



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 512 Dickey St., Rockwall, Tx. 75087

SUBDIVISION Canup LOT 22 BLOCK \_\_\_\_\_

GENERAL LOCATION An Addition to the town of Rockwall

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE 1.0620 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Julius Waffer  APPLICANT \_\_\_\_\_

CONTACT PERSON Julius Waffer CONTACT PERSON \_\_\_\_\_

ADDRESS 609 S. Goliad unit 2275 ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Rockwall, Texas 75087 CITY, STATE & ZIP \_\_\_\_\_

PHONE 972-768-1196 PHONE \_\_\_\_\_

E-MAIL Jwaffer2@gmail.com E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Julius Waffer [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

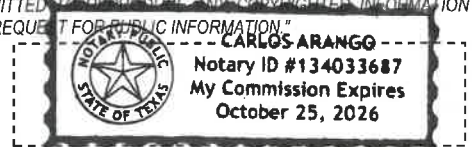
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13 DAY OF March, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF March, 2023

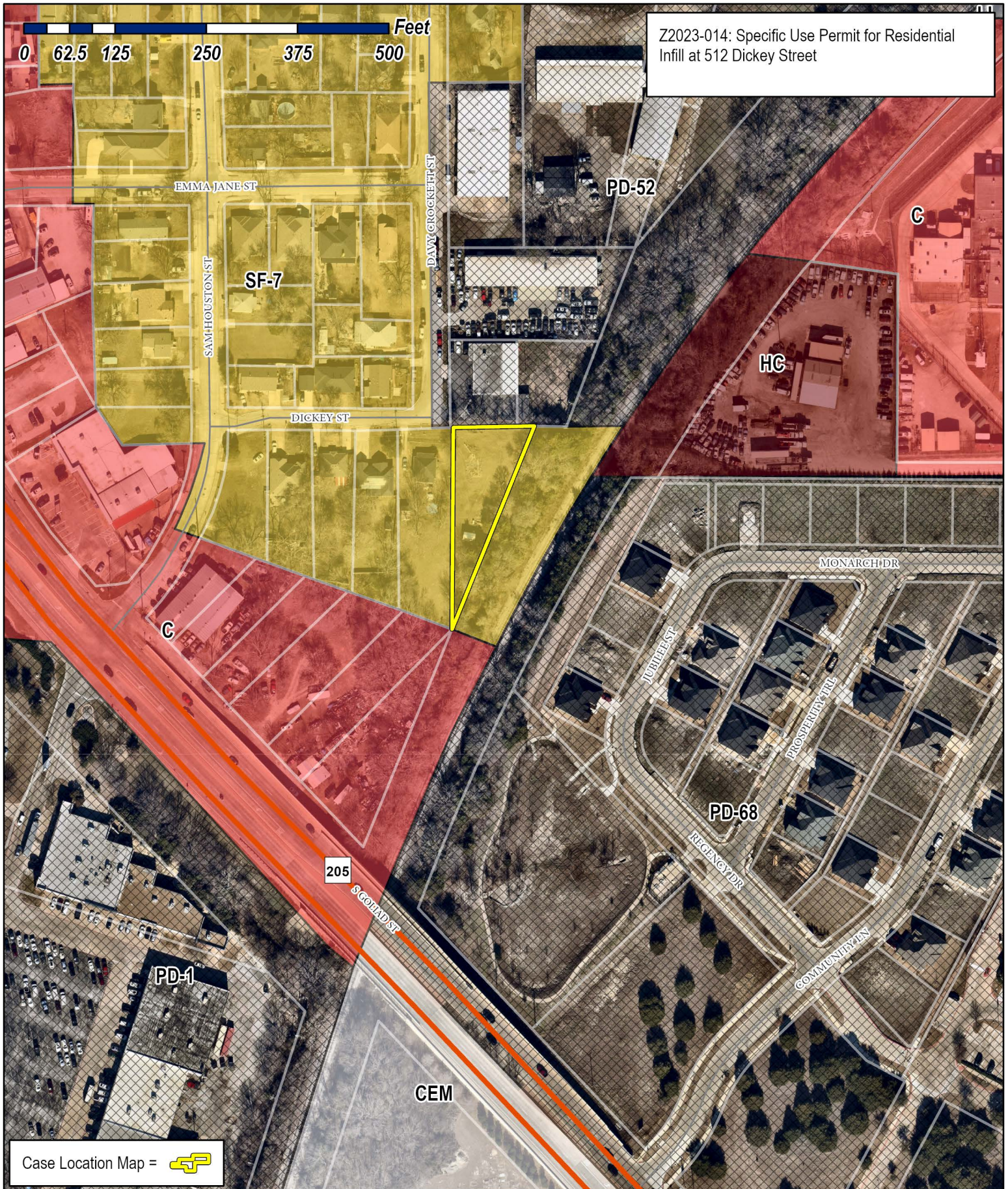
OWNER'S SIGNATURE


Julius Waffer  
Carlos Arango

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10-25-2026



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

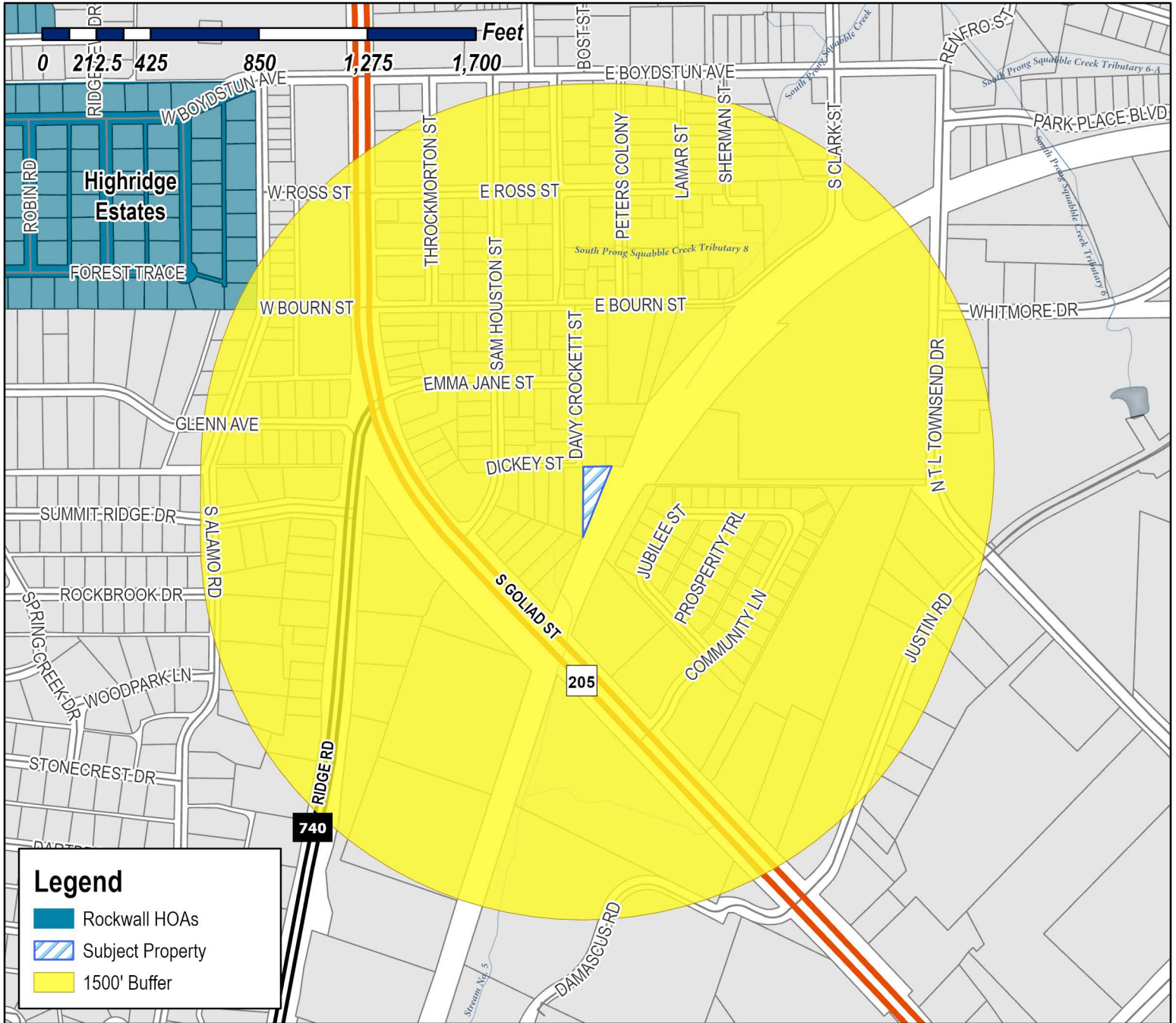




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**Case Number:** Z2023-014  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 512 Dickey Street



**Date Saved:** 3/14/2023

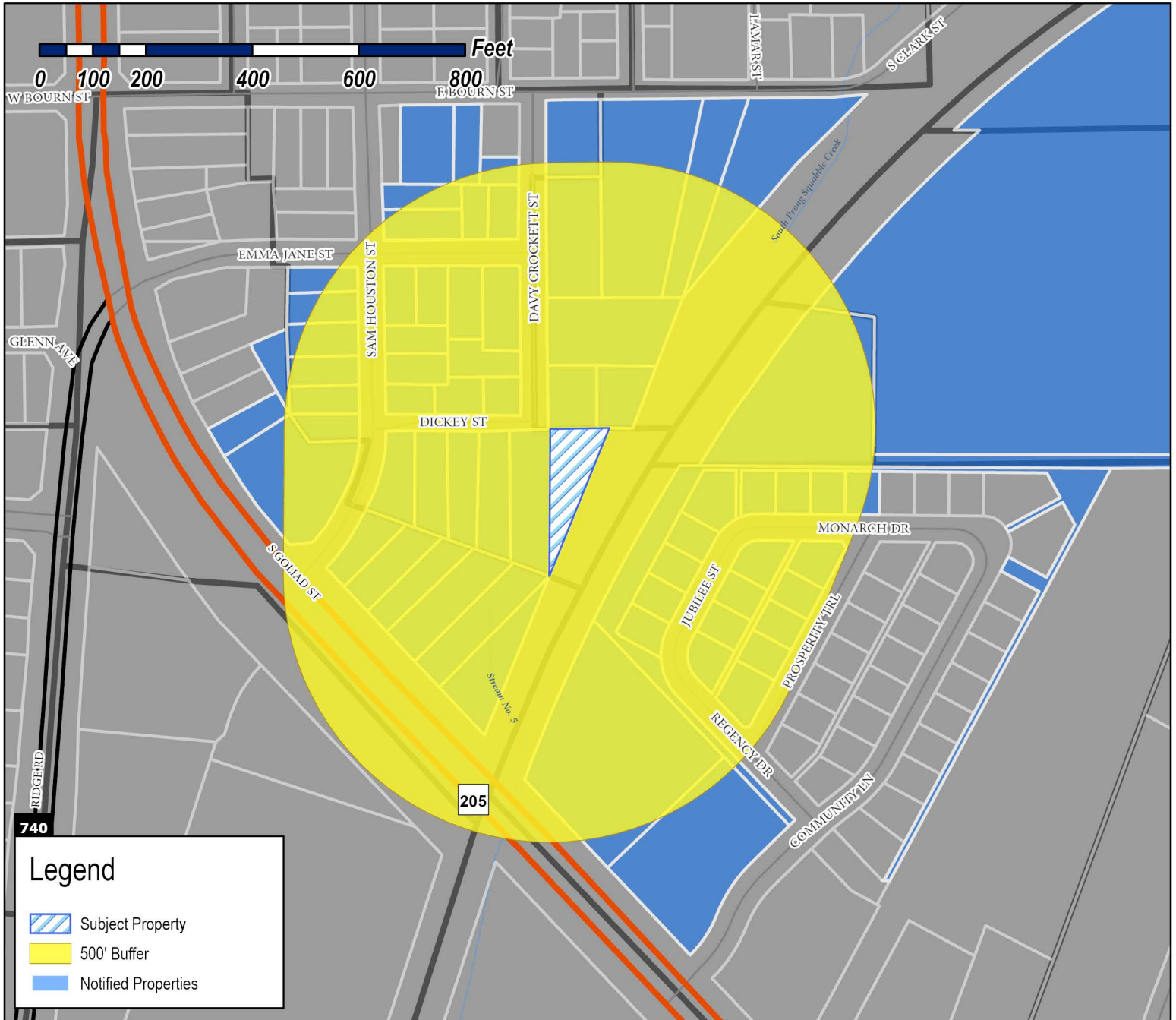
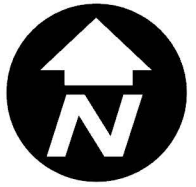
For Questions on this Case Call (972) 771-7745



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For Questions on this Case Call: (972) 771-7746



RESIDENT  
1005 SAM HOUSTON  
ROCKWALL, TX 75087

REEDER PERRY R AND JIMMIE  
1006 DAVY CROCKETT ST  
ROCKWALL, TX 75087

MALAVE BRENDA L  
1006 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
1007 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1008 SAM HOUSTON  
ROCKWALL, TX 75087

ANTHONY ARENIA ANN &  
WILMER HUMPHREY & CHARLOTTE M TRUETT &  
JAMES EARL BROWN  
1008 DAVY CROCKETT ST  
ROCKWALL, TX 75087

CASTILLO PEDRO  
1009 SAM HOUSTON ST  
ROCKWALL, TX 75087

ROCKWALL COUNTY  
C/O COUNTY TREASURER  
101 E RUSK ST SUITE 101  
ROCKWALL, TX 75087

RESIDENT  
1010 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1011 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
1012 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1013 S GOLIAD  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

POTTS DANNY & VONDA  
1100 T L TOWNSEND DR  
ROCKWALL, TX 75087

RESIDENT  
1101 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1105 S GOLIAD  
ROCKWALL, TX 75087

LUKE LINDA FAYE  
1109 S GOLIAD ST  
ROCKWALL, TX 75087

ANDERSON ALLEN  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

ANDERSON ALLEN  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

RESIDENT  
1275 S GOLIAD ST  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH, 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1404 RIDGE ROAD  
ROCKWALL, TX 75087

EFENEY WILLIAM M  
1406 S LAKESHORE DR  
ROCKWALL, TX 75087

LRG GROUP LLC  
202 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
206-207 EMMA JANE ST  
ROCKWALL, TX 75087

GE QIQING AND  
JINGJINGZHANG  
207 GASPAR  
IRVINE, CA 92618

JOBE BRYAN  
2432 BELLVIEW  
TYLER, TX 75709

WAFFER JULIUS  
3002 WELDON LN  
ROYSE CITY, TX 75189

RESIDENT  
302 EMMA JANE  
ROCKWALL, TX 75087

RESIDENT  
304 EMMA JANE  
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-  
HERNANDEZ  
304 E BOURN ST  
ROCKWALL, TX 75087

RESIDENT  
306 BOURN AVE  
ROCKWALL, TX 75087

ELLERD TERESA  
308 EMMA JANE ST  
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N  
309 EMMA JANE ST  
ROCKWALL, TX 75087

RESIDENT  
310 EMMA JANE  
ROCKWALL, TX 75087

JONES LENA EST  
C/O CHARLES R HUMPHREY  
405 ER ELLIS  
ROCKWALL, TX 75087

WALTER MARY  
408 E BOURN ST  
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G  
418 E BOURN ST  
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP  
418 E BOURN ST  
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G  
418 E BOURN ST  
ROCKWALL, TX 75087

LIU HOWARD HEYUN  
4577 JAGUAR DR  
PLANO, TX 75024

MATHIS DEBRA L  
504 DICKEY ST  
ROCKWALL, TX 75087

RUSZKOWSKI SKYLER E  
506 DICKEY STREET  
ROCKWALL, TX 75087

RODRIGUEZ MARIA  
507 DICKEY ST  
ROCKWALL, TX 75087

BROWN GEORGIA  
508 DICKEY ST  
ROCKWALL, TX 75087

SALGADO HAROLD G  
510 DICKIE ST  
ROCKWALL, TX 75087

RESIDENT  
512 DICKEY ST  
ROCKWALL, TX 75087

EAST SHORE J/V  
5499 GLEN LAKES DR STE 110  
DALLAS, TX 75231

THOMAS LOU BERTHA  
602 JUBILEE STREET  
ROCKWALL, TX 75087

RESIDENT  
603 JUBILEE ST  
ROCKWALL, TX 75087

RESIDENT  
604 PROSPERITY TR  
ROCKWALL, TX 75087

RESIDENT  
606 JUBILEE ST  
ROCKWALL, TX 75087

RESIDENT  
607 JUBILEE ST  
ROCKWALL, TX 75087

RESIDENT  
608 PROSPERITY TR  
ROCKWALL, TX 75087

RESIDENT  
610 JUBILEE ST  
ROCKWALL, TX 75087

RESIDENT  
611 JUBILEE ST  
ROCKWALL, TX 75087

ALFRED T WILLIAMS AND PATRICIA M WILLIAMS  
REVOCABLE LIVING TRUST  
PATRICIA M WILLIAMS - SURVIVOR TRUSTEE  
612 PROSPERITY TRL  
ROCKWALL, TX 75087

MARET WENDY A  
614 JUBILEE STREET  
ROCKWALL, TX 75087

RESIDENT  
615 JUBILEE ST  
ROCKWALL, TX 75087

RESIDENT  
616 PROSPERITY TR  
ROCKWALL, TX 75087

RESIDENT  
618 MONARCH DR  
ROCKWALL, TX 75087

WINCH TERRI L  
620 PROSPERITY TRAIL  
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND  
MARVIN RAY BRANNON ETAL  
6819 CLIFFWOOD DR  
DALLAS, TX 75237

RESIDENT  
703 MONARCH DR  
ROCKWALL, TX 75087

RESIDENT  
707 MONARCH DR  
ROCKWALL, TX 75087

RESIDENT  
711 MONARCH DR  
ROCKWALL, TX 75087

RESIDENT  
713 MONARCH DR  
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH  
7903 FERGUSON RD  
DALLAS, TX 75228

THE STANDARD MCP LTD  
8235 DOUGLAS AVENUE SUITE 1030  
DALLAS, TX 75225

DENTON GLENDA K & LANCE  
900 DAVY CROCKETT  
ROCKWALL, TX 75087

JPH ROCKWALL LLC  
901 DAVY CROCKETT STREET  
ROCKWALL, TX 75087

RESIDENT  
902 DAVY CROCKETT  
ROCKWALL, TX 75087

RESIDENT  
903 DAVY CROCKETT  
ROCKWALL, TX 75087

DIXON MARSHALL WADE  
905 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
907 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
950 TOWNSEND RD  
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC  
P. O. BOX 853  
WYLIE, TX 75098

sales

owner

owner

Any changes after \_\_\_\_\_ will result in a \$200 Change Order fee, or (b) a \$1000 Change Order fee for changes affecting the Elevations, Foundation, or Framing.



### FRONT ELEVATION

AREAS	
Heated Area	
1st Floor Livable	1662 SF
	1662 SF
Unheated Area	
Front Porch	37 SF
Garage	495 SF
Patio	205 SF
	737 SF
Total	2399 SF

SHEET INDEX	
SHEET NO.	SHEET NAME
0-Cover	
A0-CV	Cover
A-SITE	Site Plan
1-Architectural	
A1.0	Slab Plan
A1.1	1st Floor Plan
A1.1a	1st Floor - Room Finish
A1.1b	1st Floor Plan - Details
A1.1c	Thermal Envelope
A1.3	Interior Elevations
A1.5	Roof Plan
A1.6	Project Details
A1.7	Project Details
A2.0	Elevations
A2.1	Elevations
2-Electrical	
E-1.0	1st Floor Electrical Plan
3-Structural	
F-1.1	1st Floor Ceiling Framing
F-3.0	Roof Framing Plan

### EXTERIOR VENEER PERCENTAGES

Exterior Veneer Type	Area	% of Total Exterior Area
Brick Veneer	883 SF	59%
HardiePlank Siding - 8" Exposure	611 SF	41%
Grand total	1494 SF	

### NOTATIONS

### GENERAL NOTES

FLOOR PLAN		CABINETS	
SH.	SHELVES	3DB	3 DRAWER BASE
S & R	SHELF & ROD	BAC	BASE ANGLE CABINET
2S & 2R	2 SHELVES & 2 ROD	BEC	BASE END CABINET
LT.	LIGHT	BTC	BASE TRANSITIONAL CABINET
CLG.	CEILING	BC	BROOM CABINET
SLP.	SLOPE	BF	BASE FILLER
SR OPG.	SHEETROCK OPENING	BMWC	BASE MICROWAVE CABINET
REF.	REFRIGERATOR	BVB	BASE VEGETABLE BIN
1 PC. R&O	1 PIECE RANGE & OVEN	CP	CHEF'S PANTRY
DW	DISHWASHER	CDB	CORNER DRAWER BASE
DISP.	GARBAGE DISPOSAL	CTB	COOKTOP BASE w/ DRAWERS
SH	SINGLE HUNG WINDOW	CWCAG	CORNER APPLIANCE GARAGE
HS	HORIZONTAL SLIDER WINDOW	DSB	DIAGONAL SINK BASE
FX	FIXED GLASS	LHC	LINEN HAMPER CABINET
TEMP.	TEMPERED GLASS	LSB	LAZY SUSAN BASE
OBSC.	OBSCURE GLASS	PC	PANTRY CABINET
DL	DIVIDED LIGHT	PB	PENINSULA BASE
S.W.P.	STRUCTURED WIRE PANEL	RBB	REVERSIBLE BLIND BASE
W.D.P.	WATER DISTRIBUTION PANEL	REP	REFRIGERATOR END PANEL
		SB	SINK BASE
		TB	TRAY BASE (no drawer or shelves)
		UC	UTILITY CABINET
		UOC	UNIVERSAL OVEN CABINET
		-BPD	BI-PARTING DOORS
		-FAS	FULL ADJUSTABLE SHELF
		-FH	FULL HEIGHT DOOR (NO DRAWERS)
		-FF	FACE FRAME ONLY
		-HC	HANDICAP (6" TOE-KICK)
		-NS	NO SHELF
		-STK	SLIDE-OUT TRAY KITS
		-TC	TRASH CAN PULL-OUT
		-TOT	TILT-OUT TRAY
		-WBK	WICKER BASKET
		-SPO	SPICE PULL-OUT
		-UT	UTENSIL PULL-OUT
		CVSB	COMBINATION VANITY SINK BASE
		CVSD	COMBINATION VANITY SINK DRAWER
		FD	FILE DRAWER
		LHC	LINEN HAMPER CABINET
		VB	VANITY BASE (NO SINK)
		VDB	VANITY DRAWER BASE
		VDSK	VANITY DESK DRAWER
		VSB	VANITY SINK BASE
		VSDB	VANITY SINK DRAWER BASE

• EXTERIOR WALL DIMENSIONS ARE TO STUD AND REFLECT 1/2" INSET FROM EDGE OF SLAB OR MASONRY LEDGE. SEE SLAB PLAN FOR OVERALL DIMENSIONS.

### JOB SPECIFIC NOTES:

- SPRAY FOAM INSULATION
- SEE SPECS FOR SLAB START HEIGHT

FRAMING		ELEVATIONS		TILE LAYOUT OPTIONS	
U.F.A.	UNDER FLOOR ABOVE	F.F.	FINISH FLOOR	DIAGONAL	
U.W.A.	UNDER WALL ABOVE	PLT.	PLATE HEIGHT	OFFSET	
F.R.B.	FLOATING ROOF BRACE	T.POST	TURNED POST	STACKED	
O.H.D.	OVERHEAD DOOR	COL.	COLUMN		
P.S.F.	POUNDS PER SQUARE FOOT	DIA.	DIAMETER		
B.C.I.	BOISE CASCADE I-JOIST	6x6	6" SQUARE POST		
L.V.L.	LAMINATED VENEER LUMBER	EXP.	EXPANSION		
		ABV.	ABOVE		
		CLG.	CEILING		
		HDR.	HEADER		
		SLP. CLG.	SLOPE CEILING		
		RIDGE VENT	RIDGE MOUNTED ROOF VENT		

FILE COPY

4011

HARRISBURG A

FC-03/01/2023 RH

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**TILSON**  
CUSTOM HOME BUILDERS

Tilson Home Corporation 2023, ©

MR. JULIUS WAFFER  
Job #1231019  
Rockwall County, City of Rockwall

A0-CV



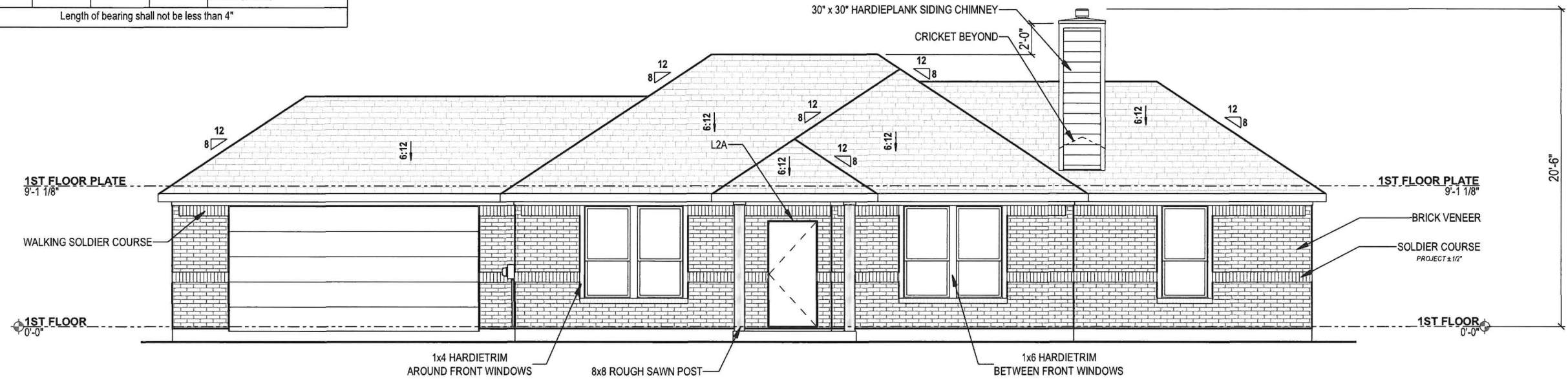
sales

owner  
owner

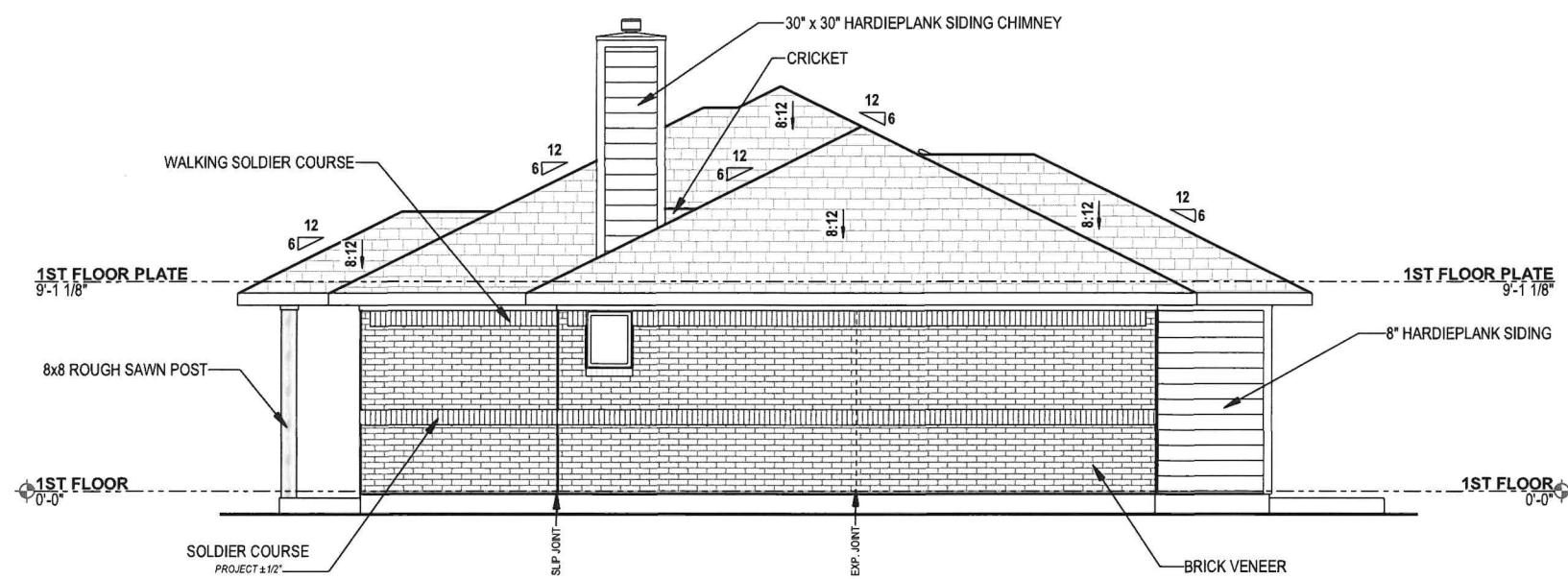
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STEEL LINTEL SELECTION					
Type	Size	HEIGHT OF MASONRY ABOVE LINTEL			NOTES
		Up to 5'-0"	5'-1" to 12'	12'-1" to 20'	
MAXIMUM CLEAR SPAN OF LINTELS					
L1	3x3x1/4"	6'-0"	4'-6"	3'-0"	
L2	4x3x1/4"	8'-0"	6'-0"	4'-6"	
L2A	3x4x1/4"	6'-0"	4'-6"	3'-0"	Wide flange installed horizontally
L3	6x4x5/16"	14'-0"	9'-6"	7'-0"	18'-10" (for slopes less than 7:12)
L4	6x4x5/16" <small>(drilled for 1/2"x4-1/2" bolts @ 18" o.c.)</small>	18'-2"	18'-2"	18'-2"	
L5	6x4x5/16"	14'-0"	9'-6"	7'-0"	18'-10" (stops required on slopes 7:12 or greater)

Length of bearing shall not be less than 4"



**1 FRONT ELEVATION**  
1/8" = 1'-0"



**2 RIGHT ELEVATION**  
1/8" = 1'-0"

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HARRISBURGA

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**TILSON**  
CUSTOM HOME BUILDERS

Tilson Home Corporation 2023 ©

**MR. JULIUS WAFFER**  
Job #1231019  
Rockwall County, City of Rockwall

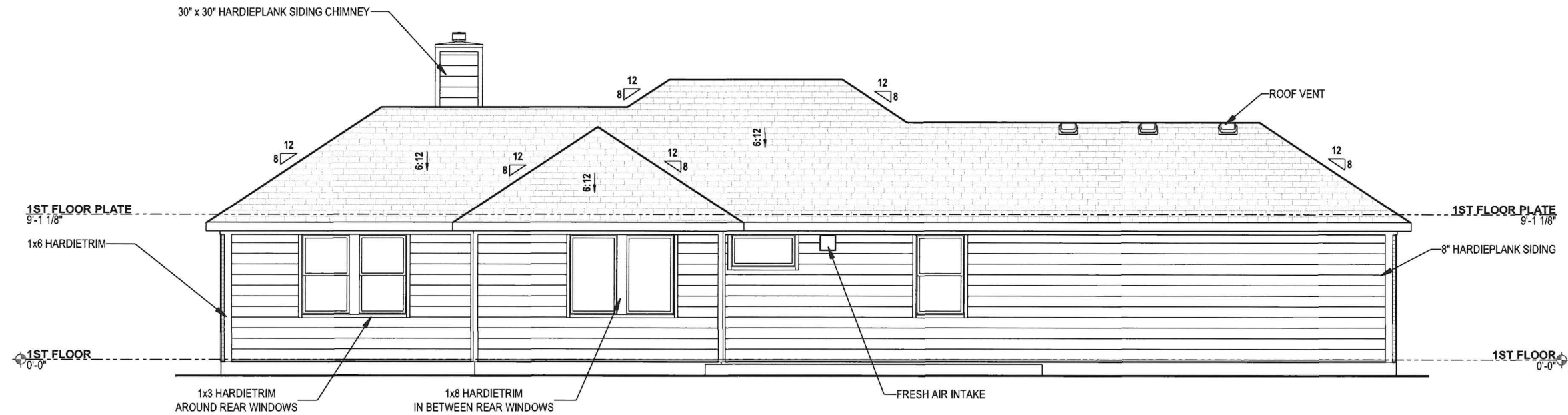
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sales

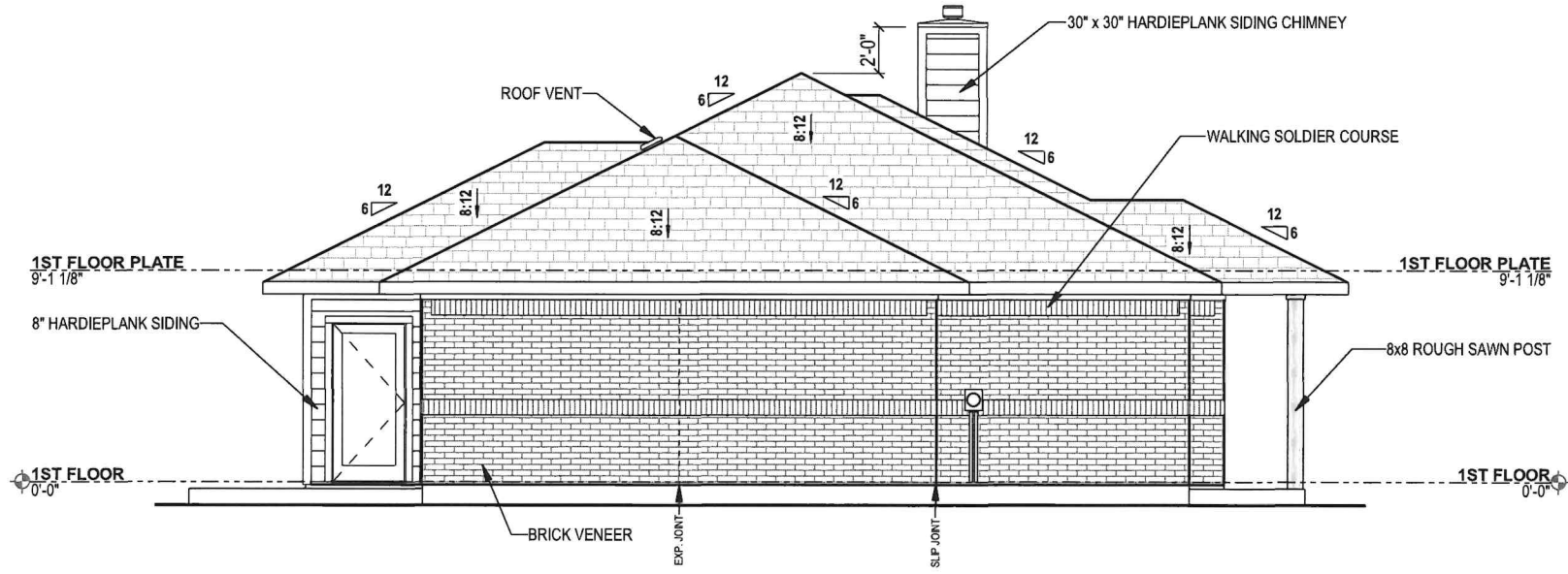
owner

owner

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**1 REAR ELEVATION**  
1/8" = 1'-0"



**2 LEFT ELEVATION**  
1/8" = 1'-0"

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**MR. JULIUS WAFFER**  
Job #1231019  
Rockwall County, City of Rockwall

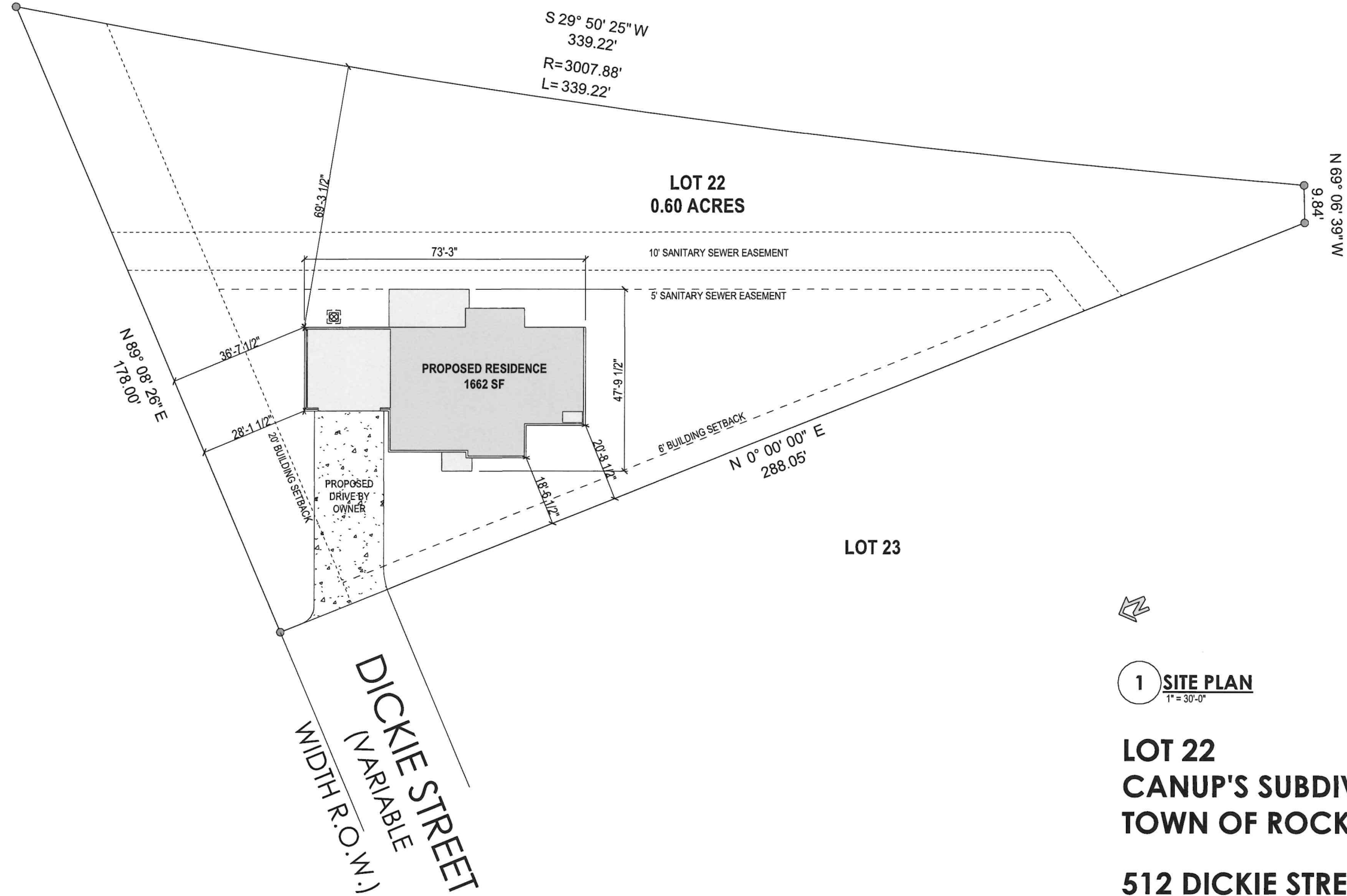
**A2.1**

sales

owner

owner

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**1 SITE PLAN**  
1" = 30'-0"

**LOT 22**  
**CANUP'S SUBDIVISION**  
**TOWN OF ROCKWALL ADDITION**

**512 DICKIE STREET**  
**ROCKWALL, TX 75087**

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HARRISBURG A

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CUSTOM HOME BUILDERS

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**MR. JULIUS WAFFER**  
**Job #1231019**  
**Rockwall County, City of Rockwall**

**A-SITE**