



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE DRIVE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE

VACANT

PROPOSED ZONING PD-32

PROPOSED USE

RESTAURANT

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS, INC

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE

ADDRESS 2701 SUNSET RIDGE

SUITE 610

SUITE 601

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

PHONE

PHONE 214-497-2057

E-MAIL

E-MAIL jimmy@strohmeyerarchitects.com

NOTARY VERIFICATION [REQUIRED]

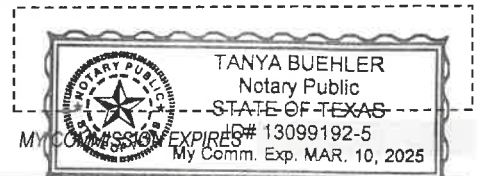
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMY STROHMEYER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF APRIL, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL, 2023

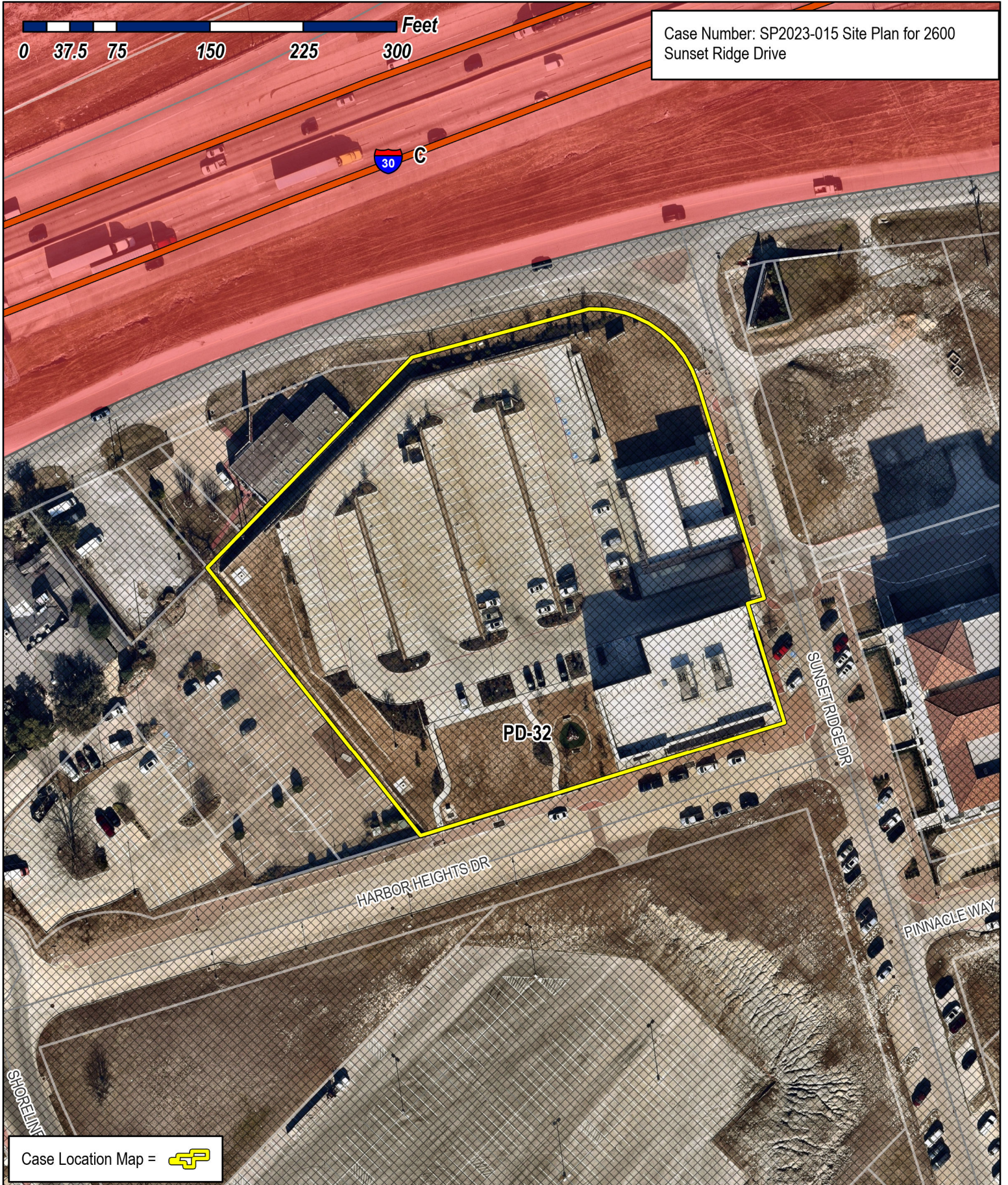
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 37.5 75 150 225 300 Feet

Case Number: SP2023-015 Site Plan for 2600
Sunset Ridge Drive



PD-32

HARBOR HEIGHTS DR

SUNSET RIDGE DR

PINNACLE WAY

SHORELINE

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

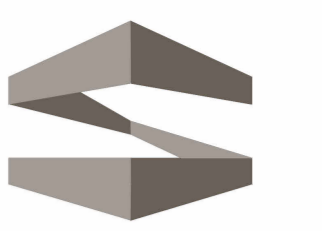
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Service Road
30 SERVICE ROAD

LEGEND

- PLANTING POTS
- ⊗ SHRUB
DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING
DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX. 30" HIGH AT TIME OF PLANTING
- PATIO TABLES



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 607
ROCKWALL, TEXAS 75032

CIVIL
TNP, INC.
825 WATTERS CREEK BLVD.
SUITE M300
ALLEN, TEXAS 75013

STRUCTURAL
C1S GROUP, INC.
4231 SIGMA RD
DALLAS, TEXAS 75244

JIMMY STROHMEYER, AIA
PRELIMINARY -
NOT FOR
CONSTRUCTION,
PERMITTING, OR
REGULATORY
APPROVAL

**HARBOR
HEIGHTS**

THE FINCH
2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75132

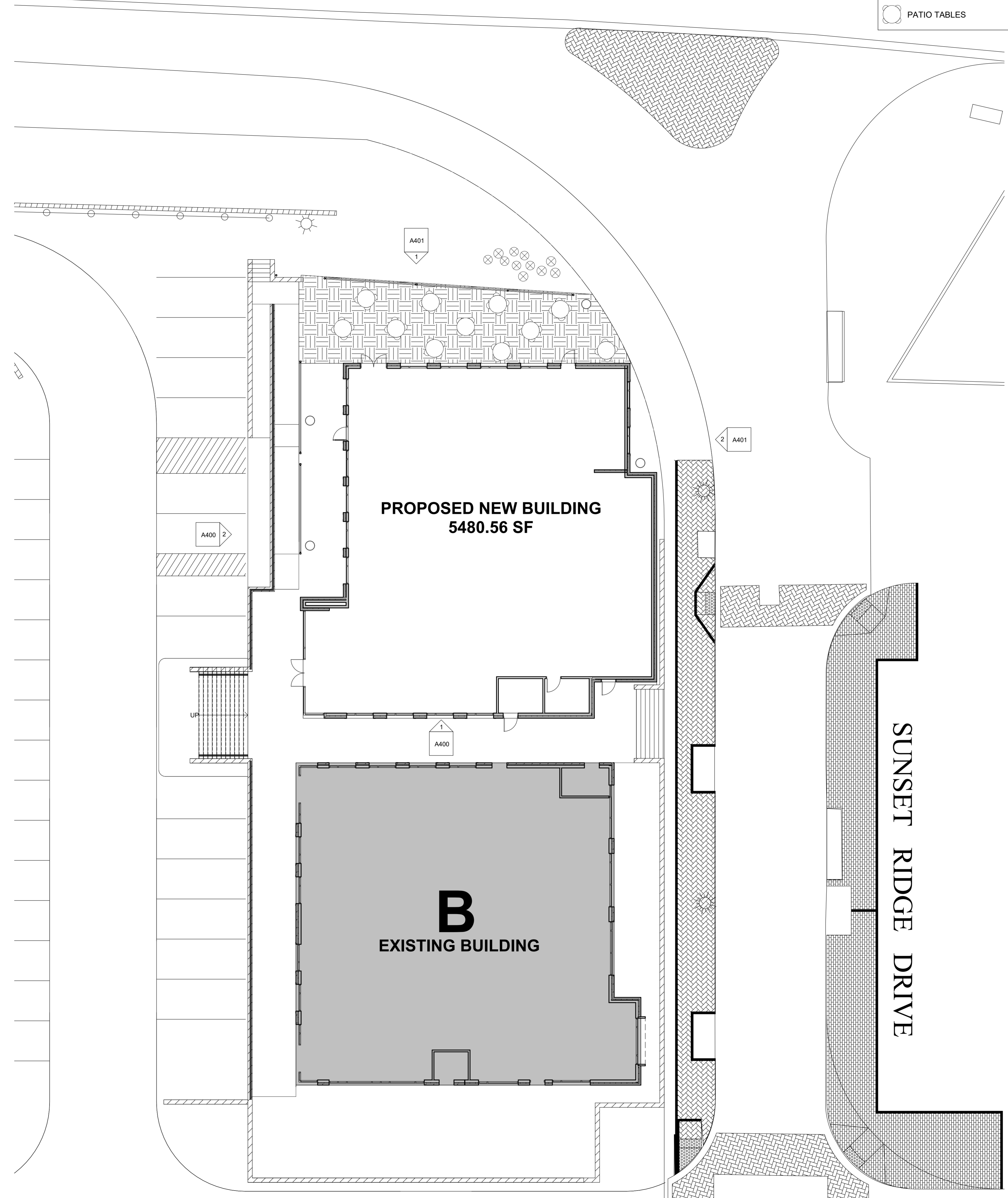
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Drawing Date: 4/14/23
Drawn: Author
Checked: Checker
Scale: As indicated

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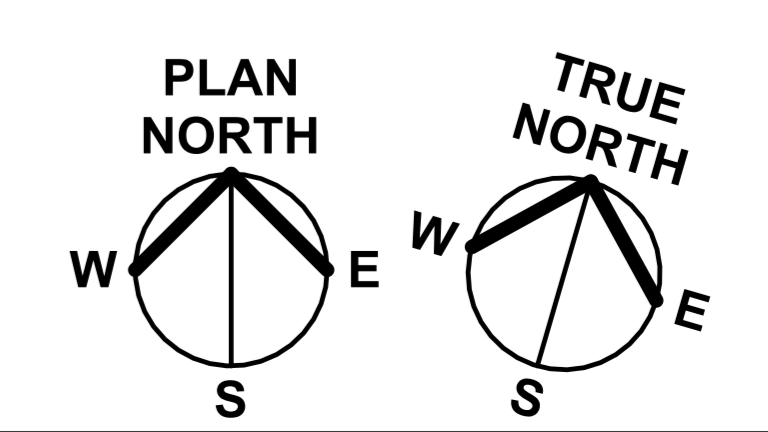
Revisions:

#	Revision Date	Revision Description

Sheet Title:
OVERALL SITE PLAN



1 OVERALL SITE PLAN
3/32" = 1'-0"

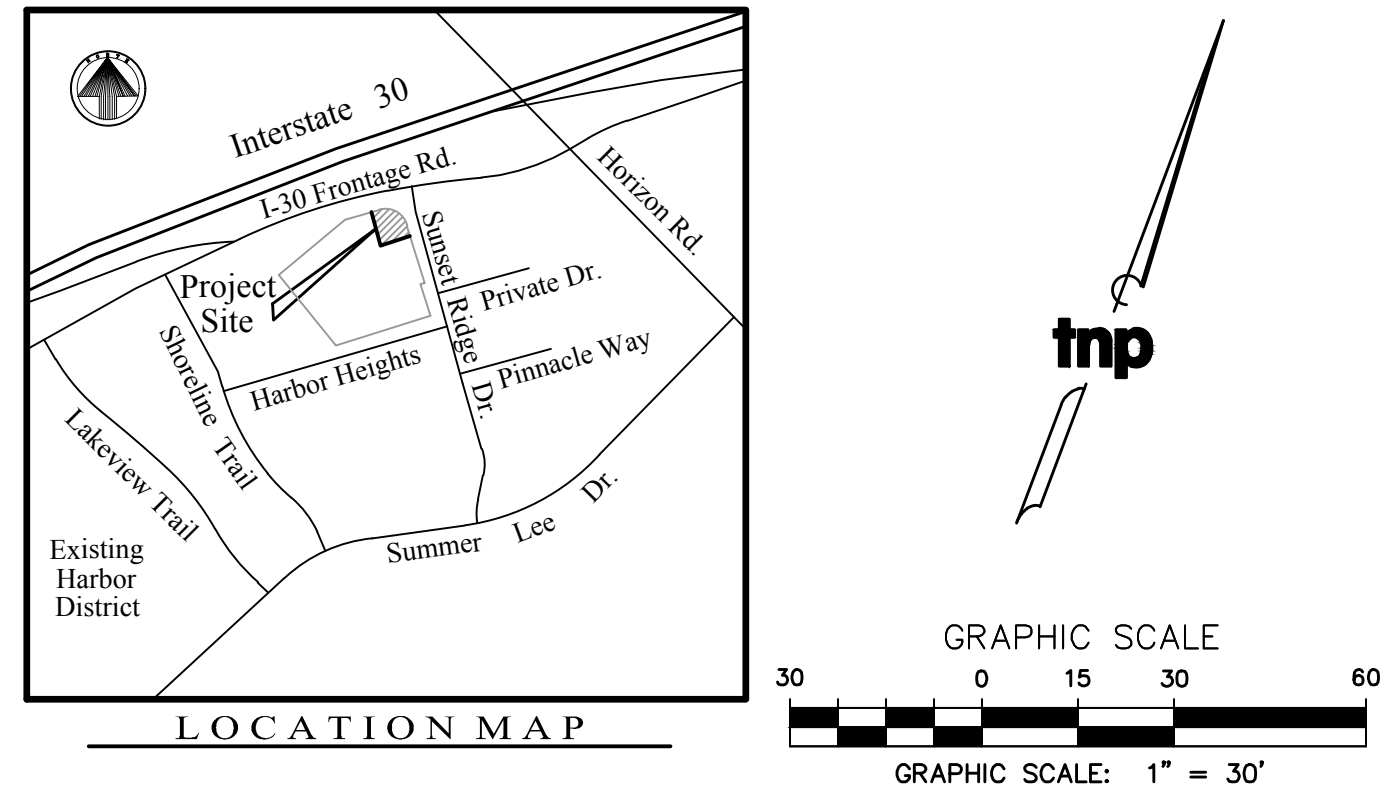
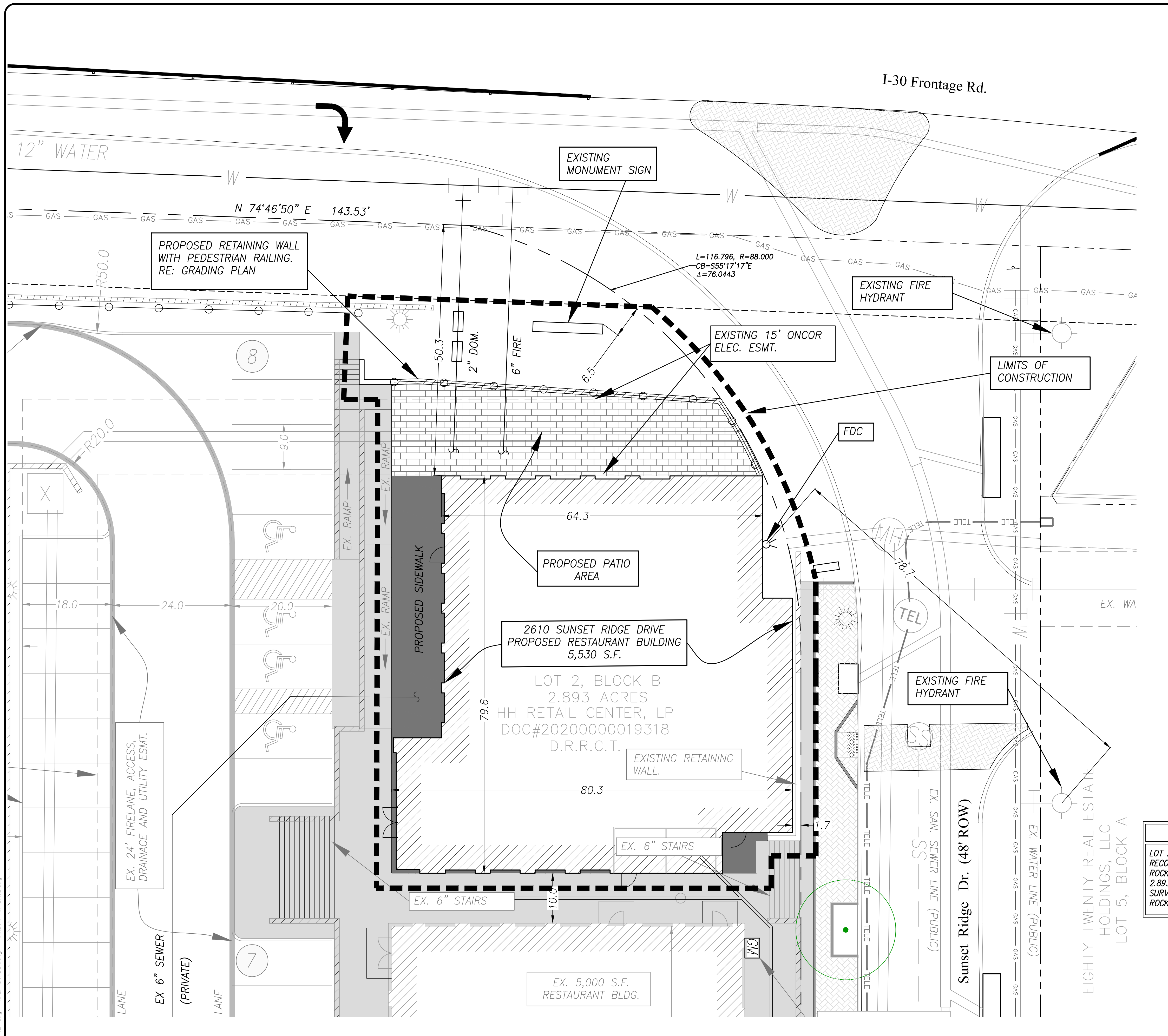


A101 A

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4/13/2023 3:02:25 PM

Drawing: C:\Prospects\2023\Strohmeier - Restaurant Plan\CAD\Sheets\04 - SITE PLAN.dwg at Apr 13, 2023 - 8:45pm by calson
 Layout: SITE PLAN - X SURVEY.dwg - PRE-BORDER.dwg - HARBOR-RR-BASE.dwg



SITE INFORMATION:

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	10,530 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	34,730/126,018=.275 -> 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

- SITE NOTES:**
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
 - DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

LEGEND

	EXISTING BRICK PAVERS		EXISTING AT&T MANHOLE
	PROPOSED CONCRETE SIDEWALK		EXISTING WATER METER
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER LINE		EXISTING SEWER MANHOLE
	EXISTING WATER LINE		EXISTING POWER POLE
	EXISTING GAS LINE		EXISTING LIGHT POLE
	EXISTING TELEPHONE DUCT BANK		EXISTING FIRE HYDRANT
	EXISTING ELECTRICAL DUCT BANK		

LEGAL DESCRIPTION
 LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 20200000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.J. BARKSDALE SURVEY, ABST. NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

OWNER INFORMATION
 HH RETAIL CENTER, LP,
 2701 SUNSET RIDGE DRIVE
 ROCKWALL, TX 75032

ENGINEER INFORMATION
 CAMERON SLOWN, P.E.
 TEAGUE, NALL AND PERKINS, INC.
 825 WATTERS CREEK BLVD, SUITE M300
 ALLEN, TX 75013

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2023.
 Witness our hands this ____ day of _____, 2023.

 Planning & Zoning Commission, Chairman

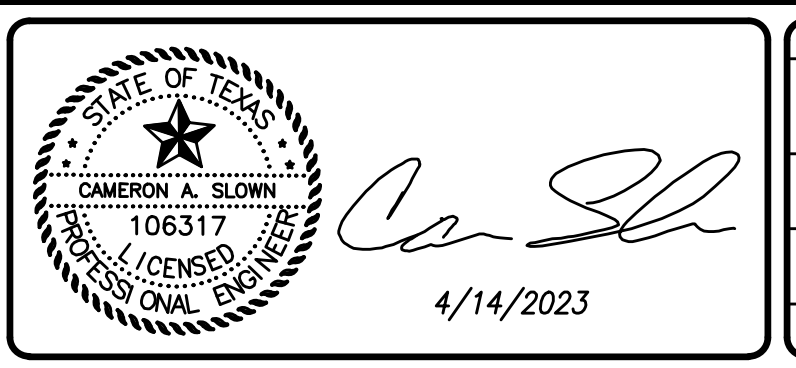
 Director of Planning & Zoning

CASE NUMBER: SP2023- NOT FOR CONSTRUCTION

no.	revision	by	date



teague nall and perkins, inc
 825 Watters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale
 when bar is 1 inch long
 horiz 1"=30'
 vert N/A
 APR 2023

HH RETAIL CENTER, LP.

ROCKWALL, Texas
 Improvements for
2610 SUNSET RIDGE DRIVE - RESTAURANT BUILDING
SITE PLAN

tnp project
OZO20505
 sheet
C1.04

MATERIAL CALCULATIONS

	AREA	%	
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%
	BRICK	1,661 SF	97.9%
	STUCCO	34 SF	2.1%
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%
	BRICK	1,410 SF	80.3%
	STUCCO	345 SF	19.7%
SOUTH ELEVATION	MASONARY BRICK	1,749 SF	100%
	BRICK	1,612 SF	92.2%
	STUCCO	137 SF	7.8%
WEST ELEVATION	MASONARY BRICK	1,726 SF	100%
	BRICK	1,553 SF	89.9%
	STUCCO	173 SF	10.1%

MATERIAL LEGEND

- BRICK A - ACME BRICK - GLACIER WHITE
- BRICK B - ACME BRICK - MARBLE GRAY
- METAL TRIM - DARK BRONZE
- STUCCO A - SAHARA MAXI - SAGE
- STUCCO B - SAHARA MAXI - GRAY MORTAR

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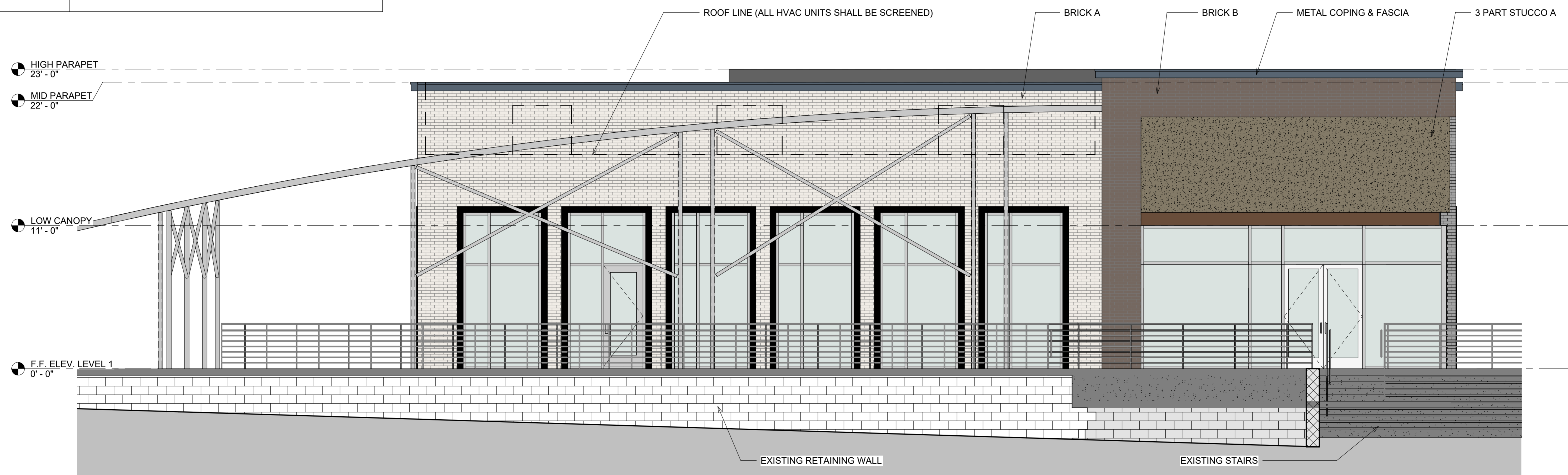
 Planning & Zoning Commission, Chairman _____
 Director of Planning and Zoning

STROHMEYER
 ARCHITECTS INC.

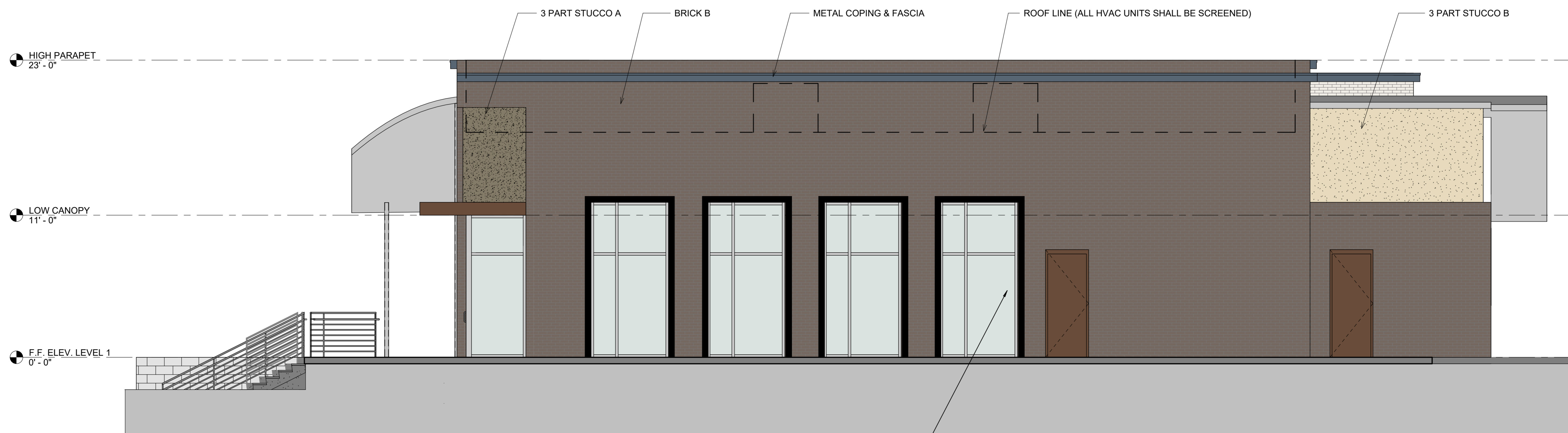
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2 BUILDING ELEVATION - WEST
 1/4" = 1'-0"



1 BUILDING ELEVATION - SOUTH
 1/4" = 1'-0"

JIMMY STROHMEYER, AIA
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 PERMITTING, OR
 REGULATORY
 APPROVAL

**HARBOR
 HEIGHTS**

THE FINCH
 2600 SUNSET RIDGE
 DR.
 ROCKWALL, TX 75132

Project Number: 52219
 Drawing Date: 4/14/23
 Drawn: PC
 Checked: JS
 Scale: As indicated

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Revisions:
 # Revision Date Revision Description

Sheet Title:
**EXTERIOR
 ELEVATIONS**

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MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
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EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
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Planning & Zoning Commission, Chairman

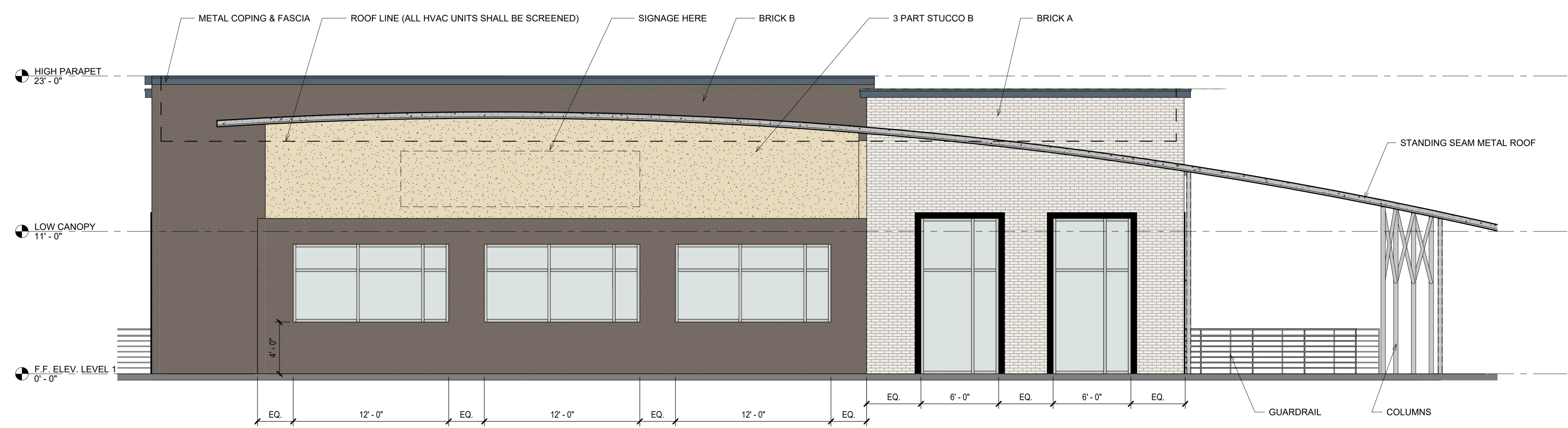
Director of Planning and Zoning



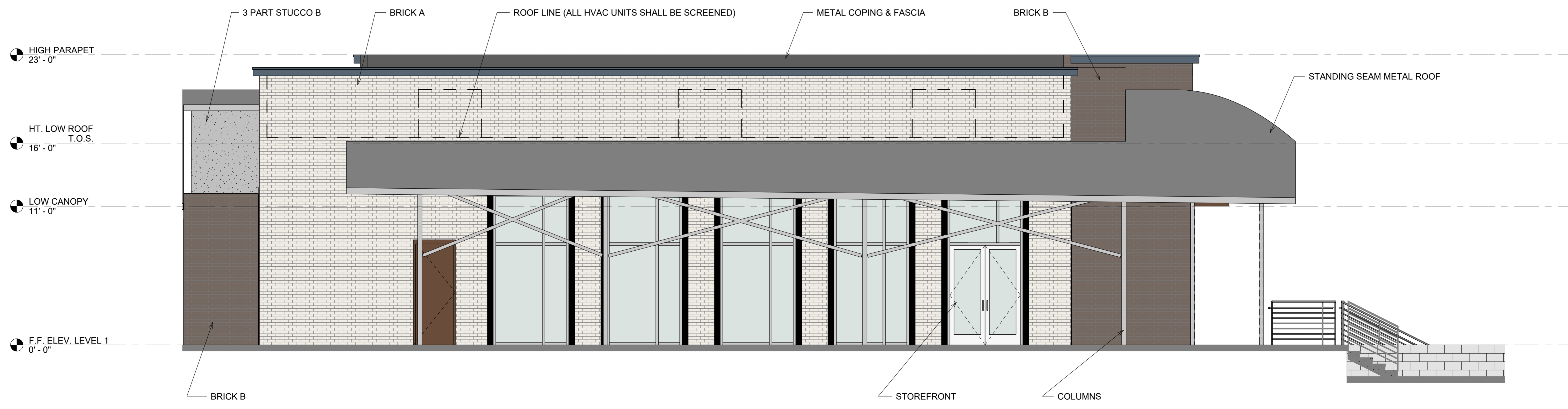
ARCHITECT
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TNP, INC.
825 WATTERS CREEK BLVD.
SUITE M300
ALLEN, TEXAS 75013

STRUCTURAL
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4231 SIGMA RD
DALLAS, TEXAS 75244



2 BUILDING ELEVATION - EAST
1/4" = 1'-0"



1 BUILDING ELEVATION - NORTH
1/4" = 1'-0"

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PRELIMINARY -
NOT FOR
CONSTRUCTION,
PERMITTING, OR
REGULATORY
APPROVAL

HARBOR HEIGHTS

THE FINCH
2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75132

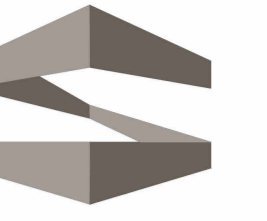
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Checked: Checker
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Revisions:
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Sheet Title:
EXTERIOR ELEVATIONS

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ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
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Scale:

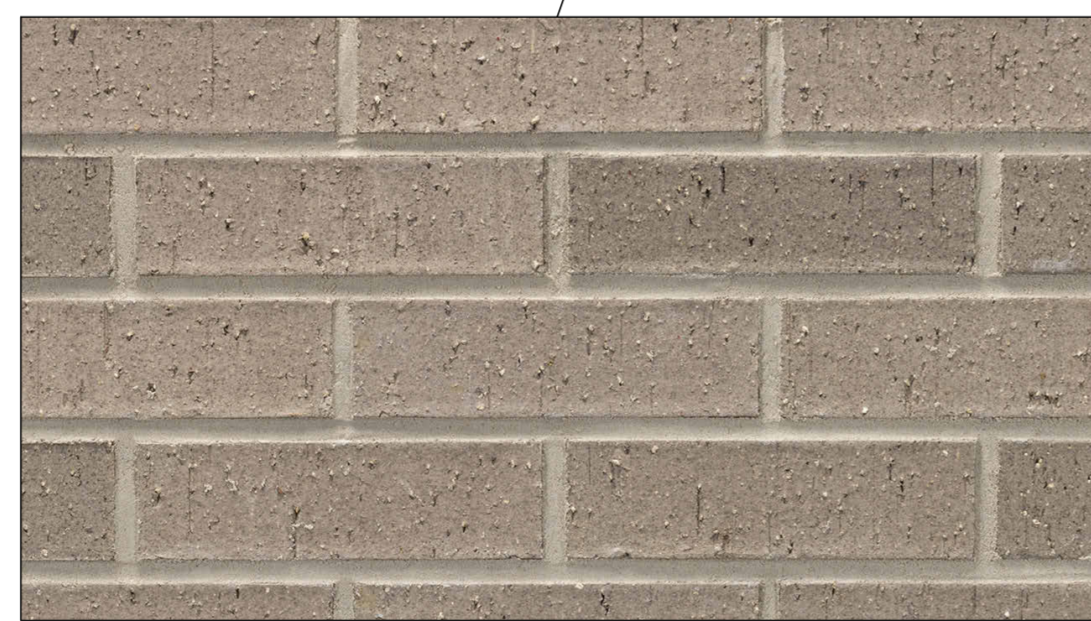
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Revisions:
Revision Date Revision Description

Sheet Title:
COLOR BOARD



**ACME BRICK
GLACIER WHITE**



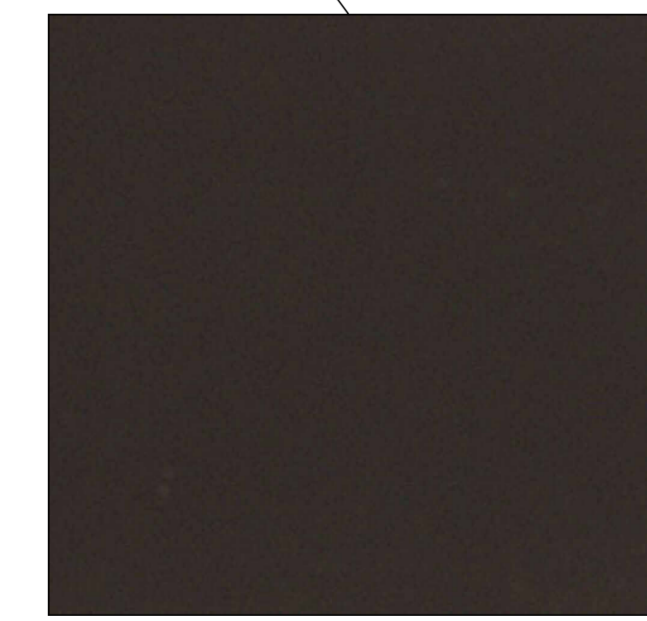
**ACME BRICK
MARBLE GRAY**



**SENERGY
SAHARA MAXI - SAGE**



**SENERGY
SAHARA MAXI - GRAY MORTAR**

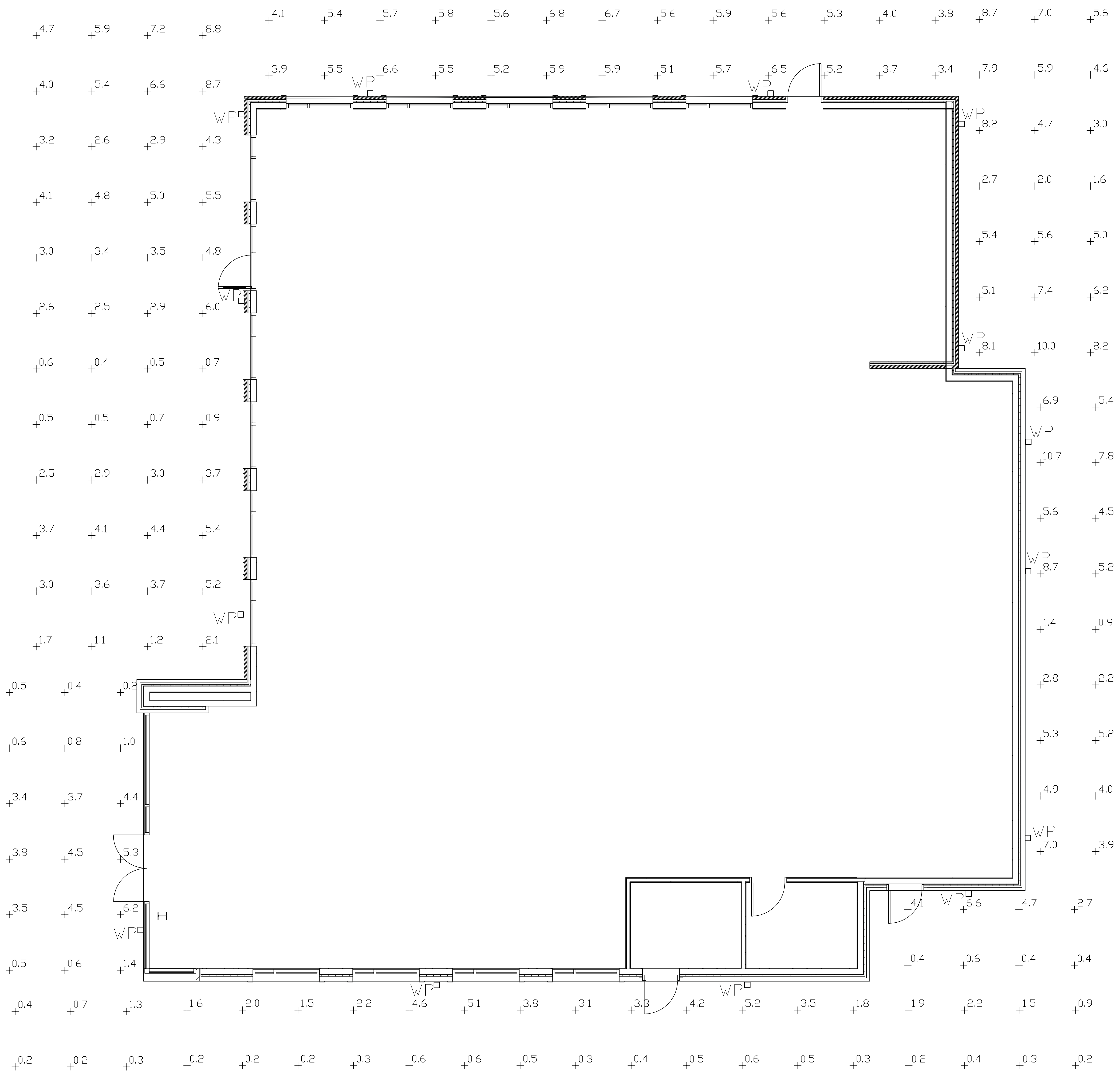


DARK BRONZE

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LIGHTING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL	LOAD	LAMP	VOLTAGE	NOTES
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHELDDING	COOPER EATON	IST-AF-600-LED-E1-SL2	33 VA	LED	277 V	WALL MOUNT 4045 LUMENS



ARCHITECT
 STROHMEYER ARCHITECTS, INC.
 2701 SUNSET RIDGE DR.
 SUITE 607
 ROCKWALL, TEXAS 75032

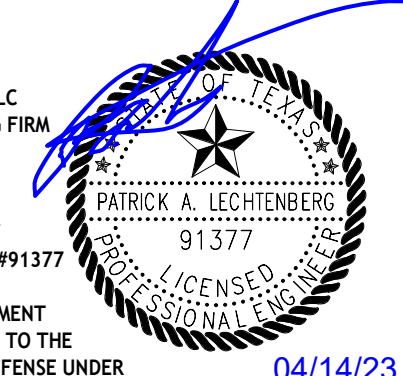
CIVIL
 TNP, INC.
 825 WATTERS CREEK BLVD.
 SUITE 500
 ALLEN, TEXAS 75013

MEP ENGINEERING
 C1S GROUP
 4231 SIGMA ROAD, SUITE 110,
 DALLAS, TEXAS 75244

PROFESSIONAL SEALS
 LECHTENBERG ENGINEERING, PLLC
 TEXAS REGISTERED ENGINEERING FIRM
 F-15918

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04/14/23



PRELIMINARY - NOT FOR CONSTRUCTION, PERMITTING OR REGULATORY APPROVAL

HARBOR HEIGHTS

THE FINCH
 2600 SUNSET RIDGE DR.
 ROCKWALL, TX 75132

Project Number: 52219
 Drawing Date: 4/14/23
 Drawn: AUTHOR
 Checked: CHECKER
 Scale: NONE

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Revisions:

#	Revision Date	Revision Description
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Sheet Title:
PHOTOMETRIC SITE PLAN

1 PHOTMETRIC FLOOR PLAN - LEVEL 1

NONE

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