



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

IF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **501 INDUSTRIAL BLVD, ROCKWALL TX 75087**

SUBDIVISION **INDALLOY ADDITION** LOT **2** BLOCK **1**

GENERAL LOCATION **INTERSECTION OF RAILROAD RD AND INDUSTRIAL BLVD; NORTH OF I-30**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LIGHT INDUSTRIAL** CURRENT USE **OFFICE, WAREHOUSE, MANUFACTURING**

PROPOSED ZONING **LIGHT INDUSTRIAL** PROPOSED USE **OFFICE, WAREHOUSE, MANUFACTURING**

ACREAGE **11.37 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER ALVAPLAST US DEVELOPMENT LLC	<input checked="" type="checkbox"/> APPLICANT HALFF ASSOCIATES
CONTACT PERSON CAROLINA MOLINA	CONTACT PERSON TJ MCDONALD
ADDRESS 1480 JUSTIN ROAD	ADDRESS 3803 PARKWOOD BLVD, SUITE 800
CITY, STATE & ZIP ROCKWALL, TX 75087	CITY, STATE & ZIP FRISCO, TX 75034
PHONE 469-402-1232	PHONE 214-937-3939
E-MAIL CMolina@sprpackaging.com	E-MAIL tjcdonald@halff.com

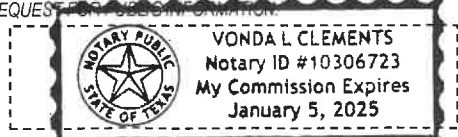
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Marcus McKee [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 477.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF February 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF February 2023

OWNER'S SIGNATURE [Signature]



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Vonda L. Clements

MY COMMISSION EXPIRES 1/5/2025

PD-87

Feet

0 55 110 220 330 440

SP2023-009: Site Plan for SPR Packaging

E WASHINGTON ST

AG

G

ALUMINUM PLANT RD

AIRPORT RD

LI

INDUSTRIAL BLVD

Case Location Map =

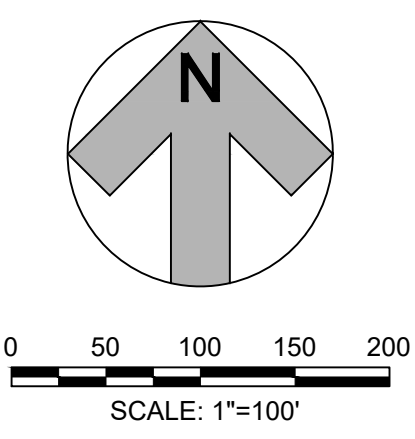
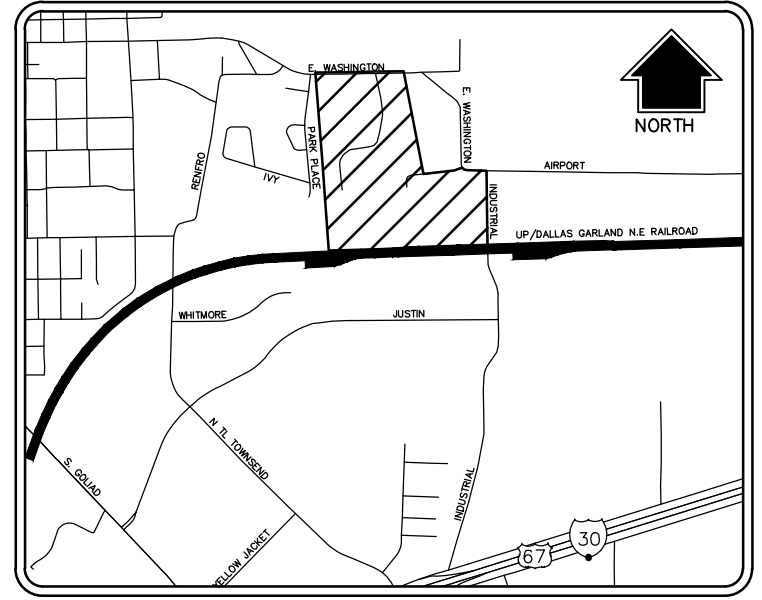


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SPR PACKAGING
SPR NORTH PHASE 2
 ROCKWALL, TEXAS
 INDALLOY ADDITION, BLOCK 1, LOT 2

HALFF
 3803 PARKWOOD BLVD, SUITE 800
 FRISCO, TEXAS 75034-8640
 TEL: 214-688-4574
 FAX: 214-688-4574
 TBPELS FIRM #F-312

Revision No.	Date	Description

PRELIMINARY
 FOR INTERIM REVIEW ONLY
 These documents are for Interim Review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of,

BRIAN M. SATAGAJ 107708
 NAME P.E. NO.
 DATE 02/17/2022
 TBPELS Engineering Firm #312

Project No.: 35533
 Issued: FEB., 2023
 Drawn By: CAD
 Checked By: BMS
 Scale: AS SHOWN

Sheet Title
OVERALL SITE PLAN

C0.01
 Sheet Number

SURVEYOR

HALFF ASSOCIATES, INC.
 RICHARDSON, TEXAS 75081
 CONTACT: DREW CHAVCHALOV
 EMAIL: DCHAVCALOV@HALFF.COM
 TEL: (214) 217-6461
 TBPELS FIRM# F-312

DEVELOPER/OWNER

ALVAPLAST US DEVELOPMENT LLC
 1480 JUSTIN ROAD
 ROCKWALL, TX 75087
 CONTACT: CAROLINA MOLINA
 EMAIL: CMOLINA@SPRPACKAGING.COM
 TEL: 469-402-1232

ENGINEER

HALFF ASSOCIATES, INC.
 FRISCO, TEXAS 75034-8640
 CONTACT: BRIAN SATAGAJ
 EMAIL: BSATAGAJ@HALFF.COM
 TEL: (214) 217-6463
 TBPELS FIRM# F-312

ARCHITECT

PROSS DESIGN GROUP, INC.
 DALLAS, TEXAS 75230-8640
 CONTACT: DAVID MORALES
 EMAIL: DMORALES@PDGARCH.COM
 TEL: (972) 759-1400

LANDSCAPE ARCHITECT

BELLE FIRMA
 4245 NORTH CENTRAL EXPY
 SUITE 501
 DALLAS, TX 75205
 CONTACT: KORI HAUG
 EMAIL: KHAUG@BELLEFIRMA.COM
 TEL: 214-865-7192

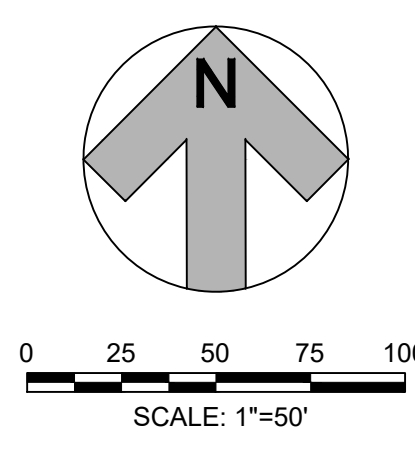
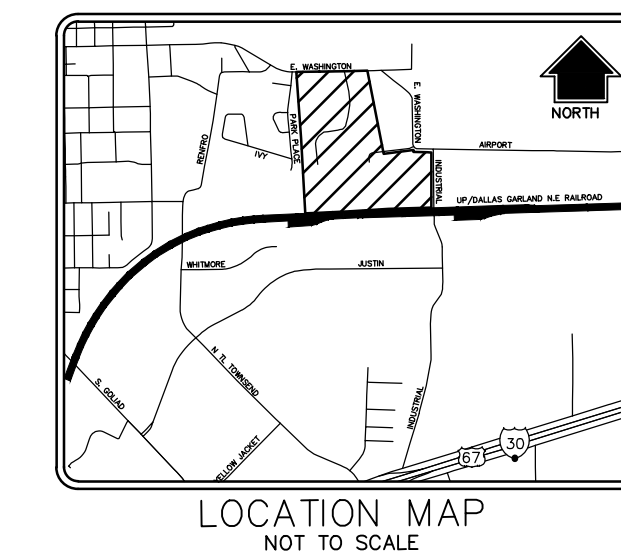
● BENCHMARK 1
 CENTER OF SANITARY SEWER
 MANHOLE LID, LOCATED 100
 FEET NORTHEAST OF THE
 EASTERN-MOST NORTHEAST
 PROPERTY CORNER
 ELEVATION=580.82'

● BENCHMARK 2
 CENTER OF SANITARY SEWER
 MANHOLE LID, LOCATED 18.5
 FEET NORTHWEST OF THE SOUTHEAST
 PROPERTY CORNER ELEVATION =577.13'

CASE NO. XXXX

CITY#: XXXX

February 17, 2023 5:00:03 35533 03 CAD: Sheets\FRC\Phase II\C-SITE-35533.dwg



SITE DATA:

CURRENT ZONING:	(L) LIGHT INDUSTRIAL
PROPOSED LAND USE:	OFFICE, WAREHOUSE, MANUFACTURING
TOTAL SITE AREA:	11.37 AC. (495,340 SF)
BUILDING:	
PHASE 1	
1st FLOOR EXISTING	78,682 SF
2nd FLOOR EXISTING	536 SF
2nd FLOOR NEW	1,483 SF
TOTAL	80,701 SF
PHASE 2	
1st FLOOR	54,134 SF
2nd FLOOR	34,291 SF
TOTAL	88,425 SF
FUTURE EXPANSION (ESTIMATED)	
1st FLOOR	25,866 SF

PARKING:

NOTE:
REQUIRED PARKING CALCULATED PER OWNER PROVIDED EMPLOYEE & SHIFT DATA
REFERENCE VARIANCE REQUEST SUBMITTED WITH SITE PLAN

EMPLOYEES PER SHIFT = 60 ON 50% STAGGERED/OVERLAPPING SCHEDULE

EMPLOYEE PARKING SPACES REQUIRED = 90 SPACES
VISITOR PARKING SPACES REQUIRED = 20 SPACES
TOTAL PARKING SPACES REQUIRED = 110 SPACES
TOTAL PARKING SPACES PROVIDED = 146 SPACES

ACCESSIBLE SPACES REQUIRED = 5 SPACES
ACCESSIBLE SPACES PROVIDED = 5 SPACES
*SPACES ARE INCLUDED IN TOTAL ABOVE

EXISTING LEGEND

	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	WATER VALVE
	SANITARY SEWER MANHOLE
	POWER POLE
	STORM MANHOLE
	WATERLINE
	SEWER LINE
	EASEMENT LINE
	PROPERTY LINE
	CONTOUR LINE

LEGEND

	7" THICK, 3600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
--	---

SURVEYOR

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BENCHMARK 1
CENTER OF SANITARY SEWER
MANHOLE LID, LOCATED 100
FEET NORTHWEST OF THE
EASTERN-MOST NORTHEAST
PROPERTY CORNER
ELEVATION=580.82'

BENCHMARK 2
CENTER OF SANITARY SEWER
MANHOLE LID, LOCATED 18.5
FEET NORTHWEST OF THE SOUTHEAST
PROPERTY CORNER
ELEVATION = 577.13'

CASE NO. XXXX

CITY#: XXXX

SPR PACKAGING
SPR NORTH PHASE 2
ROCKWALL, TEXAS
INDALLOY ADDITION, BLOCK 1, LOT 2



Revision No.	Date	Description

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These documents are for Interim Review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of:

BRIAN M. SATAGAJ	107708
NAME	P.E. NO.
DATE	02/17/2022
TBPELS Engineering Firm #312	

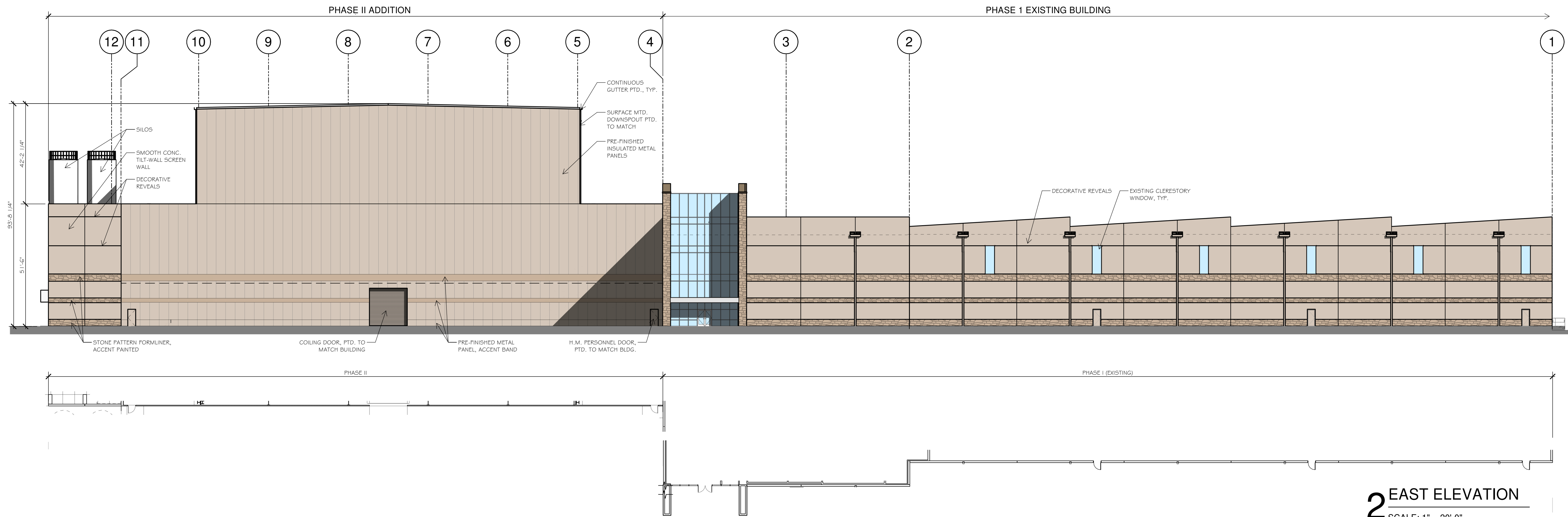
Project No.:	35533
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Drawn By:	CAD
Checked By:	BMS
Scale:	AS SHOWN

Sheet Title
DETAIL SITE PLAN

C0.02
Sheet Number

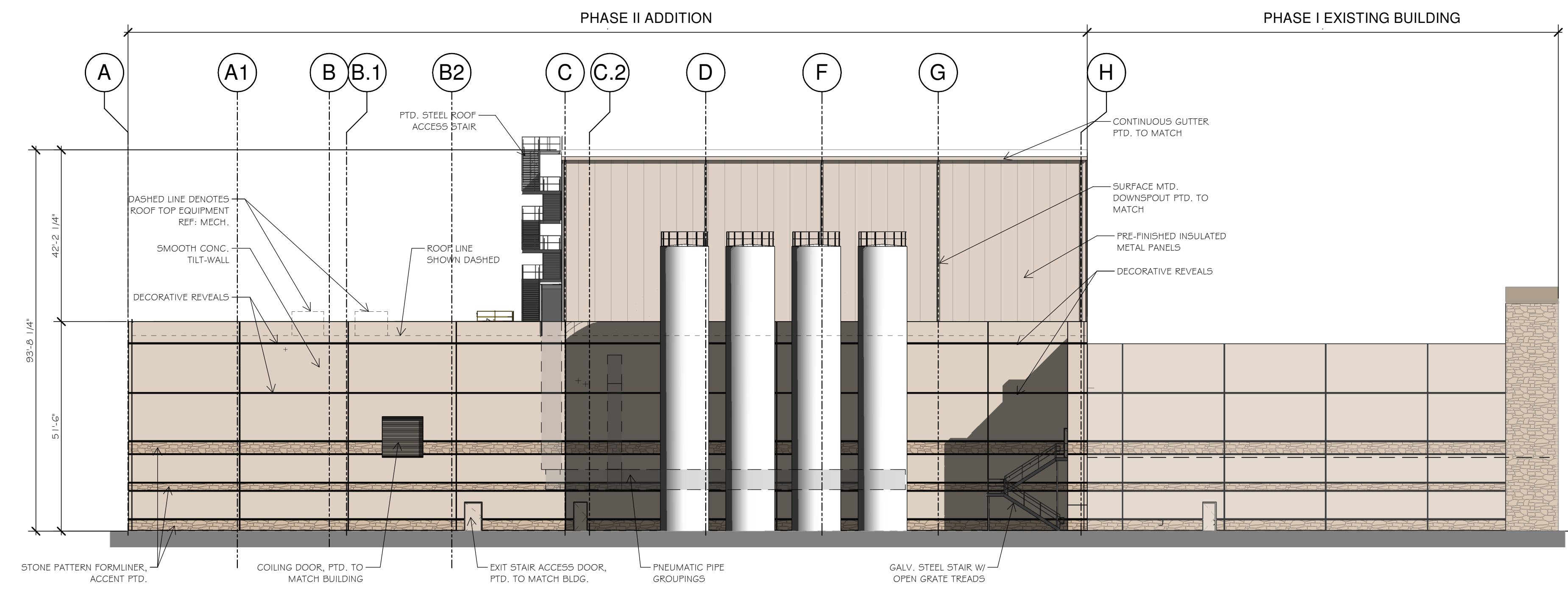
February 17, 2023 3:00pm 3553331003\CADD\Sheets\FRC\Phase I\IC-SITE-35533.dwg

2/16/2023 2:43:21 PM C:\Users\pdg35\Documents\2023 R25 SPR North - Phase 2_Central Model_sarellano\BYP22.vt © 2020 THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROSS DESIGN GROUP.



2 EAST ELEVATION
SCALE: 1" = 20'-0"

PAINT SCHEME LEGEND	
(A) BASE PAINT COLOR	SHERWIN WILLIAMS - SW 9085 TOUCH OF SAND
(B) ACCENT PAINT COLOR 01	SHERWIN WILLIAMS - SW 7518 BEACH HOUSE
(C) ACCENT PAINT COLOR 02	SHERWIN WILLIAMS - SW 7550 RESORT TAN
(D) METAL PANEL - ACCENT TRIM	METAL SPAN WEATHERXL - SADDLE TAN



1 SOUTH ELEVATION
SCALE: 1" = 20'-0"

FACADE MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
TOTAL FACADE SQ. FT.	15,986 S.F.	31,704 S.F.	28,696 S.F.	45,868 S.F.
FACADE SQ. FT. EXCLUDING DOORS & WINDOWS	15,382 S.F.	31,194 S.F.	25,731 S.F.	43,187 S.F.
DOORS AND WINDOWS	604 S.F.	510 S.F.	2,965 S.F.	2,681 S.F.
INSULATED METAL PANELS (IMP)	43 S.F.	5,859 S.F.	7,129 S.F.	7,129 S.F.
MASONRY TOTAL	15,339 S.F. 99.7 %	25,335 S.F. 81.0 %	18,602 S.F. 72.0 %	36,058 S.F. 83.0 %

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469. 402. 1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: ROBERT PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972. 759. 1400

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

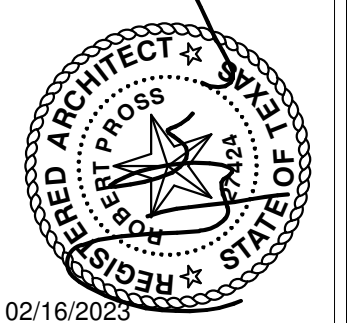
WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

drawn: MA
checked: ROBERT PROSS
date: 02/16/2023

#	DATE	DESCRIPTION



02/16/2023

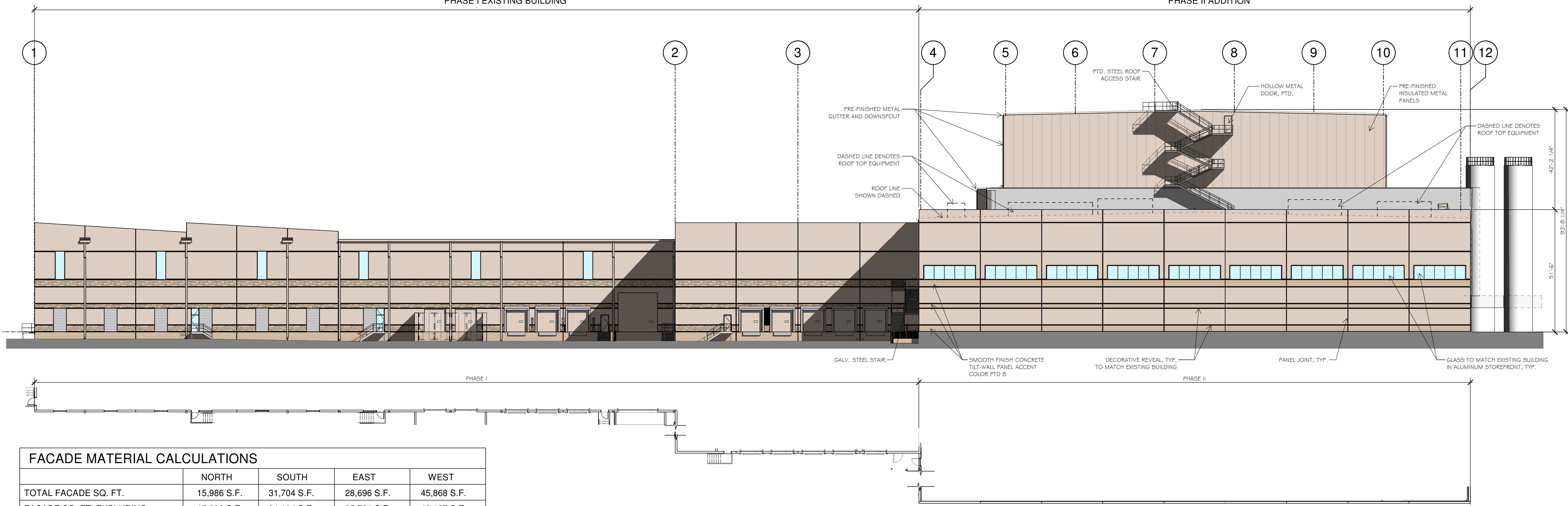
pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230, 972/759-1400

SPR PACKAGING
SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
2033
sheet
A3-0

PHASE I EXISTING BUILDING

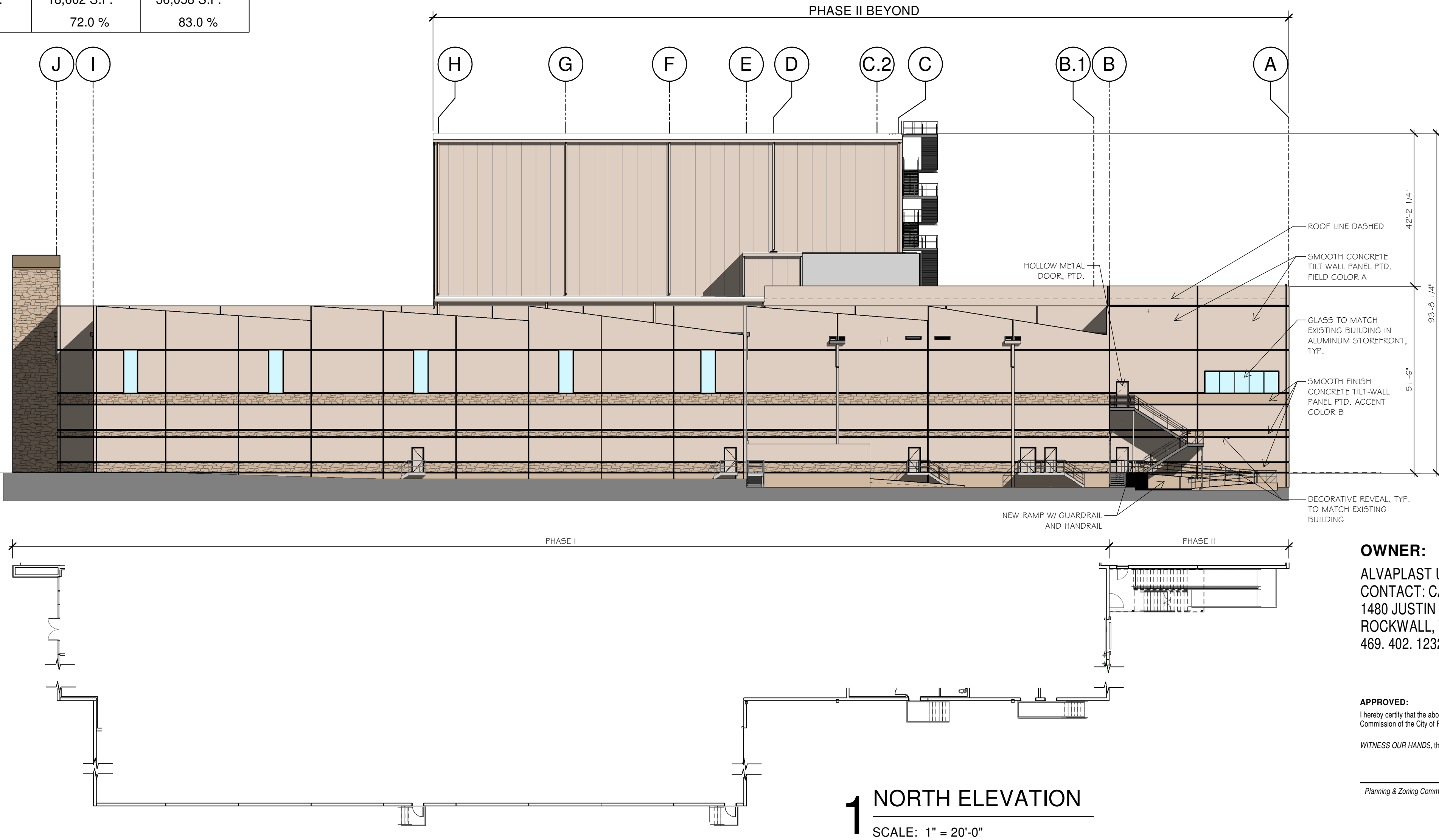
PHASE II ADDITION



FACADE MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
TOTAL FACADE SQ. FT.	15,986 S.F.	31,704 S.F.	28,696 S.F.	45,868 S.F.
FACADE SQ. FT. EXCLUDING DOORS & WINDOWS	15,382 S.F.	31,194 S.F.	25,731 S.F.	43,187 S.F.
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MASONRY TOTAL	15,339 S.F.	25,335 S.F.	18,602 S.F.	36,058 S.F.
	99.7 %	81.0 %	72.0 %	83.0 %

2 WEST ELEVATION
SCALE: 1" = 20'-0"

PAINT SCHEME LEGEND	
A	BASE PAINT COLOR SHERWIN WILLIAMS - SW 9085 TOUCH OF SAND
B	ACCENT PAINT COLOR 01 SHERWIN WILLIAMS - SW 7518 BEACH HOUSE
C	ACCENT PAINT COLOR 02 SHERWIN WILLIAMS - SW 7550 RESORT TAN
D	METAL PANEL - ACCENT TRIM METAL SPAN WEATHERXL - SADDLE TAN



1 NORTH ELEVATION
SCALE: 1" = 20'-0"

OWNER:
ALVPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469. 402. 1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: ROBERT PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972. 759. 1400

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

drawn: MA
checked: ROBERT PROSS
date: 02/16/2023

DESCRIPTION

DATE

#

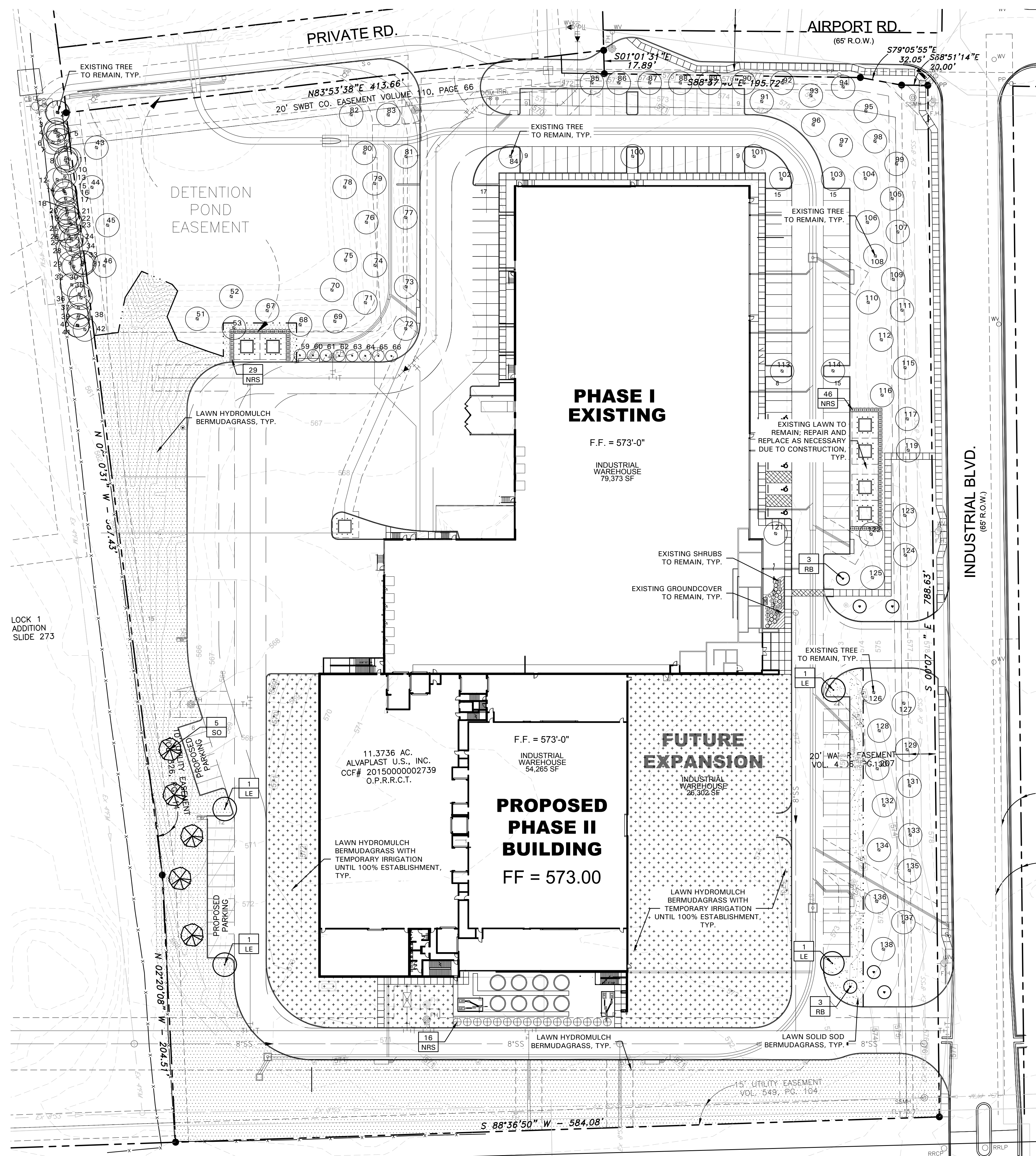
02/16/2023

pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230, 972/759-1400

SPR
PACKAGING
SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
2033
sheet
A3-1

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LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	4	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
RB	<i>Cercis canadensis 'Oklahoma'</i>	Oklahoma Redbud	6	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	5	4" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
SHRUBS/GROUNDCOVER					
NRS	<i>Ilex spp. 'Nellie R. Stevens'</i>	Nellie R. Stevens Holly	91	7 gal.	container full to base, 36" ht., refer to plan for spacing refer to notes
	<i>Cynodon dactylon</i>	Common Bermudagrass			

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

LANDSCAPE TABULATIONS
THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- 10' wide landscape buffer with one tree per 50 l.f.

INDUSTRIAL BLVD.: 789 l.f.
 Required (16) trees, 3" cal. Provided (16) existing trees, 4" cal. +

AIRPORT RD.: 248 l.f.
 Required (5) trees, 3" cal. Provided (5) existing trees, 4" cal. +

PARKING LOT LANDSCAPING

- 5% of the interior parking lot shall be landscape.
- One (1) tree for every ten (10) parking spaces.
- All parking spaces shall be a minimum eighty (80) feet from a tree.

Total interior parking lot area: 38,589 s.f.
 Total parking spaces: 88 spaces

Required 1,930 s.f. (5%) (9) trees
 Provided 3,164 s.f. (16%) (9) existing trees

SITE LANDSCAPING

- 10% of the total site shall be landscaped for LIGHT INDUSTRIAL.
- 100% of the total requirements shall be located in the front of and along side buildings for LIGHT INDUSTRIAL.

Total site: 11.37 AC; 495,440 s.f.

Required 49,544 s.f. (100%)
 Provided 263,051 s.f. (25%)
 49,544 s.f. (100%) 168,924 s.f.

DETENTION BASIN REQUIREMENTS

- A minimum of one (1) tree for every 750 s.f. of dry land area.

Dry Land Area: 17,143 s.f.
 Required (23) trees
 Provided (23) existing trees

INCREASED LANDSCAPING

- Materials and Masonry Composition
- Above Ground Silo Screening
- Parking

Provided:

- (5) Additional trees along west parking row.
- (6) Ornamental trees added at existing entry drives.
- (16) Evergreen screening shrubs provided around silos.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

OWNER:

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ARCHITECT:

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 DALLAS, TX 75230
 972.759.1400

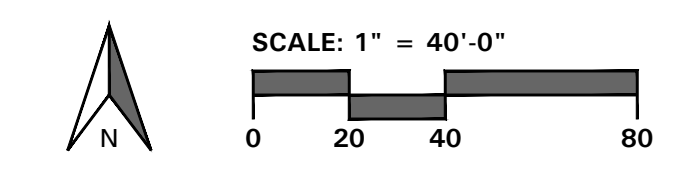
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

LANDSCAPE PLAN



- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

drawn: [checked] [date: 02/16/2023]
 DATE DESCRIPTION

REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 224
 02.16.22

pross design group, inc. incorporated
 5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230, 972.759.1400

SPR PACKAGING
 SPR NORTH - PHASE II
 ROCKWALL, TEXAS

job no 2033
 sheet L2.01

TREE SURVEY FIELD DATA							
No.	Dia. (inches)	Species (common name)	Status	Condition	Remarks	Protection Status	Mitigation Required
1	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
2	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
3	5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
4	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
5	15	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
6	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
7	7.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
8	12	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
11		HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
10	12	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
11	8.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
12	12	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
13	8	BOIS D'ARC	TO REMAIN	POOR	OFFSITE	NON-PROTECTED	
14	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
15	6	EASTERN RED CEDAR	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
16	9	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
17	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
18	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
19	14	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
20	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
21	5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
22	12	EASTERN RED CEDAR	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
23	6.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
24	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
25	6.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
26	11	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
27	4	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
28	15	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
29	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
30	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
31	7.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
32	9	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
33	13.5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
34	10	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
35	9.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
40	4	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
41	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
42	5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
43	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
44	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
45	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
46	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
47	3	CHINKAPIN OAK	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
48	3	BALD CYPRESS	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
49	3	BALD CYPRESS	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
50	3	BALD CYPRESS	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
51	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
52	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
53	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
54	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
55	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
56	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
57	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
58	3	EASTERN RED CEDAR	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
59	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
60	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
61	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
62	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
63	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
64	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
65	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
66	3	EASTERN RED CEDAR	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
67	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
68	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
69	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
70	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
71	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
72	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
73	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
74	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
75	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
76	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
77	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
78	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
79	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
80	3	BALD CYPRESS	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
81	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
82	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
83	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
84	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
85	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
86	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
87	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
88	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
89	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
90	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
91	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
92	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
93	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
94	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
95	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
96	3	BUR OAK	TO REMAIN	POOR	ON-SITE	NON-PROTECTED	
97	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
98	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
99	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
100	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
101	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
102	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
103	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
104	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
105	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
106	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
107	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
108	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
109	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
110	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
111	3	SHUMARD OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
112	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
113	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
114	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
115	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
116	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
117	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
118	3	LIVE OAK	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
119	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
120	3	CEDAR ELM	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
121	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
122	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
123	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
124	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
125	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
126	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
127	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
128	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
129	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
130	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
131	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
132	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
133	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
134	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
135	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
136	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
137	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
138	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	

Total Caliper Inches on Site	663.00
Total Caliper Inches Removed	33.00
Total Mitigation Inches Required	0.00
Total Mitigation Inches Provided (Refer to Landscape Plans)	0.00
Total Mitigation Inches Remaining	0.00
Tree Preservation Credits Purchased (100% of total mitigation inches paid at \$100/inch)	\$0.00

OWNER:
 ALVAPLAST U.S. DEVELOPMENT, LLC
 CONTACT: CAROLINA MOLINA
 1480 JUSTIN ROAD
 ROCKWALL, TX 75087
 469. 402. 1232


ARCHITECT:
 PROSS DESIGN GROUP, INC.
 CONTACT: ROBERT PROSS
 5310 HARVEST HILL RD., SUITE 180
 DALLAS, TX 75230
 972. 759. 1400

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

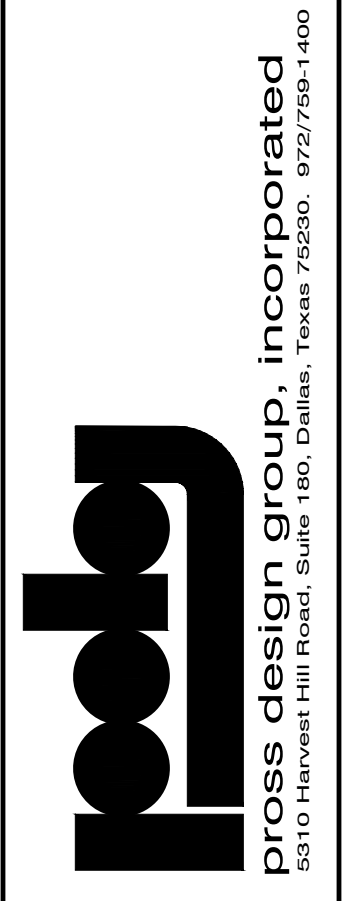
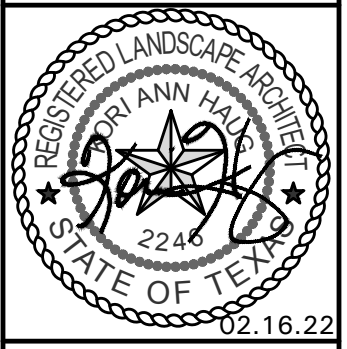
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

TREE PRESERVATION NOTES

 **BELLE FIRMA**

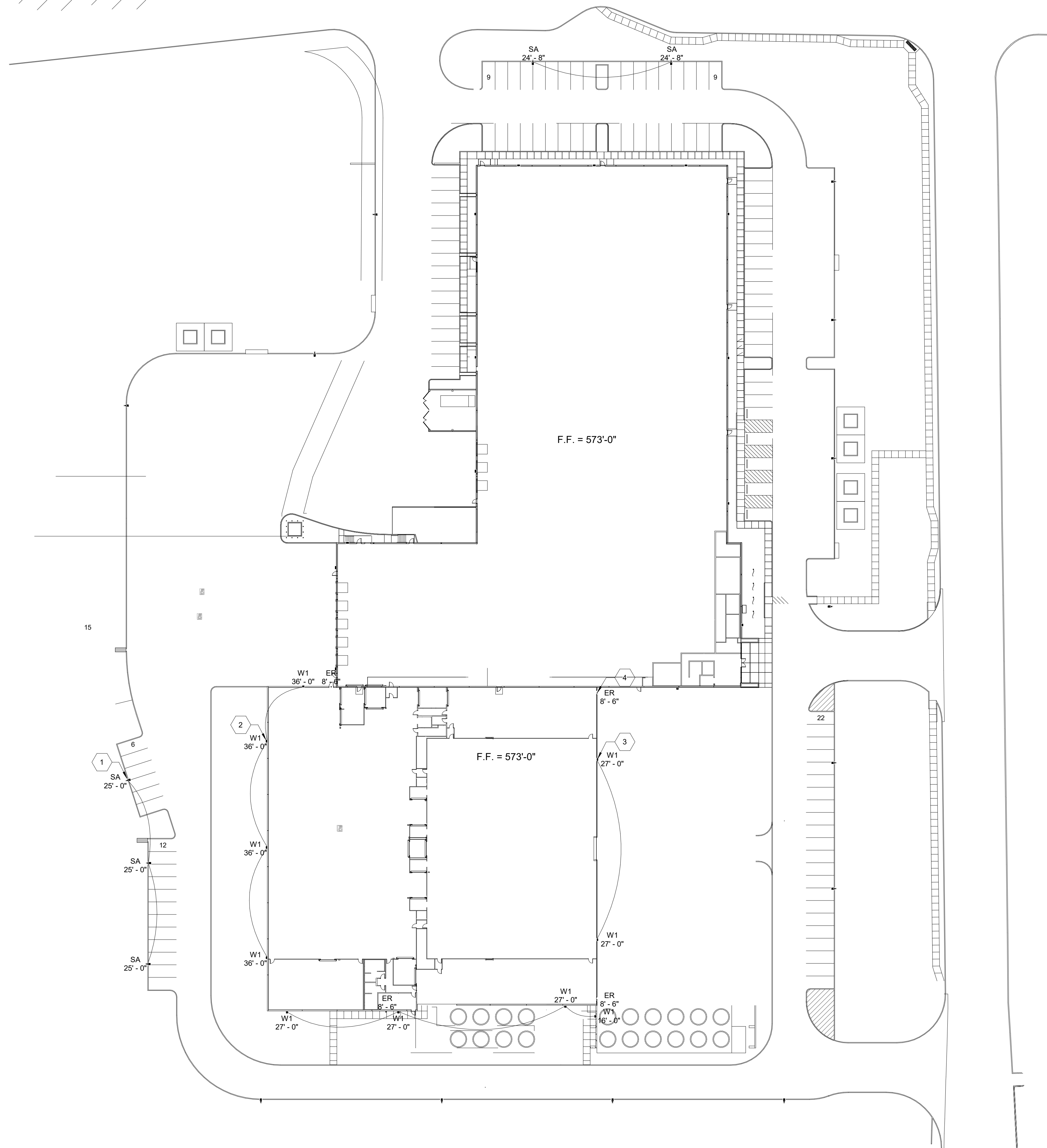
- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

drawn by: [blank]	checked by: [blank]	date: [blank]
DATE	DESCRIPTION	



SPR PACKAGING
 SPR NORTH - PHASE II
 ROCKWALL, TEXAS

job no 2033
 sheet
L1.02



OVERALL PLAN - FIRST FLOOR
SCALE: 1" = 40'-0"

1
E1.0

DRAWING NOTES

DRAWING E1.0

- 1 MOUNT TOP OF LIGHTING FIXTURE AT 25'-0" TO MATCH EXISTING SITE LIGHTING. MATCH EXISTING SQUARE STRAIGHT STEEL LIGHT POLE. CATALOG NUMBER SSS-25-4C-DM19AS-DDBXD.
- 2 MOUNT FIXTURE ABOVE SECOND FLOOR WINDOWS. COORDINATE WITH OWNER TO VERIFY EXACT MOUNTING HEIGHT.
- 3 MOUNT FIXTURE AT 27'-0" AFF TO MATCH EXISTING SITE LIGHTING HEIGHT.
- 4 MOUNT OVERHEAD FIXTURES +1'-0" ABOVE DOORWAY.

GENERAL NOTES

APPLIES TO ALL DRAWINGS OF THIS TRADE

- A FOR GENERAL NOTES, LEGEND AND SYMBOLS SEE DRAWING E0.1.
- B FOR LIGHTING INFORMATION AND LUMINAIRE SCHEDULE SEE DRAWING E7.1.
- C EXIT SIGNS AND EMERGENCY FIXTURES SHALL BE PROVIDED WITH AN UNSWITCHED "HOT" TO PROVIDE CONTINUOUS POWER TO THE FIXTURE EVEN WHEN OFF.
- D PROVIDE ALL MOUNTING HARDWARE FOR LIGHTING FIXTURES INCLUDING CABLING, MOUNTING BRACKETS, ETC. AS REQUIRED.

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469.402.1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: ROBERT PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972.759.1400

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WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

drawn:
LJAM
checked
MJD
date
02/16/2023

#	DATE	DESCRIPTION
1	02/17/2023	Issued for Site Submittal

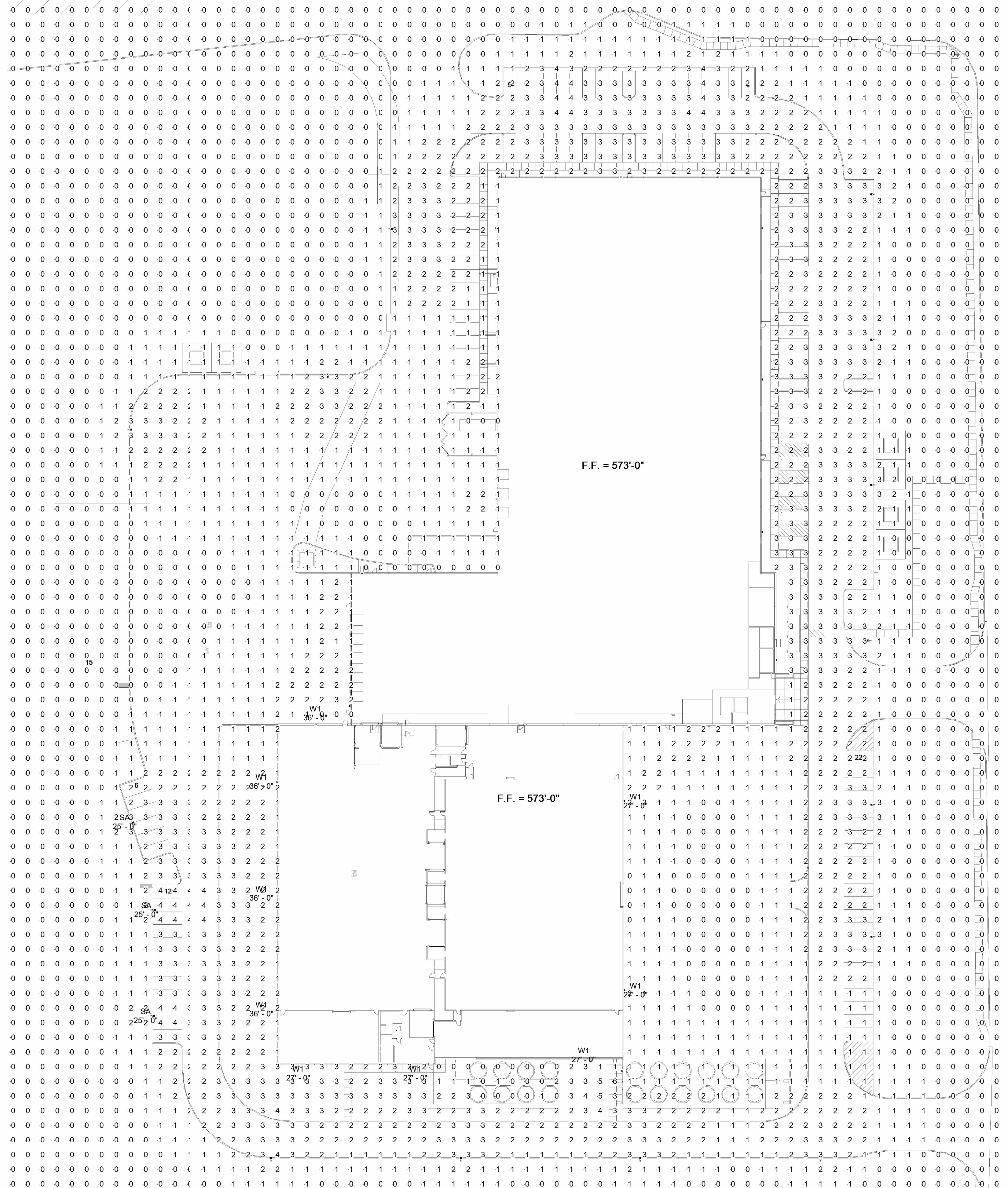
24x36in BORDER

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SPR PACKAGING
SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
13597.030
ELECTRICAL

E1.0



OVERALL PLAN - FIRST FLOOR
SCALE: 1" = 40'-0"

1
E1.1

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
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Planning & Zoning Commission, Chairman Director of Planning and Zoning

drawn:
L3/AM
checked
MROLD
02/16/2023

#	DATE	DESCRIPTION
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24x36in BORDER

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SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
13597.030
ELECTRICAL
E1.1