



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50

LOT

BLOCK

GENERAL LOCATION Southeast of Intersection Mims Road & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District

PROPOSED USE Single Family

ACREAGE 140.5 Acres

LOTS [CURRENT] 2

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Vicmar I Ltd & (76195)

APPLICANT Michael Joyce Properties

CONTACT PERSON

CONTACT PERSON Meredith Joyce

ADDRESS 105 Kaufman St

ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP Rockwall, Tx 75087

PHONE

PHONE 512-694-6394

E-MAIL

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Virginia W. Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,307.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

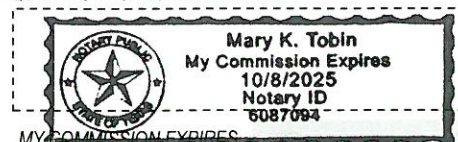
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

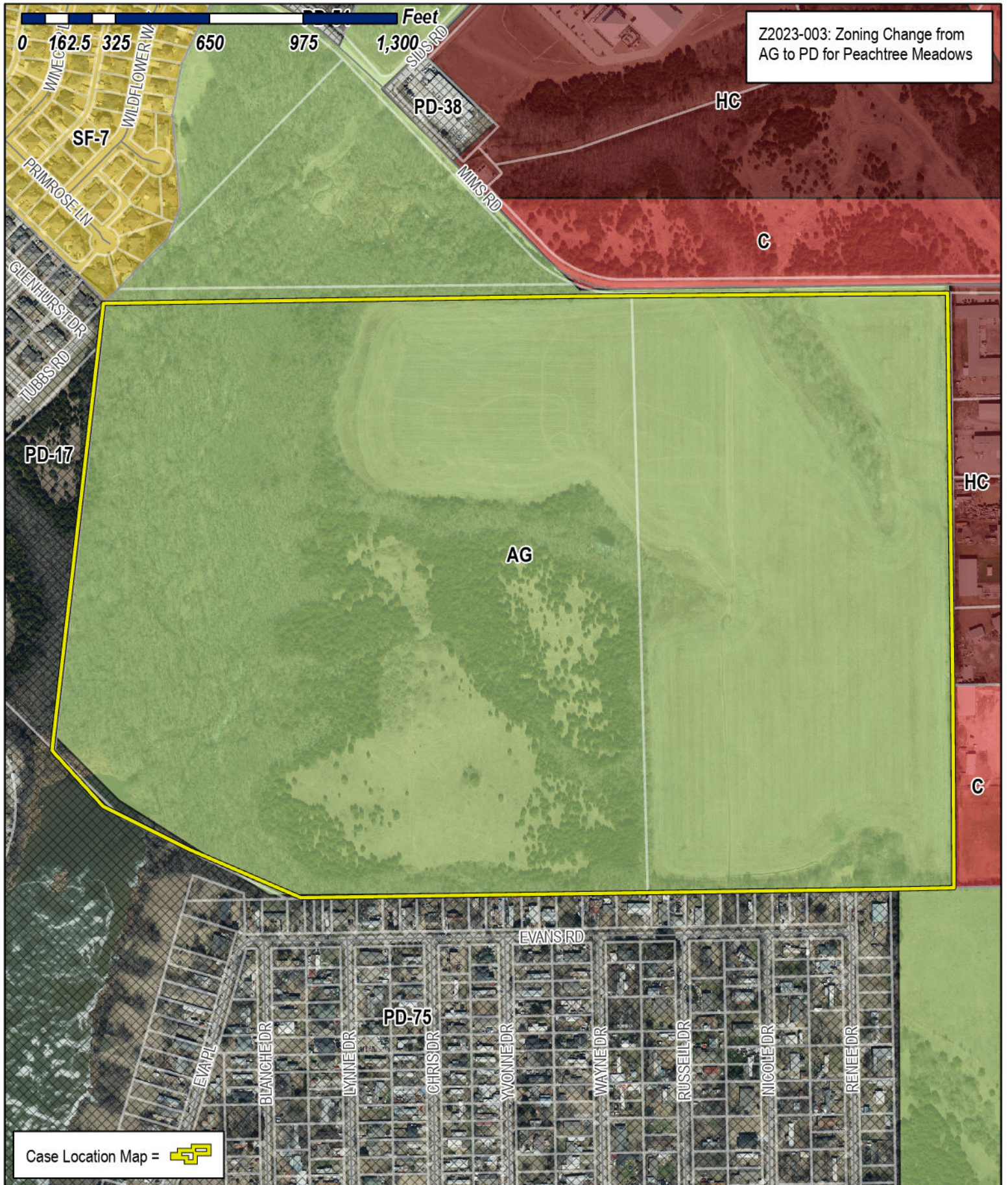
OWNER'S SIGNATURE

Virginia W. Petersen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary K. Tobin





Z2023-003: Zoning Change from AG to PD for Peachtree Meadows

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

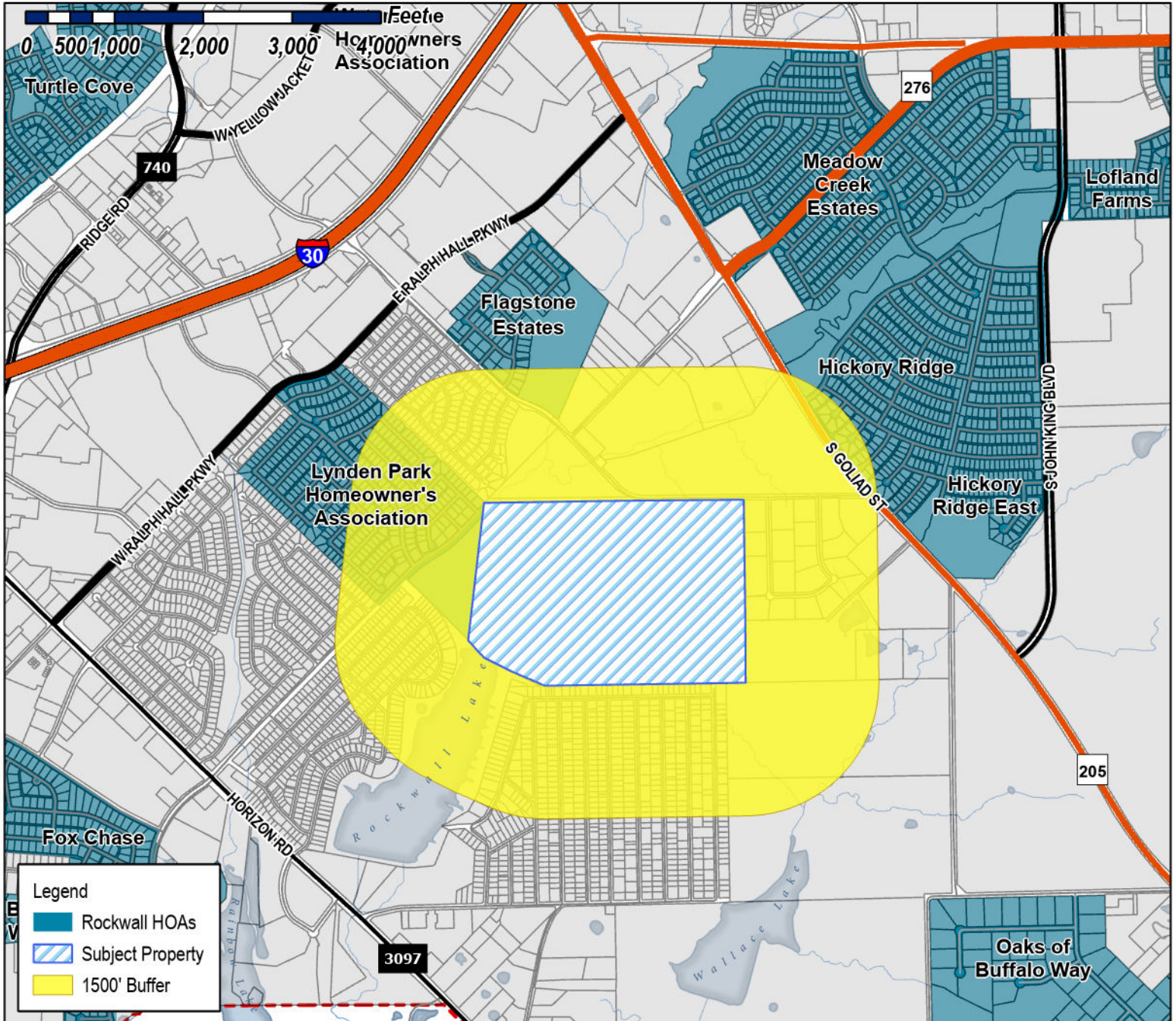




City of Rockwall

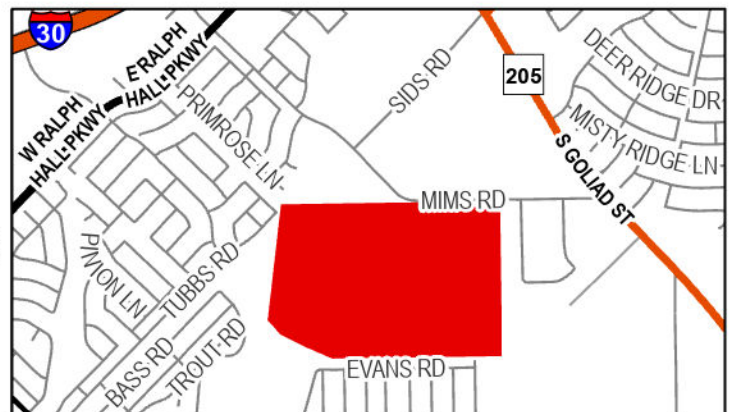
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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745

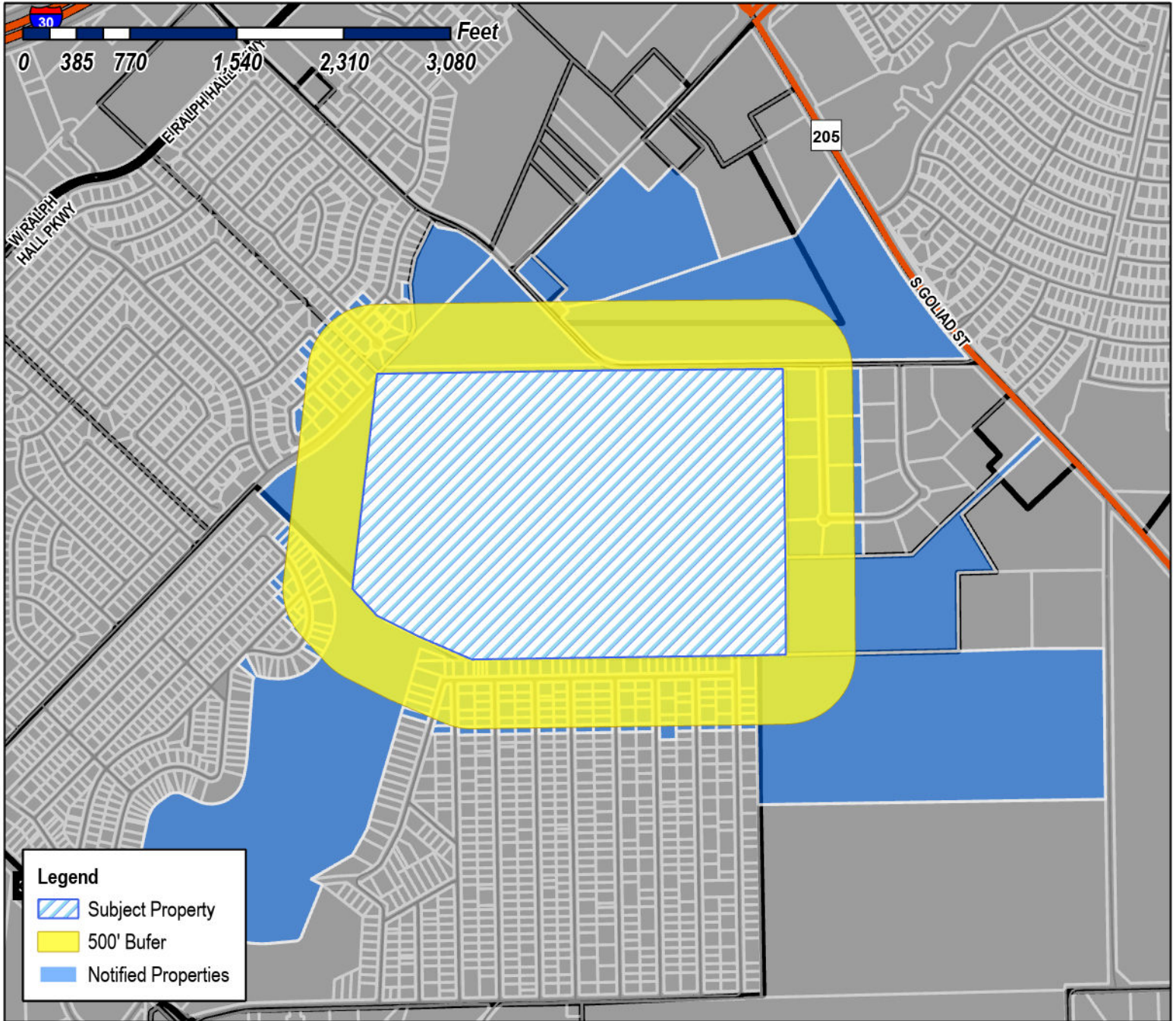




City of Rockwall

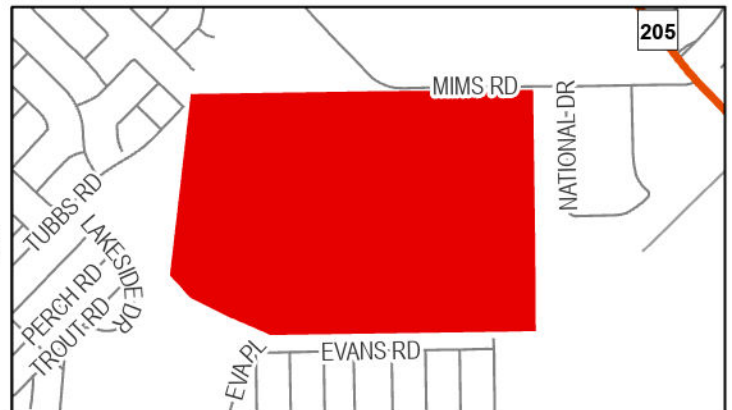
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Case Address: SW of Mims Road and S Goliad Street

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 For Questions on this Case Call (972) 771-7745



OCCUPANT
599 TROUT RD
ROCKWALL, TX 75032

FRANKS SHERI DENISE
401 FOREST TRCE
ROCKWALL, TX 75087

OCCUPANT
609 TROUT RD
ROCKWALL, TX 75032

JANG TO LIVING TRUST
WILLIAM JANG AND STEFANIE TO- TRUSTEES
11515 205TH STREET
LAKEWOOD, CA 90715

HERNANDEZ BENJAMIN
509 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
485 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
532 LYNNE DR
ROCKWALL, TX 75032

ANAYA JUAN C & RAUL
439 PERCH RD
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
521 YVONNE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

GONZALEZ NORMA PATRICIA SOLIS
388 EVANS RD
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA
400 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
498 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
557 RENEE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

OCCUPANT
917 LAKESIDE DR
ROCKWALL, TX 75032

LORENZO JOSE LUIS &
ANA MARIA GRANDOS
8937 WHISHERS RD
QUINLAN, TX 75474

GUTIERREZ NELSON ANTONIO
933 LAKESIDE DR
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
548 NICOLE DR
ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
496 NICOLE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

OCCUPANT
485 RUSSELL DR
ROCKWALL, TX 75032

TELL MARK ALLEN
M/R
, TX

DELGADO JUAN E & MARIA L
541 YVONNE DR
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE DR
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

VALDEZ EUSEBIO
505 EVANS RD
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
534 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
517 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

OCCUPANT
488 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ DANIEL CONTRERAS AND
PATRICIA CARREON DE CONTRERAS
488 BLANCHE DRIVE
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
499 WAYNE DR
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
612 TROUT RD
ROCKWALL, TX 75032

PHAM DAN Q
5158 COUNTY ROAD 3115
CAMPBELL, TX 75422

OCCUPANT
508 RENEE DR
ROCKWALL, TX 75032

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

OCCUPANT
594 EVA
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

OCCUPANT
602 EVA
ROCKWALL, TX 75032

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

DEJESUS SANTOS
616 EVA
ROCKWALL, TX 75032

OCCUPANT
582 EVA
ROCKWALL, TX 75032

GARCIA HUGO IVAN DEL AND
JUANA GUZMAN
582 EVA PLACE
ROCKWALL, TX 75032

FAVIAN IGNACIO
620 TROUT RD
ROCKWALL, TX 75032

JONES JAMES & MARY
721 BLUEBELL CT
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
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494 LYNNE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

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494 LYNNE DR
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DR
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
488 WAYNE DR
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND FANIA GARCIA
494 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

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1070 N BEN PAYNE RD
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MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

SUAREZ ERIKA & ALFREDO ESTRADA
497 BLANCHE DR
ROCKWALL, TX 75032

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ROCKWALL, TX 75032

LICEA JOSE DELFINO
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ROCKWALL, TX 75032

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503 LYNNE DR
ROCKWALL, TX 75032

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514 YVONNE DR
ROCKWALL, TX 75032

BLACK TORO CUSTOM HOMES LLC
1210 CREEK VALLEY
MESQUITE, TX 75181

GAMEZ PETRA K MARTINEZ
406 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
412 EVANS RD
ROCKWALL, TX 75032

KOURINIAN MIKAEL
6924 VALMONT STREET UNIT #9
TUJUNGA, CA 91042

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418 EVANS RD
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING LLC
7331 WESTER WAY
DALLAS, TX 75248

OCCUPANT
452 EVANS RD
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
807 N JOSEPHINE ST
ROYSE CITY, TX 75189

OCCUPANT
464 EVANS RD
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

OCCUPANT
486 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

RETANA JUAN & YENY RUBIO
535 CHRIS DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND ERIKA J
MOLINA-OLVERA
526 NICOLE DR
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
518 RUSSELL DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
503 RENEE DR
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SIERRA ZACARIAS RAMIREZ
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ROCKWALL, TX 75032

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OCCUPANT
528 CHRIS DR
ROCKWALL, TX 75032

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

OCCUPANT
531 YVONNE DR
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
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ROCKWALL, TX 75087

STRICKLAND TARA
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ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
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505 EVANS
ROCKWALL, TX 75032

OCCUPANT
535 BLANCHE DR
ROCKWALL, TX 75032

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4427 FM 550
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OCCUPANT
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ROCKWALL, TX 75032

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LANCASTER, TX 75134

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540 CHRIS DR
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ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

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579 PERCH RD
ROCKWALL, TX 75032

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514 NICOLE
ROCKWALL, TX 75032

OCCUPANT
491 YVONNE DR
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANDRES M
715 PRIMROSE LN
ROCKWALL, TX 75032

LEBLANC BRIAN AND AARON SALAZAR
709 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
3129 WILDFLOWER WAY
ROCKWALL, TX 75032

PROGRESS DALLAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PRICE TIMOTHY F & DIANA M
3137 WILDFLOWER WAY
ROCKWALL, TX 75032

OCCUPANT
496 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
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ROYSE CITY, TX 75189

ALONSO ELEASAR & BENITO GAMEZ
482 WAYNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR
ROCKWALL, TX 75032

MOORE VIVIAN
811 LAKESIDE DR
ROCKWALL, TX 75032

RIDDLE LINDA K
715 BLUEBELL CT
ROCKWALL, TX 75032

GEORGE POLLY A & BENJAMIN E
709 BLUEBELL CT
ROCKWALL, TX 75032

BRIDGMAN SHAWN AND RENEE
728 PRIMROSE LN
ROCKWALL, TX 75032

DIBA ABBAS & RAZIEHALSADAT YAHYAZADEH
MASHHADI
152 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
714 GLENHURST DR
ROCKWALL, TX 75032

DO DAVID KIM
2206 OAK GROVE CIR
GARLAND, TX 75040

ORAVSKY JAMES S & GINGER L
746 BRAEWICK DR
ROCKWALL, TX 75032

WINTERS KEVIN R & STELIANA V
745 GLENHURST DR
ROCKWALL, TX 75032

PIERCE SYLVIA JO
152 HAVEN RIDGE DR
ROCKWALL, TX 75032

BROWN GREGORY J II AND BARBARA J
112 WESTON CT
ROCKWALL, TX 75032

REYES GALIA OLAZABAL & FRANK ALVAREZ
MOYA
945 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
957 LAKESIDE DR
ROCKWALL, TX 75032

RAMIREZ MARTIN AND ALMA DELIA
8250 COLQUITT ROAD
TERRELL, TX 75160

MUPPALA VENKATANARAYANA AND
CHANDRIKA KONDUR
801 LAKESIDE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS FRANCISCO
532 BLANCHE DR
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

AGUILAR ROSALINA
507 BLANCHE DR
ROCKWALL, TX 75032

FLORES JAIME W & MARLENE CASTRO
520 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
506 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

VELASQUEZ LORENA
501 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
495 NATIONAL DR
ROCKWALL, TX 75032

PEOPLES MIKE
PO BOX 41
ROCKWALL, TX 75087

OCCUPANT
433 NATIONAL DR
ROCKWALL, TX 75032

FARRAR SECURITY SYSTEMS INC
PO BOX 2199
ROCKWALL, TX 75087

OCCUPANT
627 NATIONAL DR
ROCKWALL, TX 75032

D & A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

EISENSTEIN JENNIPHER D AND MICHAEL J
157 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
708 GLENHURST DR
ROCKWALL, TX 75032

CHEN CHAI
825 HARLAN CT
MURPHY, TX 75094

OCCUPANT
118 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

OCCUPANT
496 NATIONAL DR
ROCKWALL, TX 75032

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

SITTER KAREEN RUTH
743 PRIMROSE LN
ROCKWALL, TX 75032

TIPPING DORA MARIA
735 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
727 PRIMROSE LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

HARRIS CHAD & MISTY PIERCE
721 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
156 WESTON CT
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT
23974 PARK SORRENTO Suite 300
CALABASAS, CA 91302

ALLMANN CHRISSEY J
126 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
134 WESTON CT
ROCKWALL, TX 75032

RONALD J AND EILEEN P BOTT LIVING TRUST
RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DRIVE
LAKESIDE, CA 92040

STANCIOIU MARIAN & OANA
138 WESTON CT
ROCKWALL, TX 75032

SCARNATI TAMMY AND JAMES T JR
156 HAVEN RIDGE DR
ROCKWALL, TX 75032

OCCUPANT
449 NATIONAL DR
ROCKWALL, TX 75032

FRAUSTO MICKEY & LISA L
PO BOX 928
ROYSE CITY, TX 75189

GULICK ANNA C
734 PRIMROSE LN
ROCKWALL, TX 75032

BUSH BLAKE & LARRY
740 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
718 BLUEBELL CT
ROCKWALL, TX 75032

GREGORY COREY ALAN
25881 SOUTH 655 RD
GROVE, OK 74344

BEASLEY MOLLIE & MEAGAN NUGENT
727 BLUEBELL CT
ROCKWALL, TX 75032

OCCUPANT
626 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENT LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

HEFFLER MICHAEL A
744 PRIMROSE LN
ROCKWALL, TX 75032

HOLLAND JON E
747 PRIMROSE LN
ROCKWALL, TX 75032

CZARNOPYS BENJAMIN J & ROBIN K
746 GLENHURST DR
ROCKWALL, TX 75032

STEWART EMILY D AND BRYON STEWART JR
738 GLENHURST DR
ROCKWALL, TX 75032

SOAITA MARIUS & DANIELA M
732 GLENHURST DR
ROCKWALL, TX 75032

TATEVOSIAN BARKEV S & GUENDOLI
726 GLENHURST DR
ROCKWALL, TX 75032

OCCUPANT
720 GLENHURST DR
ROCKWALL, TX 75032

RENDON NOEL & CHRISTIE
607 W BROAD ST
MANSFIELD, TX 76063

BYERS MARY E TRESPACES- AND JAMES
MICHAEL
745 BRAEWICK DR
ROCKWALL, TX 75032

ROTEN STEVEN NEIL
141 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
145 WESTON CT
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

LOFGREN STEVE G
149 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
153 WESTON CT
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PEACOCK JAY C & ROBYN M
148 WESTON CT
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ
630 EVA
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
150 EVANS RD
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
160 EVANS RD
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

MEJIA RAMIRO
244 EVANS ST
ROCKWALL, TX 75032

OCCUPANT
266 EVANS RD
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
848 SMITH ACRES DR
ROYSE CITY, TX 75189

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS RD
ROCKWALL, TX 75032

BALDERAS GREGORY
310 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
302 EVANS RD
ROCKWALL, TX 75032

VAZQUEZ MARCOS PEREZ
1806 13TH STREET
GALENA PARK, TX 77547

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD
ROCKWALL, TX 75032

RAMIRES RAUL
358 EVANS RD
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD
ROCKWALL, TX 75032

PERALES OSCAR F AND DIANA A
106 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
114 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
LOFLAND CIR
ROCKWALL, TX 75032

SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

OCCUPANT
2922 S HWY205
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
6310 LEMMON AVE STE 202
DALLAS, TX 75209

OCCUPANT
791 LAKESIDE DR
ROCKWALL, TX 75032

KUBIS CINDY
281 N LARAMIE CIR
PILOT POINT, TX 76258

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

BAKER LATONIA
840 LAKESIDE DR
ROCKWALL, TX 75032

TUAZON LINCOLN AND DIVINA
848 LAKESIDE DR
ROCKWALL, TX 75032

PETREY MELODIE A
806 LAKESIDE DR
ROCKWALL, TX 75032

DEL ROSARIO VICTOR & LETICIA
813 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
905 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

OCCUPANT
891 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
855 LAKESIDE DR
ROCKWALL, TX 75032

TURNER DANNY AND NANCY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
877 LAKESDIE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

BOLEN LORNA L &
ROSALIO O SANCHEZ
861 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
869 LAKESIDE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

TURNER DANNY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

OCCUPANT
900 SIDS RD
ROCKWALL, TX 75032

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

RAMIREZ MARIO
908 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
EVANS RD
ROCKWALL, TX 75032

GANUS HUGH
524 SESAME DR
MESQUITE, TX 75149

OCCUPANT
140 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
950 SIDS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

HERREROS BERTOLDO
196 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
170 EVANS RD
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
510 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ CARLOS FRANSISCO CARMONA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

OCCUPANT
125 NATIONAL DR
ROCKWALL, TX 75032

RACK HOLDINGS LLC- 125 NATIONAL SERIES
3021 RIDGE ROAD SUITE A-131
ROCKWALL, TX 75032

BOWERS TAMMY GAIL
630 TROUT RD
ROCKWALL, TX 75032

Exhibit 'D':
Density and Development Standards

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:
- (a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permit *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	11%
B	72' x 120'	8,400 SF	98	34%
C	62' x 120'	7,200 SF	105	36%
D	52' x 120'	6,000 SF	57	19%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Variation in Residential Lot Composition. The allocation of single-family residential lot types may deviate from that in Subsection (2), *Residential Lot Composition and Layout*, provided that the maximum allowed total dwelling units does not exceed 292 units
- (4) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:
- (a) Residential. Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 2.266 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see <i>Concept Plan</i>) ►	A	B	C	D
Minimum Lot Width ⁽¹⁾	82'	72'	62'	52'
Minimum Lot Depth	120'	120'	120'	120'
Minimum Lot Area (SF)	9,000	8,400	7,200	6,000

**Exhibit 'D':
Density and Development Standards**

<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500	2,200	2,000	1,700
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing or Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

(5) *Building Standards for Residential.* All residential development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façade of all buildings shall be 90% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80% of the masonry requirement; however, administrative from the Director of Planning and Zoning approval may be requested for housing plans that utilize cementitious fiberboard in excess of 80% of the masonry requirement on a case-by-case basis.

Examples of Cementitious Fiberboard



Exhibit 'D':
Density and Development Standards

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) Garage Orientation and Garage Doors. A total of 19.59% or 57 of 292 of all garages may be oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining 80.31% or 235 of all garages shall be oriented in a *J-Swing (or Traditional Swing)* configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (*i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent*), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 1*.

... Continued on Next Page

Figure 1. Examples of Enhanced Wood Garage Door

Exhibit 'D':
Density and Development Standards



- (6) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	82' x 120'	(1), (2), (3), (4)
B	72' x 120'	(1), (2), (3), (4)
C	62' x 120'	(1), (2), (3), (4)
D	52' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or Wylie Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.

Exhibit 'D':
Density and Development Standards

- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (7) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Front Yard Fences. Front yard fences shall be prohibited.
 - (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
 - (c) Wrought Iron/Tubular Steel. Lot lines located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wood fence shall be installed on these lots where there is a shared property line with another lot and along the front returns of these lots

Exhibit 'D':
Density and Development Standards

where there is a shared property line with another lot. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.

- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across City of Rockwall's easements.
- (8) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Eastern). A minimum of a 50-foot landscape buffer shall be provided along existing commercial property along the Eastern property line. and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering six (6) foot trail shall be constructed within the 50-foot landscape buffer.
 - (2) Landscape Buffer and Sidewalks (Southern Boundary). A minimum of a 50-foot landscape buffer shall be provided along the southern boundary for the residential property and shall remain native. The native tree line shall remain undisturbed and serve as the vegetation screening along this boundary.
 - (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees

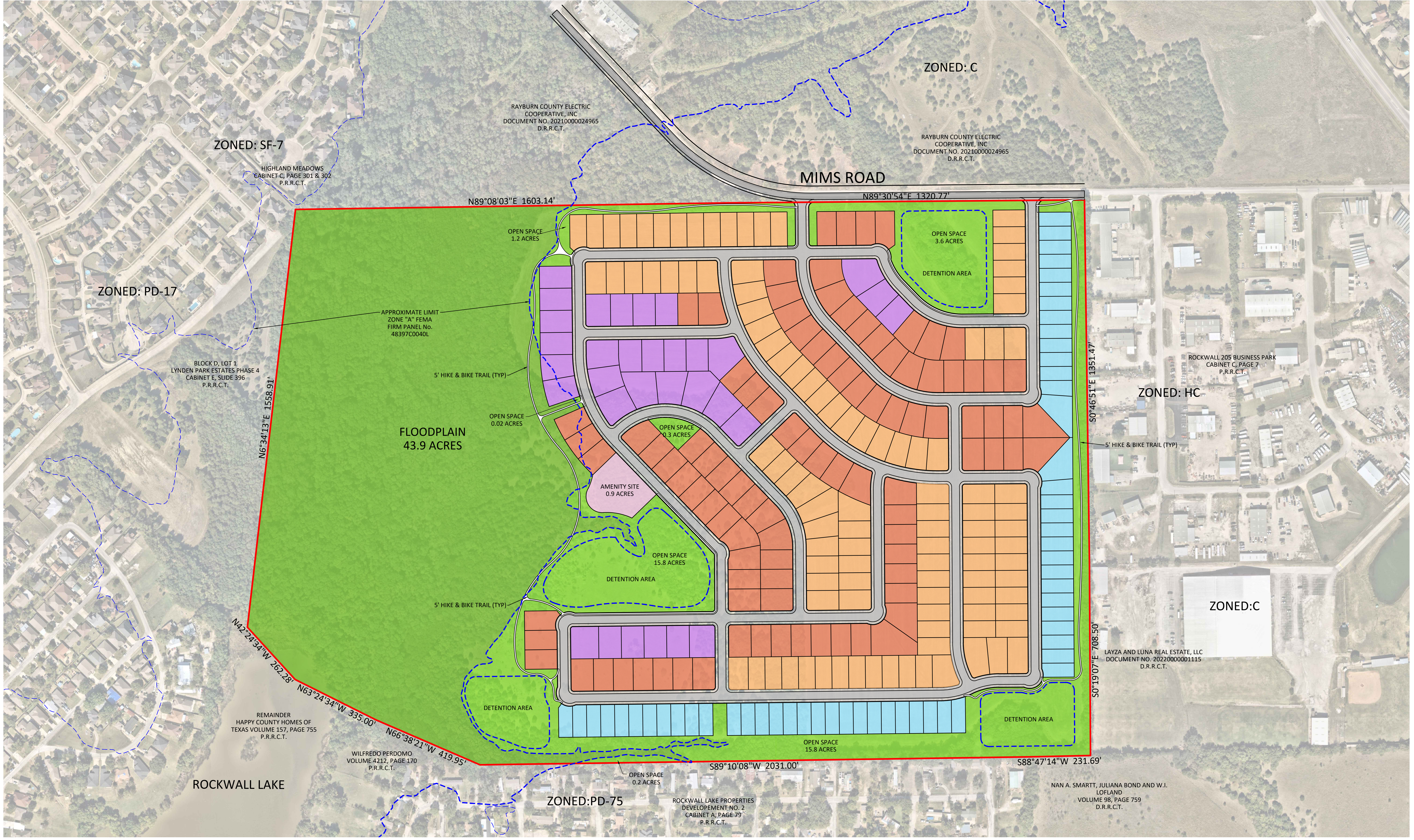
Exhibit 'D':
Density and Development Standards

shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (9) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (10) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (11) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (12) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (13) Open Space/Public Park. The development shall consist of a minimum of 20% open space (*or a minimum of 28.1-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (14) Trails. A minimum of a six (6) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance, and shall provide connectivity throughout the development .

Exhibit 'D':
Density and Development Standards

- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



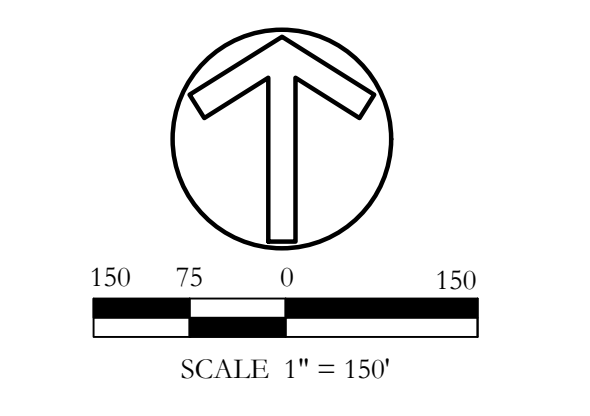
LOT NAME	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,840	8,640	7,440	6,240
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET/ 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70'X80'	60'X80'	50'X80'	42'X80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	57.9	41.2%
PERIMETER ROAD ROW	5.5	3.9%
OPEN SPACE		
Private Open Space	21.1	15.0%
Amenity Center	0.9	0.6%
Floodplain	43.9	31.2%
OPEN SPACE TOTAL	65.9	46.9%
TOTAL ACREAGE	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.95



ZONING CASE # Z/2023-XXX