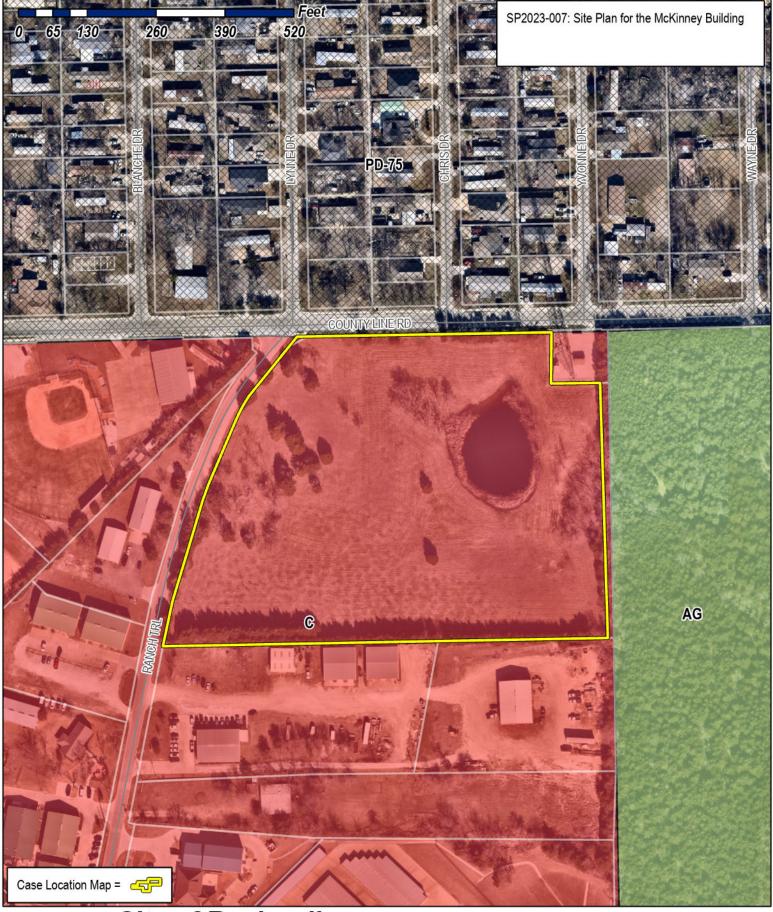
	<b>DEVELOPMENT APPLIC</b> City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ATION	PLAN <u>NOTI</u> CITY SIGN DIRE	FF USE ONLY	TION IS NOT CON INING DIRECTOR	ISIDERED ACCEPTED BY THE R AND CITY ENGINEER HAVE
PLATTING APPLICA MASTER PLAT (\$ PRELIMINARY PL FINAL PLAT (\$300) REPLAT (\$300.00 AMENDING OR M PLAT REINSTATE SITE PLAN APPLICA SITE PLAN (\$250.1	100.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 0.00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup> INOR PLAT (\$150.00) MENT REQUEST (\$100.00) <i>TION FEES:</i>	ZONING ZONIN SPEC PD DE OTHER A TREE VARIA NOTES: IN DETER PER ACRE A 2: A \$1,000	APPLIO NG CHA IFIC US EVELOI APPLIO REMO NCE F MINING T MOUNT.	CATION FEES: ANGE (\$200.00 SE PERMIT (\$20 PMENT PLANS ATION FEES: VAL (\$75.00) EQUEST/SPEC HE FEE, PLEASE US FOR REQUESTS ON MILL BE ADDED TO	+ \$15.00 ACRE 10.00 + \$15.00 A (\$200.00 + \$15. IAL EXCEPTIO IE THE EXACT ACRI LESS THAN ONE A( ) THE APPLICATION	) 1 ACRE) 1 8 2 00 ACRE) 1
	RMATION [PLEASE PRINT]					Tallación de Presidentes en els
ADDRESS	405 Ranch Trail					
SUBDIVISION	Rainbo Acres			LOT	18	BLOCK
GENERAL LOCATION	600 feet south from the intersecti	on of Cour	nty L	ine Road a	and Rancl	h Trail
ZONING, SITE PLA	AN AND PLATTING INFORMATION [PLEAS	SE PRINT]				
CURRENT ZONING	C Commercial	CURREN	T USE	Vacant	Property	
PROPOSED ZONING	C Commercial	PROPOSE	D USE	Office E	Building	
ACREAGE	1.798 LOTS [CURRENT	1		LO	TS [PROPOSE	D] <b>1</b>
REGARD TO ITS AP	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE T PROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF VIAL OF YOUR CASE.	THAT DUE TO TH STAFF'S COMME	E PASS NTS BY	AGE OF <u>HB3167</u> THE DATE PRO	THE CITY NO I VIDED ON THE I	LONGER HAS FLEXIBILITY WITH DEVELOPMENT CALENDAR WILL
OWNER/APPLICA	NT/AGENT INFORMATION [PLEASE PRINT/CF	ECK THE PRIMA	RY CON	TACT/ORIGINAL	SIGNATURES A	RE REQUIRED1
<u> </u>	M&J Ranch Trail Holdings, LLC			BroadStone		
CONTACT PERSON	John McKinney / Michael Daul	CONTACT PER	SON	Dan Whale	en II	
ADDRESS	315 Ranch Trail	ADD	RESS	401 Pinsor	n Road	
CITY, STATE & ZIP	Rockwall, TX 75023	CITY, STATE	& ZIP	Forney, TX	(75126	
	(214) 304-2979	PH	IONE	(214) 295-	5280	
	MCKINNEY@SNAPMGA.COM IDAUL@SNAPMGA.COM	E-	MAIL	DWHALE	N@BROAD	STONEDG.COM
	ATION [REQUIRED] GNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE N ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE				[OWNE	R] THE UNDERSIGNED, WHO
\$ INFORMATION CONTAINED	M THE OWNER FOR THE PURPOSE OF THIS APPLICATION; A , TO COVER THE COST OF THIS APPLICATION, HA , 20 BY SIGNING THIS APPLICATION, I AGRI WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS N WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSO	AS BEEN PAID TO 1 EE THAT THE CITY S ALSO AUTHORIZ	HE CITY OF RC	OF ROCKWALL ( CKWALL (I.E. "CIT PERMITTED TO	N THIS THE 'Y") IS AUTHORIZ REPRODUCE A	DAY OF ED AND PERMITTED TO PROVIDE NY COPYRIGHTED INFORMATION
	1/th tal		3FUNSE	3	CAR FUBLIC INFO	KRISTIN M. RICE
GIVEN UNDER MY HAND AN	ND SEAL OF OFFICE ON THIS THE COMPANY OF COM	Kung	, 20 0		My My	ID #10909172 Commission Expires August 27, 2025
NOTARY PUBLIC IN AND FO	01.0	7	a	LL MY COI	MMISSION EXPI	******

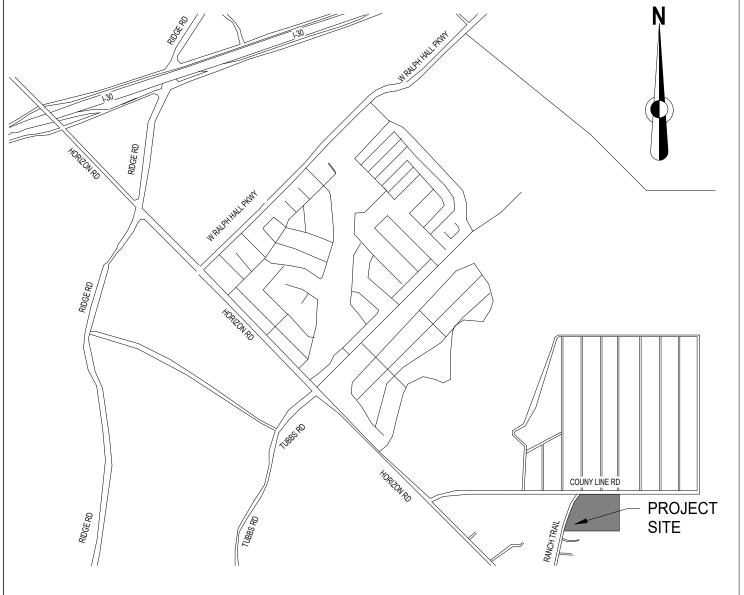
DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745



City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

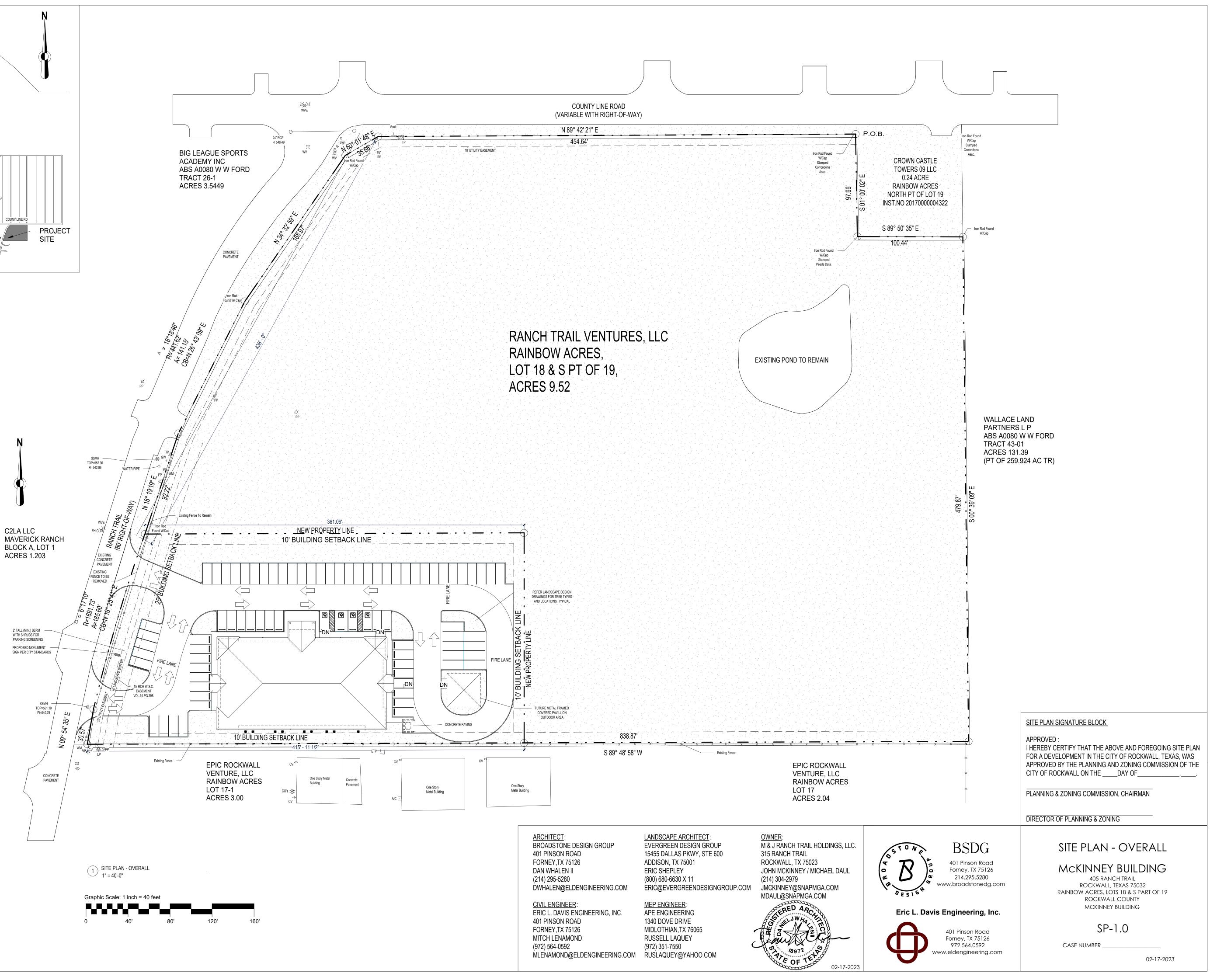
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



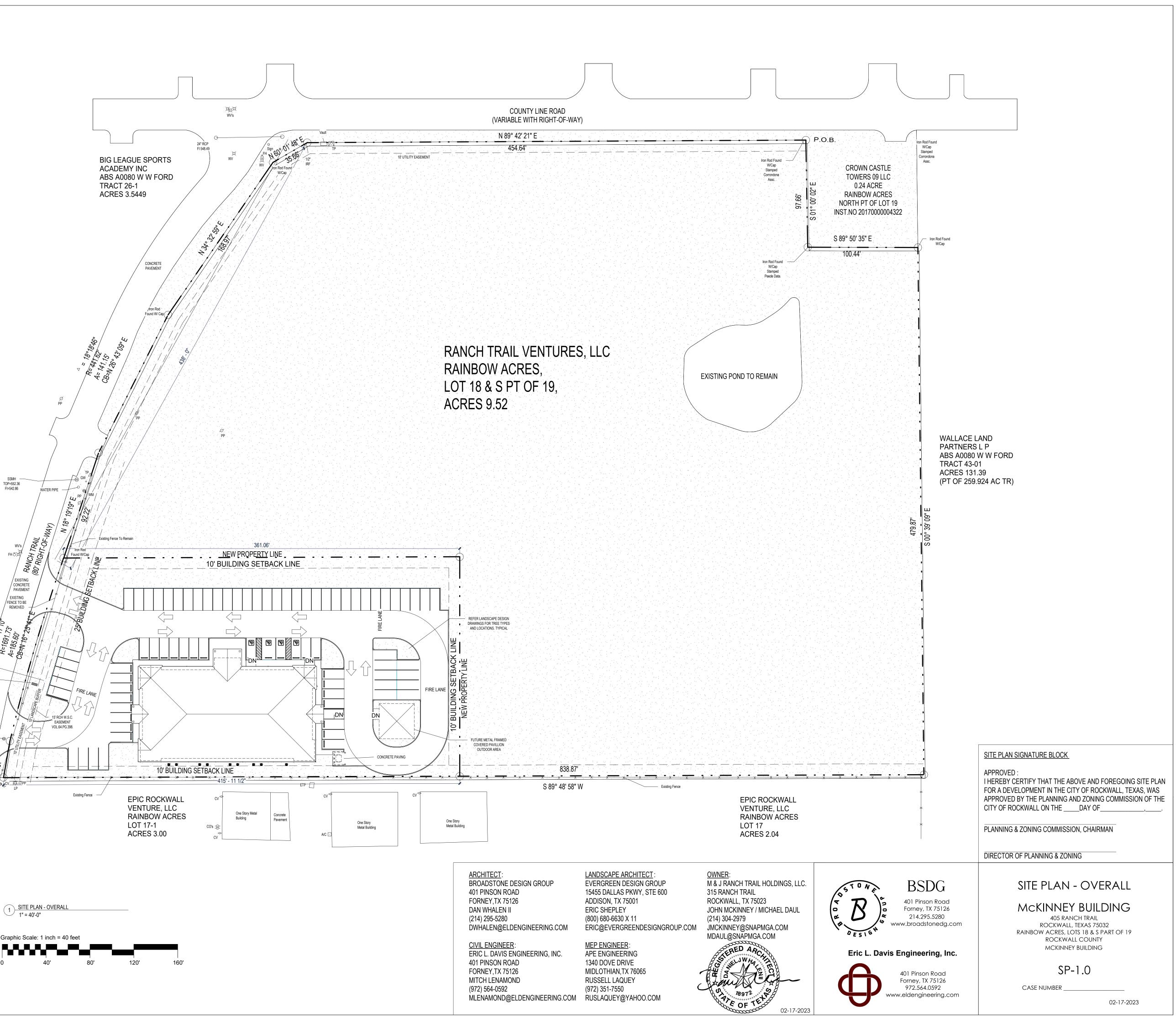


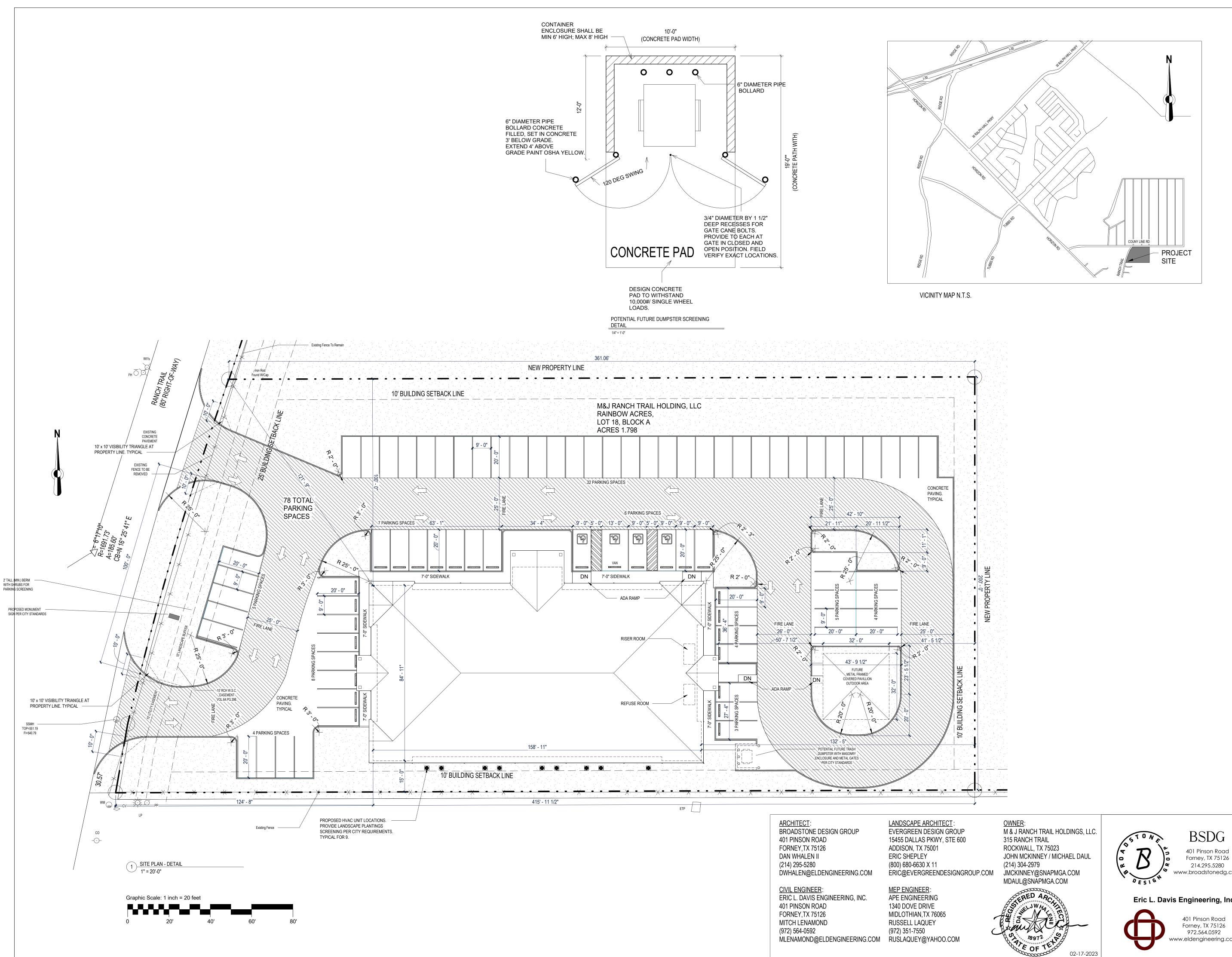
VICINITY MAP N.T.S.

LEG	END	
IRF	0	Iron Rof Found
IRS	$\odot$	Iron Rof Set
PP	Ø	Power Pole
GW	$ \downarrow $	Guv Wire
_FH	<u>5</u>	Fire Hydrant
_WV	Ø	Water Valve
_WM	V⊘M	Water Meter
_SSMH	69	Sanitary Sewer Manhole
_STRMH_	8	Storm Sewer Manhole
_TMH	T	Telephone Manhole
_EMH	E	Electrical Manhole
_GMH	۲	Gas Manhole
AC	-	Air Conditioner
TP	A	Telephone Pedestal
EM	ً	Electric Meter
GM	60	Gas Meter
EM	$\Diamond$	Electric Box
LP	檾	Light Pole
MB	MB	Mailbox
TV		Cable Television Box
CV	$\diamond$	Control Valve
FP	o	Flag Pole
CO	-0-	Clean Out
GL	Q	Ground Light
SP	*	_Signal Pole
TSB		Traffic Sigbal Box
TB	$\oplus$	Telephone Box
GV		Gas Valve
WMH	$\otimes$	Water Manhole
MW	$\otimes$	Monitoring Well
DRRCT	-	Deed Records Rockwall County, Texas



CPIV-354 RANCH TRAIL LLC MAVERICK RANCH BLOCK A, LOT 2 ACRES 1.360





# **PROJECT SITE PLAN DATA**

### <u>GENERAL</u>

EXISTING USE: VACANT PROPERTY PROPOSED USE: OFFICE BUILDING EXISTING ZONING DISTRICT: C COMMERCIAL PROPOSED ZONING DISTRICT: C COMMERCIAL APPLICABLE ZONING OVERLAYS : N/A ROCKWALL COUNTY APPRAISAL DISTRICT ACCOUNT NUMBER: 87534

## OVERALL SITE

GROSS SITE AREA: 78,315 SF OR 1.798 ACRES SITE FRONTAGE: 216 FT SITE WIDTH: 200 FEET SITE DEPTH: VARIES 361 FEET TO 416 FEET IMPERVIOUS SURFACE AREA: 54,505 SF PERVIOUS SURFACE AREA: 23,809 SF

#### <u>BUILDING</u>

TOTAL GROSS INTENSITY (FAR): 0.16: 1 TOTAL SQUARE FOOTAGE: 13,080 SF COMMERCIAL (SF): 13,080 SF INDUSTRIAL (SF): N/A OTHER (SF): N/A

### PROPERTY DEVELOPMENT REGULATIONS

MAXIMUM BUILDING COVERAGE PERMITTED: 60% MAXIMUM BUILDING COVERAGE PROPOSED: 16.7% MINIMUM LOT AREA (REQUIRED & PROPOSED): 10,000 SF / 78,315 SF MINIMUM LOT WIDTH (REQUIRED & PROPOSED): 60 FEET / 200 FEET MINIMUM LOT DEPTH (REQUIRED & PROPOSED): 100 FEET / VARIES

#### SETBACKS (REQUIRED & PROPOSED): FRONT SETBACK: 25 FEET / 25 FEET

SIDE SETBACK: 10 FEET / 10 FEET REAR SETBACK: 10 FEET / 10 FEET MAX STRUCTURE HEIGHT PERMITTED: 60 FEET MAX STRUCTURE HEIGHT PROPOSED: 27 FEET (RIDGE LINE)

# FLOOD MAP DATA

SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE U.S. DEPARTMENT OF HOMELAND SECURITY ON FLOOD INSURANCE RATE MAP, NO. 48397C0040L, EFFECTIVE DATE OF 09-26-2008, FOR COMMUNITY PANEL NO. 480547, CITY OF ROCKWALL, TX

# PARKING REQUIREMENTS

PARKING RATIO: 1/300 OFFICE OFFICE AREA: 13,080 SF

**REQUIRED PARKING: 44** PROVIDED PARKING: 78

**REQUIRED ADA PARKING: 4 PROVIDED ADA PARKING: 4** 

PARKING SPACE: 9' X 20' ADA VAN SPACE: 11' X 20' & 5' AISLE OR 8' X 20' & 8' AISLE ADA STANDARD: 9' X 20'

### SITE AREA CALCULATIONS

NAME	COVERAGE TYPE	AREA
BUILDING ROOF AREA	IMPERVIOUS	13468 SF
GROSS PARKING AREA	IMPERVIOUS	37622 SF
OUTDOOR AREA	IMPERVIOUS	900 SF
SIDEWALK	IMPERVIOUS	937 SF
SIDEWALK	IMPERVIOUS	164 SF
SIDEWALK	IMPERVIOUS	956 SF
SIDEWALK	IMPERVIOUS	364 SF
SIDEWALK	IMPERVIOUS	95 SF
IMPERVIOUS		54505 SF

17652 SF LANDSCAPE (GENERAL) PERVIOUS 1647 SF PERVIOUS LANDSCAPE BUFFER 456 SF LANDSCAPE BUFFER PERVIOUS PERVIOUS 356 SF LANDSCAPE BUFFER 435 SF PERVIOUS INTERIOR LANDSCAPE 787 SF INTERIOR LANDSCAPE PERVIOUS 498 SF INTERIOR LANDSCAPE PERVIOUS 1536 SF INTERIOR LANDSCAPE PERVIOUS 443 SF INTERIOR LANDSCAPE PERVIOUS 23809 SF PERVIOUS 78315 SF Grand total

SITE PLAN SIGNATURE BLOCK

### APPROVED :

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_DAY OF\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

# SITE PLAN - DETAIL

## MCKINNEY BUILDING 405 RANCH TRAIL

ROCKWALL, TEXAS 75032 RAINBOW ACRES, LOTS 18 & S PART OF 19 ROCKWALL COUNTY MCKINNEY BUILDING

SP-1.1

CASE NUMBER \_

Forney, TX 75126 214.295.5280 www.broadstonedg.com

## Eric L. Davis Engineering, Inc.

Forney, TX 75126 972.564.0592 www.eldengineering.com

02-17-2023



MATERIAL INFORMATION - WEST ELEVATION				
	MATERIAL			
Material: Area	PERCENTAGE			
743 SF	51%			
392 SF	27%			
322 SF	22%			
1457 SF	100%			
	Material: Area 743 SF 392 SF 322 SF			

	FACADE FINISH MATERIALS SCHEDULE					
ID	TYPE	MANUFACTURER	MODEL	COLOR		
1	STANDING SEAM METAL ROOF	MCBI	-	-		
2	METAL WALL PANEL	МСВІ	-	-		
3	BRICK	ACME	-	-		
4	DECORATIVE TRUSS	-	-	-		
5	ACCENT BRICK	ACME	-	-		
6	GLASS	_	-	-		
7	WINDOW TRIM	-	-	-		

MATERIAL INFORM	ATION - EAST	ELEV
		M
Material: Name	Material: Area	PER
(MC) ACME - Roxbury	669 SF	
(MC) Glass.	227 SF	
(MC) Metal Siding	310 SF	
	1207 SE	

BROADSTONE DESIGN GROUP 401 PINSON ROAD

FORNEY, TX 75126 DAN WHALEN II (214) 295-5280 DWHALEN@ELDENGINEERING.COM

CIVIL ENGINEER: ERIC L. DAVIS ENGINEERING, INC. 401 PINSON ROAD FORNEY, TX 75126 MITCH LENAMOND (972) 564-0592 MLENAMOND@ELDENGINEERING.COM RUSLAQUEY@YAHOO.COM

EVERGREEN DESIGN GROUP 15455 DALLAS PKWY, STE 600 ADDISON, TX 75001 ERIC SHEPLEY (800) 680-6630 X 11 ERIC@EVERGREENDESIGNGROUP.COM JMCKINNEY@SNAPMGA.COM

<u>Mep Engineer</u>: Ape Engineering 1340 DOVE DRIVE MIDLOTHIAN, TX 76065 RUSSELL LAQUEY (972) 351-7550



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AMUN ~

MATERIAL INFORMATION -NORTH ELEVATION			
		MATERIAL	
Material: Name	Material: Area	PERCENTAGE	
(MC) ACME - Roxbury	1394 SF	44%	
(MC) Glass.	1054 SF	33%	
(MC) Metal Siding	707 SF	22%	
	3155 SF	100%	

MATERIAL INFORMATION - SOUTH ELEVATION				
Material: Name	Material: Area	MATERIAL PERCENTAGE		
(MC) ACME - Roxbury	918 SF	40%		
(MC) Glass.	647 SF	28%		
(MC) Metal Siding	738 SF	32%		
Grand total: 17	2303 SF	100%		

# BUILDING ELEVATIONS

## MCKINNEY BUILDING 405 RANCH TRAIL

ROCKWALL, TEXAS 75032 RAINBOW ACRES, LOTS 18 & S PART OF 19 ROCKWALL COUNTY MCKINNEY BUILDING



CASE NUMBER \_

BSDG

401 Pinson Road

Forney, TX 75126

214.295.5280

www.broadstonedg.com

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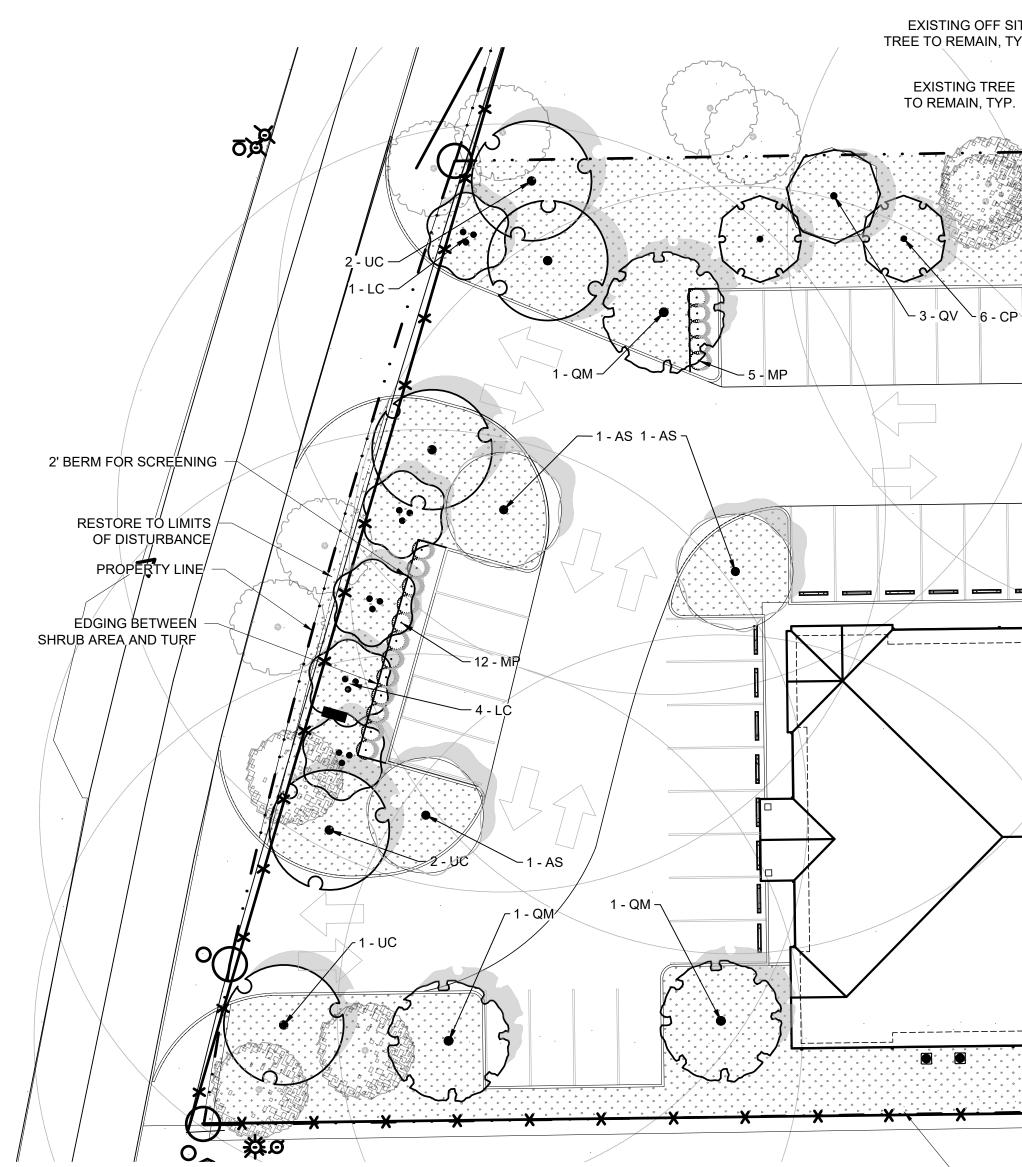
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Eric L. Davis Engineering, Inc.

18972 78972 77 E OF TE 01/20/2023





# MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

## ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

## **IRRIGATION CONCEPT**

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- 2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- 6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

#### PROPE GENERAL GRADING AND PLANTING NOTES

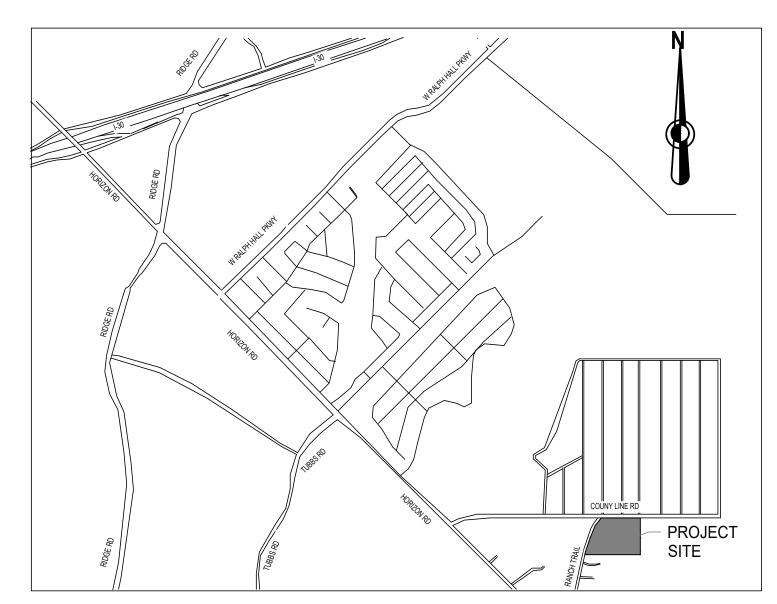
- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ. AND WILL COMPLY WITH. THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING
- VEGETATION (EXCEPT WHERE NOTED TO REMAIN). IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE"

4

- REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH
- GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM
- STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE C. EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH
- GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO
- WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.). a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT
- QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END
- OF THE MAINTENANCE PERIOD. 6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

SITE TYP. E		FC	RESTORE TO					
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PERTY LINE CONTINUE C	PLANT SCHEI		ΟΤΥ		CAL	CONT	0175	
	•	<u>CODE</u> AS	<u>QTY</u> 6	BOTANICAL / COMMON NAME Acer saccharum `Caddo`	<u>CAL.</u> 4" Cal.	<u>CONT.</u> Cont.	<u>SIZE</u> 12` min.	
5	· c	СР	10	Caddo Maple Pistancia chinensis	4" Cal.	Cont.	12` min.	
	and	QM	6	Chinese Pistache Quercus muehlenbergii	4" Cal.	Cont.	12` min.	
ſ	land -			Chinkapin Oak				
		QV	7	Quercus virginiana Southern Live Oak	4" Cal.	Cont.	12` min.	
	لمن	UC	5	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12` min.	
	ORNAMENTAL TREES	<u>CODE</u>	<u>QTY</u>	BOTANICAL / COMMON NAME	CAL.	CONT.	<u>SIZE</u>	
		LC	5	Lagerstroemia indica `Cherokee` Cherokee Crape Myrtle	CONT.	3-5 CANES, 2" CAL OVERALL	8` -10` HT	
	<u>SHRUBS</u>	<u>CODE</u> IN	<u>QTY</u> 39	<u>BOTANICAL / COMMON NAME</u> llex vomitoria `Nana` Dwarf Yaupon	<u>CONTAINER</u> 5 gal.	<u>SPACING</u> 36" OC	<u>SIZE</u> 24" Min.	
	$\bigcirc$	MP	17	Myrica cerifera `Pumila`	5 gal.	36" OC	24" Min.	S
	X			Dwarf Wax Myrtle				
	GROUND COVERS	<u>CODE</u>	QTY	Dwarf Wax Myrtle <u>BOTANICAL / COMMON NAME</u>	CONT	SPACING	<u>SIZE</u>	
	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	<u>CODE</u> CD	<u>QTY</u> 22,382 sf		<u>CONT</u> Sod	<u>SPACING</u>	<u>SIZE</u> 0'	10'
	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	CD	22,382 sf	BOTANICAL / COMMON NAME		<u>SPACING</u>	0'	<sup>10'</sup> cale
	GROUND COVERS	CD	22,382 sf	BOTANICAL / COMMON NAME		SPACING	° S	

TO REMAIN IN PLACE

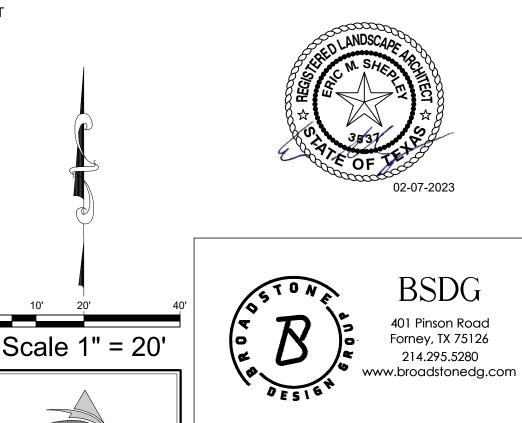


#### **RESTORE TO LIMITS** OF DISTURBANCE

VICINITY MAP N.T.S.

### PROPERTY LINE

LANDSCAPE STANDARDS 05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL REQ. ABUTTING A PUBLIC RIGHT-OF-WAY: 10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE RANCH TRAIL: ±207' STREET FRONTAGE REQUIRED PLANTING: 5 CANOPY TREES, 5 ACCENT TREES, BERM W/ SHRUBS PROVIDED 10' BUFFER: 5 NEW CANOPY TREES, 5 ACCENT TREES W/ BERM AND SHRUBS 05.02 LANDSCAPE SCREENING HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. REQ. HEADLIGHT SCREENING MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS SCREENING PROVIDED: 2' BERM WITH EVERGREEN SHRUBS SCREENING FROM RESIDENTIAL: N/A 05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT TOTAL SITE AREA: ±78,309 SF 15,661 SF (20%) LANDSCAPE AREA REQUIRED TOTAL SITE: ± 23,809 SF (30.4%) LANDSCAPE PROVIDED, TOTAL SITE: MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED LOCATION OF LANDSCAPING: IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE. 15,661 x 50% = 7,830 SF LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS: 12,710 SF (81.1%) MIN. SIZE OF AREAS ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA DETENTION BASINS NONE PROPOSED MIN. 5% OR 200 SF OF LANDSCAPING. WHICHEVER IS PARKING LOT LANDSCAPING GREATER, IN THE INTERIOR OF PARKING LOT AREA. PROPOSED PARKING AREA: ±37,622 SF REQ. PARKING AREA LANDSCAPING: 37,622 x 5% =1,881 PROPOSED PARKING LOT LANDSCAPING: ±4,598 SF (12.2%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK PARKING SPACES: 78 SPACES TREES REQUIRED: 8 TREES (1 PER 10 SPACES) TREES PROVIDED: 12 TREES



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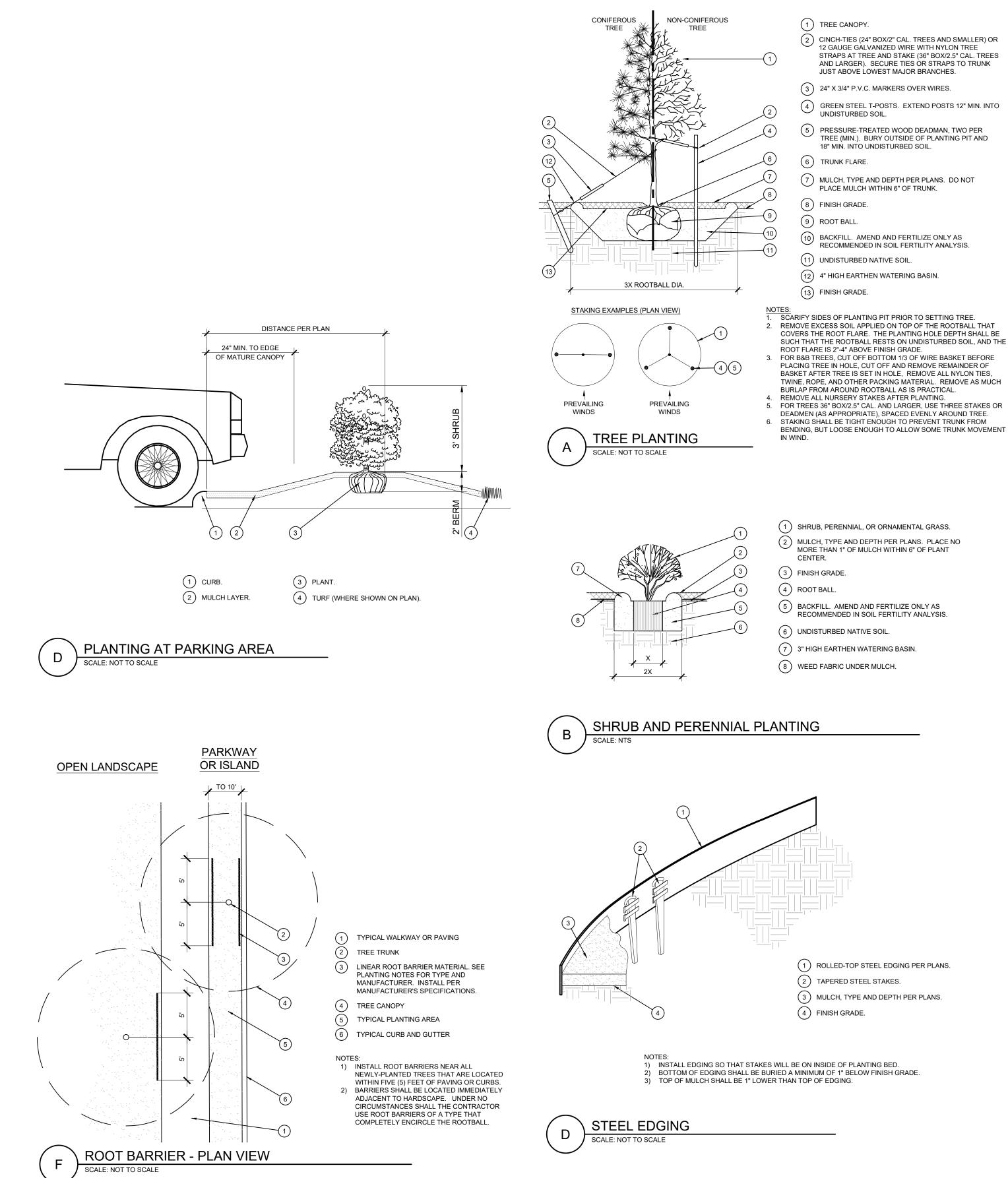
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LANDSCAPE PLANTING PLAN MCKINNEY BUILDING 405 RANCH TRAIL ROCKWALL, TEXAS 75032 RAINBOW ACRES, LOTS 18 & S PART OF 19 ROCKWALL COUNTY MCKINNEY BUILDING





- COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE
- BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH
- DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

# PLANTING SPECIFICATIONS

A.	QUAI 1.	LIFICATIONS OF LANDSCAPE CONTRACTOR ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM S
	2.	LANDSCAPE PLANTING. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE FOR SUCCESSFULLY COMPLETED NEADURED
	3.	OWNER FOR FURTHER QUALIFICATION MEASURES. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE AP ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL F
В.	SCOI 1.	PE OF WORK WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MAT SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE NOTES, AND DETAILS.
	2.	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION
	3.	THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WOR
PRO	DUCTS	$\underline{\mathbf{S}}$
Α.		MANUFACTURED PRODUCTS SHALL BE NEW.
В.	CON <sup>®</sup>	TAINER AND BALLED-AND-BURLAPPED PLANTS: FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAP HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIN OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WIT PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
	2.	ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY AS ANY OTHER ROOT DEFECTS), AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED TO ANY AS
	3.	TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPE LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
	4.	ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IN FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO TH PLANT MATERIAL.
	5.	ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CEN BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PL
	6.	CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SI ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCH FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
	7.	MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-H CALIPER OF THE THREE LARGEST TRUNKS.
	8.	ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C.	TUR	PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FR WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CEI PLIER STATING THE COMPOSITION OF THE SOD.
D.	TOPS SEED	SOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATT $DS$ .
E.	TO 5 DECI	POST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8 5 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONT SIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES
F.		URE OR ANIMAL-BASED PRODUCTS SHALL BE USED. 'ILIZER:   GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND C
	PRO	PORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIF NCY (SEE BELOW).
G.		CH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITA REES AND SHRUBS.
Н.	TREE	E STAKING AND GUYING
	1. 2.	STAKES: 6' LONG GREEN METAL T-POSTS. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.10
	2. 3.	STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH G
	0.TE	TREE TRUNKS FROM DAMAGE.

METHODS

- PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATO SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FF SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, TH TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FO THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FO b TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CE
- ADSORPTION RATIO (SAR) AND BORON CONTENT. c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATO SAMPLES. d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATION
- (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDAT ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLAN APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-THE THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REP ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OF
- SUBMITTED TO THE OWNER WITH THE REPORT. 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEA AFTER CROSS-RIPPING:
- NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS F "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INT
- MEANS OF ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE iv. IRON SULPHATE - 2 LBS. PER CU. YD.
- 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MC INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONS SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT
- PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH T GRADES AND ELIMINATE PONDING POTENTIAL. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF C. NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS d. SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRAD GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS A
- SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLAN REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHAL
- SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACT ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

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QUALIFICATIONS OF LANDSCAPE CONTRACTOR 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN	. SUBMITTALS 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
<ol> <li>LANDSCAPE PLANTING.</li> <li>A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.</li> <li>THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS</li> </ol>	<ol> <li>SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).</li> </ol>
DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD. SCOPE OF WORK	<ol> <li>SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).</li> <li>WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.</li> </ol>
<ol> <li>WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.</li> </ol>	<ol> <li>GENERAL PLANTING</li> <li>1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.</li> <li>2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.</li> </ol>
<ol> <li>ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.</li> <li>THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.</li> </ol>	<ol> <li>TRENCHING NEAR EXISTING TREES:         <ul> <li>CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE</li> <li>(CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO</li> <li>TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM</li> <li>THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5'</li> <li>ABOVE THE AVERAGE GRADE AT THE TRUNK).</li> </ul> </li> </ol>
ALL MANUFACTURED PRODUCTS SHALL BE NEW.	<ul> <li>b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.</li> <li>c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED</li> </ul>
<ul> <li>CONTAINER AND BALLED-AND-BURLAPPED PLANTS:</li> <li>1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE</li> </ul>	ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
<ul> <li>OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE D PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.</li> <li>2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).</li> </ul>	<ol> <li>TREE PLANTING</li> <li>TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.</li> <li>SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY</li> </ol>
<ol> <li>TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&amp;B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.</li> <li>ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE</li> </ol>	<ul> <li>GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.</li> <li>FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.</li> <li>INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES</li> </ul>
<ul> <li>ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.</li> <li>5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.</li> </ul>	ABOVE THE SURROUNDING GRADE. 5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE
<ol> <li>CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.</li> <li>MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE</li> </ol>	<ul> <li>AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.</li> <li>6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL</li> </ul>
<ul> <li>CALIPER OF THE MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE TRUNKS.</li> <li>8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.</li> <li>SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE</li> </ul>	OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD ANT TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES: a. 1"-2" TREES TWO STAKES PER TREE b. 2-1/2"-4" TREES THREE STAKES PER TREE
TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.	<ul> <li>c. TREES OVER 4" CALIPER GUY AS NEEDED</li> <li>d. MULTI-TRUNK TREES STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE</li> <li>e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO</li> </ul>
COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.	STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS). SUPUR DEFENSION AND COOL INDCOVED BLANTING
FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN E PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.	<ol> <li>SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING</li> <li>DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.</li> <li>INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.</li> </ol>
<ol> <li>TREE STAKING AND GUYING</li> <li>STAKES: 6' LONG GREEN METAL T-POSTS.</li> <li>GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.</li> <li>STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT</li> </ol>	<ol> <li>WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.</li> </ol>
TREE TRUNKS FROM DAMAGE. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE	<ol> <li>LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.</li> <li>LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.</li> <li>ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.</li> </ol>
SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES. G	<ol> <li>WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.</li> <li>MULCH</li> <li>INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.</li> <li>DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS</li> </ol>
SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS	MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. CLEAN UP
DISCREPANCIES EXIST. 2. SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE I.	<ol> <li>DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.</li> <li>DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. INSPECTION AND ACCEPTANCE</li> </ol>
SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING. b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL	<ol> <li>UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.</li> <li>WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE</li> </ol>
<ul> <li>TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.</li> <li>THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.</li> </ul>	CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS. 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL
<ul> <li>d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL J. ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.</li> </ul>	ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE. LANDSCAPE MAINTENANCE THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER
<ol> <li>THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.</li> <li>FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:</li> </ol>	PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER.
<ul> <li>a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:</li> <li>i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.</li> <li>ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.</li> </ul>	WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION. 2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
<ul> <li>iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE</li> <li>b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:</li> <li>i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.</li> </ul>	<ol> <li>TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:</li> <li>THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY</li> </ol>
<ul> <li>ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.</li> <li>iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE</li> <li>iv. IRON SULPHATE - 2 LBS. PER CU. YD.</li> <li>5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION</li> </ul>	<ul> <li>PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.</li> <li>b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.</li> <li>c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE)</li> </ul>
<ul> <li>OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.</li> <li>a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL K</li> <li>LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED</li> <li>INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.</li> <li>b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN</li> </ul>	PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF <u>ONE YEAR</u> FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE. AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER. ANY
SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.	<ul> <li>PLANTSJ. THE CONTRACTOR STALL REFERCE, AT HIS OWN EXPENSION OF THE INFLORM OF THE OWNER, AND PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.</li> <li>AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED</li> </ul>
<ul> <li>c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.</li> <li>d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING</li> </ul>	DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING	
SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL	SEED LANDSCADE AL
<ul> <li>REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.</li> <li>6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.</li> </ul>	
	TYNE OF THE
	02-07-2023
	LANDSCAPE PLANTING
	BSDG A01 Pinson Road Forney, TX 75126 BSDG DETAILS & NOTES MCKINNEY BUILDING
	405 RANCH TRAIL ROCKWALL, TEXAS 75032
	PESIS       RAINBOW ACRES, LOTS 18 & S PART OF 19 ROCKWALL COUNTY         Eric L. Davis Engineering, Inc.       MCKINNEY BUILDING

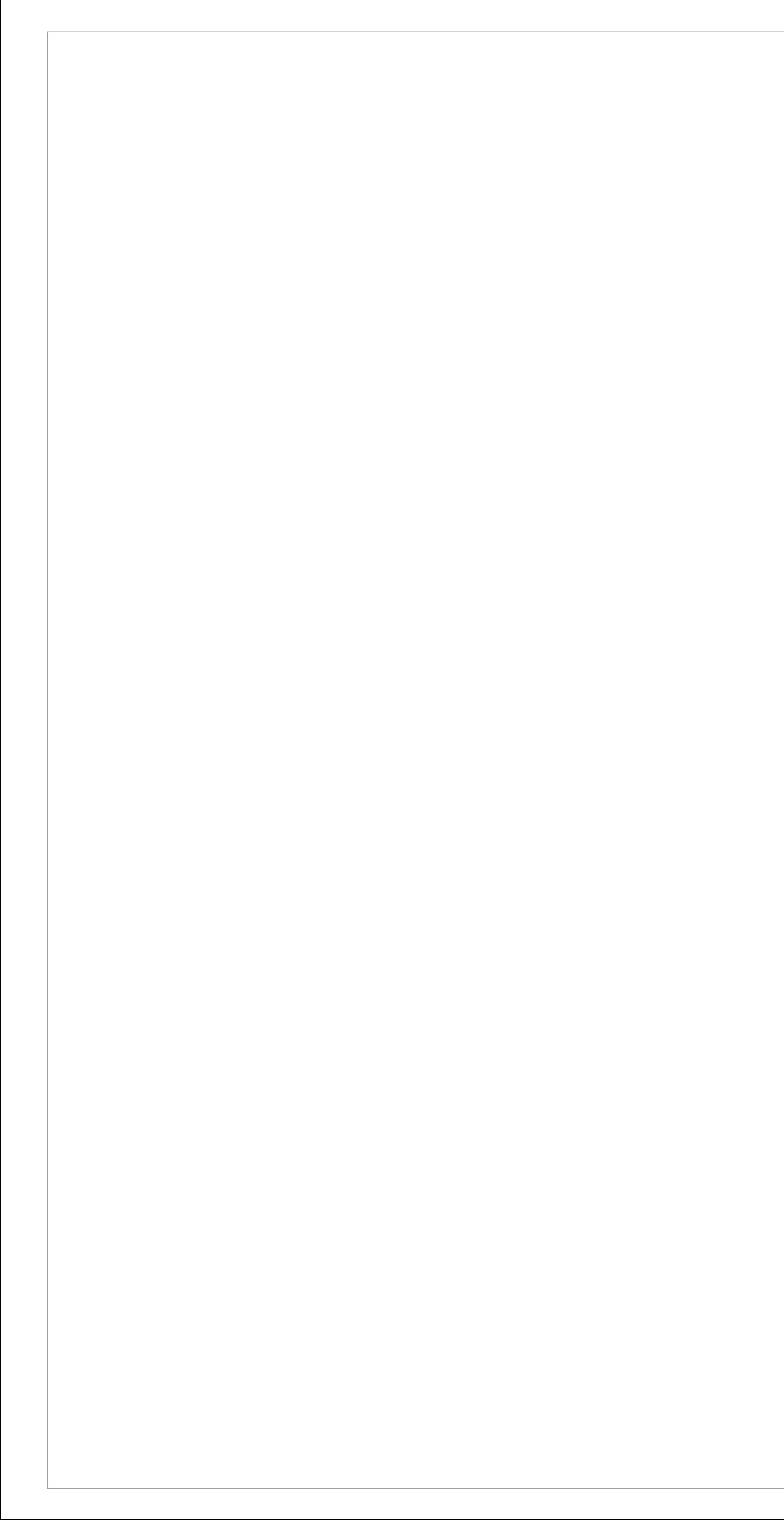
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# PLANTING SPECIFICATIONS

## GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
   1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM
- SPECIALIZING IN LANDSCAPE PLANTING.A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE
- REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
   THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
   1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR
  - THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
    ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND
  - REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY,
  - TRANSPORTATION AND INSTALLATION OF MATERIALS.
    3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

## PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
- 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
   ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNED AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND
- OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE
- INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
   SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM
- HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- . COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
  G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
   1. STAKES: 6' LONG GREEN METAL T-POSTS.

SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
- 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
   PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES

## METHODS

- A. SOIL PREPARATION
   1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- SOIL TESTING:
   a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE
- LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
   b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
- c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
   d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR
- THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
   FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
- a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
  i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
  ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000
- iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE
   b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP
- i. NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F.
- ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER CU. YD.
   iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE
   iv. IRON SULPHATE 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT
- AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, CEDECHNICAL DEPORT THESE NOTES AND PLANS, AND ACTUAL CONDITIONS. THE
- GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. ONCE SOIL PREPARATION IS COMPLETE. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE
- 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

В.	SUBMITTALS 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO
	ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFOR 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING
	PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILI.
	TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS APPROPRIATE).
	3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
	4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEA ITEM BEING CONSIDERED.
C.	GENERAL PLANTING 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
	<ol> <li>EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EME AT THE MANUFACTURER'S RECOMMENDED RATE.</li> </ol>
	3. TRENCHING NEAR EXISTING TREES: a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER
	ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES
	DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRU EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' AB
	GRADE AT THE TRUNK). b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOO
	EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DI
	TREE ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP.
	<ul> <li>CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.</li> <li>ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALI</li> </ul>
D.	DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS. TREE PLANTING
D.	<ol> <li>TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO</li> </ol>
	2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEM
	<ol> <li>REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION</li> <li>FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOT</li> </ol>
	DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BO ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NO
	<ul> <li>OUT FROM THE ROOTBALL.</li> <li>INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOT</li> </ul>
	<ol> <li>FOUR INCHES ABOVE THE SURROUNDING GRADE.</li> <li>BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROC</li> </ol>
	DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE E ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSO
	IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE O TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-S
	6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WIN REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, TH
	TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LAN CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAF
	SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TH ADHERE TO THE FOLLOWING GUIDELINES:
	a.1"-2" TREESTWO STAKES PER TREEb.2-1/2"-4" TREESTHREE STAKES PER TREE
	c. TREES OVER 4" CALIPER GUY AS NEEDED d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY
	NEEDED TO STABILIZE THE TREE e. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY
	NEEDED TO STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROL
	COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND T MULCH (TYPE AND DEPTH PER PLANS).
E.	SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING 1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S
	THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER RECOMMENDATIONS.
	2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STE THE WEED BARRIER CLOTH IN PLACE.
	3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) O' BEDS, COVERING THE ENTIRE PLANTING AREA.
F.	SODDING 1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
	<ol> <li>LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GI</li> <li>LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS</li> </ol>
	<ul> <li>STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT C</li> <li>ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH TI</li> </ul>
	UNDERNEATH. 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTIN
G.	LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD. MULCH
	1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANT TREE RINGS.
	2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABI EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONC
	CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND ( COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WA
H.	CLEAN UP 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN /
	IN A NEAT, ORDERLY CONDITION. 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
I.	INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVID
	FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSO SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACC
	2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRAC LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WOR
	SATISFACTION WITHIN 24 HOURS. 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSC
	BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT T NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTE
	GUARANTEE PERIODS WILL COMMENCE. LANDSCAPE MAINTENANCE
J.	THE LANDSCAPE MAINTENANCE     THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE     ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE
	OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR TH
	ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTI HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INS
	DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIG TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF
	THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PRO ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CON
	2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IF THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE A
	<ul><li>A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.</li><li>TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL</li></ul>
	CONDITIONS MUST OCCUR: a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIO
	SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
	<ul> <li>b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.</li> <li>c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMULE</li> </ul>
	INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUA RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED
K.	NEATLY MOWED. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
	1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENN IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWN
	ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLAC EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN
	2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD
	2. AFTER THE INITIAL MAINTENANCE FERIOD AND DORING THE GUARANTEE FERIOD CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHI CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY H
L.	PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COM RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND
	DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT

) THE LANDSCAPE RE WORK COMMENCES. STICK FOR SCALE, D PREPARATION IZER RATES AND

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TBALL IS TWO TO CKS LARGER THAN 1" BACKFILL. SHOULD DIL FROM ON-SITE OR DWNER. IMPORTED SITE SOIL. IDS OR SLOPES) IE TOTAL NUMBER OF

NDSCAPE PE CONTRACTOR REE STAKING SHALL

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NIALS, SOD, AND IER'S FINAL CE, AT HIS OWN I THAT TIME, OR ILY. D, THE LANDSCAPE IEN PLANT DEATH

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BSDG 401 Pinson Road Forney, TX 75126

Forney, TX 75126 214.295.5280 www.broadstonedg.com

Eric L. Davis Engineering, Inc.

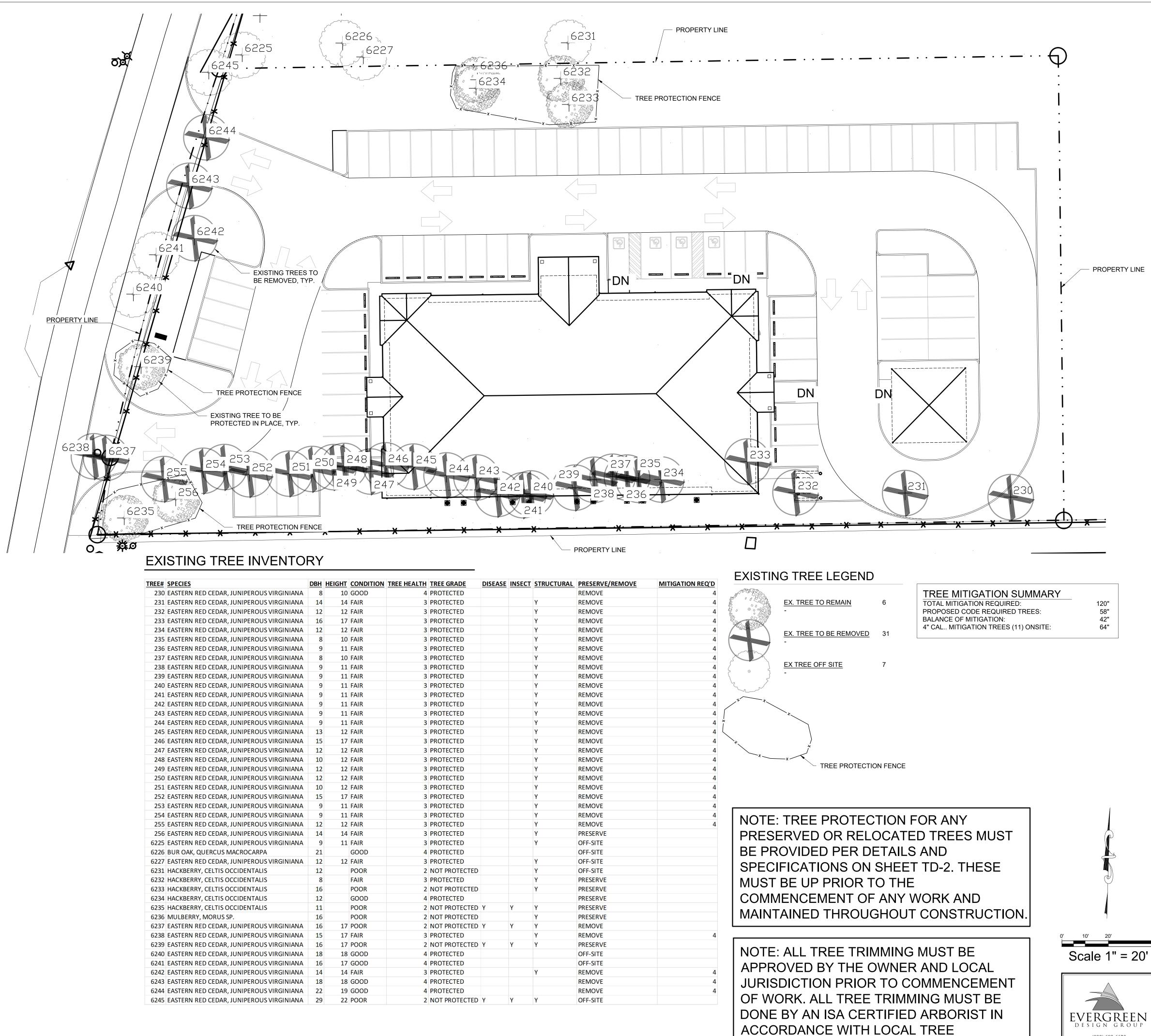


401 Pinson Road Forney, TX 75126 972.564.0592 www.eldengineering.com LANDSCAPE PLANTING SPECIFICATIONS

> MCKINNEY BUILDING 405 RANCH TRAIL

ROCKWALL, TEXAS 75032 RAINBOW ACRES, LOTS 18 & S PART OF 19 ROCKWALL COUNTY MCKINNEY BUILDING





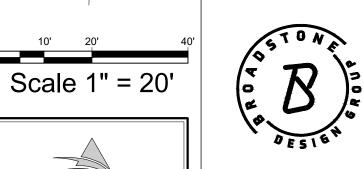
REE#	SPECIES	DBH	HEIGHT	CONDITION	TREE HEALTH	TREE GRADE	D
230	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	GOOD	4	PROTECTED	
231	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED	
232	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED	
233	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	FAIR	3	PROTECTED	
234	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED	
235	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED	
236	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED	
238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	13	12	FAIR	3	PROTECTED	
246	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED	
247	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED	
248	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED	
249	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED	
250	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED	
251	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED	
252	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED	
253	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
254	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
255	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED	
256	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED	
6225	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED	
	BUR OAK, QUERCUS MACROCARPA	21		GOOD	4	PROTECTED	
6227	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED	
	HACKBERRY, CELTIS OCCIDENTALIS	12		POOR	2	NOT PROTECTED	
	HACKBERRY, CELTIS OCCIDENTALIS	8		FAIR	3	PROTECTED	
6233	HACKBERRY, CELTIS OCCIDENTALIS	16		POOR	2	NOT PROTECTED	
6234	HACKBERRY, CELTIS OCCIDENTALIS	12		GOOD	4	PROTECTED	
6235	HACKBERRY, CELTIS OCCIDENTALIS	11		POOR	2	NOT PROTECTED	Y
	MULBERRY, MORUS SP.	16		POOR	2	NOT PROTECTED	
6237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED	
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18		GOOD	4	PROTECTED	
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16		GOOD		PROTECTED	
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14		FAIR		PROTECTED	
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18		GOOD		PROTECTED	
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	22		GOOD	4	PROTECTED	
	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	29	22	POOR	2	NOT PROTECTED	Y

PRESERVATION ORDINANCE.

# PROPERTY LINE

120" 58" 42" 64"





10'

7

DESIGN GROUP

(800) 680-6630

15455 Dallas Pkwy., Ste 600 Addison, TX 75001 www.EvergreenDesignGroup.com



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Eric L. Davis Engineering, Inc.



401 Pinson Road Forney, TX 75126 972.564.0592 www.eldengineering.com TREESCAPE PLAN

MCKINNEY BUILDING 405 RANCH TRAIL ROCKWALL, TEXAS 75032 RAINBOW ACRES, LOTS 18 & S PART OF 19 ROCKWALL COUNTY MCKINNEY BUILDING



11-22-2022

### TREE PROTECTION SPECIFICATIONS

### MATERIALS

- 1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- 2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- 3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE,
- 4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

#### CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- 2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- 3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- 5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- 6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.

#### 7. WITHIN THE CRZ:

- a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE. b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
- c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
- d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
- e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL). ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE. INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- 8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

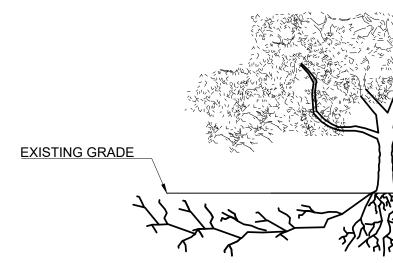
- 9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- 10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- 11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- 12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- 13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- 14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- 15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- 17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- 18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

# NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND
- FLAGGED PRIOR TO ROOT PRUNING. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION
- WITH THE FORESTRY INSPECTOR TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL
- AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.
- ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR. 7
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

ROOT PRUNING DETAIL

SCALE: NOT TO SCALE

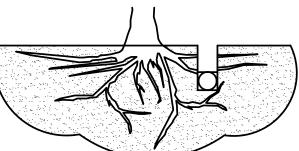


ROOT PRUNE VIA AIRSPACE OR TRENCH (6" WIDE MAX.) 24" MIN. DEPTH OR AS DETERMINED AT PRE-CONSTRUCTION MEETING.

TREE PROTECTION FENCE TO BE ERECTED IN LINE WITH ROOT PRUNING LIMITS. SEE DETAILS AND SPECIFICATIONS FOR TREE PROTECTION FENCE REQUIREMENTS

ROOT PROTECTION

TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE

SCALE: NOT TO SCALE

ESTABLISH FENCE PROTECTION ZONE (RPZ) /INIMUM 5' FROM TRUNK PROPERTY LINE ROOT PROTECTION ZONE (RPZ) DRIP LINE 6" MULCH INSIDE RPZ IF BARE DIRT NOTES OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION 8" MULCH OUTSIDE RPZ OCCURS IN ROOT PROTECTION ZONE. AND UNDER DRIP LINE AS MINIMAL FOR ACCEPTABLE FENCING MATERIALS PROTECTION FOR ROOTS FROM SEE SPECIFICATIONS. CONSTRUCTION ACTIVITIES TREE PROTECTION FENCE - TIGHT CONSTRUCTION SCALE: NOT TO SCALE TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER. TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE. — 12" MIN & 48" MAX DEPTH FROM TRUNK CAN NOT BE ACHIEVED.

1 THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS. **FREE PROTECTION FENCE** SCALE: NOT TO SCALE

ROOT PROTECTION ZONE (RPZ)

- MULCH INSIDE RPZ

- PROTECTION FENCE

(SEE SPECS)

# TREE PROTECTION GENERAL NOTES

(A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING: (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS; (2) AROUND AN AREA AT OR GREATER THAN THE FULL

DRIPLINE OF ALL PROTECTED NATIVE PINES; (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.

- (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT. OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TRFF (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA
- SHALL BE ACCOMPLISHED WITH HAND LABOR. (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR
- STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.

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DESIG

(H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.





BSDG 401 Pinson Road

Forney, TX 75126 214.295.5280 www.broadstonedg.com

Eric L. Davis Engineering, Inc.

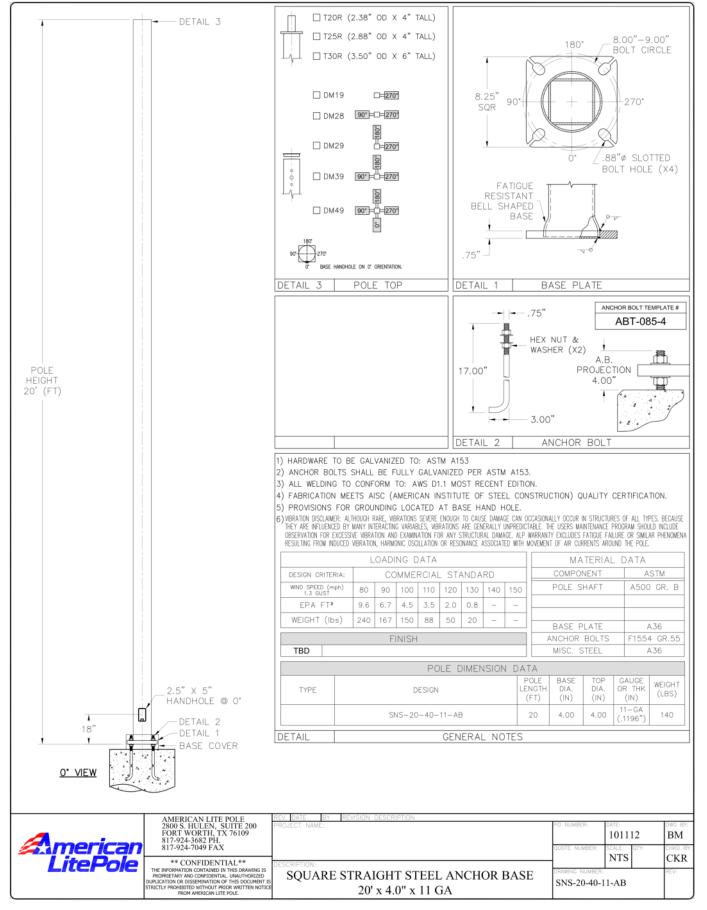
401 Pinson Road Forney, TX 75126 972.564.0592 www.eldengineering.com **TREESCAPE DETAILS & SPECIFICATIONS** 

> MCKINNEY BUILDING 405 RANCH TRAIL

ROCKWALL, TEXAS 75032 RAINBOW ACRES, LOTS 18 & S PART OF 19 ROCKWALL COUNTY MCKINNEY BUILDING

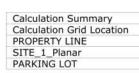






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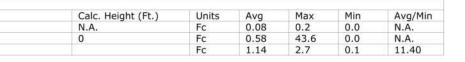
Notes:

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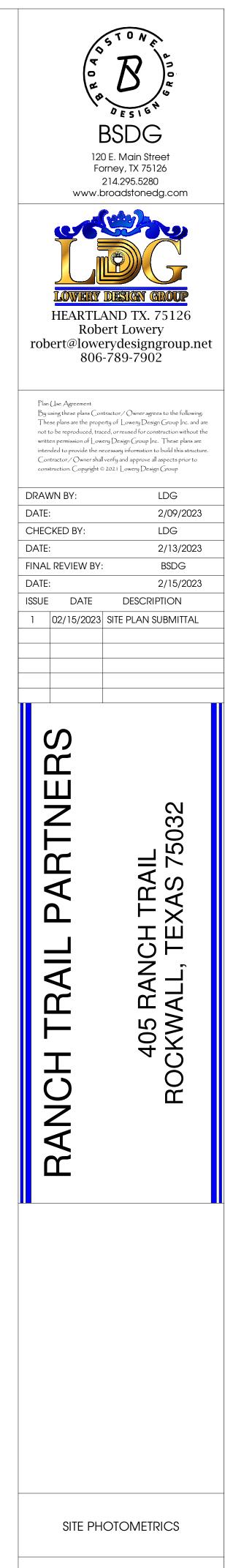
- I. Surface reflectances: Vertical/Horizontal 50/20.
- 2. Calculation values are at height indicated in summary table. 3. Mounting heights are designated on drawing with "MH."
- Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
   Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
- 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify. 7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



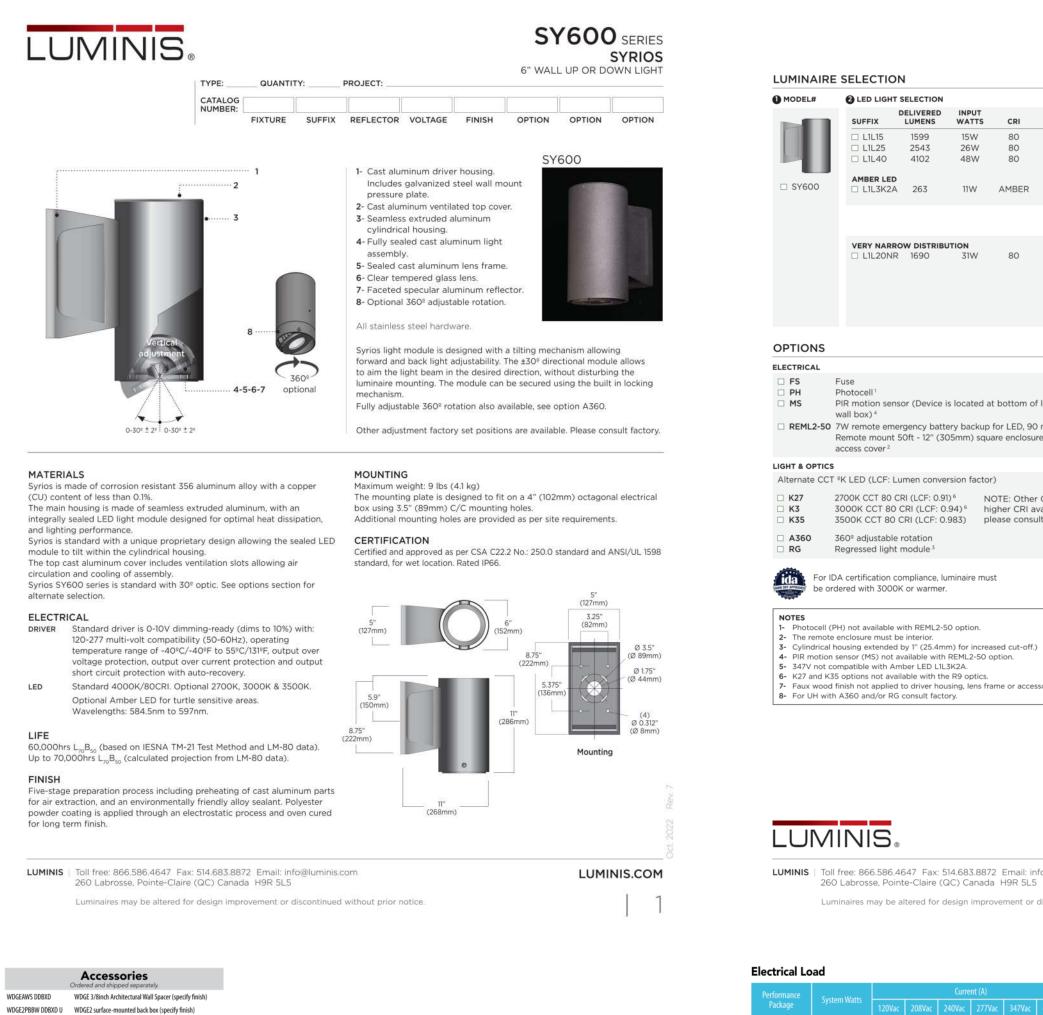
Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Facto
LUMINIS SY600-L1L15-R30 VOLT FINISH	1600	15.3	1.000	0.850	1.000
LITHONIA DSX1 LED P3 40K 80CRI T4M HS MVOLT MOUNT DDBXD DM19AS 20' POLE	11025	102.1727	1.000	0.850	1.000
LITHONIA WDGE2 LED P1 40K 80CRI T1S MVOLT MOUNT	1215	11.1658	1.000	0.850	1.000



2023-02-15



E-0.1



NOTES 1 P0 option not available with sensors/controls.

- 2 P1-P4 not available with AMB and LW. 3 AMB and LW always go together.
- AMB and EV always go togetter.
   70CRI only available with T3M and T4M.
   347V and 480V not available with E10WH or E20WC.
- Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
   PE not available in 480V or with sensors/controls.

8 DMG option not available with sensors/controls.

Lumen Output Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

			27	K (2700K				30	K (3000K				40	K (4000K	, 80 C			50	K (5000K				Amber	(Limited			
	Ŵatts	Dist. Type		LPW					LPW					LPW				Lumens	LPW				Lumens	LPW			
		T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
PO	7W	T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
		T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
P1	11W	T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
		T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1	1				
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1	1				
P2	19W	T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1	1				
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1	1				
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1	1				
		T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1	1				
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1	1				
P3	32W	T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1	1				
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1	1				
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1	1				
		TIS	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1	1				
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1	1				
P4	47W	T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1	1				
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1	1				
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1	1				

Performance	System		27	K (2700K	, 70 C			30	K (3000K	, 70 C				K (4000K	, 70 C				K (5000K	, 70 C		
	Ŵatts	Dist. Type	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G
PO	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1
PU	////	T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1
P1 11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1	
rı	11W	T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1
D2 1	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1
P2	19W	T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1
	22144	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1
P3	32W	T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1
	47144	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2
P4	47W	T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2

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WDGE2 LED Rev. 11/21/22



"P3 40K 80CRI T2M"

DELIVERED LUMENS

1599

2543

VERY NARROW DISTRIBUTION

□ L1L40 4102

WATTS

15W

26W

48W

80

11W AMBER

SUFFIX

🗆 L1L15

🗆 L1L25

AMBER LED

Fuse

Photocell<sup>1</sup>

wall box)<sup>4</sup>

access cover<sup>2</sup>

360° adjustable rotation

Regressed light module <sup>3</sup>

ordered with 3000K or warmer.

or IDA certification compliance, luminaire must

Faux wood finish not applied to driver housing, lens frame or accessories.

260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

19.0 0.168 0.106 0.095 0.083

32.0 0.284 0.163 0.144 0.131

1.03

1.02

1.01

1.00

0.99

0.97

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

50°F

68°F

77°F

86°F

104°F

"P3 40K 80CRI T1S"

**Emergency Egress Options** 

Emergency Battery Backup

hotometric Diagrams

0°C 32°F

P0

P1

P2

P3

P4

10°C

20°C

25°C

30°C

40°C

LEGEND

0.25 fc

0.5 fc 1.0 fc

3.0 fc MH = 10ft

Grid = 10ft x 10ft

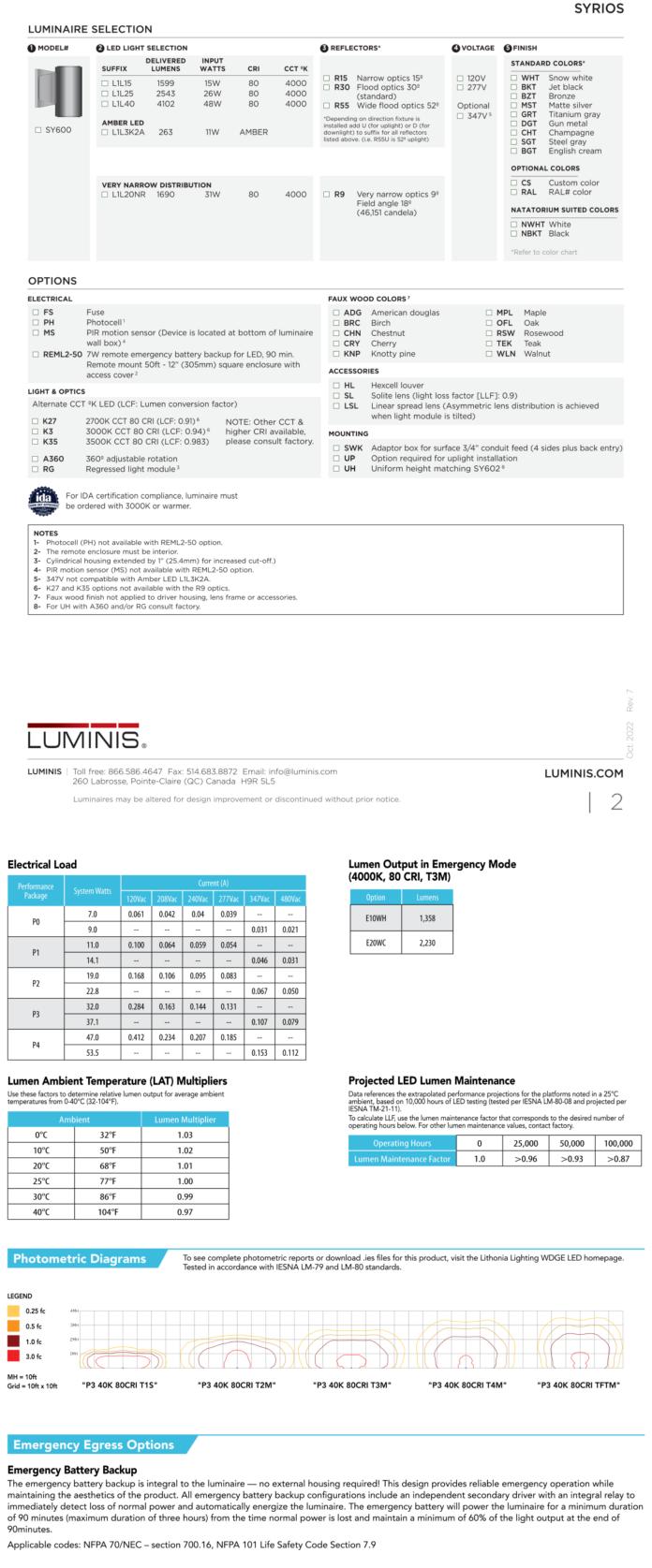
90minutes.

L1L3K2A

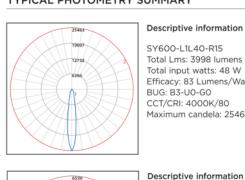
SY600



# SY600 SERIES



TYPICAL PHOTOMETRY SUMMARY



4904

SY600-L1L40-R15 Total Lms: 3998 lumens Total input watts: 48 W Efficacy: 83 Lumens/Watt BUG: B3-U0-G0 CCT/CRI: 4000K/80 Maximum candela: 25463 @ 0º

SY600-L1L40-R55

Total Lms: 4369 lumens

Total input watts: 48 W

BUG: B3-U0-G0

CCT/CRI: 4000K/80 Maximum candela: 6539 @ 0º

Efficacy: 91 Lumens/Watt

Descriptive information

SY600-L1L20NR-R9

Total Lms: 1690 lumens

Total input watts: 31 W

BUG: B2-U0-G0

Please visit our web site www.luminis.com for complete I.E.S. formatted download data.

LUMINIS | Toll free: 866.586.4647 Fax: 514.683.8872 Email: info@luminis.com

mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

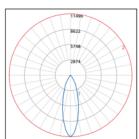
Luminaires may be altered for design improvement or discontinued without prior notice.

260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

CCT/CRI: 4000K/80

Efficacy: 55 Lumens/Watt

Maximum candela: 46151 @ 0º



Descriptive information SY600-L1L40-R30 Total Lms: 4102 lumens Total input watts: 48 W Efficacy: 85 Lumens/Watt BUG: B3-U0-G0 CCT/CRI: 4000K/80 Maximum candela: 11496 @ 0º











LUMINIS.COM

Control / Sensor Options

Motion/Ambient Sensor (PIR\_, PIRH\_) Motion/Ambeint sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for

Networked Control (NLTAIR2)

PIR

**HIGH VIEW** 

0 ft | 0 m

15 4.6

PIRH

LUMINIS

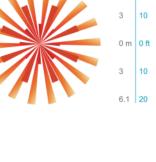
nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY<sup>™</sup> Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

> SIDE VIEW 0 m | 0 f

9.2 7.4 5.4 3.6 1.8 0 m 1.8 3.6 5.4 7.4 9.2

30 24 18 12 6 0 ft 6 12 18 24 30

TOP VI	EW
6.1	20
3	10
0 m	0 ft
3	10
6.1	20



	Dim Level	High Level (when triggered	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



WDGE2 LED

Rev. 11/21/22

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WDGE2 LED

Rev. 11/21/22

WDGE2 LED



# Architectural Wall Sconce Precision Refractive Optic



9" 11.5" 13.5 lbs 

# Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

ıminaire	Orthur	Standard EM, 0°C	Cold EM, -20°C	6 mm			Approxima	ite Lumens (40	000K, 80CRI)		
iminaire	Optics	Standard EM, U C	C010 EM, -20 C	Sensor	PO	P1	P2	P3	P4	P5	P6
/DGE1 LED	Visual Comfort	4W			750	1,200	2,000				
/DGE2 LED	Visual Comfort	10W	18W	Standalone / nLight		1,200	2,000	3,000	4,500	6,000	
/DGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200		
/DGE3 LED	Precision Refractive	15W	18W	Standalone / nLight		7,500	8,500	10,000	12,000		
/DGE4 LED	Precision Refractive			Standalone / nLight		12,000	16,000	18,000	20,000	22,000	25,000

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	F	Package	Color Te	mperature	CRI	Distribu	tion	Voltage	Mounting			
WDGE2 L		P0 <sup>1</sup> P1 <sup>2</sup> P2 <sup>2</sup> P3 <sup>2</sup> P4 <sup>2</sup>	27K 30K 40K 50K AMB <sup>3</sup>	2700K 3000K 4000K 5000K Amber	70CRI <sup>4</sup> 80CRI LW <sup>3</sup> Limited Wavelength	T2M T3M T4M	Type I Short Type II Medium Type III Medium Type IV Medium Forward Throw Medium	MVOLT 347 <sup>5</sup> 480 <sup>5</sup>	Shipped included           SRM         Surface mounting bracket           ICW         Indirect Canopy/Ceiling Washer bracket (dry/ damp locations only) <sup>6</sup>	<b>Shipp</b> AWS PBBW	S urface- right cor	ely Architectural wall spacer -mounted back box (top, left, nduit entry). Use when there ction box available.
ptions										F	inish	
E10WH E20WC PE <sup>7</sup> DMG <sup>8</sup> BCE	(10W, 5°C m Emergency b (18W, -20°C Photocell, Bu 0-10V dimm an external o Bottom cond	nin) Dattery backi Tmin) utton Type ning wires pi control, orde	up, Certifier ulled outsi ered separa	d in CA Title 20 / d in CA Title 20 / de fixture (for u ately) (PBBW). Total (	AAEDBS P se with P	<b>tandalone S</b> IR IRH IR1FC3V IRH1FC3V	switched circuits with ext Bi-level (100/35%) motio switched circuits with ext Bi-level (100/35%) motio programmed for dusk to d Bi-level (100/35%) motio	0' mounting heights. Intended for use on		DDBXD DBLXD DNAXD DWHXD DSSXD DDBTXD DBLBXD	Dark bronze Black Natural aluminum White Sandstone Textured dark bronze Textured black	
BAA	points. Buy America	i(n) Act Com	pliant		N	LTAIR2 PIR LTAIR2 PIRH	programmed for dusk to d ensors/Controls nLightAIR Wireless enabled nLightAIR Wireless enabled of box functionality		DNATXD DWHGXD DSSTXD	Textured natural aluminum Textured white Textured sandstone		

# Mounting, Options & Accessories





D = 7" H = 9" (Standalone controls) 11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor) W = 11.5"



PBBW – Surface-Infounted Back Box Use when there is no junction box available. D = 1.75" H = 9" W = 11.5"



AWS – 3/8inch Architectural Wall Spacer D = 0.38" H = 4.4" W = 7.5"

# FEATURES & SPECIFICATIONS

INTENDED USE Common architectural look, with clean rectilinear sh blend with any type of construction, whether it be til commercial offices, warehouses, hospitals, schools, buildings.	t-up, frame or brick. Applications include hir
<b>CONSTRUCTION</b> The single-piece die-cast aluminum housing integ thermal transfer from the internal light engine hea is mounted in direct contact with the casting for a The die-cast door frame is fully gasketed with a o moisture and dust, providing an IP66 rating for the	rates secondary heat sinks to optimize vib t sinks and promote long life. The driver low operating temperature and long life. CC ne-piece solid silicone gasket to keep out
FINISH Exterior painted parts are protected by a zinc-infu powder coat finish that provides superior resistan controlled multi-stage process ensures a 3 mils th extreme climate changes without cracking or pee include dark bronze, black, natural aluminum, san and non-textured finishes.	ised Super Durable TGIC thermoset at ce to corrosion and weathering. A tightly Sk ickness for a finish that can withstand pa ling. Standard Super Durable colors BL
OPTICS Individually formed acrylic lenses are engineered maximizes the light in the areas where it is most n and qualifies as a Nighttime Friendly™ product, n and Green Globes™ criteria for eliminating waste	eeded. The WDGE LED has zero uplight 5- neaning it is consistent with the LEED® this
ELECTRICAL Light engine consists of high-efficacy LEDs mount maximize heat dissipation and promote long life ( electronic driver has a power factor of >90%, THL 6kV surge protection, which meets a minimum Ca C62.41.2). Fixture ships standard with 0-10v dimm	ted to metal-core circuit boards to up to L91/100,000 hours at 25°C). The > <20%. Luminaire comes with built in tegory C low exposure (per ANSI/IEEE
-	

# INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire nverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31. ISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only. BUY AMERICAN ACT Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.

Please refer to www.acuitybrands.com/buy-american for additional information. WARRANTY 5-year limited warranty. This is the only warranty provided and no other statements in is specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



**Note:** Actual performance may differ as a result of end-user environment and application. WDGE2 LED

Rev. 11/21/22



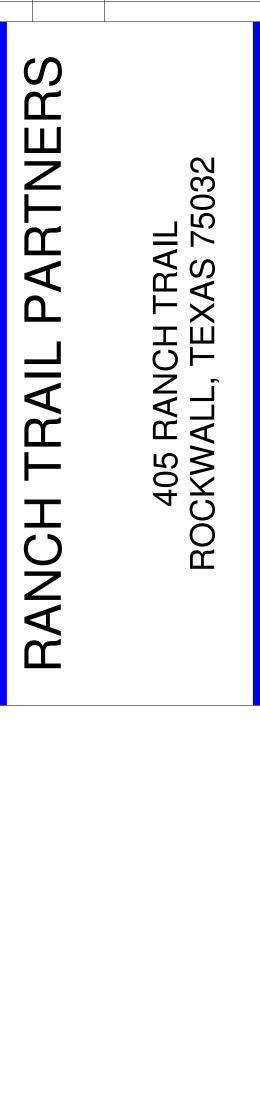


HEARTLAND TX. 75126 Robert Lowery robert@lowerydesigngroup.net 806-789-7902

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DRAV	VN BY:	LDG
DATE	:	2/09/2023
CHEC	CKED BY:	LDG
DATE	:	2/13/2023
FINAL	REVIEW BY:	BSDG
DATE	:	2/15/2023
ISSUE	DATE	DESCRIPTION
1	02/15/2023	SITE PLAN SUBMITTAL



SITE PHOTOMETRICS

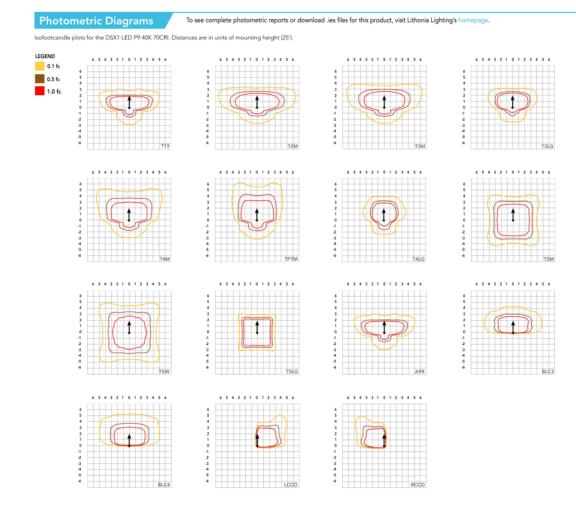
Specifica EPA: Length: Width: Height H1: Height H2: Weight:	<b>d"serie:</b> ations 0.69 ft <sup>2</sup> (0.06 m <sup>2</sup> ) 32.71* (83.1 cm) 14.26* (36.2 cm) 7.88* (20.0 cm) 2.73* (6.9 cm) 34 lbs (15.4 kg)						Introd The mo highly r with its benefit a high p luminai The ph with ex and low ing pho poles re typical service	dern sty efined a environr s of the l performa re. otometri cellent u ver powe otometry equired i energy s life of ov	ling of t esthetic nent. Tl atest in nce, hig c perfor niformite r densi aids in n area l avings o ver 100,	he D-S that bl ne D-Se LED te gh effic. mance y, great y, D-Se reducir ighting of 65% a 200 hou	ends se ries off chnolog acy, long results ter pole ries out ag the n applica and exp urs.	amlessly ers the gy into g-life in sites spacing stand- umber of tions with ected	DL1127F 1.5 JU DL1347F 1.5 CU DL448F 5.5 CU DSHORT SAK DSTHIS P# DSXRPAS (FINISH DSXRPAS (FINISH DSXRPAS (FINISH	<ul> <li>Photocell - SSL twist-li Shorting cap <sup>34</sup></li> <li>House-side shield (ent Round pole adapter (#</li> <li>Square pole adapter #)</li> <li>Round pole adapter #5</li> </ul>	ries separately xk (120-2771) <sup>14</sup> xk (14771) <sup>14</sup> xk (14707) <sup>15</sup> xk (14707) <sup>15</sup> er 1-13 in place of #) d miling (specify finish) d miling (specify finish) d miling (specify finish)	2 300 3 T31 4 MV 5 HVV 7 XVV 9 SPJ 10 V69 11 2 NU1 12 NU1 13 PR 13 PR 13 PR 16 U5 17 DM 18 PC 18 PC 10 SPJ 10 T2 NU1 12 NU1 12 NU1 12 NU1 12 NU1 12 NU1 13 PR 10 DF 12 NU1 12 NU1 12 NU1 12 NU1 13 PR 10 DF 12 NU1 12 NU1 12 NU1 13 PR 10 DF 12 NU1 12 NU1 13 PR 10 DF 10 DF	S ated optics available 40K, and 50K avail Minore operates 50K and 50K avail Minore operates 50K available 50K ava	able in 70CRI a lable in 70CRI a lable in 70CRI a lable in 70CRI a lable in 20CRI a lable and lable a lable with 55 drilling ed with 75pe 5 ut be ordered in liable with 50 drilling to 150 drilling a coessions. So available with NLT aliable with NLT aliable with NLT aliable with NLT aliable with NLT aliable with NLT aliable vith	nd 80CRI. 2 O not availad tage from 32 age from 32 age from 32 prom 34 prom 34 prom 34 prom 34 distributions or controls in the standard prom 12 prom	XK and 35K or the with option 0-277V (50/66/ 	vily available v HS. H2. H2. H2. H2. H2. H2. H2. H2. H2. H2	th BOCRI. Co TAIR2 PIRHN i ATAIR2 PIRHN i ATAIR2 Visit th AT, FAO, BL30 OLT. G and DS. PI G and DS. MU G and DS. AO, DMG and AO, DMG and AO, and DMG. on via (2) differ Also availability	or option PIR. is <u>link</u> , BL50, DMG ai R not available stocell ordered 10, BL50, DMG i DS. ment sets of leac	Support for or nd DS. NLTAIR with P1 and P1 and shipped a and DS. ds using (2) driv	2 PIRHN not av 0 using HVOLT. a a separate line ers. DS only av	ailable with P1 PIR not available e item from Acu- vailable with pack-
Orderi DSX1 LED Series DSX1 LED	Implicit         Implicit           P1         P6           P2         P7           P3         P8           P4         P9           P5         Rotated optics           P101         P121           P111         P131	Color temperature           (this section 70CRI           30K         3000K           40K         4000K           50K         5000K           (this section 80CRI extended lead tim apply)           27K         2700K           30K         3000K           30K         3000K           40K         4000K           50K         5000K	2 Color Rend Index <sup>2</sup> only) 70CRI 70CRI 70CRI 70CRI	AFR Auto T1S Type T2M Type T3M Type T3LG Type T4M Type T4LG Type	omotive front row e I short e II medium e III medium	T5M 1 T5LG 1 T5W 1 BLC3 1 BLC4 1 C LCC0 L	YOCRI T ype V medium ype V low glare ype V vide ype IIV backlight ontrol <sup>3</sup> Per IV backlight ontrol <sup>3</sup>	Voltage MVOLT HVOLT XVOLT		Mor 1) <sup>56</sup> SP, W) <sup>28</sup> RP SP, RP	ipped includ A Square (#8 dri (#8 dri (#8 dri #5 drill AS Square #5 drill AS Square mount	ed pole mounting ing) pole mounting ng <sup>9</sup> pole mounting ng <sup>9</sup> pole mounting ng <sup>9</sup> narrow pole ng #8 drilling	Drillin	ernal Glare S			Hou Tenon M. 2-3/8" 2-7/8" 4" Mounting Optio Head Location	ISE Side S OUNTING MOUNTIN RPA RPA RPA RPA	Slipfitt	er ngle Unit \$33-5 190 \$725-190 \$735-190	180	2 @ 90 A53-5 2 A5125-2 A5135-2 2 @ 90 ide B & C	90 AS3-5 90 AST25	5 390 AS 5 390 AS 5 - 390 AS	3-5 320 25-320 35-320 36-4 @	90
	talled IN nlight AlR gen. ambient sensor sensor enabled High/low, motie height, ambient NEMA twist-loc separate) <sup>14</sup> Five-pin recepta	vn/ambient sensor, 8-40 mou sensor enabled at 2k <sup>1,13,13</sup> «k receptacle only (controls o cle only (controls ordered sep de only (controls ordered sep	nia Way • Conyer	Seven-pin receptacle ordered separate) <sup>4,21</sup> Field adjustable outpu Bi-level switched dimr Bi-level switched dimr forture (for use with a control, ordered separ Dual switching <sup>18,18,21</sup> Dual switching <sup>18,18,21</sup>	ut <sup>16,21</sup> ming, 3096 <sup>16,21</sup> ming, 5096 <sup>16,21</sup> ipulled outside n external ately) <sup>17</sup> Phone: 1-800-71	HS L90 R90 CCE <b>Shipped se</b> EGSR BSDB	stalled 20KV surge prot Houseside shiel Left totated opti Right rotated op Coastal Construc <b>parately</b> External Glare S required, match Bird Spikes (fiel	d (black finish sta cs <sup>1</sup> tics <sup>1</sup> tion <sup>23</sup> hield (reversible, es housing finish d install required	field install )	DBLXD DNAXD DWHXD DDBTXD DBLBXD DNATXD	Dark Bronz Black Natural Alu White Textured d Textured b	minum rk bronze ack tural aluminum		ninum poles		0.563" (2 PLCS) (2 PLCS) Lithonia Way • 111-2023 Acuity Bra	Ma DSS DSS(1 w DSS(1 w DSS(1 v DSS(1 v DSS(1 v DSS(1 v)))	#8 #8 #8 #5 #8 #8 #8 #8 #8 #8 #8 #8 #8 #8 #8 #8 #8	nounting arm	3.0 3 3 3 3 3 5 5 7 6 7 7 0.0 0 7 0 0.69 0.70 0.83	Minimu           "         -           -         -           -         -           -         -           -         -           -         -           -         -           -         -           -         -           -         -           1.38         1.40           1.40         1.66	3.5" 3" 3" 3" 3" 3" 3" 3" 2 @ 90 D 2 @ 90 D 1.23 1.30 1.30 1.50	M29 3 @ 90 1. 1. 1. 2.	3" 3" t included in thi DM39 3 @ L 54	3.5 3* 3* 3* 5 EPA data. 120 DM32 4	
Lumen Or Lumen values are	re from photometric t for performance data	tests performed in accorda a on any configurations not	shown here.	08. Data is considered to	to be representative 30K (3000K, 70 (RI)	of configuration	ons shown withi	n the tolerances 40K (4000K, 70 CRI)	described wit	hin LM-79.	50K (5000K, 70	(RI)	Lumen (	are from photometric y for performance dat	tests performed in a	ccordance with IESN. ns not shown here. System Watts	A LM-79-08. Data is ( Distribution Type	considered to be	e representati 30K (3000K, 70 Cl	ve of configura	ations shown v	40K 40K 4000K, 70		i within LM-79.	50K (5000K, 70 (	(RI)
30	1250	P4	11 11 124W 11 124W 17 18 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8	Luneas 15 16,416 2M 15,207 3M 15,383 3IG 13,742 4M 15,613 3IG 13,742 4M 15,613 3IG 13,742 4M 15,613 5W 16,063 5W 16,324 5W 16,344 5W 16,344	B         O         S           2         0         3           3         0         4           2         0         4           2         0         4           2         0         4           4         0         2           0         0         3           0         0         3           1         0         3           2         0         3           1         0         3           2         0         3	4 124 2 111 4 126 2 115 4 127 2 130 3 132 2 130 4 90 4 90 4 91 4 91	Lumens         Lumens           17,109         2           15,849         3           16,032         2           14,221         2           16,272         2           16,384         2           16,741         4           16,790         4           16,790         4           11,662         0           12,044         0           11,767         1           17,019         2           18,814         2	0 3 0 3 0 3 0 3 0 3	129 116 131 119 132 135 137 135 94 97 95 95	Lumens 17,442 16,158 16,345 14,600 16,508 15,087 16,703 17,067 17,344 17,117 17,867 11,889 12,279 11,996 11,996 11,996	B         O           2         0           3         0           2         0           2         0           2         0           2         0           2         0           2         0           4         0           0         0           1         0           2         0	b         LPW           3         141           4         130           2         118           4         134           2         122           138         3           3         140           2         138           3         96           4         99           3         97           3         97           3         141	40	1400	P7	184W	115 72M 73M 73L6 74M 74L6 75M 75W 75L6 8LC3 8LC4 8LC4 8LC0 LCC0 AFR 715	21,778 3 22,252 5 22,613 5 22,317 4 15,501 0 16,010 0 15,631 5 15,641 1	2 0 5 0 5 0 6 0 0 0 0 0 0 0 0 0 0 0 0 0 0	5 118 3 121	23,700 21,955 22,210 19,839 22,541 22,697 23,191 23,567 23,258 16,685 16,685  23,700 29,912	B         O           2         0           3         0           2         0           3         0           2         0           3         0           2         0           3         0           2         0           3         0           5         0           5         0           5         0           0         0           0         0           ****         ****           ****         ****           2         0           3         0		22,383 4 22,642 4 20,226 2 2,980 2 2,990 2 2,900 2 23,139 4 23,643 4 24,027 4 23,712 16,470 17,010   4 24,162	B         U           3         0           3         0           3         0           2         0           3         0           2         0           3         0           2         0           3         0           2         0           3         0           5         0           5         0           5         0           5         0           5         0           5         0           6         0           0         0	G         LPW           3         131           4         121           5         123           3         110           5         125           3         123           5         125           3         128           4         130           2         129           4         89           4         92               3         131               3         131
30	1400	PS	138W	2M         16,723           3M         16,917           SIG         15,111           4M         17,169           4LG         15,615           TM         17,268           SW         17,654           SW         17,951           SLG         17,716           LC3         12,305           SLG         12,709           CC0         12,416           CC0         12,416           FR         18,052	3         0         4           3         0         4           2         0         2           3         0         5           2         0         2           2         0         2           3         5         0         3           5         0         3         5           0         0         3         0         4           1         0         3         2         0         3           2         0         3         2         0         3	121           122           109           124           124           113           125           128           130           2           128           130           2           128           4           92           4           90           4           90           131	17,428 3 17,630 3 15,749 2 18,017 2 18,017 2 18,017 2 18,017 2 18,017 2 18,017 2 18,018 4 12,824 0 13,245 0 12,940 1 18,814 2	0 4 0 2 0 2 0 2 0 2 0 3 0 3 1 0 2 0 3 1 0 3 1 0 4 0 3 1 0 4 1 0 4 1 0 3 1 0 3 1 0 3 1 0 3 1 0 3 1 0 3	128 114 130 118 130 133 135 134 93 96 94 94 94 136	17,768 17,974 16,055 18,242 16,591 18,368 18,768 19,073 18,823 13,074 13,503 13,192 13,192 19,180	3         0           3         0           2         0           3         0           2         0           3         0           5         0           5         0           5         0           4         0           0         0           1         0           2         0	4         129           4         130           2         116           5         132           2         120           5         133           3         136           3         95           4         98           3         95           4         98           3         95           3         95           3         95           3         95           3         95           3         139	60	1100	P8	216W	T2M T3M T3LG T4M T4LG TFTM T5M T5W T5LG BLC3 BLC3 BLC4 RCC0 LCC0 AFR	26,587 3 26,895 3 24,025 3 27,296 3 24,826 3 27,485 3 28,539 5 28,165 4 19,563 0 20,205 0 19,740 1 19,740 1 28,701 3	4 0 0 0 1 0 1 0 3 0	5         123           5         125           3         111           5         127           3         115           5         127           4         130           4         132           2         131           4         91           5         94           4         91           3         133	27,709 28,030 25,038 28,448 25,873 28,645 29,269 29,743 29,354 20,388 21,057 20,572 20,572 29,912	3         0           3         0           3         0           3         0           3         0           3         0           3         0           3         0           3         0           5         0           5         0           4         0           0         0           0         0           1         0           3         0	5         128           5         130           3         116           5         132           3         120           5         133           4         134           4         138           4         138           4         94           5         98           4         94           5         98           4         95           4         95           4         95           4         95           4         95           4         135	28,249 28,576 25,526 29,002 26,378 29,203 20,378 29,203 30,323 529,926 20,786 21,468 20,973 20,973 20,973 30,495	3         0           3         0           3         0           3         0           3         0           3         0           5         0           5         0           5         0           4         0           0         0           0         0           1         0           3         0	5         131           5         132           3         118           5         134           3         122           5         135           4         138           4         141           2         139           4         96           5         99           4         97           4         141
40	1250	P6	165W 1 165W 1 165W 1 1 165W 1 1 165W 1 1 1 8 8 8 8 8 8 8 1 1 1 1 1 1 1 1 1 1	4LG         18,191           TIM         20,140           SM         20,579           SW         20,912           SLG         14,335           LC3         14,335           LC4         14,805           CC0         14,464	2         0         3           3         0         4           3         0         5           2         0         2           3         0         5           5         0         3           4         0         2           0         0         4           1         0         3           2         0         3	4         118           i         119           i         121           i         121           i         121           i         122           i         125           i         127           i         125           i         90           i         88           i         88	20,539 3 18,347 2 20,845 3 18,959 2 20,989 3 21,447 5 21,795 5 21,509 4 14,940 C 15,430 C 15,074 1 15,074 1	0         3           0         4           0         5           0         5           0         2           0         5           0         2           0         3           0         3           0         3           0         3           0         4           0         3           0         3           0         3           0         3           0         3	123 124 111 126 115 127 130 132 130 90 93 91 91	18,704 21,251 19,328 21,398 21,865 22,219 21,928 15,231 15,731 15,368 15,368	1 0	2 113 5 129 2 117 5 129 3 132 3 134 2 133 3 92 4 95 3 93 3 93	60	1400	Р9	277W	115 12M 13M 13LG 14LG 14LG 1FTM 15M 15W 15LG 8LC3 8LC4 RCC0 LCC0 LCC0 LCC0	33,116 3 30,119 3 33,345 3 34,071 5 34,624 5 34,170 5 23,734 0 24,513 0 23,948 1 23,948 1	0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0           0         0	5         120           3         109           5         120           4         123           4         125           3         123           4         86           5         88           4         86           4         86	31,389 34,751 35,509 36,084 35,612 24,735 25,547 24,958	3         0           3         0           3         0           3         0           3         0           3         0           5         0           5         0           5         0           5         0           0         0           0         0           0         0           1         0           2         0	4         110           5         125           4         113           5         125           4         128           4         130           3         129           4         5           5         92           4         90           4         90	34,271 34,668 30,968 35,185 32,001 35,201 36,201 36,201 36,788 36,306 25,217 26,045 25,445	3         0           3         0           5         0           5         0           5         0           0         0           0         0           1         0           1         0	5         128           4         131           4         133           3         131           4         91           5         94           4         92           4         92

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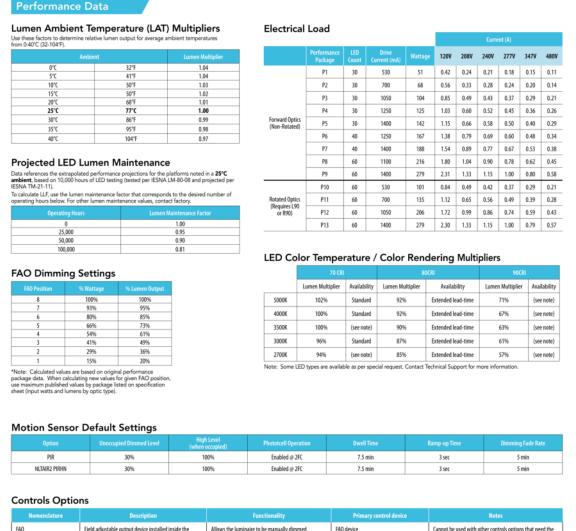




umen O	utput																		
men values an ontact factory	e from photometric to or performance data	ests performed in a on any configurati	accordance with IESI ions not shown here.	NA LM-79-08. Data is	considered to	o be re	present	ative of	configurati	ons shown v	vithin th	ne toler	ances de	escribed wi	thin LM-79.				
Rotated Op																			
LED Count	Drive		System Watts	Distribution Type	30K (3000K, 70 (RI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
	Current (mA)	Package			Lumens	(30 B	U U	G	LPW	Lumens	(40 B	UUK, 70	G	LPW	Lumens	B	U U	G	U
				TIS	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	1
				T2M T3M	14,047 14,208	4	0	4	139 140	14,640 14,807	4	0	4	145 146	14,925 15,096	4	0	4	1
				T3LG	12,693	3	0	3	125	13,229	3	0	3	131	13,487	3	0	3	1
				T4M	14,420	4	0	4	142	15,028	4	0	4	148	15,321	4	0	4	1
				T4LG	13,115	3	0	3	129	13,668	3	0	3	135	13,934	3	0	3	1
				TFTM	14,522	4	0	4	143	15,134	4	0	4	149	15,429	4	0	4	1
60	530	P10	101W	T5M	14,836	4	0	2	146	15,462	4	0	2	153	15,763	4	0	2	1
				T5W T5LG	15,076 14,879	3	0	2	149	15,712	5	0	3	155	16,019	5	0	3	1
				BLC3	10,335	3	0	3	102	10,771	4	0	4	106	10,981	4	0	4	
				BLC4	10,674	4	0	4	105	11,124	4	0	4	110	11,341	4	0	4	1
				RCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	1
				LCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	
				AFR	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	1
		P11	135W	T1S T2M	19,437 18,005	4	0	4	144 133	20,257 18,765	4	0	4	150 139	20,651 19,131	4	0	4	-
				T3M	18,005	4	0	4	135	18,980	4	0	4	141	19,151	4	0	4	1
				T3LG	16,270	3	0	3	121	16,957	3	0	3	126	17,287	4	0	4	1
				T4M	18,483	4	0	4	137	19,263	5	0	5	143	19,638	5	0	5	1
				T4LG	16,810	3	0	3	125	17,519	3	0	3	130	17,861	3	0	3	1
				TFTM	18,614	4	0	4	138	19,399	4	0	4	144	19,777	5	0	5	1
60	700			TSM	19,017	5	0	3	141	19,819	5	0	3	147	20,205	5	0	3	
				TSW TSLG	19,325 19,072	5	0	3	143 141	20,140 19,876	5	0	3	149	20,533 20,264	5	0	3	
				BLC3	13,247	4	0	4	98	13,806	4	0	4	19/	14.075	4	0	4	
				BLC4	13,682	4	0	4	101	14,259	4	0	4	102	14,537	4	0	4	
				RCCO	13,367	1	0	3	99	13,931	1	0	3	103	14,203	1	0	3	
				LCCO	13,367	1	0	3	99	13,931	1	0	3	103	14,203	1	0	3	
				AFR	19,437	4	0	4	144	20,257	4	0	4	150	20,651	4	0	4	
				TIS	27,457	4	0	4	133	28,616	4	0	4	139	29,174	4	0	4	
				T2M T3M	25,436 25,727	5	0	5	124	26,509 26,812	5	0	5	129 130	27,025 27,335	5	0	5	-
				T3LG	22,984	4	0	4	112	23,954	4	0	4	116	24,421	4	0	4	
		P12	206W	T4M	26,110	5	0	5	127	27,212	5	0	5	132	27,742	5	0	5	1
				T4LG	23,747	4	0	4	115	24,749	4	0	4	120	25,231	4	0	4	1
				TFTM	26,295	5	0	5	128	27,404	5	0	5	133	27,938	5	0	5	1
60	1050			T5M	26,864	5	0	4	130	27,997	5	0	4	136	28,543	5	0	4	
				T5W T5LG	27,299	5	0	4	133	28,451	5	0	4	138	29,006	5	0	4	
				BLC3	26,942 18,714	4	0	4	131 91	28,078 19,504	4	0	4	136 95	28,626 19,884	4	0	2	-
				BLC4	19,327	5	0	5	94	20,143	5	0	5	98	20,535	5	0	5	
				RCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	
				LCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	
				AFR	27,457	4	0	4	133	28,616	4	0	4	139	29,174	4	0	4	1
				T1S	34,436	5	0	5	125	35,889	5	0	5	130	36,588	5	0	5	1
				T2M T3M	31,900 32,265	5	0	5	116 117	33,246 33,626	5	0	5	121	33,894 34,282	5	0	5	1
				T3LG	28,826	4	0	4	105	30,042	4	0	4	109	30,628	4	0	4	-
				T4M	32,746	5	0	5	119	34,128	5	0	5	124	34,793	5	0	5	
				T4LG	29,782	4	0	4	108	31,039	4	0	4	113	31,644	5	0	4	
				TFTM	32,978	5	0	5	120	34,369	5	0	5	125	35,039	5	0	5	
60	1400	P13	276W	T5M	33,692	5	0	4	122	35,113	5	0	4	127	35,797	5	0	4	- 1
				T5W T5LG	34,238	5	0	4	124	35,682	5	0	4	129	36,378	5	0	4	
				BLC3	33,789 23,471	5	0	3	122 85	35,215	5	0	3	128	35,901 24,937	5	0	3	-
				BLC3	24,240	5	0	5	88	25,262	5	0	5	92	25,755	5	0	5	-
				RCCO	23,683	1	0	4	86	24,682	1	0	4	89	25,163	1	0	4	
				LCC0	23,683	1	0	4	86	24,682	1	0	4	89	25,163	1	0	4	
				AFR	34,436	5	0	5	125	35,889	5	0	5	130	36,588	5	0	5	

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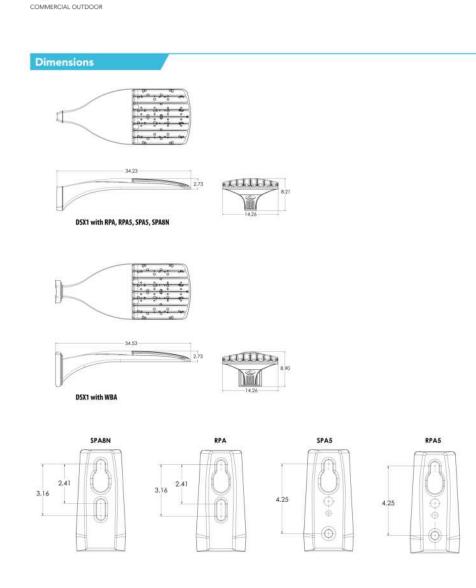


Nomenclature	Description	Functionality	Primary control device			
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with o 0-10V leads		
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separatel AIR as a more cost effe		
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming capped inside luminai controls options that n		
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with o 0-10V leads.		
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclypse.	nLight Air rSBG	nLight AIR sensors can from the ground using with other controls op		
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered can be used with any i		

LITHONIA LIGHTING

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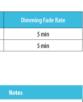
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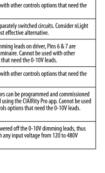
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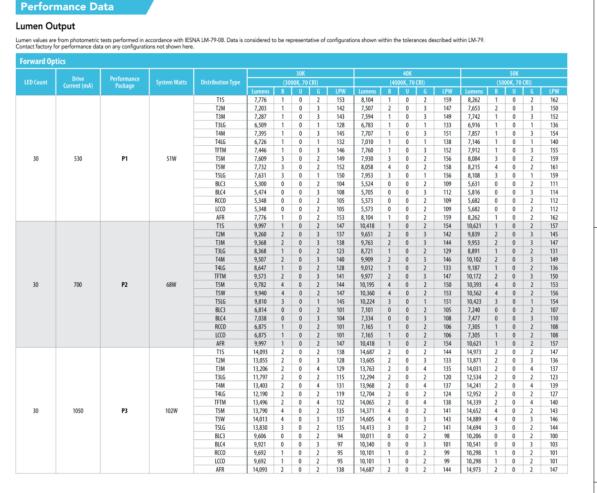


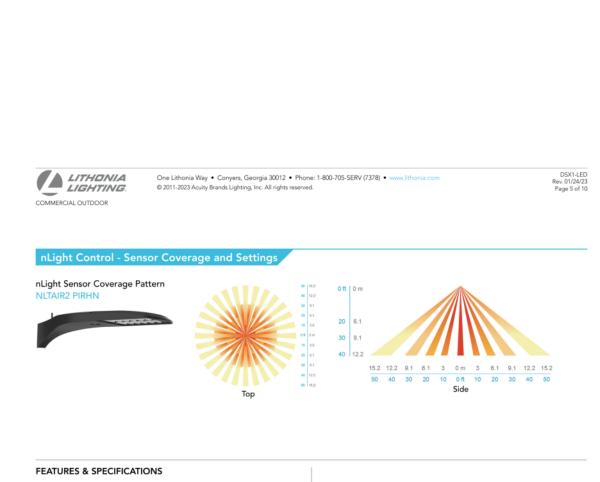


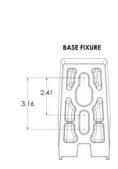




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ELECTRICAL Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L81/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%. THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). STANDARD CONTROLS The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensor with on-board photocells feature field-adjustable programing and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

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WARRANTY 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other

express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25  $^{\circ}\mathrm{C}$ . Specifications subject to change without notice.

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SITE PHOTOMETRICS

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DESIG

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ISSUE DATE DESCRIPTION

1 02/15/2023 SITE PLAN SUBMITTAL

LDG

LDG

2/09/2023

2/13/2023

2/15/2023

BSDG

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405 RANCH ROCKWALL, TEX

Plan (Ise Agreement

DRAWN BY:

CHECKED BY:

FINAL REVIEW BY:

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