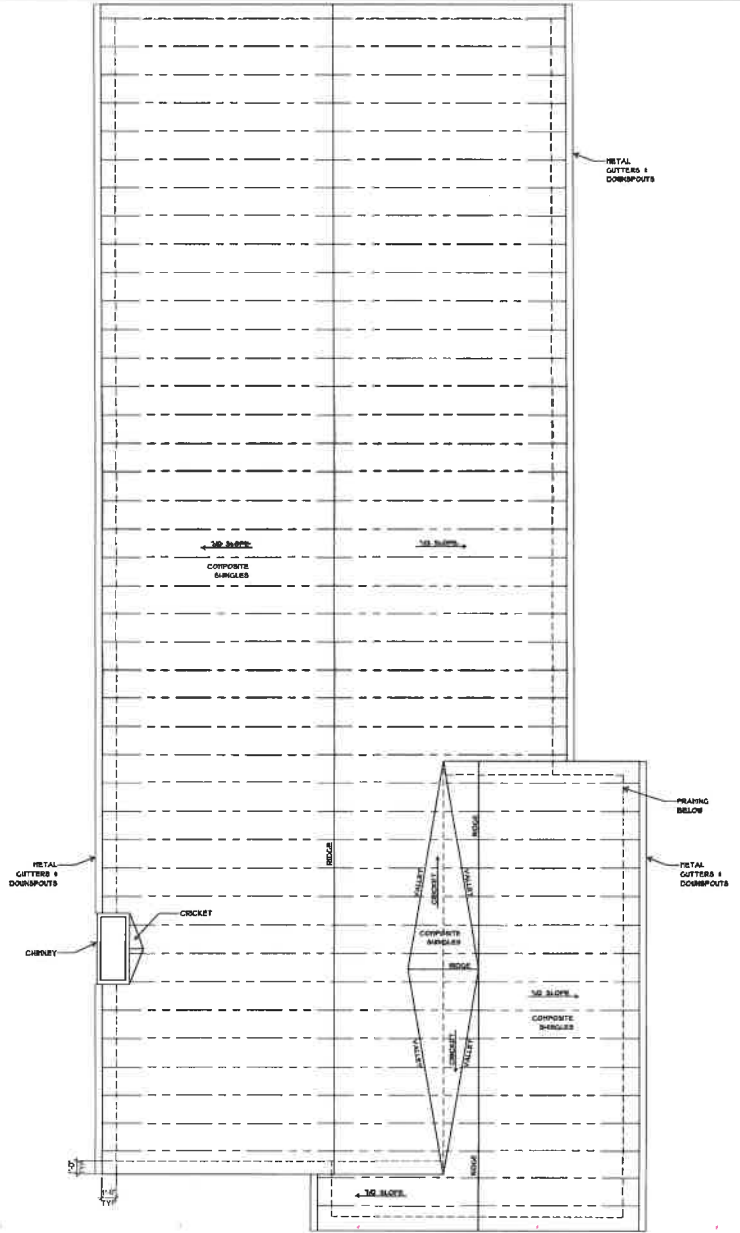
OWNER: JAMES OLVA
CONTRACTOR: JAMES OLVA
DESIGNER: FANNING PHELPS DESIGN

ARCH PROJ # 2010
SCALE REF DRAWING
SHEET NO

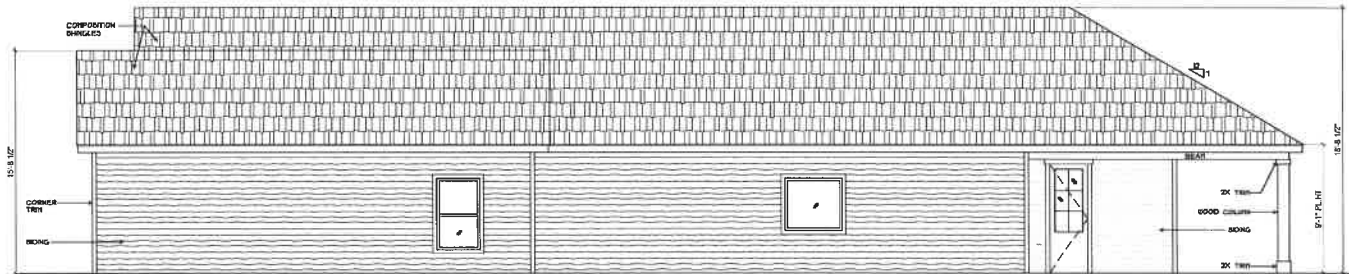
A3.2
FLOOR & ROOF PLAN



01 FLOOR PLAN
SCALE 1/8"=1'-0"



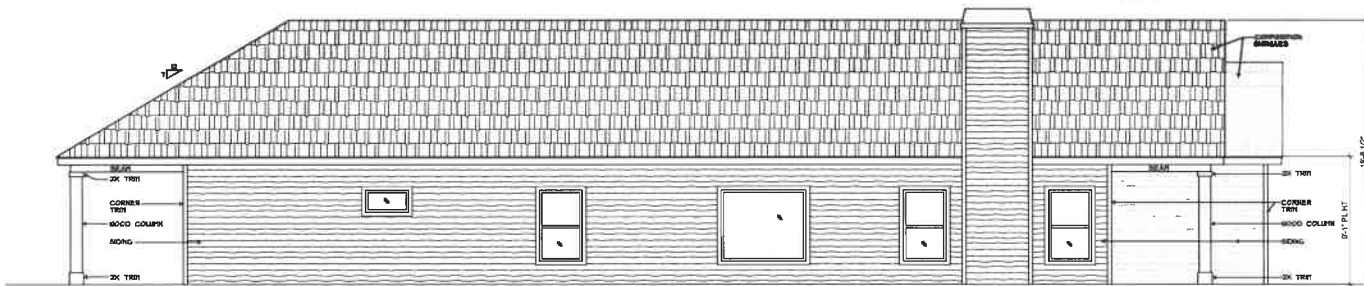
02 ROOF PLAN
SCALE 1/8"=1'-0"



04 NORTH ELEVATION
SCALE 1/4"=1'-0"



03 WEST ELEVATION
SCALE 1/4"=1'-0"



02 SOUTH ELEVATION
SCALE 1/4"=1'-0"



01 EAST ELEVATION
SCALE 1/4"=1'-0"



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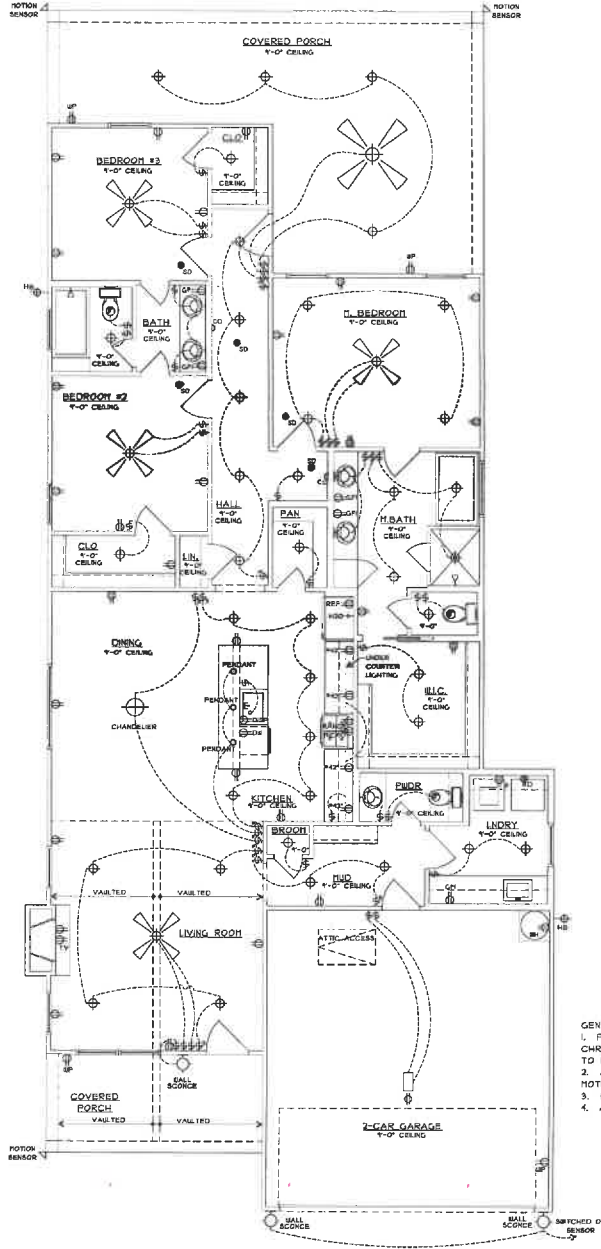
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OWNER
CONTRACTOR: JAVIER SILVA
DESIGNER: JAMES PHILLIPS

ARCH PROJ #	SCALE
2100	REF DRAWING

SHEET NO
A5.1
ELEVATIONS



- GENERAL NOTES.**
1. PROVIDE SOFFIT OUTLETS FOR CHRISTMAS LIGHTING ON PORCH & PATIO TO BE ON A SWITCH OR TIMER.
 2. ALL NOTION SENSOR TO BE BOTH NOTION AND SWITCHED.
 3. PROVIDE ADEQUATE ATTIC LIGHTING.
 4. ALL CEILING TO BE 8'-0" U.N.O.

- ELECTRICAL NOTES:**
- 1) TOBENET LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
 - 2) RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE TYPICAL LINE SPACING IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12' UNLESS NOTED OTHERWISE ON PER-AREA SPECIFIC CODES.
 - 3) ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI) AND AS NOTED ON THE DRAWINGS.
 - 4) OUTLET BOXES IN WALL BETWEEN THE LIVING AREA & THE GARAGE SHALL BE METAL OR U.L. APPROVED PLASTIC.
 - 5) UNDER DETECTOR SHALL BE PLACED NO MORE THAN 12" FROM CLO AND 3'-0" FROM DUCT OPENINGS. DETECTORS SHALL BE PERMANENTLY WIRING AND W/CONNECTED. PROTECT ALL SLEEPING AREAS PER CODE.
 - 6) SWITCH PLATES TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH TYPICAL.
 - 7) ALL LIGHT FIXTURES (SMALL APPLIANCES CIRCUITS) SHALL BE PROVIDED TO SERVE THE KITCHEN NOOK & DINING AREAS. THESE CIRCuits ARE TO HAVE NO OTHER OUTLETS. CONFORM TO NEC ART. 210.23(C).
 - 8) ALL LIGHT FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED WITHIN A MAXIMUM OF 1'-0" FROM ALL SHELVING.
 - 9) PROVIDE 100 AMP ELECTRICAL SERVICE PANEL WITH METER SLOUP.
 - 10) PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.
 - 11) PROVIDE OPTIONAL ELECTRICAL TO MASTER BATH THE BATH AS REQUIRED FOR FUTURE WHIRLPOOL HOOK UP.

ELECTRICAL SCHEDULE	
SYMBOL	DESCRIPTION
⊞	SMOKE FOLE SWITCH
⊞	3-WAY SWITCH
⊞	150V OUTLET
⊞	200V OUTLET
⊞	RECESSED CAN FIXTURE
⊞	PENDANT FIXTURE
⊞	SCENE
⊞	EXHAUST FAN
⊞	COVER OR UNDERCOUNTER LIGHTING
⊞	SMOKE DETECTOR
⊞	CO DETECTOR
⊞	VP—VENDOR PROOF
⊞	WR—WEATHER PROOF
⊞	GF—GROUND FAULT INTERRUPTOR
⊞	LV—LOW VOLTAGE
⊞	OS—OUTSIDE
⊞	OE—CABLE EXPOSURE
⊞	DM—DIRECT WIRE

NOTE: ALL OUTLETS IN KITCHEN, GARAGE AND OUTDOORS TO BE GFI.



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OWNER: JAVIER SILVA
 CONTRACTOR: JAVIER SILVA
 973.871.3442
 DESIGNER: NATE PHILLIPS
 PHILLIPS ARCHITECTS, INC.
 216.262.6754

ARCH. PROJ. # 2119 SCALE REF. DRAWING

SHEET NO.

A6.1
 POWER PLANS



01 FIRST FLOOR POWER PLAN
 SCALE 1/4"=1'-0"