

## **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

F USI	ONLY -	
LANNING	& ZONING CASE NO.	

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST	[SELECT ONLY ON	Ξ BΟΧ]:
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PLATTING APPLICATION FEES:  ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹ ☐ AMENDING OR MINOR PLAT (\$150.00) ☐ PLAT REINSTATEMENT REQUEST (\$100.00)			ZONING APPLICATION FEES:  ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹ ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ OTHER APPLICATION FEES: ☐ TREE REMOVAL (\$75.00) ☐ VARIANCE REQUEST (\$100.00)				
	CATION FEES: 50.00 + \$20.00 ACRE) <sup>1</sup> E PLAN/ELEVATIONS/LANDSCAPING PLAN (\$	\$100.00)	NOTES: 1: IN DÉTERMINI	NG THE FEE, PL THE PER ACRE AM	EASE USE THE	EXACT ACRE/ JESTS ON LESS	AGE WHEN THAN ONE
DDODEDTY INC	ORMATION [PLEASE PRINT]						
	S 501 INDUSTRIAL BLVD, ROCK	WALL TX 75	n87				
	N INDALLOY ADDITION			LOT	2	BLOCK	1
	N INTERSECTION OF RAILROAD	RD AND INI	DIICTRIAI RIV				
				D, NORTH	J1 1 30		
•	LAN AND PLATTING INFORMATION	ON [PLEASE PR	_	OFFICE W	ABELIQUEE	NANHIEA	CTUDING
	G LIGHT INDUSTRIAL		CURRENT USE				
PROPOSED ZONING	G LIGHT INDUSTRIAL		PROPOSED USE	OFFICE, W	AREHOUSE,	MANUFA	ACTURING
ACREAG	E <b>11.37 AC</b> LOTS	[CURRENT] 1		LOTS	S [PROPOSED]	1	
REGARD TO ITS	<b>D PLATS:</b> BY CHECKING THIS BOX YOU ACKNO APPROVAL PROCESS, AND FAILURE TO ADDRE DENIAL OF YOUR CASE.	OWLEDGE THAT I	DUE TO THE PASSA F'S COMMENTS BY	AGE OF <u>HB3167</u> T THE DATE PROVI	THE CITY NO LON DED ON THE DEV	IGER HAS FLE ELOPMENT C	EXIBILITY WITH ALENDAR WILL
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEAS	SE PRINT/CHECK	THE PRIMARY CONT	TACT/ORIGINAL S	IGNATURES ARE	REQUIRED]	
☐ OWNER	ALVAPLAST US DEVELOPMENT	LLC	☑ APPLICANT	HALFF ASSC	CIATES		
CONTACT PERSON	CAROLINA MOLINA	CON	NTACT PERSON	TJ MCDONA	ALD		
ADDRESS	1480 JUSTIN ROAD		ADDRESS	3803 PARK	WOOD BLVI	D, SUITE 8	800
CITY, STATE & ZIP	ROCKWALL, TX 75087	CIT	TY, STATE & ZIP	FRISCO, TX	75034		
PHONE	469-402-1232		PHONE	214-937-39	39		
E-MAIL	CMolina@sprpackaging.com		E-MAIL	tmcdonald(	@halff.com		
BEFORE ME, THE UNDE	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALL TION ON THIS APPLICATION TO BE TRUE AND CEI	_Y APPEARED RTIFIED THE FOL	(	Mexee	[OWNER]	THE UNDER	SIGNED, WHO
S 411.40 FESTVAT INFORMATION CONTAINS	TI AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION WITH THIS APPLICATION TO THE PUBLIC.  TION WITH THIS APPLICATION, IF SUCH REPRODUC	LICATION, HAS BEI ATION, I AGREE TH THE CITY IS ALS	EN PAID TO THE CITY HAT THE CITY OF ROI O AUTHORIZED AND	'OF ROCKWALL ON CKWALL (I.E. "CITY ) PERMITTED TO F	THIS THE ") IS AUTHORIZED REPRODUCE ANY	AND PERMITTE COPYRIGHTED	INFORMATION
GIVEN UNDER MY HANL	O AND SEAL OF OFFICE ON THIS THE DAY	OF tebrue	20 2	3	No.	ONDA L CLEM stary ID #103 Commission January 5, 2	06723 Expires
NOTARY PUBLIC IN ANI	O FOR THE STATE OF TEXAS	I Cler	nent	му сом	MISSION EXPIRES	1/5	12025



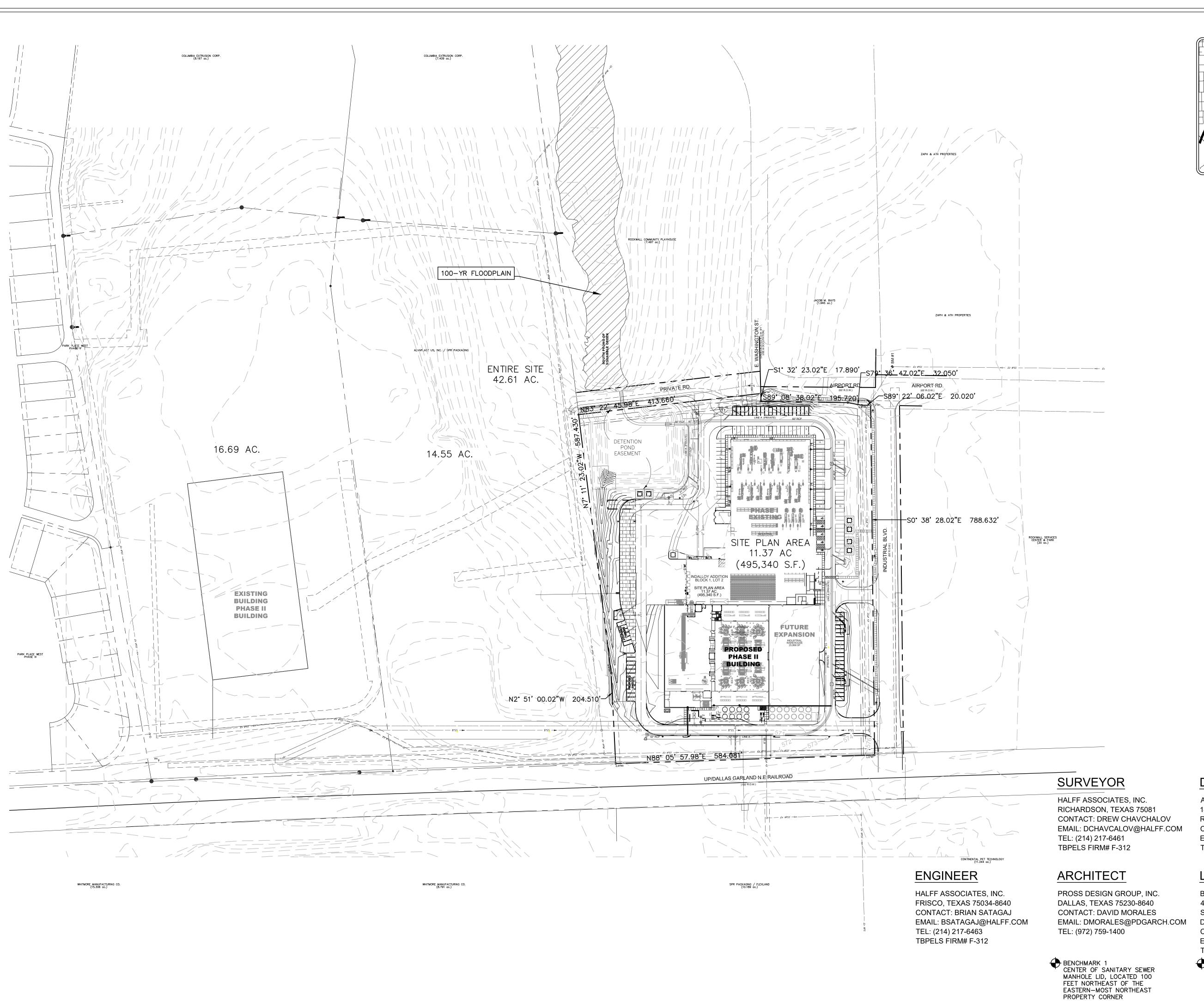


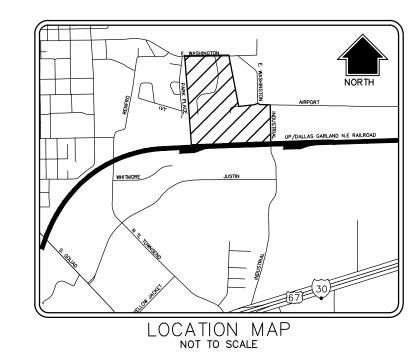
# City of Rockwall Planning & Zoning Department 385 S. Goliad Street Poolswall Towns 75007

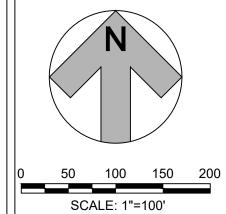
Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

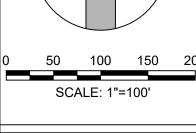
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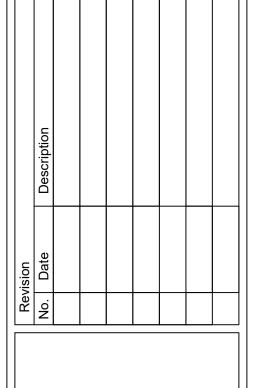












**PRELIMINARY** 

FOR INTERIM REVIEW ONLY

These documents are for Interim Review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of:

DATE 02/17/2022 TBPELS Engineering Firm #312

FEB., 2023

**AS SHOWN** 

Project No.: 35533

Drawn By: CAD

Checked By: BMS

Issued:

Scale:

Sheet Title

# DEVELOPER/OWNER

ALVAPLAST US DEVELOPMENT LLC 1480 JUSTIN ROAD ROCKWALL, TX 75087 CONTACT: CAROLINA MOLINA EMAIL: CMOLINA@SPRPACKAGING.COM TEL: 469-402-1232

# LANDSCAPE ARCHITECT

**BELLE FIRMA** 4245 NORTH CENTRAL EXPY SUITE 501 DALLAS, TX 75205 CONTACT: KORI HAUG EMAIL: KHAUG@BELLEFIRMA.COM TEL: 214-865-7192

BENCHMARK 2
CENTER OF SANITARY SEWER
MANHOLE LID, LOCATED 18.5
FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER ELEVATION =577.13'

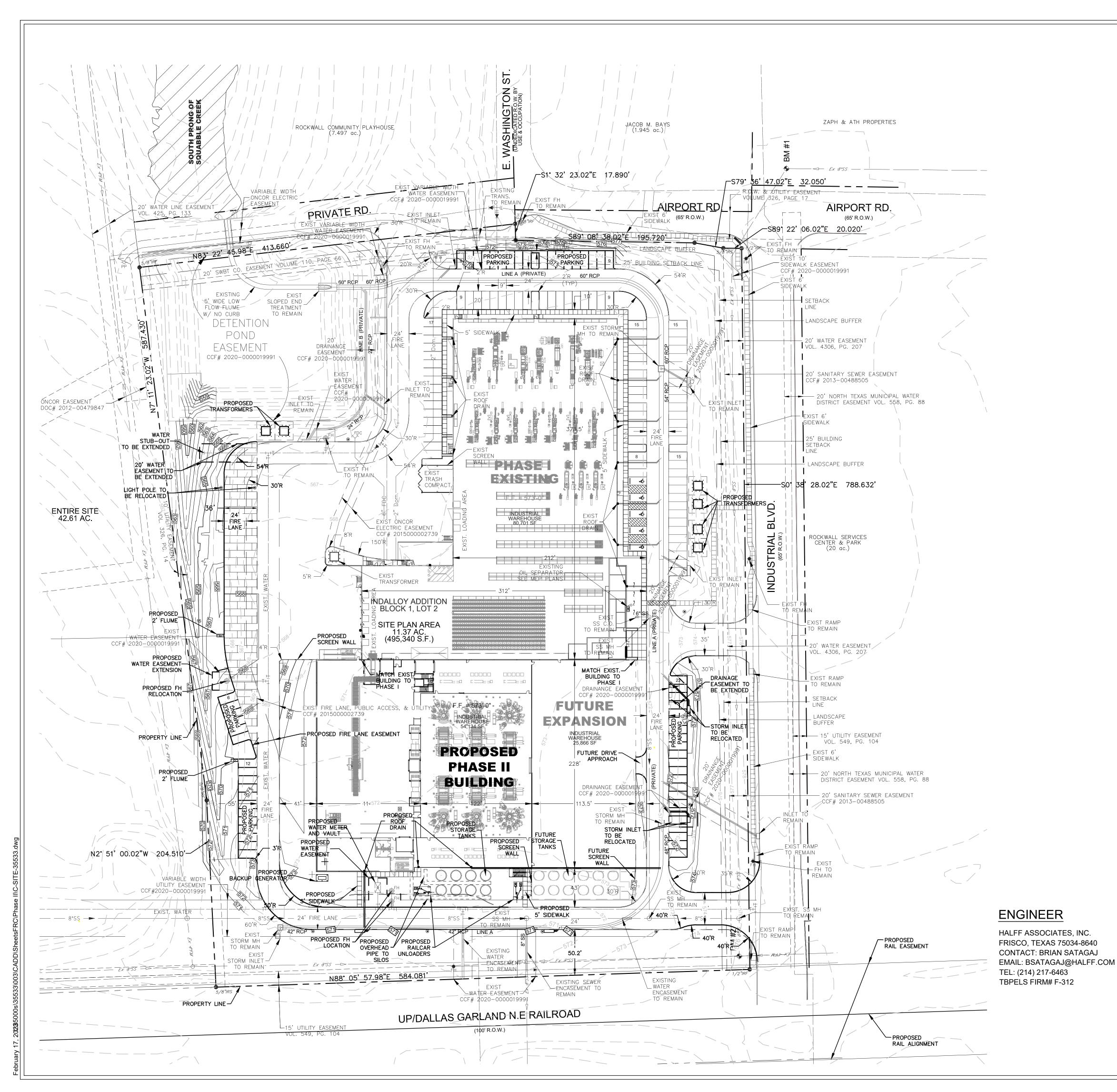
ELEVATION=580.82'

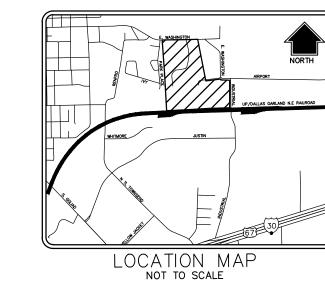
CASE NO. XXXX

CITY#: XXXX || Sheet Number

C0.01

OVERALL SITE PLAN





	SITE	DATA:
CURRENT ZONING:		(LI) LIGHT INDUSTRIAL
PROPOSED LAND USE:		OFFICÈ. WAREHOUSE, MANUFACTURING
TOTAL SITE AREA:		11.37 AC. (495,340 SF)
BUILDING:		
PHASE 1 1st FLOOR EXISTING 2nd FLOOR EXISTING 2nd FLOOR NEW		78,682 SF 536 SF 1,483 SF 80,701 SF
PHASE 2 1st FLOOR 2nd FLOOR TOTAL		54,134 SF 34,291 SF 88,425 SF
FUTURE EXPANSION (ESTIMATED 1st FLOOR	)	25,866 SF

PARKING:

NOTE: REQUIRED PARKING CALCULATED PER OWNER PROVIDED EMPLOYEE & SHIFT DATA REFERENCE VARIANCE REQUEST SUBMITTED WITH SITE PLAN

EMPLOYEES PER SHIFT = 60 ON 50% STAGGERED/OVERLAPPING SCHEDULE

EMPLOYEE PARKING SPACES REQUIRED = 90 SPACES VISITOR PARKING SPACES REQUIRED = 20 SPACES TOTAL PARKING SPACES REQUIRED = 110 SPACES TOTAL PARKING SPACES PROVIDED = 146 SPACES

ACCESSIBLE SPACES REQUIRED = 5 SPACES ACCESSIBLE SPACES PROVIDED = 5 SPACES \*SPACES ARE INCLUDED IN TOTAL ABOVE

EXISTING	<u>LEGEND</u>
FDC	FIRE DEPARTMENT CONNECTION
⊚ <sup>FH</sup>	FIRE HYDRANT
⊗	WATER VALUE
$\bigcirc$	SANITARY SEWER MANHOLE
-O <sup>PP</sup>	POWER POLE
	STORM MANHOLE
	WATERLINE
SS	SEWER LINE
	EASEMENT LINE
	PROPERTY LINE
	CONTOUR LINE

# LEGEND



7" THICK, 3600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECCOMENDATIONS

# SURVEYOR

HALFF ASSOCIATES, INC. RICHARDSON, TEXAS 75081 CONTACT: DREW CHAVCHALOV EMAIL: DCHAVCALOV@HALFF.COM TEL: (214) 217-6461 TBPELS FIRM# F-312

# **ARCHITECT**

PROSS DESIGN GROUP, INC. DALLAS, TEXAS 75230-8640 CONTACT: DAVID MORALES EMAIL: DMORALES@PDGARCH.COM TEL: (972) 759-1400

BENCHMARK 1 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER ELEVATION=580.82'

CASE NO. XXXX

# DEVELOPER/OWNER

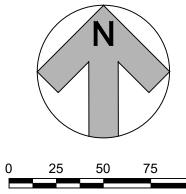
ALVAPLAST US DEVELOPMENT LLC 1480 JUSTIN ROAD ROCKWALL, TX 75087 CONTACT: CAROLINA MOLINA EMAIL: CMOLINA@SPRPACKAGING.COM TEL: 469-402-1232

# LANDSCAPE ARCHITECT

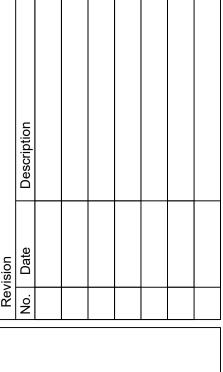
BELLE FIRMA 4245 NORTH CENTRAL EXPY SUITE 501 DALLAS, TX 75205 **CONTACT: KORI HAUG** EMAIL: KHAUG@BELLEFIRMA.COM TEL: 214-865-7192

BENCHMARK 2 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5
FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER ELEVATION =577.13'

CITY#: XXXX



SCALE: 1"=50'



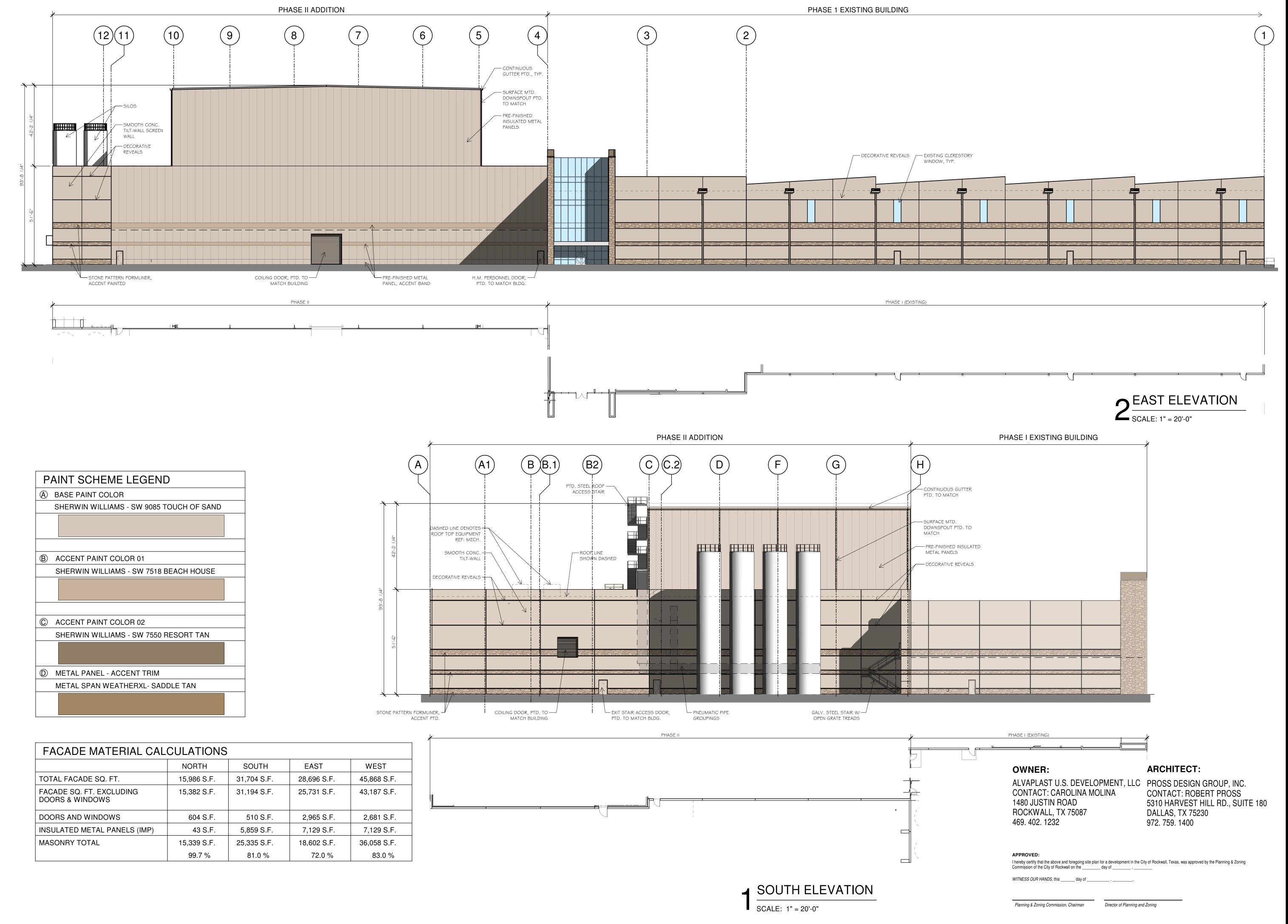
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DATE 02/17/2022 TBPELS Engineering Firm #312

Project No.: 35533 FEB., 2023 Issued: Drawn By: CAD Checked By: BMS

Scale: AS SHOWN Sheet Title DETAIL SITE PLAN

C0.02 Sheet Number

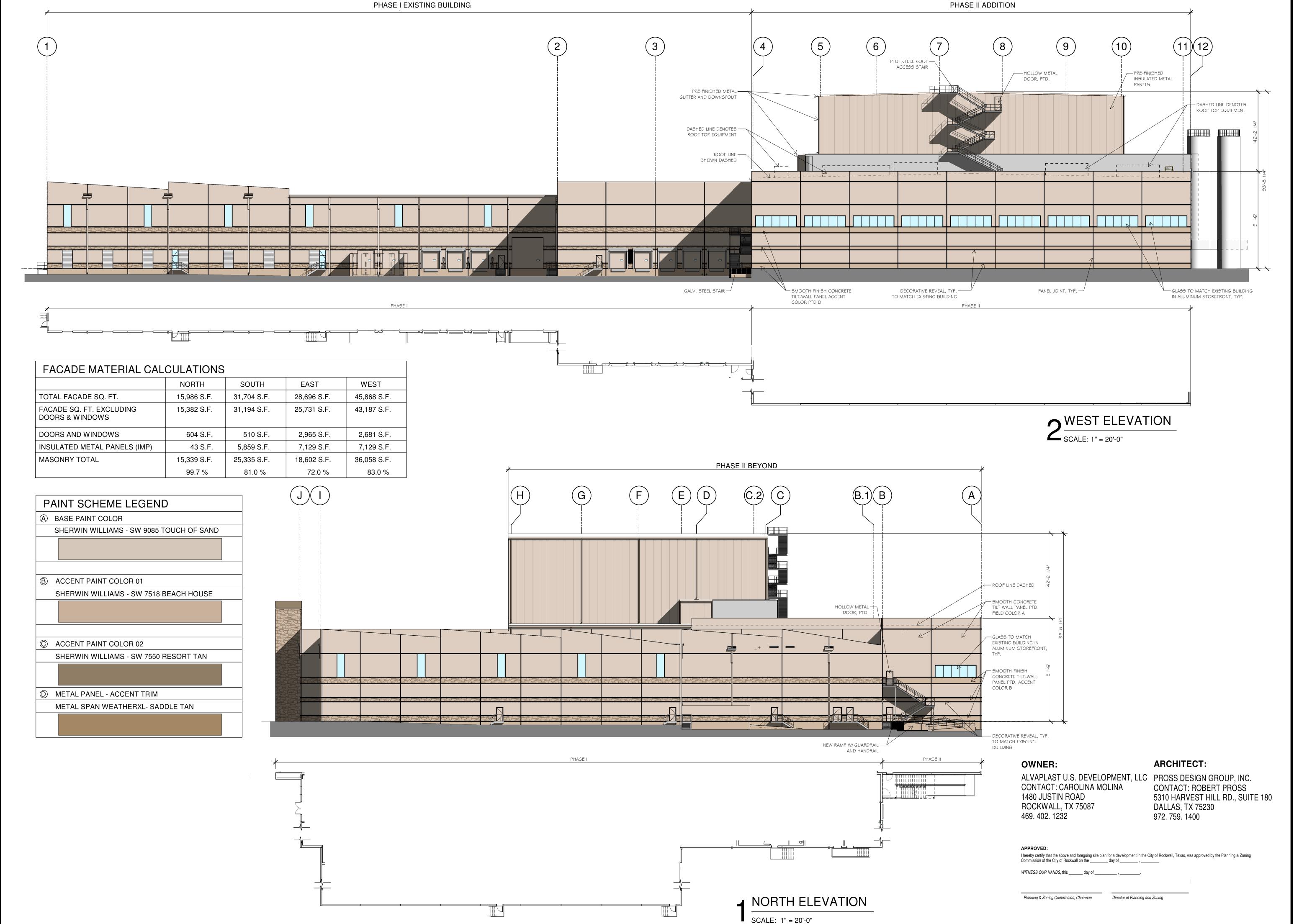




SING PHASE NORTH SPR

job no 2033 sheet

A3-0



NORTH

# **▲** LINE-OF-SIGHT STUDY SCALE: 1" = 20'-0"

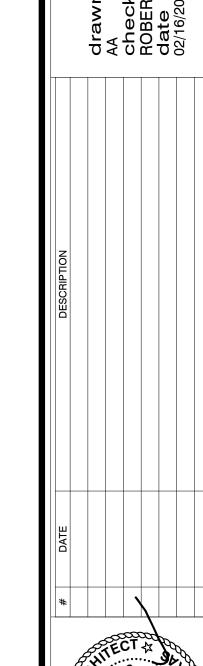
# ARCHITECT:

ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469. 402. 1232

PROSS DESIGN GROUP, INC.
CONTACT: ROBERT PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972. 759. 1400

APPROVED:	
	e and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning ockwall on the day of,
WITNESS OUR HANDS, this	day of,

Planning & Zoning Commission, Chairman Director of Planning and Zoning







GING - PHASE II SPR NORTH - ROCKWALL, T

job no 2033 sheet

A3-2

### LANDSCAPE NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- 3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- 5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- 6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- 7. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- 9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

### **SOLID SOD NOTES**

- 1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- 2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- 3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.

Nellie R. Stevens Holly

Common Bermudagrass

4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

### LANDSCAPE TABULATIONS THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING 1. 10' wide landscape buffer with one tree per 50 l.f.

INDUSTRIAL BLVD.: 789 I.f.

Required (16) trees, 3" cal. (16) existing trees, 4" cal. +

AIRPORT RD.: 248 l.f. Required (5) trees, 3" cal. (5) existing trees, 4" cal. +

# PARKING LOT LANDSCAPING

- 5% of the interior parking lot shall be landscape. One (1) tree for every ten (10) parking spaces. All parking spaces shall be a minimum eighty (80) feet from a tree.
  - Total interior parking lot area: 38,589 s.f. Total parking spaces: 88 spaces

Required 3,164 s.f. (16%) 1,930 s.f. (5%) (9) trees (9) existing trees

### SITE LANDSCAPING

1. 10% of the total site shall be landscaped for LIGHT INDUSTRIAL.

100% of the total requirements shall be located in the front of and along side buildings for LIGHT INDUSTRIAL.

### Total site: 11.37 AC; 495,440 s.f.

Required 49,544 s.f. (10%) 263,051 s.f. (25%) 49,544 s.f. (100%) 168,924 s.f.

### **DETENTION BASIN REQUIREMENTS** 1. A minimum of one (1) tree for every 750 s.f. of dry land

Dry Land Area: 17,143 s.f.

(23) existing trees

# INCREASED LANDSCAPING

Materials and Masonry Composition

### Above Ground Silo Screening

3. Parking

(23) trees

- (5) Additional trees along west parking row. (6) Ornamental trees added at existing entry drives.
- 3. (16) Evergreen screening shrubs provided around silos.

### CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- 2. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

container full to base, 36" ht., refer to plan for spacing

## **PLANT LIST**

llex spp. 'Nellie R. Stevens'

Cynodon dactylon

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	TREES				
LE	Ulmus parvifolia 'Sempervirens'	Lacebark Elm	4	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
RB	Cercis canadensis 'Oklahoma'	Oklahoma Redbud	6	30 gal.	container grown, 8' ht., 4' spread min.
SO	Quercus shumardii	Shumard Red Oak	5	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
	SHRUBS/GROUNDCOVER				

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

## OWNER:

ALVAPLAST U.S. DEVELOPMENT, LLC PROSS DESIGN GROUP, INC CONTACT: CAROLINA MOLINA 1480 JUSTIN ROAD ROCKWALL, TX 75087 469. 402. 1232

## **ARCHITECT:**

CONTACT: ROBERT PROSS 5310 HARVEST HILL RD., SUITE 180 **DALLAS, TX 75230** 972. 759. 1400

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ , \_\_\_\_

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_

Planning & Zoning Commission, Chairman

LANDSCAPE PLAN

4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office

### 1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
- 1. Planting (trees, shrubs and grasses)
- 2. Bed preparation and fertilization
- 3. Notification of sources
- 4. Water and maintenance until final acceptance
- Guarantee

### 1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 Cornell University

### 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

### 1.5 JOB CONDITIONS

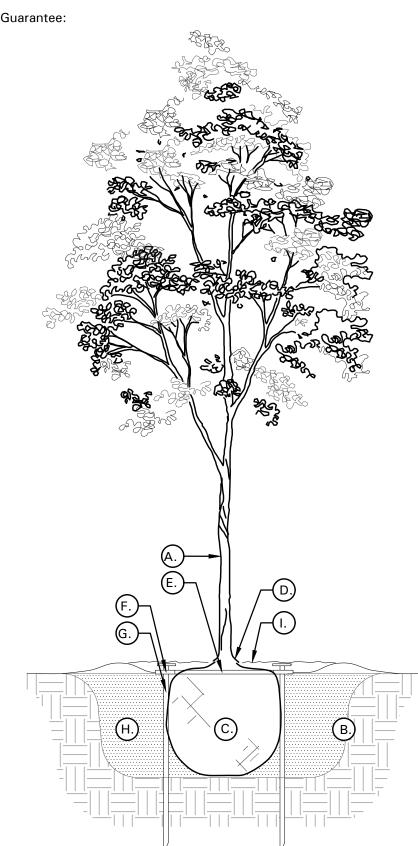
- A. General Contractor to complete the following punch list: Prior to 1.7 QUALITY ASSURANCE Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

### 1.6 MAINTENANCE AND GUARANTEE

### A. Maintenance:

- 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
- 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance

## B. Guarantee:



- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze,

insects, diseases, injury by humans, machines or theft.

- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material: 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
- 2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
- 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules
- 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

- do not measure from branch or root tip-to-tip.
- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on iob site.
- 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport. 5. Notify Owner's Authorized Representative of delivery
- schedule 72 hours in advance job site. 6. Remove rejected plant material immediately from job site.
- 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

# 2.1 PLANTS

PART 2 - PRODUCTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. 2.3 MISCELLANEOUS MATERIALS Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

### specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken PART 3 - EXECUTION root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, 3.1 BED PREPARATION & FERTILIZATION measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

### 2.2 SOIL PREPARATION MATERIALS

### A. Sandy Loam:

- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- 2. Physical properties as follows: a. Clay – between 7-27 percent b. Silt – between 15-25 percent c. Sand – less than 52 percent
- 3. Organic matter shall be 3%-10% of total dry weight.
- 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of 3.2 INSTALLATION course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" 4" dia.

### F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
- 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- 2. All planting areas shall receive a two (2") inch layer of specified mulch.
- 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- . Position the trees and shrubs in their intended location as per
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth. . Shrub and tree pits shall be no less than twenty-four (24")
- inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing 3.3 CLEANUP AND ACCEPTANCE G. Dig a wide, rough sided hole exactly the same depth as the
- height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or H. Percolation Test: Fill the hole with water. If the water level does
- not percolate within 24 hours, the tree needs to move to another END OF SECTION location or have drainage added. Install a PVC stand pipe per

- tree planting detail as approved by the Landscape Architect if the percolation test fails.
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top  $\frac{1}{3}$  of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.
- J. Do not wrap trees.
- K. Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section. alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
- 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches
- 2. Pruning shall be done with clean, sharp tools.
- 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

### Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- 2. All steel curbing shall be free of kinks and abrupt bends.
- 3. Top of curbing shall be  $\frac{1}{2}$ " maximum height above final finished grade.
- 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- 5. Do not install steel edging along sidewalks or curbs.
- 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

### TREE PLANTING DETAIL LEGEND **AND NOTES**

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE C. ROOT BALL: REMOVE TOP 1/3 BURLAP

B. TREE PIT: WIDTH TO BE AT LEAST TWO

- AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS. D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH,
- ROOT FLARE IS NOT APPARENT. E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE

AND AT LEAST TWO INCHES ABOVE

GRADE. TREES SHALL BE REJECTED

WHEN GIRDLING ROOTS ARE PRESENT &

F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.

RING.

G. NAIL STAKE: REFER MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley

(903) 676-6143

IS EXPRESSLY PROHIBITED.

www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING

jeff@treestakesolutions.com

K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY MANUFACTURER'S SPECIFICATIONS PRIOR INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.

### REFER TO LANDSCAPE PLAN **TOPDRESS MULCH PER** SPECIFICATIONS; 2" MINIMUM-SETTLED THICKNESS TOP OF MULCH 1/2" 3/16" X 4" BLACK EDGING, MINIMUM BELOW TOP OF-STAKES ON INSIDE; EDGING SHALL CONCRETE WALK / CURB BE 1/2" MAXIMUM HEIGHT J-W4000 ABOVE FINISH GRADE SCARIFY SIDES--LAWN / FINISH GRADE CONCRETE WALK — POCKET PLANTING NOT ALLOWED NO STEEL EDGING SHALL PREPARED SOIL MIX PER SPECIFICATIONS; TILL 6" MINIMUM BE INSTALLED ALONG OF PREPARED SOIL MIX INTO SIDEWALKS OR CURBS 6" DEPTH OF EXISTING SOIL REFER TO LANDSCAPE PLAN -NATIVE SOIL FOR SPACING ROOTBALL, DO NOT DISTURB

2 SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE

SHRUBS / GROUNDCOVER

OWNER: ALVAPLAST U.S. DEVELOPMENT, LLC PROSS DESIGN GROUP, INC CONTACT: CAROLINA MOLINA 1480 JUSTIN ROAD ROCKWALL, TX 75087 469. 402. 1232

# **ARCHITECT:**

CONTACT: ROBERT PROSS 5310 HARVEST HILL RD., SUITE 180 **DALLAS, TX 75230** 972. 759. 1400

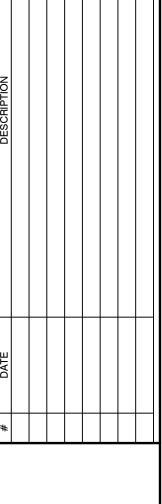
WITNESS OUR HANDS , this \_\_\_\_\_ day of \_\_\_

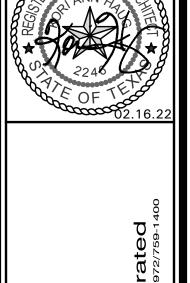
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ , \_\_\_\_

Planning & Zoning Commission, Chairman Director of Planning and Zoning LANDSCAPE SPECIFICATIONS AND DETAILS



4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office

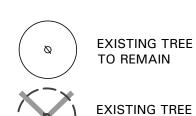




S

PRIVATE RD.

**EXISTING TREE LEGEND** 



(65' R.O.W.)

EXISTING TREE TO REMAIN

TO BE REMOVED



TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.01



EXISTING SHRUBS TO REMAIN

### TREE PRESERVATION NOTES

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- 2. IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- 3. NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL
- 4. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- 5. NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- 6. NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS,
- 7. NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- 8. NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- 9. BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- 10. IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- 11. ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- 12. ALL TREES TO REMAIN, AS NOTED ON DRAWINGS SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- 13. WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

## CITY OF ROCKWALL NOTES

NO TREES WITHIN 5'-0" OF ANY UTILITIES **IRRIGATION SYSTEM WILL MEET** REQUIREMENTS IN THE UDC

# OWNER:

ALVAPLAST U.S. DEVELOPMENT, LLC PROSS DESIGN GROUP, INC. CONTACT: CAROLINA MOLINA 1480 JUSTIN ROAD ROCKWALL, TX 75087 469. 402. 1232

# **ARCHITECT:**

CONTACT: ROBERT PROSS 5310 HARVEST HILL RD., SUITE 180 **DALLAS, TX 75230** 972. 759. 1400

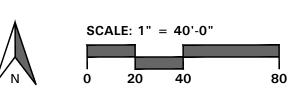
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ , \_\_\_\_

Director of Planning and Zoning

WITNESS OUR HANDS , this \_\_\_\_\_ day of \_\_\_\_

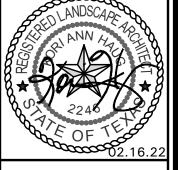
Planning & Zoning Commission, Chairman

TREE PRESERVATION PLAN





4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office







	Dia.	Species	Status	Condition	ELD DATA Remarks	Protection Status	Mitigation Required
1	(inches)	(common name) HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	J
2	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
3	5 6	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
5 6	15 7	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	SECONDARY PROTECTED  NON-PROTECTED	
7 8	7.5 12	HACKBERRY BOIS D'ARC	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
9	11	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
10 11	12 8.5	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	SECONDARY PROTECTED  NON-PROTECTED	
12 13	12 8	BOIS D'ARC BOIS D'ARC	TO REMAIN TO REMAIN	GOOD POOR	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
14	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
15 16	6	EASTERN RED CEDAR HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
17	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
18 19	10 14	HACKBERRY BOIS D'ARC	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
20 21	10 5	HACKBERRY BOIS D'ARC	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
22	12	EASTERN RED CEDAR	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
23 24	6.5 6	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
25	6.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
26 27	11	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	SECONDARY PROTECTED  NON-PROTECTED	
28 29	15 7	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	SECONDARY PROTECTED NON-PROTECTED	
30	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
31 32	7.5 9	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
33	13.5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
34 35	10 9.5	BOIS D'ARC HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
36	17.5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
37 38	4 9.5	HACKBERRY BOIS D'ARC	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
39 40	9.5 4	HACKBERRY HACKBERRY	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE OFFSITE	NON-PROTECTED NON-PROTECTED	
41	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
42 43	5 3	BOIS D'ARC CHINKAPIN OAK	TO REMAIN TO REMAIN	GOOD GOOD	OFFSITE ON-SITE	NON-PROTECTED NON-PROTECTED	
44	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
45 46	3	CHINKAPIN OAK CHINKAPIN OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
47	3	CHINKAPIN OAK	TO BE REMOVED	GOOD GOOD	ON-SITE	NON-PROTECTED	
48 49	3	BALD CYPRESS BALD CYPRESS	TO BE REMOVED TO BE REMOVED	GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
50 51	3	BALD CYPRESS BALD CYPRESS	TO BE REMOVED TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
52	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
53 54	3	BALD CYPRESS EASTERN RED CEDAR	TO REMAIN TO BE REMOVED	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
55	3	EASTERN RED CEDAR		GOOD	ON-SITE	NON-PROTECTED	
56 57	3	EASTERN RED CEDAR EASTERN RED CEDAR		GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
58 59	3	EASTERN RED CEDAR EASTERN RED CEDAR		GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
60	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
61 62	3	EASTERN RED CEDAR EASTERN RED CEDAR	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
63 64	3	EASTERN RED CEDAR EASTERN RED CEDAR	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
65	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
66 67	3	EASTERN RED CEDAR CHINKAPIN OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
68	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
69 70	3	CHINKAPIN OAK BALD CYPRESS	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
71	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
72 73	3	CHINKAPIN OAK CHINKAPIN OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
74 75	3	BALD CYPRESS BALD CYPRESS	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
76	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
77 78	3	BUR OAK BALD CYPRESS	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
79	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
80 81	3	BALD CYPRESS BUR OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
82 83	3	BUR OAK	TO REMAIN	GOOD GOOD	ON-SITE	NON-PROTECTED	
84	3	BUR OAK LACEBARK ELM	TO REMAIN TO REMAIN	GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
85 86	3	CEDAR ELM CEDAR ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
87	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
88 89	3	SHUMARD OAK SHUMARD OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
90	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
91 92	3	BUR OAK SHUMARD OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
93	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
94 95	3	LIVE OAK LIVE OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
96 97	3	BUR OAK	TO REMAIN	POOR	ON-SITE	NON-PROTECTED	
98	3	BUR OAK LIVE OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
99 100	3	LIVE OAK LACEBARK ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
101	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
102 103	3	LACEBARK ELM LACEBARK ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
104	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
105 106	3	LIVE OAK BUR OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
107 108	3	SHUMARD OAK SHUMARD OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
109	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
110 111	3	SHUMARD OAK SHUMARD OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
112	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
113 114	3	LACEBARK ELM LACEBARK ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
115 116	3	LIVE OAK LIVE OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
117	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
118 119	3	LIVE OAK LIVE OAK	TO BE REMOVED TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
120	3	CEDAR ELM	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
121 122	3	LACEBARK ELM CEDAR ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
123	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
124 125	3	CEDAR ELM CEDAR ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
126 127	3	BUR OAK CEDAR ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
128	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
129 130	3	CEDAR ELM CEDAR ELM	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
131	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
132 133	3	LIVE OAK LIVE OAK	TO REMAIN TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
134	2	LIVE OAK	TO REMAIN	GOOD GOOD	ON-SITE ON-SITE	NON-PROTECTED NON-PROTECTED	
134 135 136	3	CEDAR ELM	TO REMAIN	OCCD	J., J., L		

TREE SURVEY FIELD DATA

Total Caliper Inches Removed
Total Mitigation Inches Required
Total Mitigation Inches Provided (Refer to Landscape Plans)
Total Mitigation Inches Remaining
Tree Preservation Credits Purchased (100% of total mitigation inches paid at \$100/inch)

OWNER: ALVAPLAST U.S. DEVELOPMENT, LLC PROSS DESIGN GROUP, INC. CONTACT: CAROLINA MOLINA CONTACT: ROBERT PROSS 1480 JUSTIN ROAD ROCKWALL, TX 75087 469. 402. 12<sup>3</sup>2

# ARCHITECT:

CONTACT: ROBERT PROSS 5310 HARVEST HILL RD., SUITE 180 DALLAS, TX 75230 972. 759. 1400

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_\_, \_\_\_\_

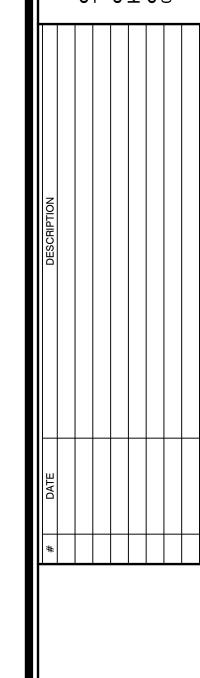
Planning & Zoning Commission, Chairman

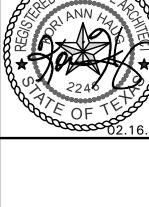
WITNESS OUR HANDS , this \_\_\_\_\_ day of \_\_\_\_\_ , \_\_\_\_\_.

TREE PRESERVATION NOTES



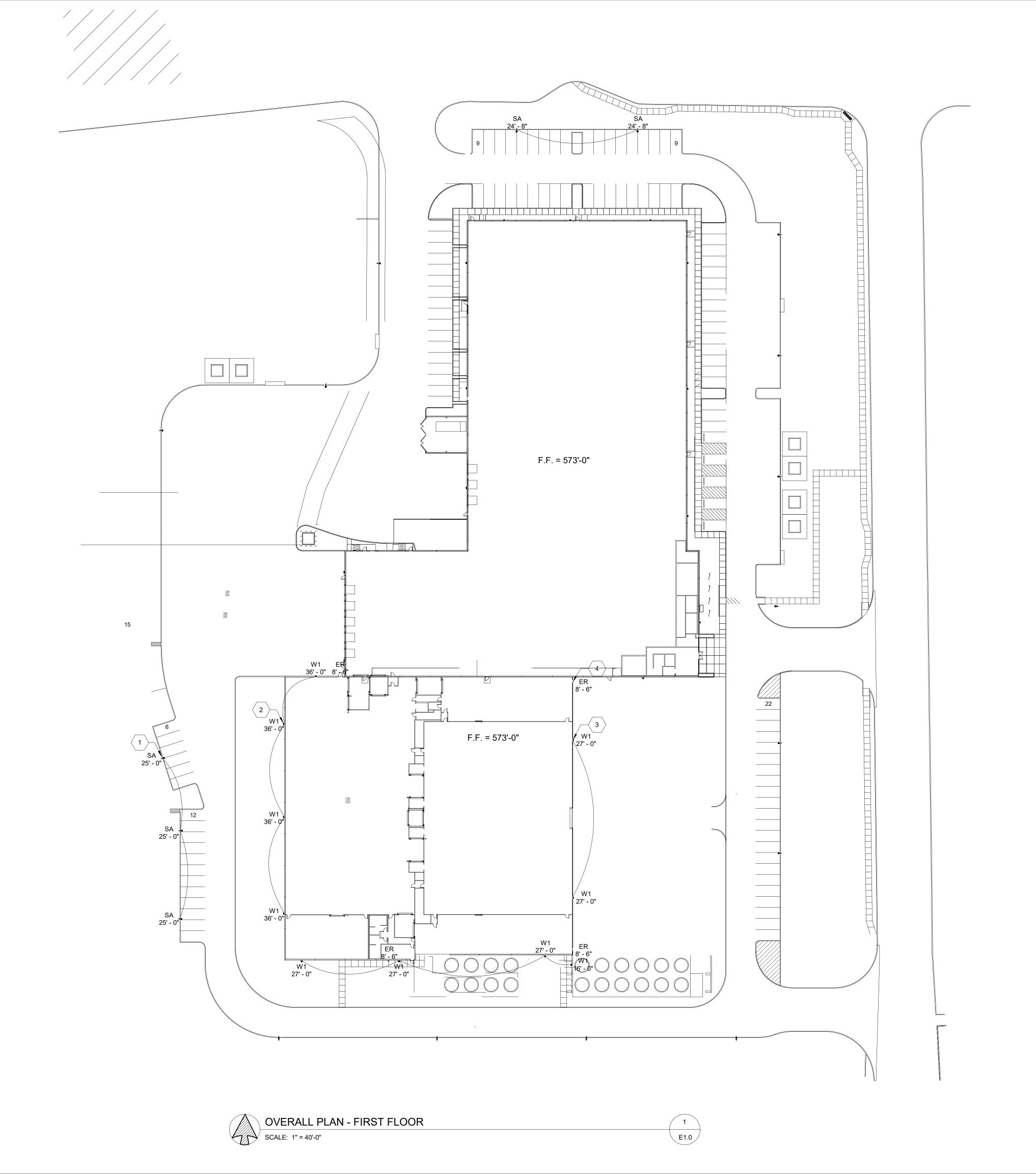
• 4245 North Central Expy Suite 501 Dallas, Texas 75205214.865.7192 office











# DRAWING NOTES

DRAWING E1.0

- 1 MOUNT TOP OF LIGHTING FIXTURE AT 25'-0" TO MATCH EXISTING SITE LIGHTING. MATCH EXISTING SQUARE STRAIGHT STEEL LIGHT POLE. CATALOG NUMBER SSS-25-4C-DM19AS-DDBXD.
- 2 MOUNT FIXTURE ABOVE SECOND FLOOR WINDOWS. COORDINATE WITH OWNER TO VERIFY EXACT MOUNTING HEIGHT.
- 3 MOUNT FIXTURE AT 27'-0" AFF TO MATCH EXISTING SITE LIGHTING
- 4 MOUNT OVERHEAD FIXTURES +1'-0" ABOVE DOORWAY.

# **GENERAL NOTES**

APPLIES TO ALL DRAWINGS OF THIS TRADE

- A FOR GENERAL NOTES, LEGEND AND SYMBOLS SEE DRAWING EO.1.
- B FOR LIGHTING INFORMATION AND LUMINAIRE SCHEDULE SEE DRAWING
- C EXIT SIGNS AND EMERGENCY FIXTURES SHALL BE PROVIDED WITH AN UNSWITCHED "HOT" TO PROVIDE CONTINUOUS POWER TO THE FIXTURE EVEN WHEN OFF.
- D PROVIDE ALL MOUNTING HARDWARE FOR LIGHTING FIXTURES INCLUDING CABLING, MOUNTING BRACKETS, ETC. AS REQUIRED.

OWNER:

ALVAPLAST U.S. DEVELOPMENT, LLC PROSS DESIGN GROUP, INC. CONTACT: CAROLINA MOLINA 1480 JUSTIN ROAD ROCKWALL, TX 75087 469.402.1232

# ARCHITECT:

CONTACT: ROBERT PROSS 5310 HARVEST HILL RD., SUITE 180 DALLAS, TX 75230 972.759.1400

RO	VED:	

WITNESS OUR HANDS , this \_\_\_\_\_day of\_\_\_

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_\_day of\_\_\_\_\_\_,\_\_\_\_

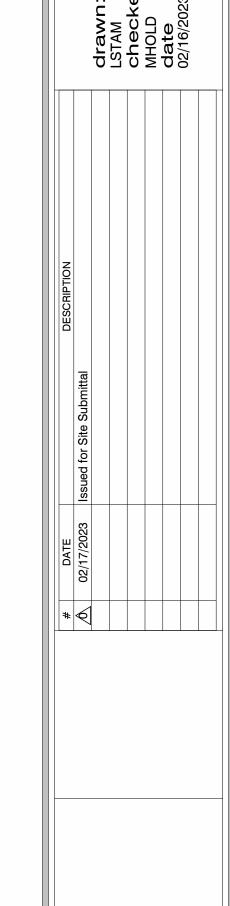
Planning & Zoning Commission, Chairman Director of Planning and Zoning

job no 13597.030 ELECTRICAL

E1.0

# 6

24x36in BORDER



24x36in BORDER

**OWNER:** ALVAPLAST U.S. DEVELOPMENT, LLC PROSS DESIGN GROUP, INC. CONTACT: CAROLINA MOLINA 1480 JUSTIN ROAD ROCKWALL, TX 75087 469.402.1232

# **ARCHITECT:**

CONTACT: ROBERT PROSS 5310 HARVEST HILL RD., SUITE 180 DALLAS, TX 75230 972.759.1400

APPROVED:
AFFINOVED.

WITNESS OUR HANDS, this \_\_

nereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & 2
ommission of the City of Rockwall on theday of,

Planning & Zoning Commission, Chairman Director of Planning and Zoning



job no 13597.030 **ELECTRICAL** 

NORT