



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22022-054

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 211 Jacob Crossing Rockwall TX
 SUBDIVISION North Town Addition LOT 7 BLOCK B
 GENERAL LOCATION Jacob Crossing and Chadway

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-7 CURRENT USE Vacant
 PROPOSED ZONING SF-7 PROPOSED USE Residential
 ACREAGE 0.1837 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Dana moffatt APPLICANT
 CONTACT PERSON Scott Clements CONTACT PERSON
 ADDRESS Po Box 609 ADDRESS
 CITY, STATE & ZIP Royce city TX 75189 CITY, STATE & ZIP
 PHONE 469 853 7952 PHONE
 E-MAIL Scott@sclements-homes.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

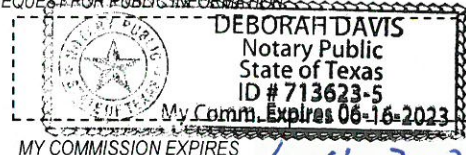
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF Nov, 2022
OWNER'S SIGNATURE Dana moffatt

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Deborah Davis

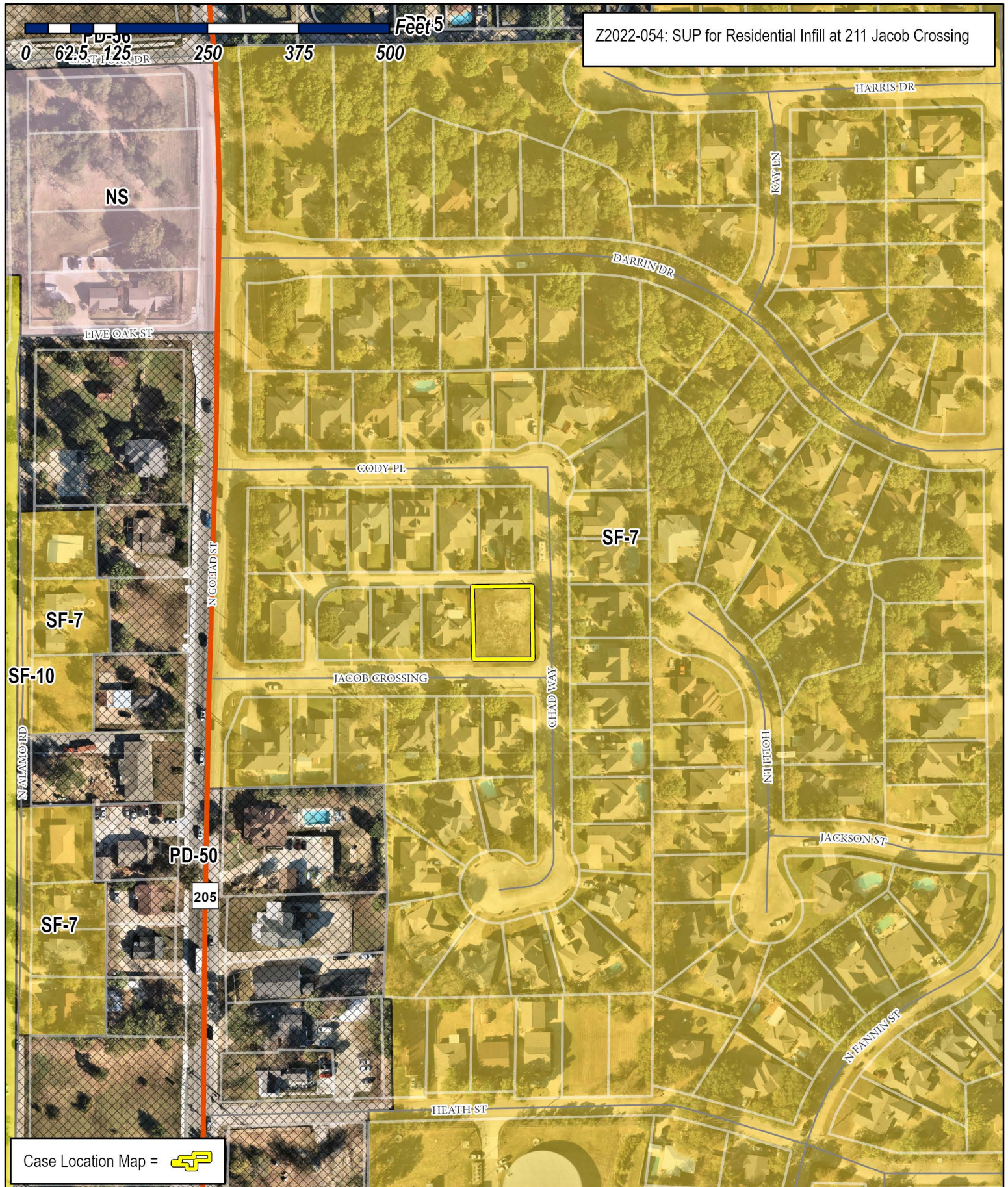



MY COMMISSION EXPIRES 6-16-2023

Z2022-054: SUP for Residential Infill at 211 Jacob Crossing

Feet 5

0 62.5 125 250 375 500



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

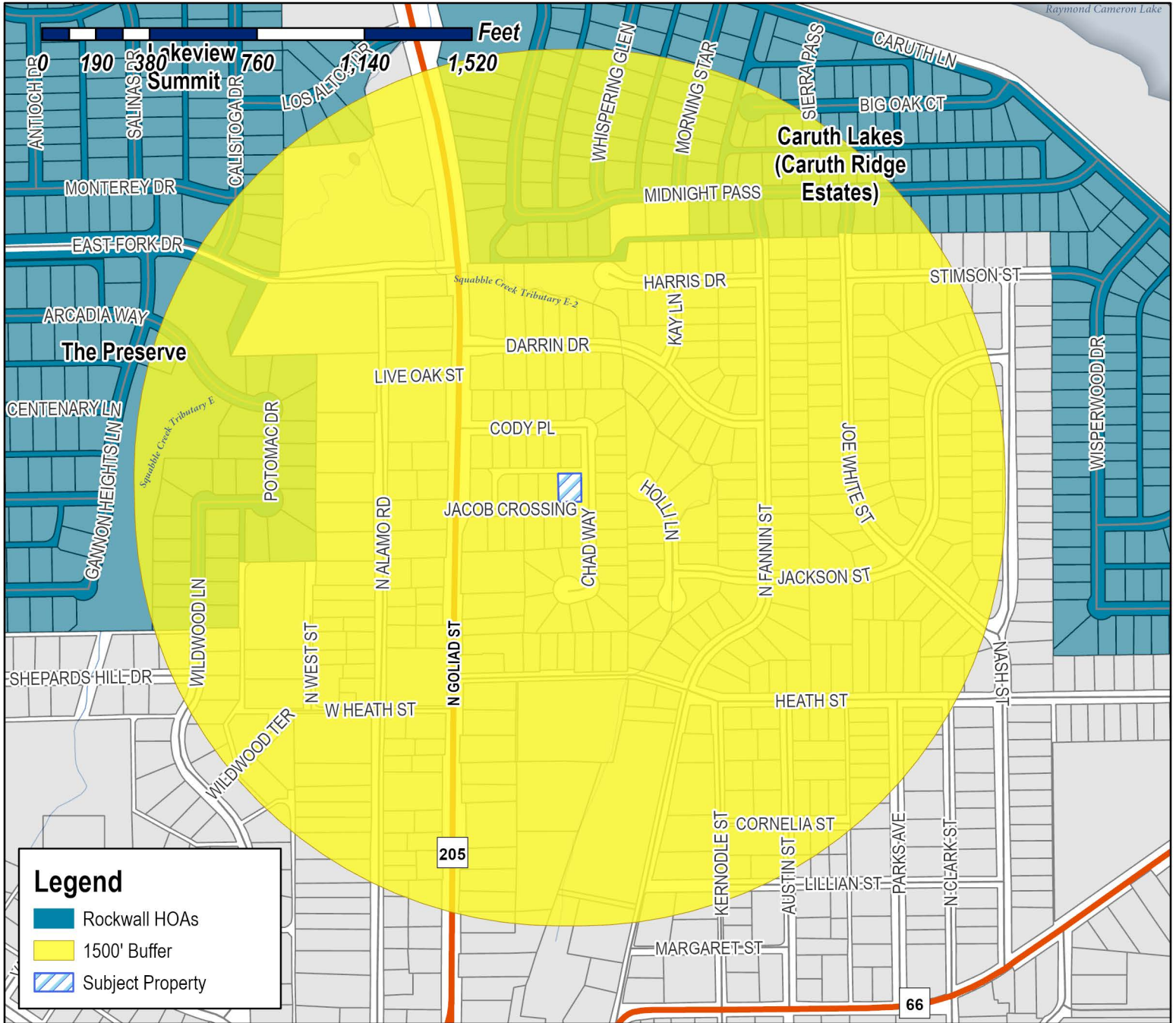




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Case Number: Z2022-054
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 211 Jacob Crossing

Date Saved: 11/15/2022
 For Questions on this Case Call (972) 771-7745

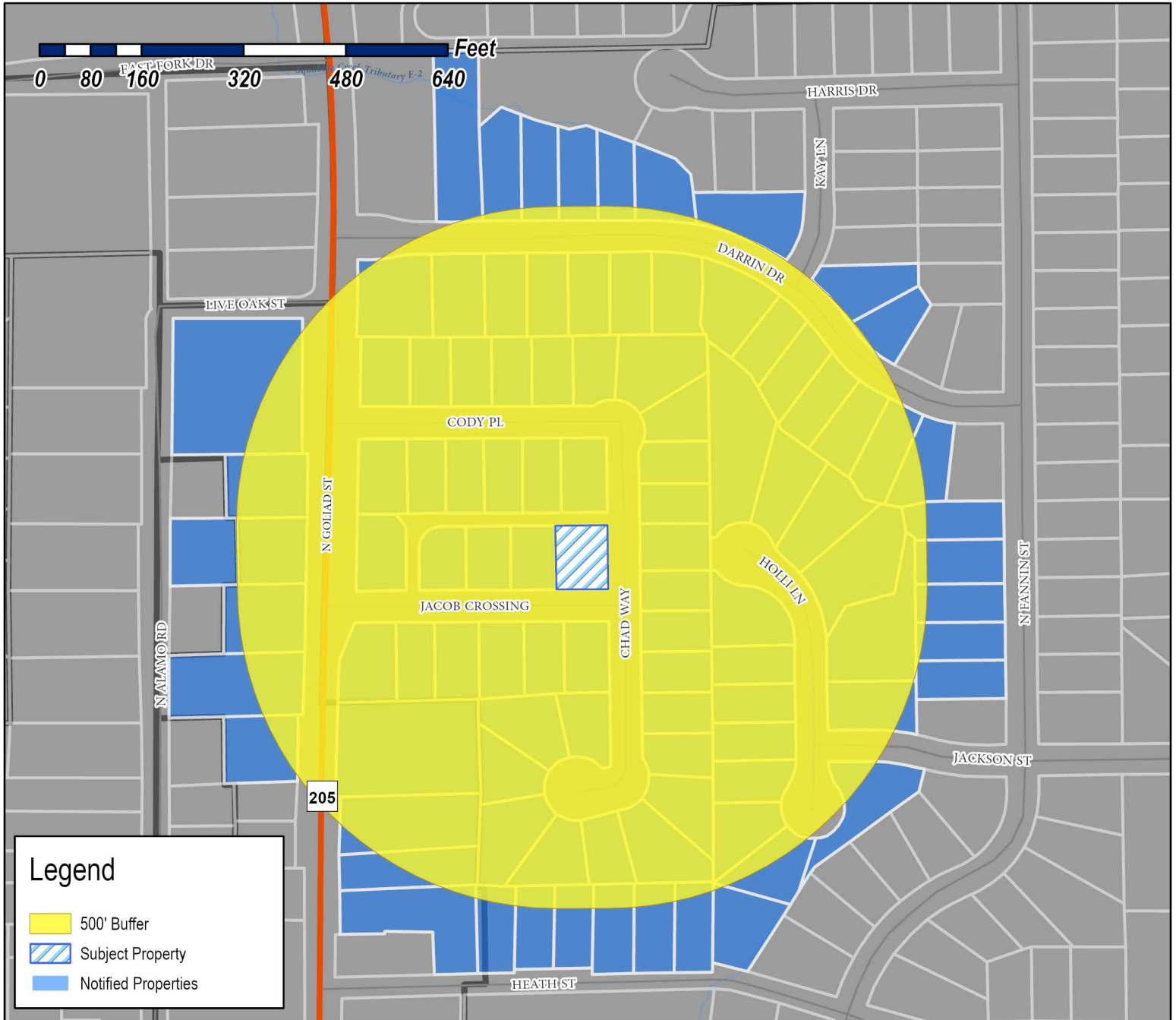




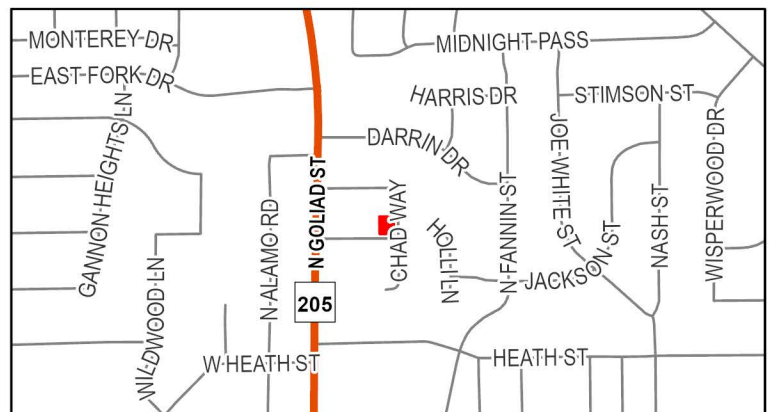
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Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 211 Jacob Crossing



Date Saved: 11/15/2022

For Questions on this Case Call: (972) 771-7746

SOLIS JOE & FLORA
1000 HOLLI LN
ROCKWALL, TX 75087

ESTATE OF ELAINE I PETERSON
1001 HOLLI LN
ROCKWALL, TX 75087

HARRIS BENJAMIN AND
NICOLE BLAKE
1002 HOLLI LANE
ROCKWALL, TX 75087

RHODES NANCY CLAYCOMB
1003 HOLLI LN
ROCKWALL, TX 75087

ROBINSON ROBERT L & JULIE C
1003 N FANNIN ST
ROCKWALL, TX 75087

CLARK LARISSA
1004 HOLLI LN
ROCKWALL, TX 75087

SOLIS JOHNNY & JULIE
1005 HOLLI LN
ROCKWALL, TX 75087

BATES AURELIUS JERRY AND EDWINA
1005 N FANNIN STREET
ROCKWALL, TX 75087

EICHER STEVEN & CHRISTINE
1006 HOLLI LN
ROCKWALL, TX 75087

CANWANT2 PROPERTIES LLC
1007 N FANNIN ST
ROCKWALL, TX 75087

GUILLEN FAITH ERIN ELISABETH & BRANDON
HUNTER
1008 HOLLI LANE
ROCKWALL, TX 75087

SCHIMMEL JARROD J
1009 FANNIN ST
ROCKWALL, TX 75087

MUMMEY MAURICE E ETUX
1010 HOLLI LANE
ROCKWALL, TX 75087

JERAY DENNIS M & PATRICIA E JERAY
TRUSTEES OF THE JERAY FAMILY LIV TRUST
1011 N FANNIN ST
ROCKWALL, TX 75087

DIXON CHARLES S AND STEPHANIE
1025 KAY LN
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN
104 RUSH CREEK
HEATH, TX 75032

HILL TOBY VERN H & ANGELA DAWN
113 E HEATH ST
ROCKWALL, TX 75087

FRENCH MELISSA AND JACOB AARON
115 E HEATH ST
ROCKWALL, TX 75087

STORY CATHERINE C
117 E HEATH ST
ROCKWALL, TX 75087

GARRISON MONA AND RONALD
119 E HEATH STREET
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

DAFFRON JAMES R AND DEBBIE A
12207 DARK HOLLOW RD
ROCKWALL, TX 75087

LOZANO MANUEL A
1388 S FM 740
HEATH, TX 75126

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

VANDERSLICE ROBERT
1408 S LAKESHORE DRIVE
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW
192 JACOB CROSSING
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S
193 JACOB CROSSING
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN
194 CODY PLACE
ROCKWALL, TX 75087

CROY DANNY L
195 CODY PL
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC
196 JACOB CROSSING
ROCKWALL, TX 75087

STEWART DEBORAH LYNN
196 DARRIN DR
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A
198 CODY PLACE
ROCKWALL, TX 75087

KANSIER GAYLE
198 DARRIN DR
ROCKWALL, TX 75087

DOOLEY RHONDA N
19801 E 86TH ST N
OWASSO, OK 74055

BOWEN JAMES A
199 DARRIN DR
ROCKWALL, TX 75087

NJK ENTERPRISES LLC
199 JACOB CROSSING
ROCKWALL, TX 75087

YOUNG BARBARA NEUMANN
199 CODY PLACE
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
2 MANOR COURT
HEATH, TX 75032

917 PROPERTIES LLC
2 MANOR COURT
HEATH, TX 75032

TURNER KYLE RADEY
200 JACOB CROSSING
ROCKWALL, TX 75087

SELLERS ROBERT STEVEN
200 DARRIN DRIVE
ROCKWALL, TX 75087

MCWHIRTER CRAIG L
201 DARRIN DR
ROCKWALL, TX 75087

MILLER ROBERT AND KATY
202 CODY PL
ROCKWALL, TX 75087

GANDY GEORGIA KNEL
202 DARRIN DR
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
203 JACOB CROSSING
ROCKWALL, TX 75087

CLAY KAREN L
203 CODY PL
ROCKWALL, TX 75087

DAVIS ROBERT C
203 DARRIN
ROCKWALL, TX 75087

BLANKENSHIP JAMES WISE & LISA
203 E HEATH ST
ROCKWALL, TX 75087

NELSON THERESE D
204 DARRIN DR
ROCKWALL, TX 75087

PHILLIPS TERESA
204 JACOB CROSSING
ROCKWALL, TX 75087

DRAKE EDWARD J II & JENNIFER R
205 DARRIN DRIVE
ROCKWALL, TX 75087

ESTATE OF ELAINE I PETERSON
2054 BRUCE RD
MARTIN, GA 30557

SIENY RYAN FAIN
206 CODY PL
ROCKWALL, TX 75087

RUDOLPH COLLIN J
206 DARRIN DRIVE
ROCKWALL, TX 75087

GARY DENNIS AND DIANNE
207 DARRIN DR
ROCKWALL, TX 75087

VANDERSLICE ROBERT
207 JACOB CROSSING
ROCKWALL, TX 75087

MITCHELL KELLI A &
RYAN S WENZEL
207 CODY PL
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC
208 JACOB CROSSING
ROCKWALL, TX 75087

HARTMEIER MICHAEL J & DEANNA K
208 DARRIN DR
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC
208 SUMMIT RIDGE
ROCKWALL, TX 75087

HENSON ORA LOUISE
209 DARRIN DR
ROCKWALL, TX 75087

210 CODY PL
ROCKWALL, TX 75087

ZOLMAN ADAM DAVID AND
DARBY ZOLMAN
210 DARRIN DRIVE
ROCKWALL, TX 75087

MOFFATT DANA MICHELLE
211 JACOB CROSSING
ROCKWALL, TX 75087

CALDWELL KARISSA A
211 CODY PLACE
ROCKWALL, TX 75087

SOON OI LING
212 DARRIN DR
ROCKWALL, TX 75087

SHIPLEY JASON P & ELIZABETH
212 JACOB XING
ROCKWALL, TX 75087

RATH OSCAR
213 DARRIN DR
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
214 DARRIN DR
ROCKWALL, TX 75087

FOSTER EDWARD M & TERI L
214 CODY PL
ROCKWALL, TX 75087

MURRAY JOHN DAVID
215 CODY PLACE
ROCKWALL, TX 75087

HENDERSON REBECCA J
216 DARRIN DR
ROCKWALL, TX 75087

SMITH ERICA
217 DARRIN DR
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
2175 LAKE FOREST DR
ROCKWALL, TX 75087

COURVILLE MICHAEL AND FRANCES REPPOND
218 DARRIN DR
ROCKWALL, TX 75087

DUZAN TIMOTHY AND ANGELA
219 CODY PL
ROCKWALL, TX 75087

HART MICHAEL JOSEPH
220 DARRIN DR
ROCKWALL, TX 75087

EVERETT KENNETH N & CARYL W
222 DARRIN DR
ROCKWALL, TX 75087

SOON OI LING
2221 ALL SAINTS LN
PLANO, TX 75025

WEST MICHAEL
299 SHENNENDOAH LANE
ROCKWALL, TX 75087

SOLIS JOHNNY & JULIE
3021 RIDGE RD SUITE A BOX 93
ROCKWALL, TX 75032

NJK ENTERPRISES LLC
31 ORLEANS CIRCUIT
CECIL HILLS SYDNEY, NSW 2171 AUSTRALIA,

RB40 INVESTMENTS LLC
400 CHIPPENDALE DRIVE
HEATH, TX 75032

TURNER KYLE RADEY
4002 BROWNSTONE CT
DALLAS, TX 75204

MOFFATT DANA MICHELLE
4756 SECRET COVE LANE
HEATH, TX 75032

BAF 3 LLC
5001 PLAZA ON THE LAKE SUITE 200
AUSTIN, TX 78746

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

FRENCH MELISSA AND JACOB AARON
5582 YARBOROUGH DR
FORNEY, TX 75126

JERAY DENNIS M & PATRICIA E JERAY
TRUSTEES OF THE JERAY FAMILY LIV TRUST
795 RIDGE ROAD WEST
ROCKWALL, TX 75087

GARY DENNIS AND DIANNE
809 COUNTY CLUB DRIVE
HEATH, TX 75032

WOMEN IN NEED INC
904 N GOLIAD ST
ROCKWALL, TX 75087

LOZANO MANUEL A
906 N GOLIAD
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC
908 N GOLIAD ST
ROCKWALL, TX 75087

RECSA LLC
911 NORTH GOLIAD
ROCKWALL, TX 75087

WEST MICHAEL
912 N GOLIAD
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC
915 N GOLIAD
ROCKWALL, TX 75087

917 PROPERTIES LLC
917 N GOLIAD
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
919 N GOLIAD
ROCKWALL, TX 75087

BARRY BARBARA
922 N ALAMO RD
ROCKWALL, TX 75087

CHAVEZ ENRIQUE
923 N GOLIAD ST
ROCKWALL, TX 75087

CFPC INVESTMENTS LLC
925 N GOLIAD
ROCKWALL, TX 75087

TAILLAC JEAN ANTHONY AND JENNIFER LEE
944 CHAD WAY
ROCKWALL, TX 75087

RICE JOSHUA M
947 CHAD WAY
ROCKWALL, TX 75087

PRINGLE PHYLLIS M
948 CHAD WAY
ROCKWALL, TX 75087

CORENO FRANCISCO R
951 CHAD WAY
ROCKWALL, TX 75087

BRUMIT COURTNEY M AND DARREN D
952 CHAD WAY
ROCKWALL, TX 75087

TAYLOR TERRY K AND STACEY B
955 CHAD WAY
ROCKWALL, TX 75087

ALLEN MARK C AND
DONNA K BOYD
956 CHAD WAY
ROCKWALL, TX 75087

CANWANT2 PROPERTIES LLC
956 CHAD WAY
ROCKWALL, TX 75087

LEFTEROV MARTIN AND
JESSICA LADD
960 CHAD WAY
ROCKWALL, TX 75087

TO TUAN QUOC
964 CHAD WAY
ROCKWALL, TX 75087

JENSEN MIKEL K & MICHELLE
968 CHAD WAY
ROCKWALL, TX 75087

WILCOX GORDON RICHARD AND GINGER R
974 CHAD WAY
ROCKWALL, TX 75087

LOWRY BRENDA
978 CHAD WAY
ROCKWALL, TX 75087

CLARK RYAN W & AMY B
982 CHAD WAY
ROCKWALL, TX 75087

GIBSON MONTE ROY & BELINDA K
986 CHAD WAY
ROCKWALL, TX 75087

SCHMIDT STEVEN R AND CORINNA A
990 CHAD WAY
ROCKWALL, TX 75087

BAF 3 LLC
993 HOLLI LN
ROCKWALL, TX 75087

GAFFNEY BRIAN & HOPE
994 CHAD WAY
ROCKWALL, TX 75087

DOOLEY RHONDA N
995 HOLLI LN
ROCKWALL, TX 75087

RAWLINS DAN AND MERRIANNE
997 HOLLI LN
ROCKWALL, TX 75087

GAFFNEY RICHARD BENNETT AND MARY ANNE
998 CHAD WAY
ROCKWALL, TX 75087

MESSENGER BARNARD A & BONNIE
998 HOLLI LN
ROCKWALL, TX 75087

NELSON MICHAEL D
999 HOLLI LN
ROCKWALL, TX 75087

BOWEN JAMES A
P.O. BOX 385
CADDO MILLS, TX 75135

CFPC INVESTMENTS LLC
PO BOX 1731
MARBLE FALLS, TX 78654

WOMEN IN NEED INC
PO BOX 349
GREENVILLE, TX 75403

PRINGLE PHYLLIS M
PO BOX 584
ROCKWALL, TX 75087

, 75087



Eric L. Davis Engineering, Inc.

Forney
P.O. Box 2637
Forney, TX 75126
Ph: (972) 564-0592

Houston
25132 Oakhurst Drive, Ste 110
Spring, TX 77386
(281) 863-9420

San Antonio
4710 Shavano Oaks Ste. 101
San Antonio, TX 78249
(210) 408-7091

web: www.eldengineering.com

email: ericdavis@eldengineering.com

November 8, 2022

S. Clements Homes
P.O. Box 609
Royse City, Texas 75189

Re: **Subdivision:** Rockwall County
 211 Jacob Crossing
 Rockwall, Texas
 Lot N/A Block N/A
 Plan Moffatt
 ELD Job No: DIF22-1732

The foundation plans accompanied by this letter, as designated by Eric L. Davis Engineering, are authorized for use only upon the property described above.

Foundation design criteria was formulated based on modifications of recommendations as set forth in criteria for selection and design of slab-on-ground (BRAB REPORT), PTI design and construction of Post-Tension slabs on ground 2nd Edition, WRI-CRSI-96, ACI 318-99, the 2015 IRC, 2015 IBC, ACI 318, ASTM C94 and recognized engineering practices.

Rockwall County USDA Soil Survey Geotech Report No:

PI	Bearing Capacity (Qu)	PVR	EMC	EME	YMC	YME
55	1500	4.00				

NOTE: Accompanying "OWNER MOISTURE MAINTENANCE LETTER" is to be transmitted to owner, with owners receipt acknowledged to builder/contractor.



Mitchell Lenamond

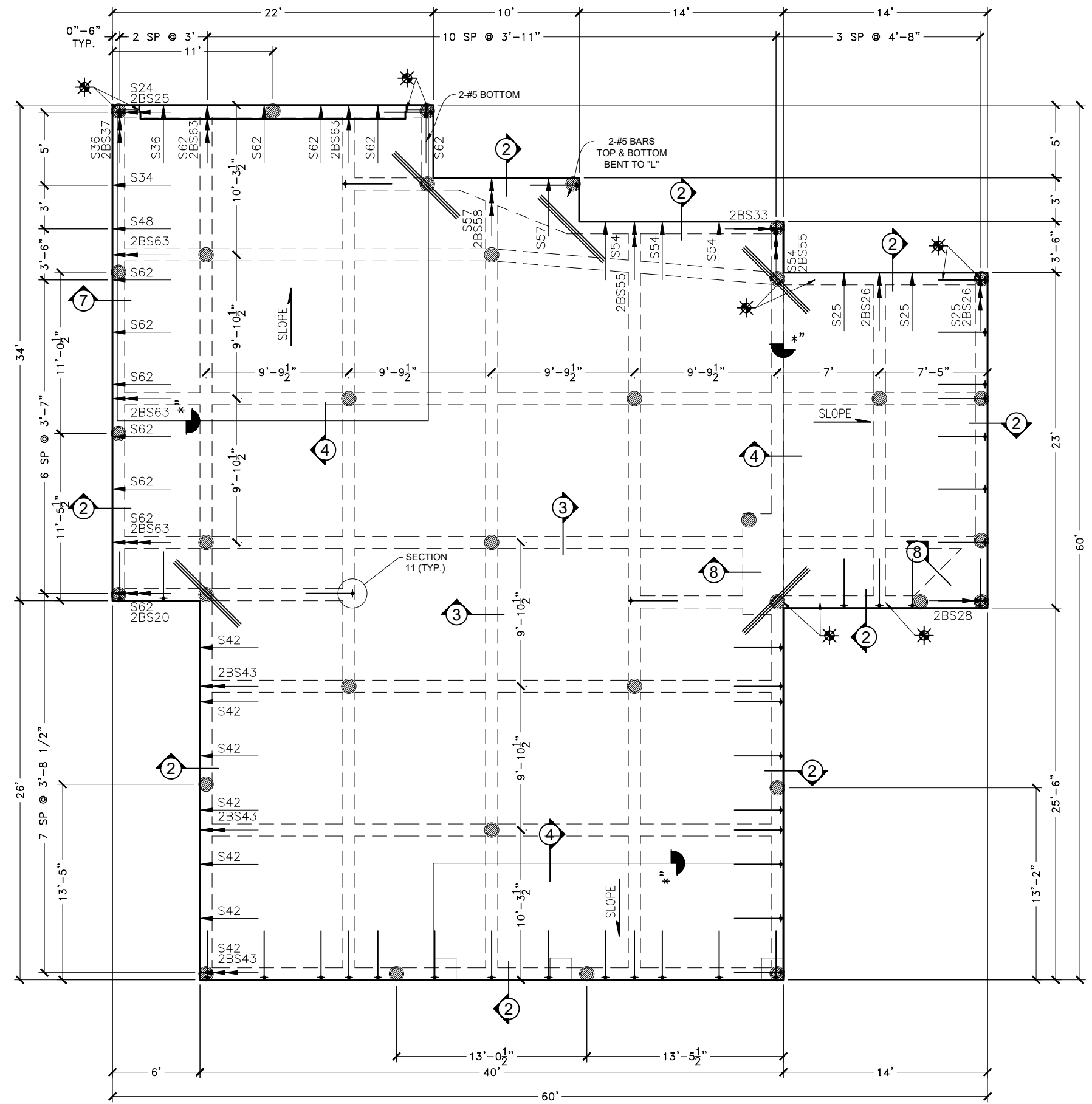
F-3987

ERIC L. DAVIS ENGINEERING, INC.
 F-3987
 401 Pinson Road
 Forney, Texas 75126
 972/564-0592 Fax 972/564-6523
 E-Mail eric.davis@eldengineering.com

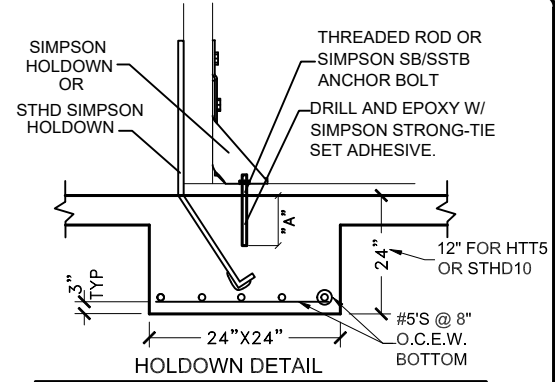
FOUNDATION PLAN
 ENGINEERED FOR:
S. CLEMENTS HOMES

PLAN: MOFFATT	ELD JOB NO: DIF22-1732
BUILDER: S. CLEMENTS HOMES	DRAWN BY: JSB
ADDITION: ROCKWALL COUNTY	CHECKED BY: MKL
ADDRESS: 211 JACOB CROSSING	AREA: 2,764 SQFT
LOT: N/A	BLOCK: N/A
CITY: ROCKWALL, TX	

SCALE: 1/8" = 1'-0"



NOTE: DESIGN VALID ONLY ON SOIL CHEMICAL INJECTED TO A DEPTH OF AT LEAST 10 FT. (OR GREATER IF SPECIFIED BY GEOTECHNICAL REPORT) TO REDUCE PVR TO ≤ 1.0".

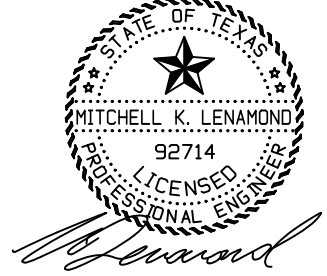


EACH INTERIOR HOLDDOWN REQUIRES A 24"X24" FOOTING

HOLDOWN LOCATION IS APPROXIMATE. EACH INTERIOR HOLDDOWN SHALL HAVE A SPREADFOOTING. VERIFY LOCATION SIZE WITH ARCHITECTURALS & SHEARWALL PLAN

SYMBOL	TYPE	NOMINAL DIA. THREADED ROD	"A"
	SIMPSON HTT5 OR SIMPSON STHD10	5/8" N/A	6"
	SIMPSON STHD14	N/A	N/A
	SIMPSON HDQ8	7/8"	18"
	SIMPSON HDDQ11	1"	18"
	SIMPSON HDDQ14	1"	18"

- IF USING STHD10 OR STHD14 HOLDDOWNS, CONTRACTOR SHALL PLACE HOLDDOWNS AT CONCRETE POUR STAGE.
- SSW ANCHORING SHALL BE PLACED AT CONCRETE POUT STAGE.
- SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL

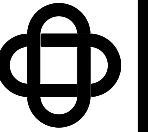


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 11/4/2022

- NOTE:
- SLAB THICKNESS T = 4"
 - BEAM DEPTH H = 30"
 - BEAM WIDTH W = 10"
 - SXX DENOTES SLAB STRAND
 - BSXX DENOTES BEAM STRAND

- PLAN LEGEND
- DENOTES ONE STRAND TO BE STRESSED.
 - DENOTES TWO STRANDS TO BE STRESSED.
 - DENOTES THREE STRANDS TO BE STRESSED.
 - DENOTES FACTORY SEATED END.
 - DENOTES CONCRETE CHAIR.
 - DENOTES DIMENSION TO BE VERIFIED.
 - DENOTES DIFFERENCE IN FINISH FLOOR ELEVATIONS.
 - DENOTES 3-#4 BARS X 6'-8" TYPICAL INTERIOR CORNER 2'-0".
 - "L" BARS SHALL BE 4'-0" X (LENGTH = TO CORNER DEPTH) WHERE NOTED ON PLAN.

- ALL DRILLED PIERS SHALL BE 12" IN DIAMETER WITH 2-#5 BARS VERTICAL.
- PIERS SHALL BE PLACED TO A MINIMUM DEPTH OF 19'-0" (BELOW THE BEAM) INTO UNDISTURBED SOILS OR COMPACT FILL, UNLESS SOLID ROCK IS ENCOUNTERED. IF SHALE IS ENCOUNTERED AT A DEPTH OF 11'-0" OR LESS, PIERS MAY TERMINATE AFTER PENETRATING THE SHALE A MINIMUM OF 4'-0".
- PIERS SHALL NOT BE STRUCTURALLY TIED TO FOUNDATION UNLESS NOTED OTHERWISE.



ERIC L. DAVIS ENGINEERING, INC.
F-3987
401 Pinson Road
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eidengineering.com

FOUNDATION DETAILS
ENGINEERED FOR:
S. CLEMENTS HOMES

PLAN: MOFFATT
ELD JOB NO: DIF22-1732
DRAWN BY: JSB
CHECKED BY: MKL
AREA: 2,764 SQFT

BUILDER: S. CLEMENTS HOMES
ADDITION: ROCKWALL COUNTY
ADDRESS: 211 JACOB CROSSING
LOT: N/A
BLOCK: N/A
CITY: ROCKWALL, TX

SCALE: N.T.S.

F-02

GENERAL NOTES

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH. STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE.
- ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- WHERE REBAR IS USED FOR EXPOSED GRADE BEAMS OR TOP AND BOTTOM REINFORCING, PROVIDE MATCHING "L" BARS WITH EACH LEG EQUAL TO 40 BAR DIAMETERS OR GREATER.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS." I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION. WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

SITE PREPARATION NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.
- SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

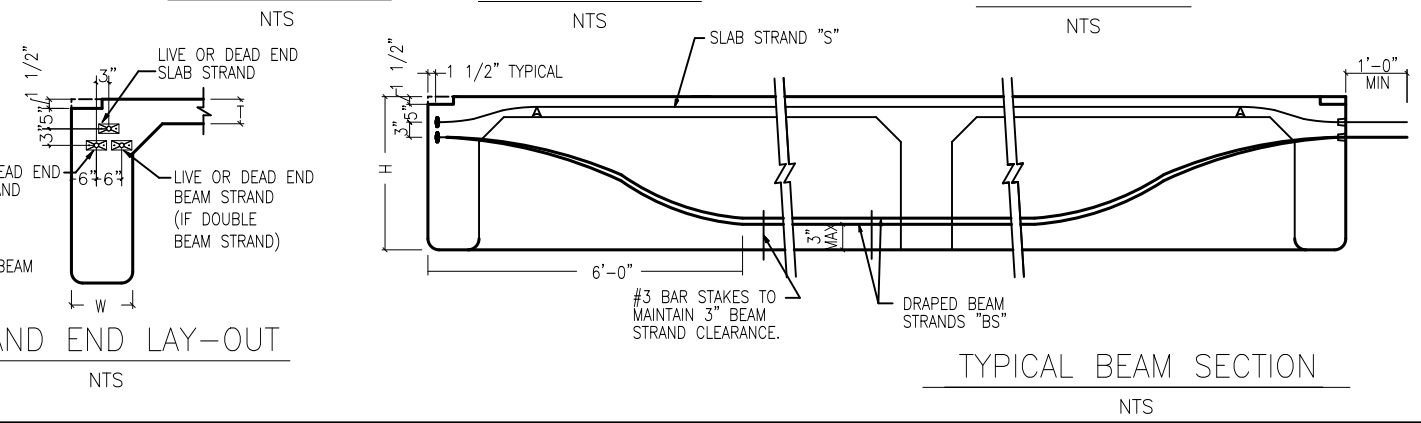
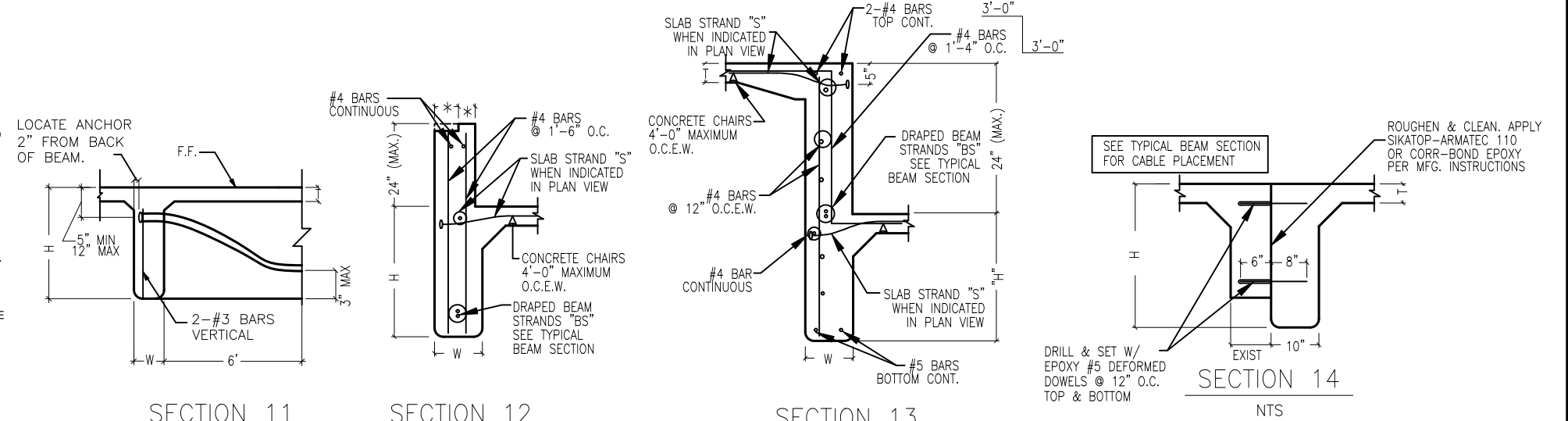
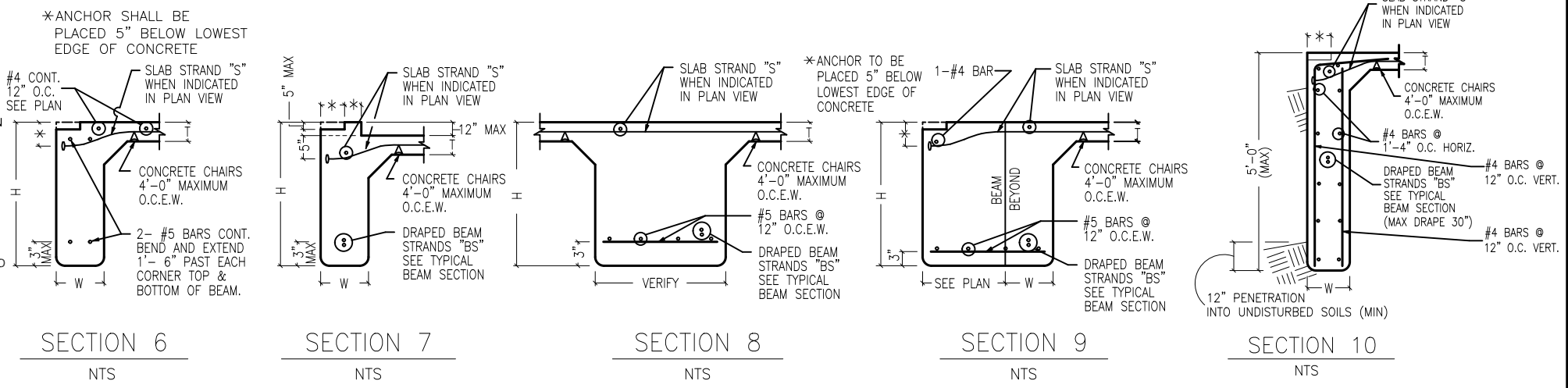
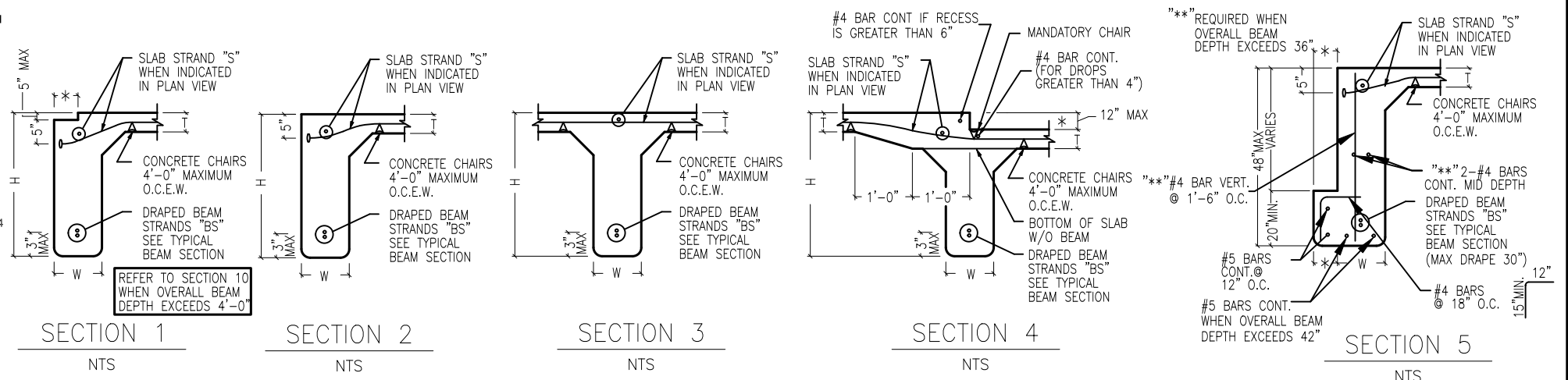
- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION A MINIMUM OF 2-5% (1/4 - 5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUND IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE. IF 2021 IRC, A LAYER OF 10 MIL (MINIMUM) POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED. (R506.2.3)
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4" MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITH 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPEXED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.
- LIMITATIONS
- A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD. THE ENGINEER IS ALSO AVAILABLE FOR PLACEMENT AND TENDON STRESSING OPERATIONS.
 - THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN THE PROJECT GEOTECHNICAL REPORT PROVIDED FOR THE SPECIFIC TRACT OF LAND PROPOSED STRUCTURE IS TO BE CONSTRUCTED. THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF THE CLIENT PROVIDED GEOTECHNICAL REPORT DOES NOT FOLLOW GUIDELINES OF THE POST-TENSIONING INSTITUTE, THE ENGINEER MAY SUBSTITUTE USABLE DESIGN INFORMATION DERIVED FROM RAW SOILS DATA OBTAINED FROM SAID GEOTECHNICAL REPORT.
 - FOR FOUNDATION TO PERFORM AS DESIGNED, OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION AT ALL TIMES. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.
 - BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE AND TRANSMITS TO OWNER, WITH OWNER'S RECEIPT ACKNOWLEDGED.

BEAM CABLE NOTE

- BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).
- SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.



DRILL & SET W/ EPOXY #5 DEFORMED DOWELS @ 12" O.C. TOP & BOTTOM

SEE TYPICAL BEAM SECTION FOR CABLE PLACEMENT

ROUGHEN & CLEAN. APPLY SIKATOP-ARMATEC 110 OR CORR-BOND EPOXY PER MFG. INSTRUCTIONS

SECTION 14
NTS

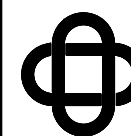
STATE OF TEXAS
MITCHELL K. LENAMOND
92714
LICENSED PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K LENAMOND, P.E. 92714 ON 11/4/2022

GENERAL NOTES & TYPICAL SECTIONS FOR POST-TENSIONED CABLE FOUNDATIONS

THIS POST-TENSION CABLE FOUNDATION DESIGN IS APPLICABLE TO THE SPECIFIC PROJECT AND LOCATION LISTED ON THIS SHEET. USE OF THIS DRAWING FOR OTHER PROJECTS AND/OR LOCATIONS IS PROHIBITED.

POST-TENSION CABLES ARE TO BE SUPPLIED BY A PTI CERTIFIED PLANT.



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SCALE: SHEAR WALL DETAILS ENGINEERED FOR:

S. CLEMENTS HOMES

PLAN: MOFFATT
 ELD JOB NO: DIF22-1732
 DRAWN BY: AG
 CHECKED BY: MKL
 BUILDER: S. CLEMENTS HOMES
 ADDITION: ROCKWALL COUNTY
 ADDRESS: 211 JACOB CROSSING
 LOT: N/A BLOCK: N/A
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

SW-01

SYMBOL KEY	
	SIMPSON STHD10 or HTT5 HOLDOWN
	CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
	BRACED WALL PANEL - SEE DETAILS
	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING

FASTENING FOR ZIP SYSTEM R-SHEATHING TYPE 3			
MAXIMUM STUD SPACING	FASTENING TYPE	MINIMUM PENETRATION INTO FRAMING	MAXIMUM FASTENER SPACING
24"	O.131 - INCH SHANKS NAILS (Ød NAILS)	1.5"	4 - PANEL EDGES 12 - INTERMEDIATES SUPPORTS

FASTENING FOR THERMO PLY		
MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	NO. 16 GAGE STAPLES 1" CROWN x 1 1/4" LEGS	3 - PANEL EDGES 3 - INTERMEDIATES SUPPORTS

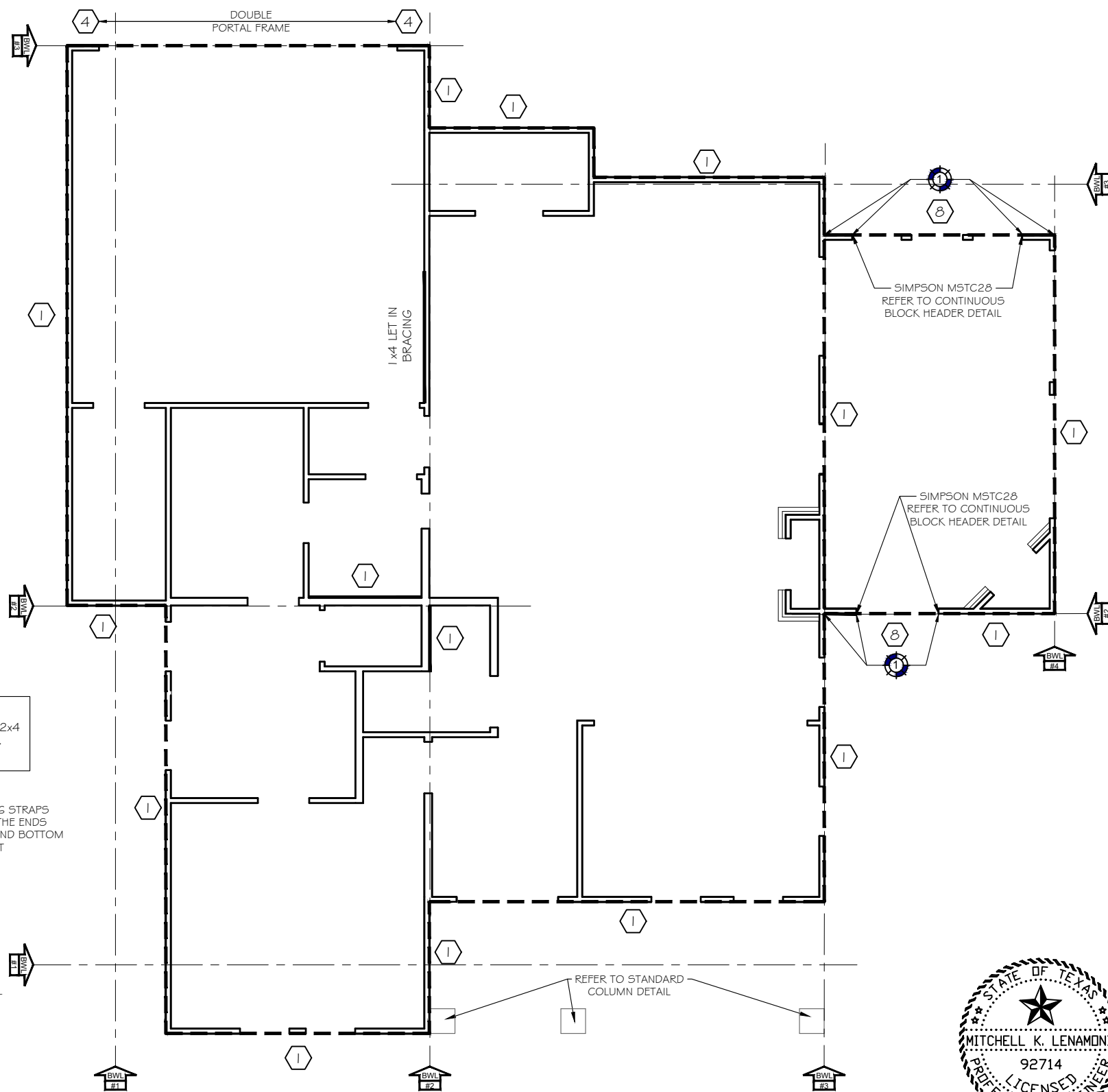
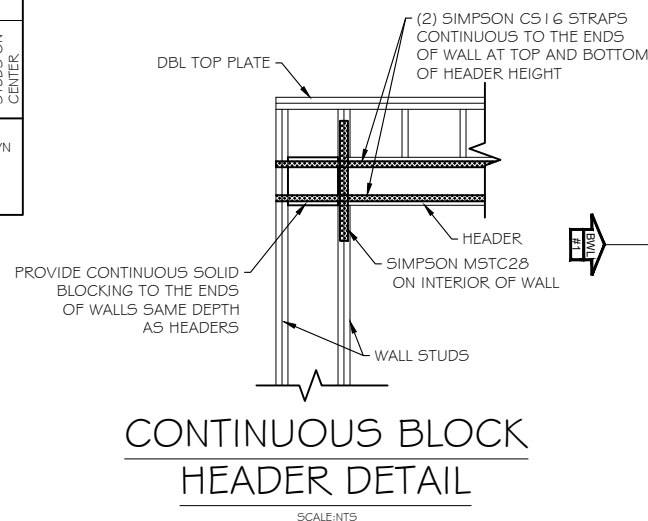
NOTE:
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" PROVIDE 2X4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 10'-0" TO 15'-0", PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.
 2) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH 2015 I.R.C.

DESIGN BASED ON 115 MPH ULTIMATE DESIGN WIND SPEED, EXPOSURE B.
 IF CONDITIONS VARY, CONTACT THIS OFFICE.

STUD SIZE	WALL HEIGHT											STUDS ON CENTER	
	8'	9'	10'	11'	12'	13'	14'	15'	16'	18'	19'		20'
2x4	16"	16"	16"	NOTE C	NOTE C								
2x6				16"	16"	16"	16"	16"	12"	12"	(2) 16"	(2) 16"	
2x8									16"	16"	16"	16"	

A) 115 M.P.H. EXP. B
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)

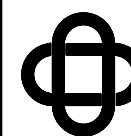
FULLY SHEATH WALL W/ 7/8" O5B (MIN.) ATTACH TO 2x4 STUDS @ 16" O.C. W/ Ød NAILS @ 3'/12" PATTERN.



FIRST FLOOR



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 11/4/2022



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SHEAR WALL DETAILS
 ENGINEERED FOR:

S. CLEMENTS HOMES

PLAN: MOFFATT
 ELD JOB NO: DIF22-1732
 DRAWN BY: AG
 CHECKED BY: MKL

BUILDER: S. CLEMENTS HOMES
 ADDITION: ROCKWALL COUNTY
 ADDRESS: 211 JACOB CROSSING
 LOT: N/A
 BLOCK: N/A
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

SW-02

SYMBOL KEY	
	SIMPSON STHD10 or HTT5 HOLDOWN
	CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
	BRACED WALL PANEL - SEE DETAILS
	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING

FASTENING FOR ZIP SYSTEM R-SHEATHING TYPE 3			
MAXIMUM STUD SPACING	FASTENING TYPE	MINIMUM PENETRATION INTO FRAMING	MAXIMUM FASTENER SPACING
24"	O.131 - INCH SHANKS NAILS (Ød NAILS)	1.5"	4 - PANEL EDGES 12 - INTERMEDIATES SUPPORTS

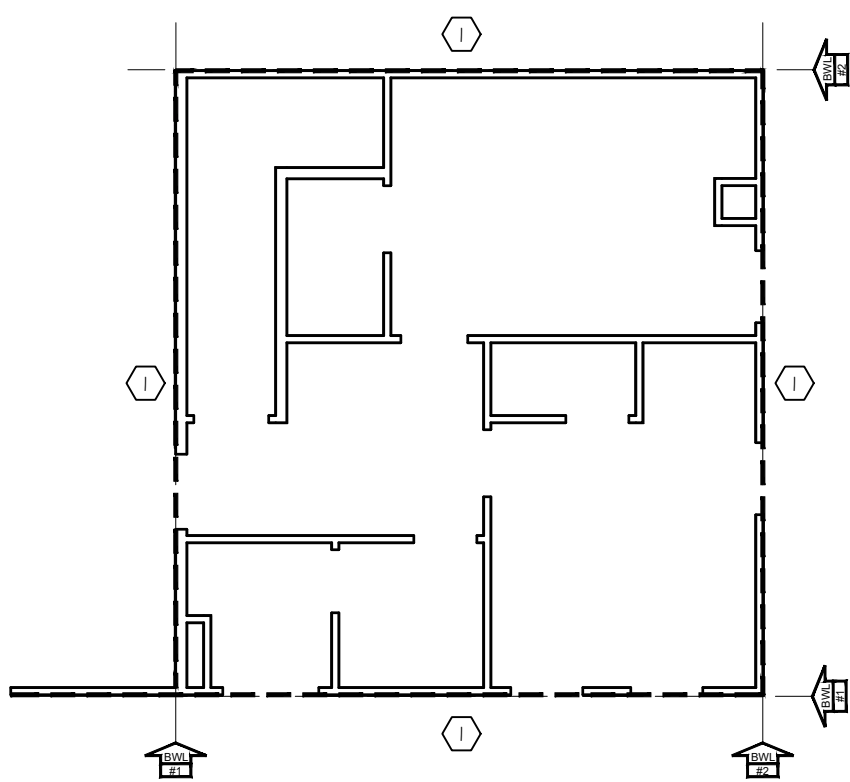
FASTENING FOR THERMO PLY		
MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	NO. 16 GAGE STAPLES 1" CROWN x 1 1/4" LEGS	3 - PANEL EDGES 3 - INTERMEDIATES SUPPORTS

NOTE:
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" PROVIDE 2X4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 10'-0" TO 15'-0", PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.
 2) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH 2015 I.R.C.

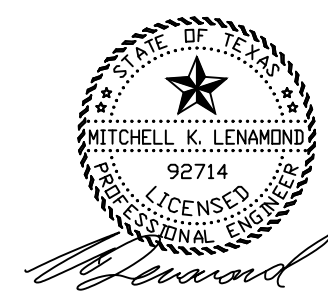
DESIGN BASED ON 115 MPH ULTIMATE DESIGN WIND SPEED, EXPOSURE B.
 IF CONDITIONS VARY, CONTACT THIS OFFICE.

STUD SIZE	WALL HEIGHT											STUDS ON CENTER	
	8'	9'	10'	11'	12'	13'	14'	15'	16'	18'	19'		20'
2x4	16"	16"	16"	NOTE C	NOTE C								
2x6				16"	16"	16"	16"	16"	12"	12"	(2) 16"	(2) 16"	
2x8									16"	16"	16"	16"	

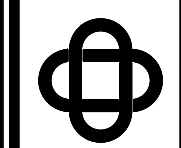
A) 115 M.P.H. EXP. B
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)



SECOND FLOOR



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 11/4/2022



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SHEAR WALL NOTES
 ENGINEERED FOR

S. CLEMENTS HOMES

PLAN: MOFFAT
 ELD JOB NO: DIF22-1732
 DRAWN BY: AG
 CHECKED BY: MKL
 LOT: N/A BLOCK: N/A
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

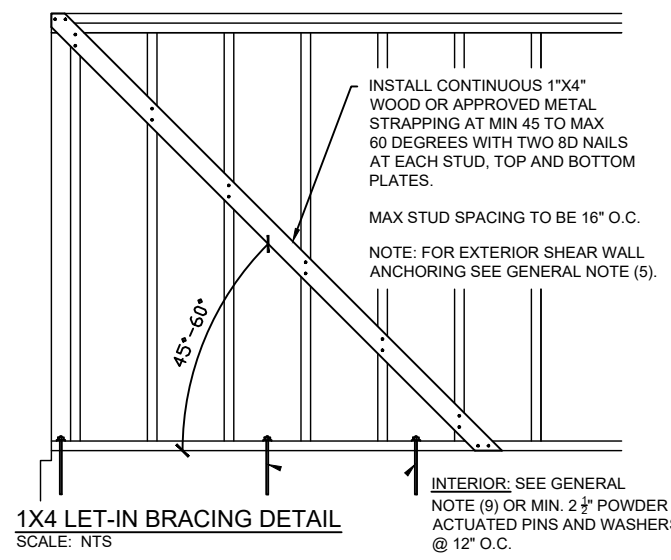
SW-03

GENERAL NOTES

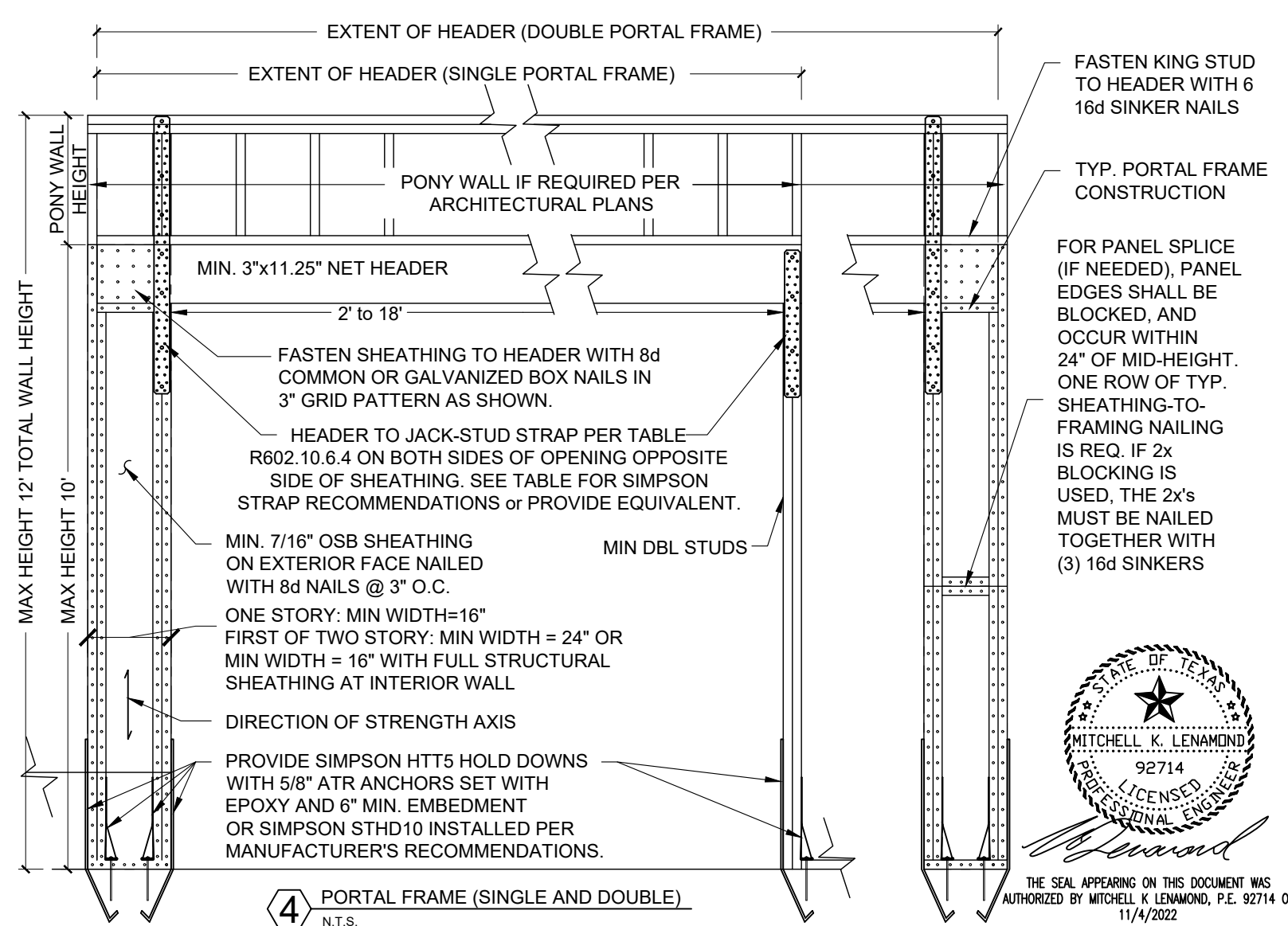
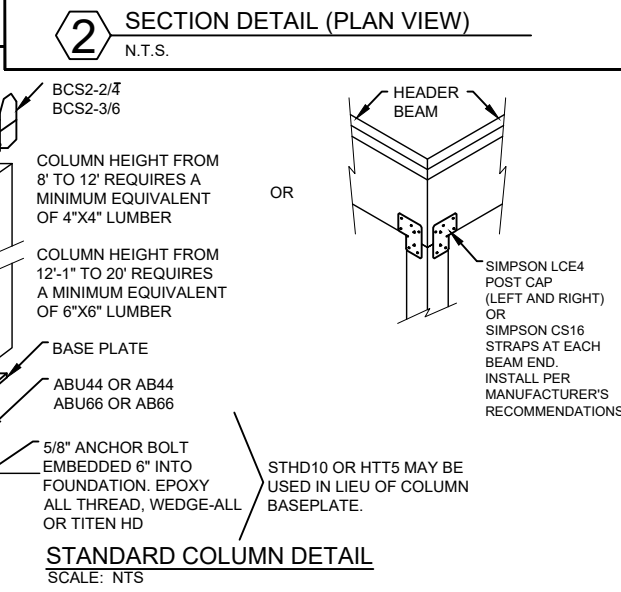
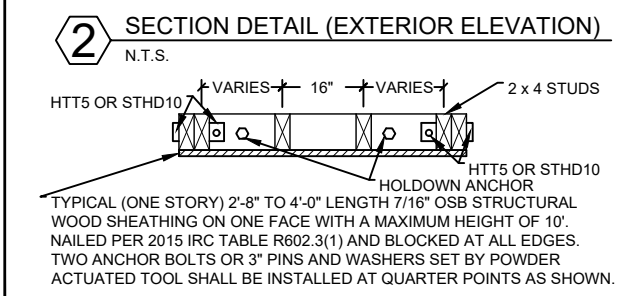
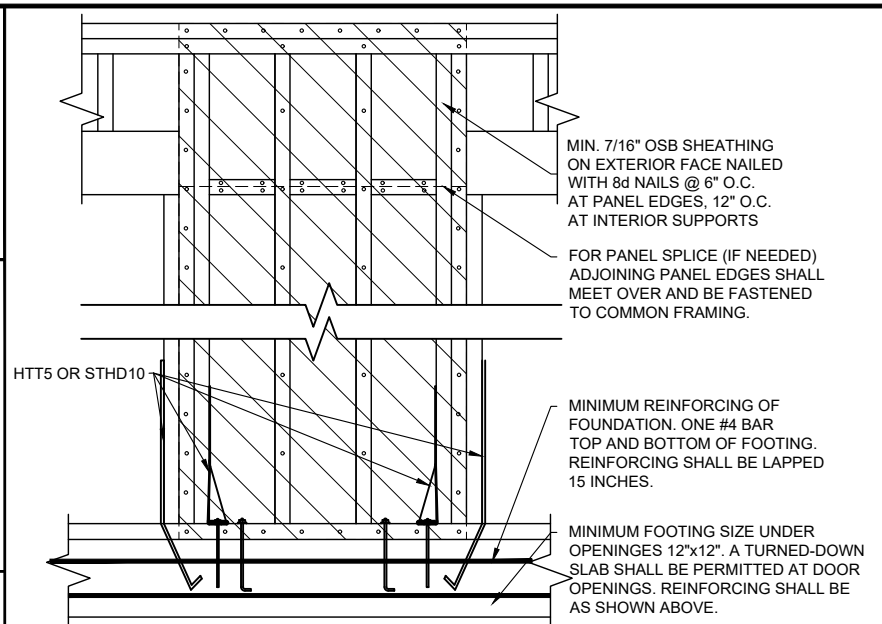
- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SHEARWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSILL THROUGH THE DOUBLE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTTS/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
- MUDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSILL ANCHORS @ 6'-0" O.C.
- WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
- ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
- LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS16 X-BRACING.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
 - INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
 - MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



STRUCTURAL SHEATHING
 IS CONSIDERED ONE OF THE FOLLOWING:
 • MIN 7/16" OSB
 • RED THERMOPLY
 • BLUE THERMOPLY
 • ZIP SYSTEM R-SHEATHING TYPE 3



4 PORTAL FRAME (SINGLE AND DOUBLE)
 N.T.S.

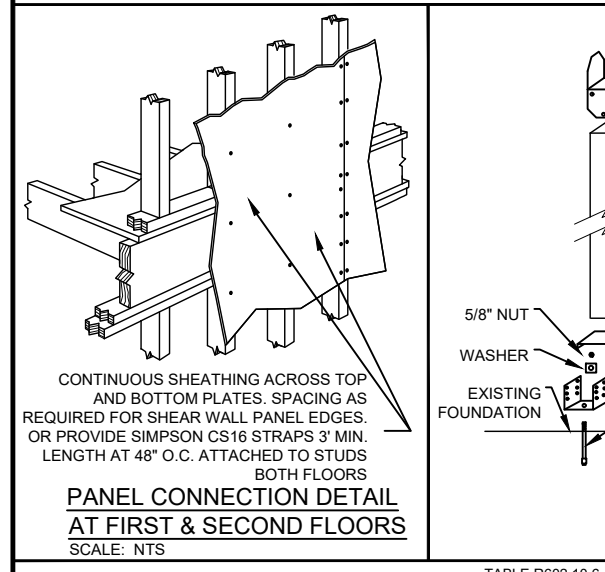
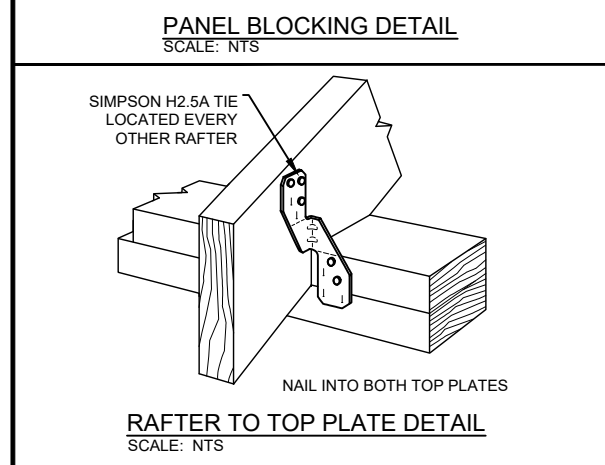
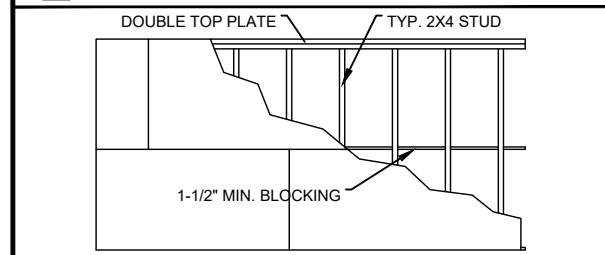
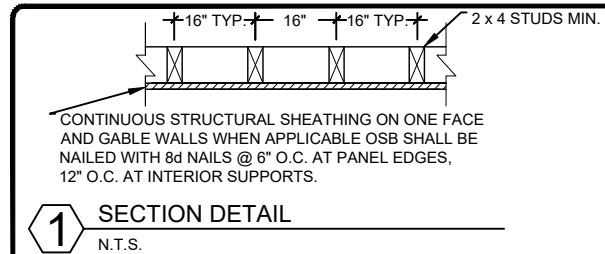


TABLE R602.10.6.4

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (FEET)	MAXIMUM TOTAL WALL HEIGHT (FEET)	MAXIMUM OPENING WIDTH (FEET)	TENSION STRAP CAPACITY REQUIRED (POUNDS) ^a V @ 115 mph EXPOSURE B	RECOMMENDED OR APPROVED EQUAL SIMPSON STRAP MODEL No. ^b
2x4 No. 2 Grade	0	10	18	1000	(1) CS16
			9	1000	
			16	1025	
			18	1275	
			9	1000	
			16	2175	
	2	10	18	2500	(2) CS16
			9	1500	
			16	3375	
			18	3975	
			9	2750	
			12	3775	
2x6 Stud Grade	2	12	9	1000	(1) CS16
			16	2150	
			18	2550	
			9	1750	
			16	2400	
			18	3800	
	4	12	9	1000	(2) CS16
			16	2150	
			18	2550	
			9	1750	
			16	2400	
			18	3800	

For Sl: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
 a. STRAPS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 b. STRAP MODEL MAY BE SUBSTITUTED w/ APPROVED EQUAL.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 11/4/2022



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MEMO TO: **Owner**

SUBJECT: **Foundation Moisture Maintenance**

Performances of structures built on ground-supported-concrete-foundations depend not only on proper design and construction, but also on proper moisture maintenance performed by the occupant or owner of the property. Many foundations have experienced problems as a result of improper installation, maintenance, or alterations of the drainage system and landscaping. A properly designed and constructed foundation may still experience distress from soils which undergo volumetric changes caused by non-climatic moisture sources such as leaking pipes or irrigation.

Positive drainage is required for proper foundation moisture maintenance. The most commonly used technique for positive drainage is grading away from the foundation to promote rapid runoff and avoid ponding water near the foundation. Poor drainage and/or ponding water can cause a change in soil moisture content, resulting in swelling of supporting soils, thus causing foundation movement. Recommendation for positive drainage is minimum 5% ($\frac{5}{8}$ in/ft) for a minimum distance of 10 ft. from the edge of the foundation (or as allowed per Exception: IRC R401.3). Berming of landscape beds, while visually appealing, can create a damming effect between the berm and foundation that may prevent water from draining away. Special attention must be paid to these areas by providing additional precautions, such as area drains. Area drains must be checked periodically to insure they are functional.

It is important to note that consistent moisture content of supporting soils is the key to proper foundation performance. In areas where silty and/or sandy soil material is present, excessive water can cause soil to lose bearing capacity. In areas such as Dallas/Fort Worth, where expansive clays are present, excessive water will cause increased swelling of supporting soils, while insufficient moisture will cause shrinkage of supporting soils.

The following is a list of items to be considered when planning proper foundation maintenance:

1. Maintain positive drainage away from the foundation and install area drains (if applicable). Never allow water to pond near or against the foundation.
2. Replace and compact loose fill adjacent to the foundation with native soil; DO NOT use sand or a granular material.
3. Check gutters and downspouts to be sure they are clear and water is discharged minimum of 5' away from and downstream of the foundation.
4. Avoid seasonal drying around the perimeter of the foundation.
5. Existing vegetation near the foundation typically draws additional water from adjacent soils towards the foundation, causing added soil movement.

The objective of a proper maintenance program is to maintain as near constant moisture content as possible for soils around and under the foundation.

It is recommended that all property owners conduct a yearly survey of their foundation and perform any maintenance necessary to improve drainage and prevent ponding of water adjacent to these structures. This is especially important during the first ten (10) years after construction. This is usually when the most severe adjustment between the new foundation and supporting soil occurs. Following the above listed procedures should minimize detrimental foundation movement caused by expansive soils.

Mitchell K. Lenamond, P. E.



1/9/2014

Owner's Signature

MOFFATT RESIDENCE



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2x4 U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2x4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title	Description	Comments
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A-2	SITE PLAN / ROOF PLAN		
A-3	FRONT AND REAR ELEVATIONS		
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A-5	FLOOR PLAN W/ DIMENSIONS		
A-6	DOOR AND WINDOW SCHEDULES		
A-7	ELECTRICAL PLAN		

PLANS FOR:
MOFFATT RESIDENCE
DANA MOFFATT
211 JACOB CROSSING
ROCKWALL, TEXAS 75087

TITLE:
COVER SHEET

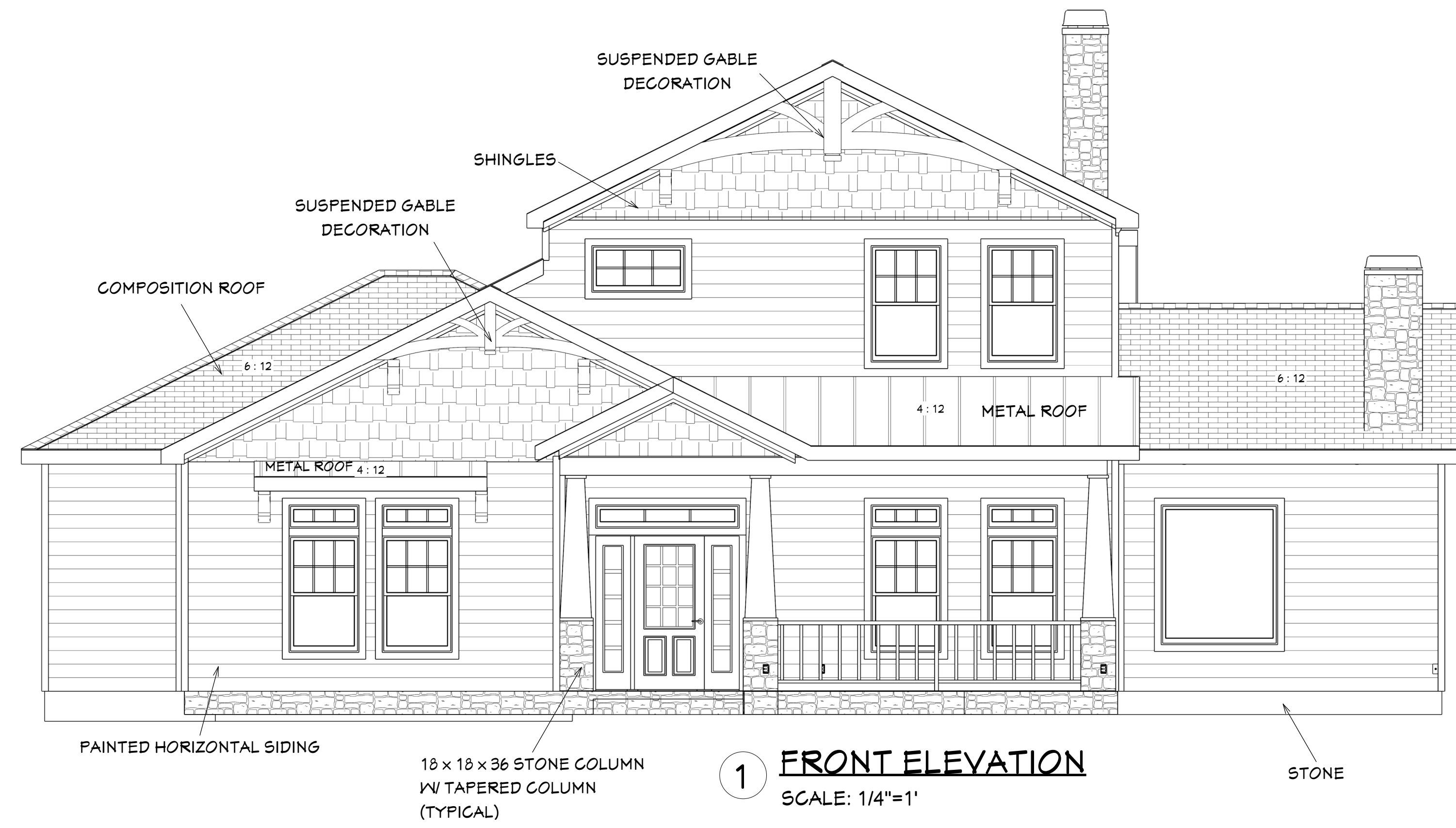
SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
10/3/2022

SCALE:
AS SHOWN

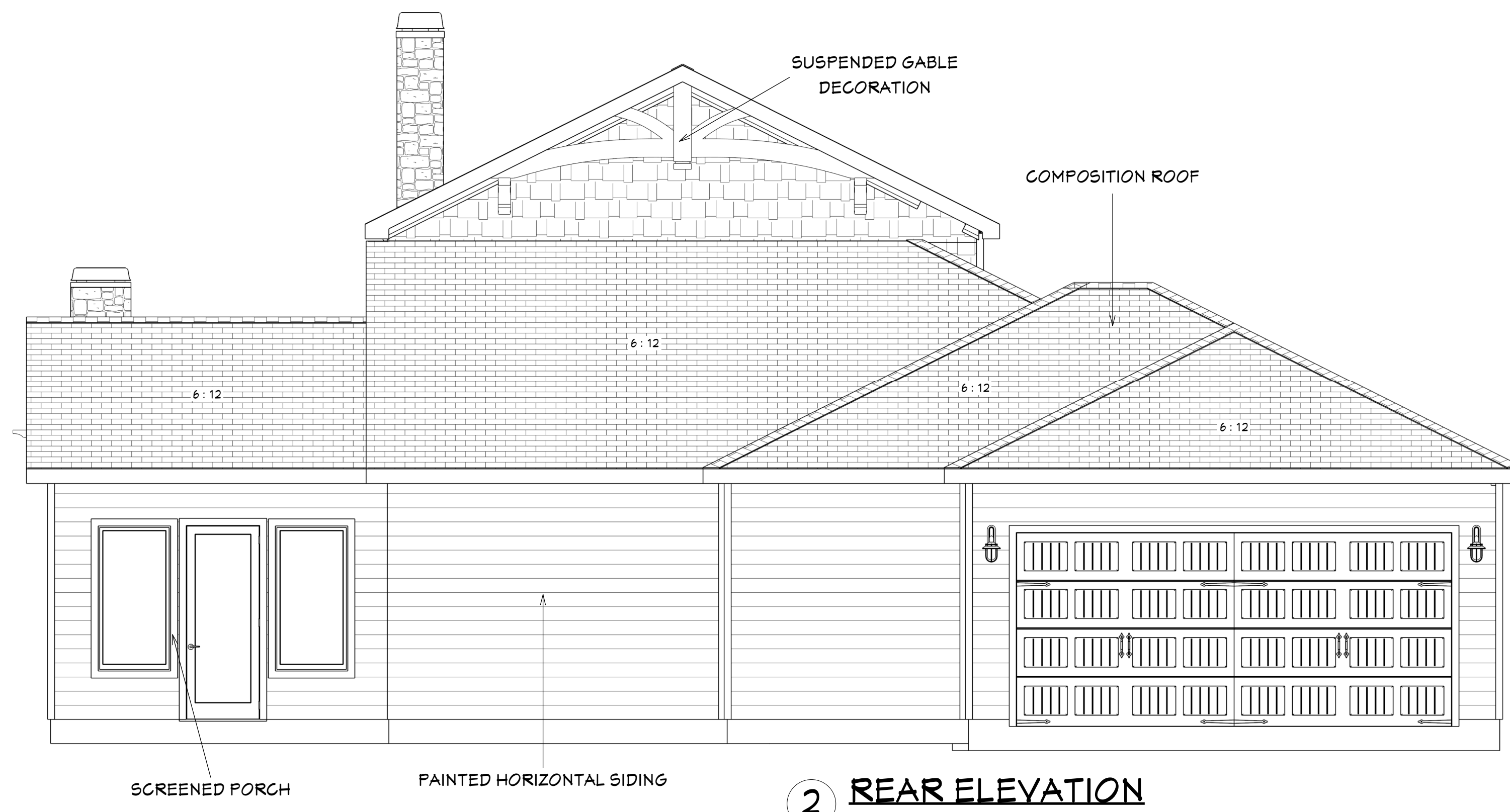
SHEET:

A-1



1 FRONT ELEVATION
SCALE: 1/4"=1'

NOTE:
BRICK PAVERS ON PORCH



2 REAR ELEVATION
SCALE: 1/4"=1'

PLANS FOR:
MOFFATT RESIDENCE
DANA MOFFATT
211 JACOB CROSSING
ROCKWALL, TEXAS 75087

TITLE:
FRONT AND REAR ELEVATIONS

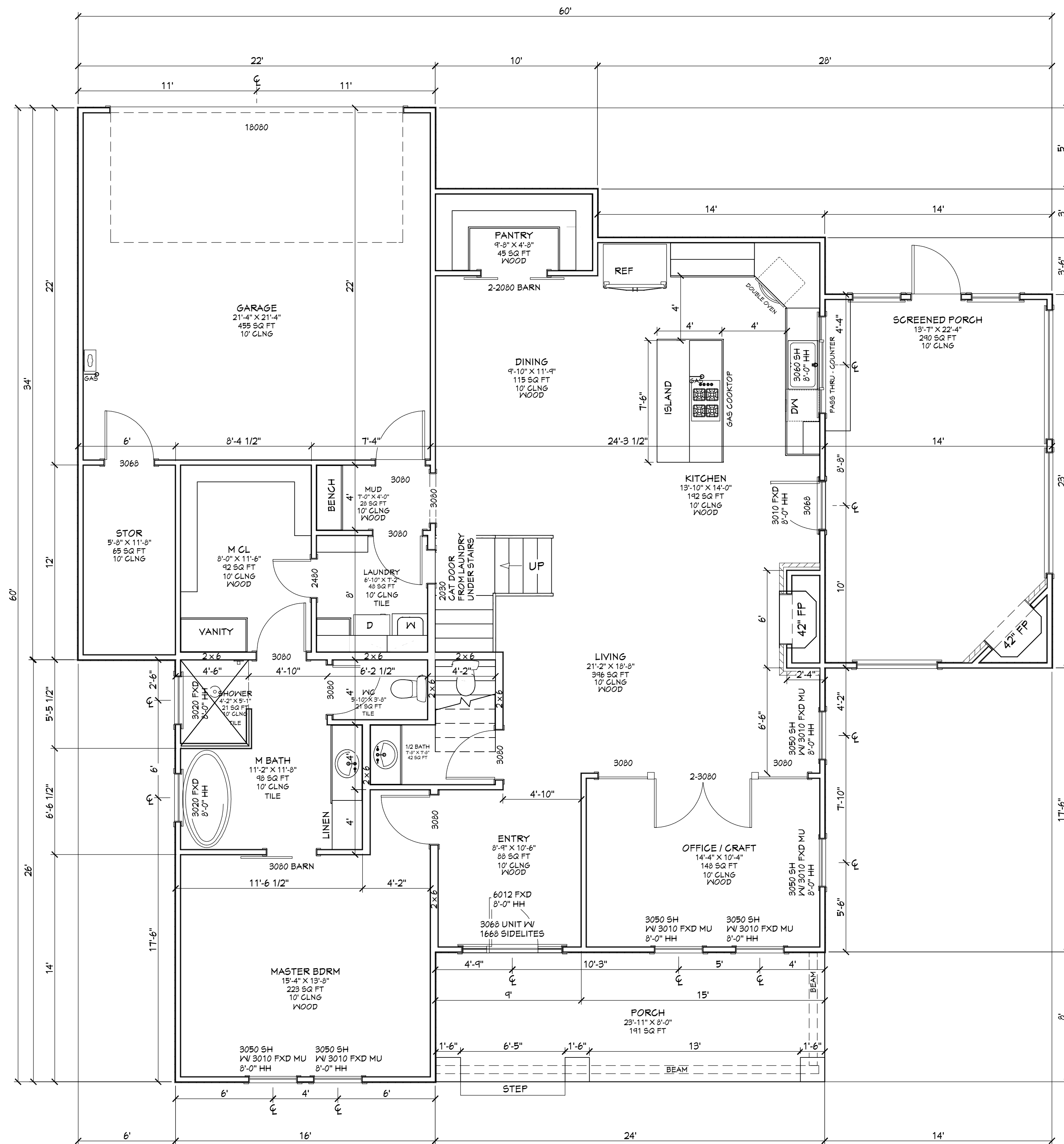
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SHEET:

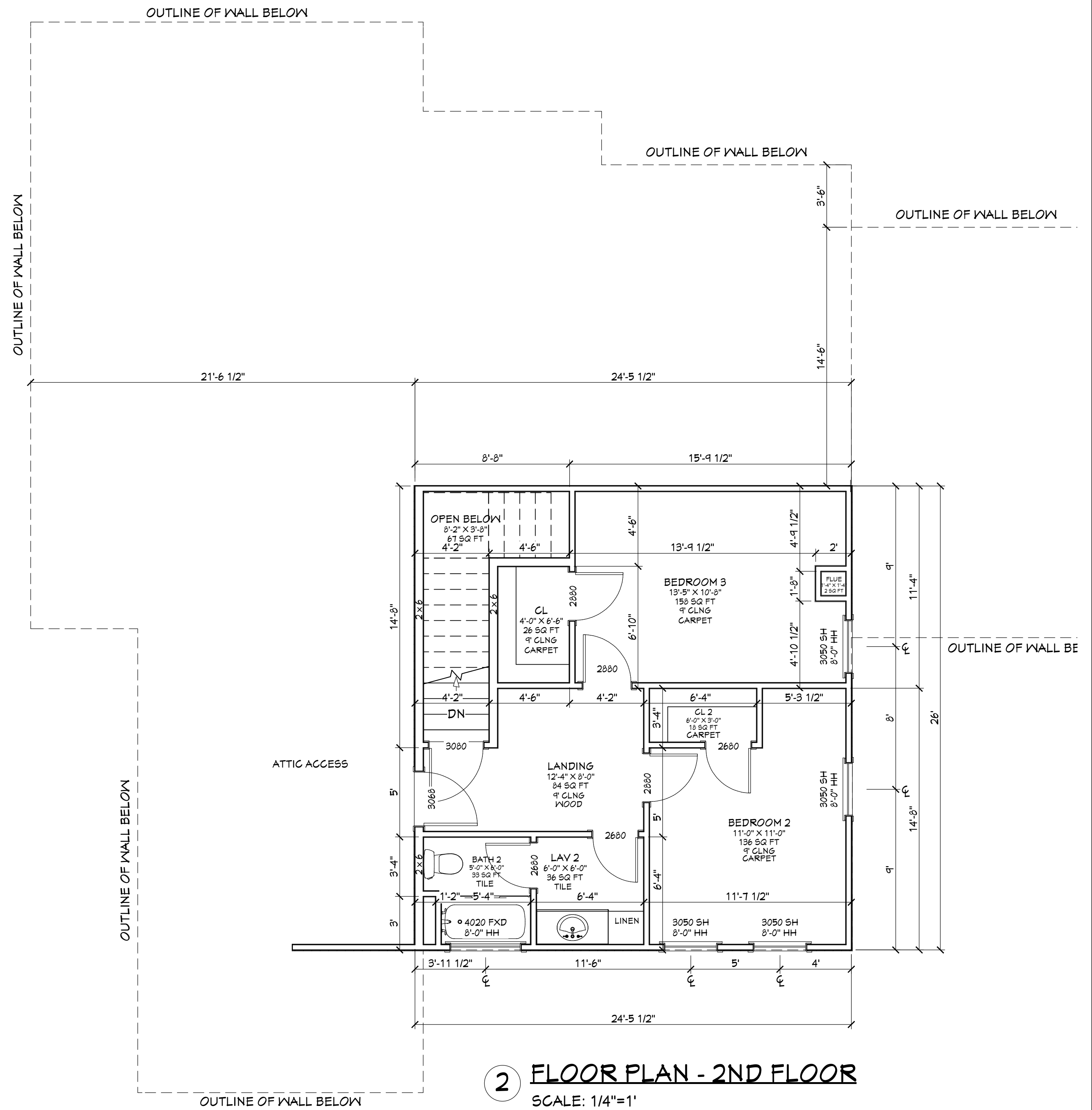
A-3



1 FLOOR PLAN - 1ST FLOOR
SCALE: 1/4"=1'

AREAS	
FIRST FLOOR LIVING	1715 SQ. FT.
SECOND FLOOR LIVING	562 SQ. FT.
TOTAL LIVING AREA	2277 SQ. FT.
GARAGE / STOR	550 SQ. FT.
COVERED PORCH	192 SQ. FT.
SCREENED PATIO	322 SQ. FT.
TOTAL SQ FT	3341 SQ. FT.

Living Area
1715 sq ft



2 FLOOR PLAN - 2ND FLOOR
SCALE: 1/4"=1'

PLANS FOR:
 MOFFATT RESIDENCE
 DANA MOFFATT
 211 JACOB CROSSING
 ROCKWALL, TEXAS 75087

TITLE: **FLOOR PLAN W/ DIMENSIONS**

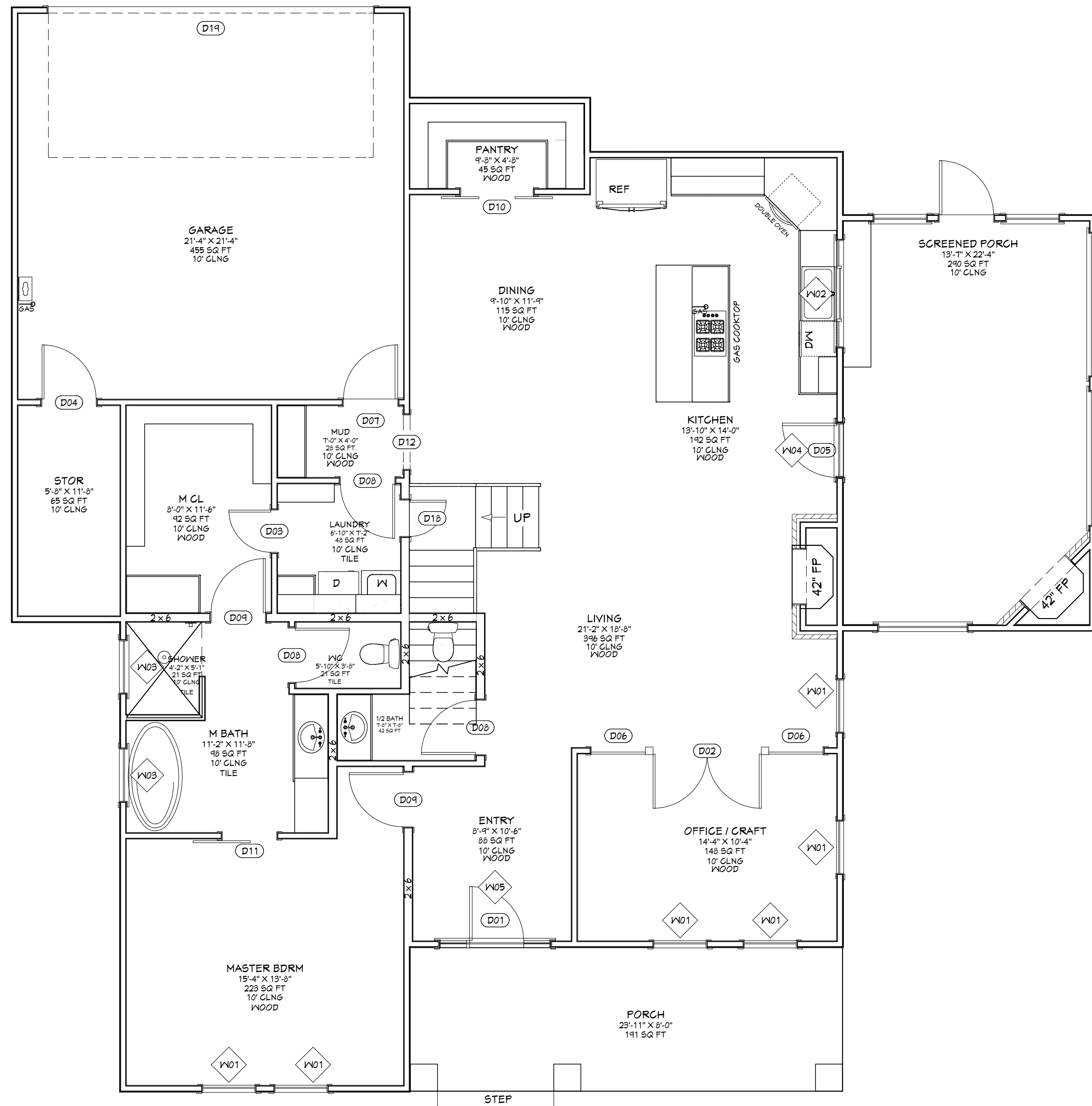
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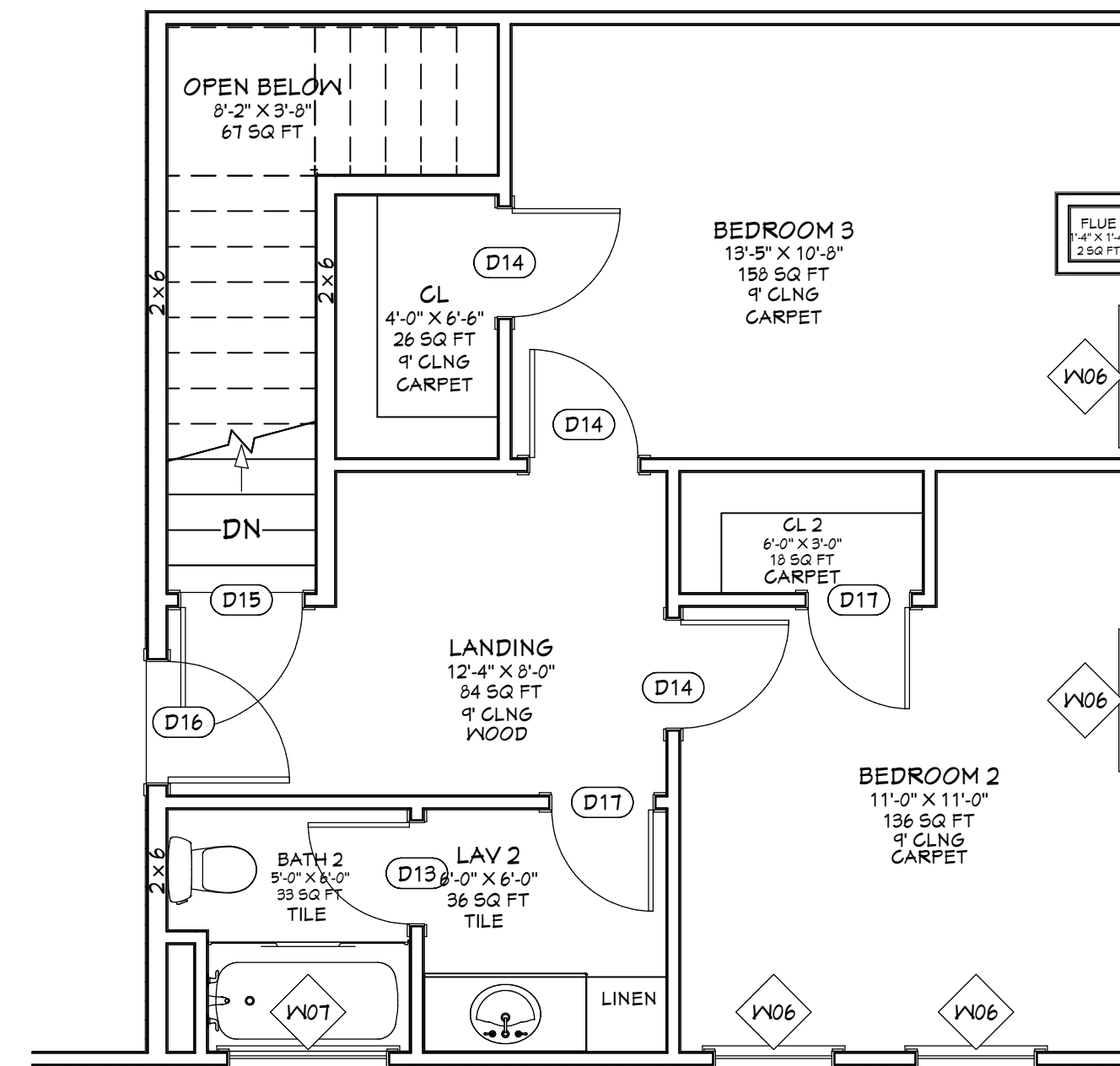
SHEET:

A-5



① 1ST FLOOR DOOR - WINDOW & FLOOR SCHEDULES
SCALE: 1/4"=1'

ROOM NAME	DIMENSIONS	AREA, INTERIOR (SQ FT)	FLOOR FINISH
ENTRY	8'-9" X 10'-6"	88	WOOD
LIVING	21'-2" X 18'-8"	396	WOOD
KITCHEN	13'-10" X 14'-0"	192	WOOD
DINING	9'-10" X 11'-9"	115	WOOD
PANTRY	9'-8" X 4'-8"	45	WOOD
MUD	7'-0" X 4'-0"	28	WOOD
OFFICE / CRAFT	14'-4" X 10'-4"	148	WOOD
MASTER BDRM	15'-4" X 13'-8"	223	WOOD
M CL	8'-0" X 11'-6"	92	WOOD
LAUNDRY	6'-10" X 7'-2"	48	TILE
M BATH	11'-2" X 11'-8"	98	TILE
VIC	5'-10" X 3'-8"	21	TILE
1/2 BATH	7'-8" X 7'-8"	42	TILE
SHOWER	4'-2" X 5'-1"	21	TILE
PORCH	23'-11" X 8'-0"	191	LIGHT RED BRICK
GARAGE	21'-4" X 21'-4"	455	
SCREENED PORCH	13'-7" X 22'-4"	290	
STOR	5'-8" X 11'-8"	65	
TOTALS:	5'-8" X 11'-8"	2558	



② 2ND FLOOR DOOR - WINDOW & FLOOR SCHEDULES
SCALE: 1/4"=1'

ROOM NAME	DIMENSIONS	AREA, INTERIOR (SQ FT)	FLOOR FINISH
BEDROOM 2	11'-0" X 11'-0"	136	CARPET
CL 2	6'-0" X 3'-0"	18	CARPET
BEDROOM 3	13'-5" X 10'-8"	158	CARPET
CL	4'-0" X 6'-6"	26	CARPET
LANDING	12'-4" X 8'-0"	84	WOOD
BATH 2	5'-0" X 6'-0"	33	TILE
LAV 2	6'-0" X 6'-0"	36	TILE
TOTALS:		491	

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION
D01	3068 UNIT W/ 1668 SIDELITES	1	1	6268	74"	80"	T5"X81"	MULLED UNIT
D02	2-3080	1	1	6080 L/R IN	72"	46"	T4"X48 1/2"	DOUBLE HINGED-DOOR F01
D03	2480	1	1	2480 R IN	28"	46"	30"X48 1/2"	HINGED-DOOR P10
D04	3068	1	1	3068 L IN	36"	80"	38"X82 1/2"	HINGED-DOOR P10
D05	3068	1	1	3068 R EX	36"	80"	38"X83"	EXT. HINGED-DOOR L07
D06	3080	2	1	3080	36"	46"	38"X49"	FIXED-GLASS PANEL
D07	3080	1	1	3080 R EX	36"	46"	38"X49"	EXT. HINGED-DOOR L07
D08	3080	3	1	3080 L IN	36"	46"	38"X48 1/2"	HINGED-DOOR P10
D09	3080	2	1	3080 R IN	36"	46"	38"X48 1/2"	HINGED-DOOR P10
D10	2-2080 BARN	1	1	4080 L/R	48"	46"	50"X48 1/2"	DOUBLE BARN-DOOR P10
D11	3080 BARN	1	1	3080 L	36"	46"	38"X48 1/2"	BARN-DOOR P10
D12	3080	1	1	3080	36"	46"	38"X48 1/2"	DOORWAY
D13	2680	1	2	2680 R IN	30"	46"	32"X48 1/2"	HINGED-DOOR P10
D14	2880	3	2	2880 L IN	32"	46"	34"X48 1/2"	HINGED-DOOR P10
D15	3080	1	2	3080 R IN	36"	46"	38"X48 1/2"	HINGED-DOOR F06
D16	3068	1	2	3068 R EX	36"	80"	38"X83"	EXT. HINGED-DOOR P11
D17	2680	2	2	2680 L IN	30"	46"	32"X48 1/2"	HINGED-DOOR P10
D18	2030 CAT DOOR FROM LAUNDRY UNDER STAIRS	1	1	2030 L IN	24"	36"	26"X38 1/2"	HINGED-DOOR S01
D19	18080	1	1	18080	216"	46"	218"X49"	GARAGE-BB - CLOSED

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER
W01	3050 SH W/ 3010 FXD MU 8'-0" HH	6	1	3064	36"	76"	3T"X17"	MULLED UNIT	2X6X40" (2)
W02	3060 SH 8'-0" HH	1	1	6040TS	72"	48"	T3"X49"	TRIPLE SLIDING	2X6X16" (2)
W03	3020 FXD 8'-0" HH	2	1	3020FX	36"	24"	3T"X25"	FIXED GLASS	2X6X40" (2)
W04	3010 FXD 8'-0" HH	1	1	3010FX	36"	12"	3T"X13"	FIXED GLASS	2X6X40" (2)
W05	6012 FXD 8'-0" HH	1	1	6210FX	74"	12"	T5"X13"	FIXED GLASS	2X6X18" (2)
W06	3050 SH 8'-0" HH	4	2	3050SH	36"	60"	3T"X61"	SINGLE HUNG	2X6X40" (2)
W07	4020 FXD 8'-0" HH	1	2	4020FX	48"	24"	49"X25"	FIXED GLASS	2X6X52" (2)

PLANS FOR:
MOFFATT RESIDENCE
DANA MOFFATT
211 JACOB CROSSING
ROCKWALL, TEXAS 75087

TITLE:
DOOR - WINDOW & FLOORING SCHEDULES

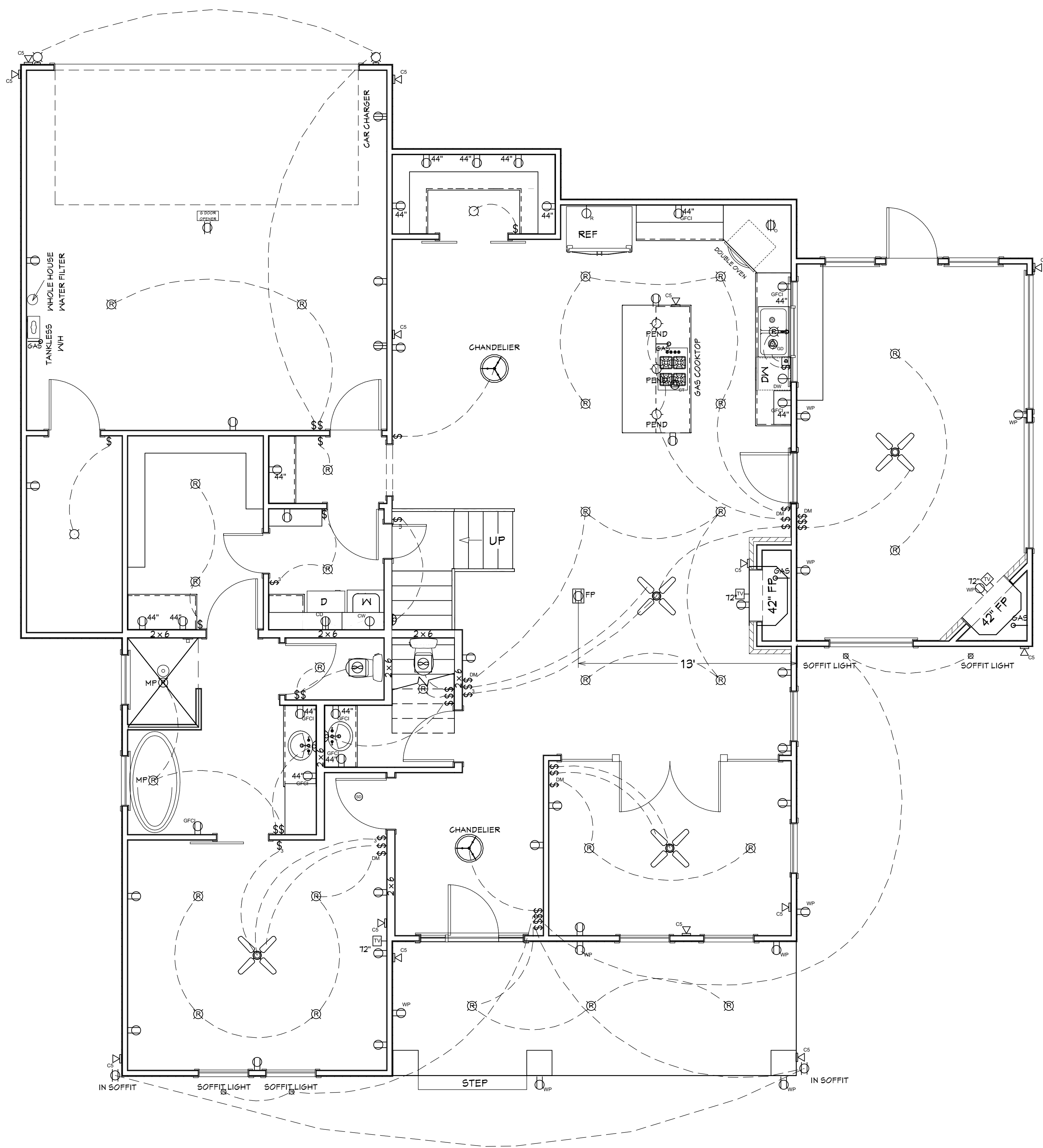
SHANNON NENSON
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CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9883
DRAWN BY:

DATE:
10/3/2022

SCALE:
AS SHOWN

SHEET:

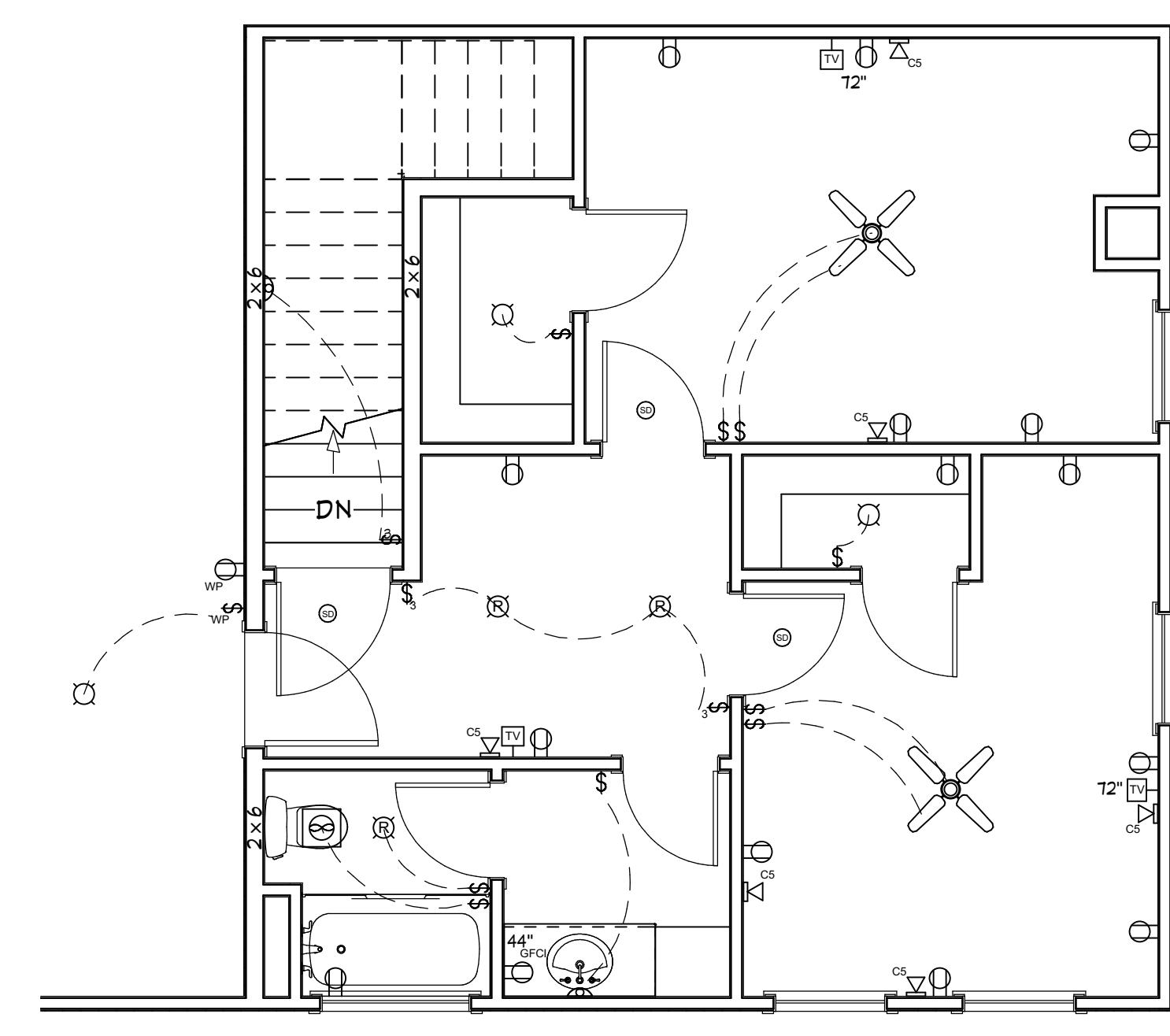
A-6



1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	MOTION SENSOR SPOTLIGHT

NOTES:
 1. WIRE SOFFIT OUTLETS TO SWITCH IN ENTRY.
 2. WIRE ALL SOFFIT LIGHTING TO SWITCH IN ENTRY.
 3. VERIFY FLOOR PLUG LOCATION W/ OWNER.



2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'

PLANS FOR:
 MOFFATT RESIDENCE
 DANA MOFFATT
 211 JACOB CROSSING
 ROCKWALL, TEXAS 75087

TITLE: **ELECTRICAL PLAN**

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
 ROYSE CITY, TEXAS 75189
 469-338-9863
 DRAWN BY:

DATE:
 10/3/2022

SCALE:
 AS SHOWN

SHEET:

A-7

Building Summary

Property

211 Jacob Crossing
Rockwall, TX

Weather:Dallas/Fort Worth Intl,
TX
Custom
211 Jacob Crossing Scott
Clements.blg

Organization

Eric L Davis Engineering
972-564-0592
Rob Poole

Builder

Scott Clements

HERS

Projected Rating
Rater ID:190 4900

Property/Builder Information

Building Name	Custom
Owner's Name	
Property Address	211 Jacob Crossing
City, St, Zip	Rockwall, TX
Phone Number	
Builder's Name	Scott Clements
Phone Number	
Email Address	
Plan/Model Name	Custom
Community/Development Identifier/Other	

Organization Information

Organization Name	Eric L Davis Engineering
Address	401 Pinson
City, St, Zip	Forney, TX 75126
Phone Number	972-564-0592
Website	

Rating/RESNET Information

Provider ID	1998-113
Sample Set ID	0000
Registry ID	
Registry Date Registered	
Rater's Name	Rob Poole
Rater's ID	190 4900
Rater's Email	robp@eldengineering.com
Last Field Insp	
Rating Type	Projected Rating
Reason for Rating	New Home
Rating Number	
Rating Permit Date	09/08/2021

Building Summary

Property
211 Jacob Crossing
Rockwall, TX

Organization
Eric L Davis Engineering
972-564-0592
Rob Poole

HERS
Projected Rating
Rater ID:190 4900

Weather:Dallas/Fort Worth Intl,
TX
Custom
211 Jacob Crossing Scott
Clements.blg

Builder
Scott Clements

General Building Information

Area of Conditioned. Space(sq ft)	2277
Volume of Conditioned. Space	23908
Year Built	2022
Housing Type	Single-family detached
Level Type(Apartments Only)	None
Floors on or Above-Grade	2
Number of Bedrooms	3
Foundation Type	Slab
Enclosed Crawl Space Type	N/A
Number of Stories Including Conditioned Basement	2
Thermal Boundary Location	REM Default

Slab Floor Information

Name	Library Entry	Area(sq ft)	Depth Below Grade(ft)	Full Perimeter(ft)	Exposed Perimeter(ft)	On-Grade Perimeter(ft)
slab on grade	Uninsulated*****	1715	0.0	164	164	164

Slab Floor Library List

Slab Floor: Uninsulated*****

Slab Covering	Carpet
Perimeter Insulation (R-Value)	0.0
Perimeter Insulation Depth (ft)	0.0
Under-Slab Insulation (R-Value)	0.0
Under-Slab Insulation Width (ft)	0.0
Slab Insulation Grade	1
Radiant Slab	No
Note	

Above-Grade Wall

Name	Library Entry	Location	Exterior Color	Area(sq ft)	Uo Value
Brick Wall	R-1 gr1 2x4-16 br***	Cond -> ambient	Light	2427.00	0.056
garage Wall	R13 gr1 2x4 dblgy**0*	Cond -> garage	Light	330.00	0.058

Building Summary

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Scott Clements

Above-Grade Wall Library List

Above-Grade Wall: R-1 gr1 2x4-16 br***

Information From Quick Fill Screen

Wall Construction Type	Std Frame w/Brick Veneer
Continuous Insulation (R-Value)	5.0
Frame Cavity Insulation (R-Value)	13.0
Frame Cavity Insulation Thickness (in)	3.5
Frame Cavity Insulation Grade	1
Stud Size (w x d, in)	1.5 x 3.5
Stud Spacing (in o.c.)	16.0
Framing Factor - (default)	0.2300
Gypsum Thickness (in)	0.5
Note	1/2 gyp 2x4 at 16o.c. R-13 grade I brick veneer

Above-Grade Wall: R13 gr1 2x4 dblgy**0*

Information From Quick Fill Screen

Wall Construction Type	Standard Wood Frame
Continuous Insulation (R-Value)	5.0
Frame Cavity Insulation (R-Value)	13.0
Frame Cavity Insulation Thickness (in)	3.5
Frame Cavity Insulation Grade	1
Stud Size (w x d, in)	1.5 x 3.5
Stud Spacing (in o.c.)	16.0
Framing Factor - (default)	0.2300
Gypsum Thickness (in)	0.5
Note	

Window Information

Name	Wall Assignment	Orient	U-Value	SHGC	Area (sqft)	Overhang			Interior		Adjacent	
						Depth (ft)	To Top (ft)	To Btm (ft)	Winter Shading	Summer Shading	Winter Shading	Summer Shading
front	AGWall 1	South	0.350	0.250	118.00	2.0	3.0	7.0	0.85	0.70	None	None
right	AGWall 1	East	0.350	0.250	66.00	2.0	3.0	7.0	0.85	0.70	None	None
left	AGWall 1	West	0.350	0.250	12.00	0.0	0.0	0.0	0.85	0.70	None	None
Front Door	AGWall 1	South	0.350	0.250	38.00	2.0	3.0	7.0	0.85	0.70	Complete	Complete

Building Summary

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Rockwall, TX

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Projected Rating
Rater ID:190 4900

Weather:Dallas/Fort Worth Intl,
TX
Custom
211 Jacob Crossing Scott
Clements.blg

Builder
Scott Clements

Window Information

Name	Wall Assignment	Orient	U-Value	SHGC	Area (sqft)	Overhang			Interior		Adjacent	
						Depth (ft)	To Top (ft)	To Btm (ft)	Winter Shading	Summer Shading	Winter Shading	Summer Shading
Kitchen Room	AGWall 1	North	0.350	0.250	14.00	2.0	3.0	7.0	0.85	0.70	Complete	Complete

Door Information

Name	Library Entry	Wall Assignment	Opaque Area(sq ft)	Uo Value	R-Value of Opaque Area	Storm Door
front	1-3/4 solid core*****0*****	AGWall 1	10.0	0.341	2.0	No
Kitchen Room	1-3/4 solid core*****0*****	AGWall 1	10.0	0.341	2.0	No
garage	1-3/4 solid core*****0*****	AGWall 2	21.0	0.341	2.0	No

Roof Information

Name	Library Entry	Ceiling Area(sq ft)	Roof Area(sq ft)	Exterior Color	Radiant Barrier	Type	Uo Value	Cement or Clay Tiles	Roof Tile Ventilation
Ceiling	R-38 Foam	1715.00	2143.75	Light	No	Attic	0.025	No	No

Roof Library List

Ceiling: R-38 Foam

Information From Quick Fill Screen

Continous Insulation (R-Value)	25.0
Cavity Insulation (R-Value)	15.0
Cavity Insulation Thickness (in)	8.0
Cavity Insulation Grade	1
Gypsum Thickness (in)	0.500
Insulated Framing Size(w x h, in)	1.5 x 3.5
Insulated Framing Spacing (in o.c.)	24.0
Framing Factor - (default)	0.1100
Ceiling Type	Attic
Note	Vaulted Foam

Building Summary

Property

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Custom
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HERS

Projected Rating
Rater ID:190 4900

Mechanical Equipment

Number of Mechanical Systems	3
Heating SetPoint(F)	68.0
Heating Setback Thermostat	Present
Cooling SetPoint(F)	78.0
Cooling Setup Thermostat	Present
DHW SetPoint(F)	125.0

Heat: 96AFUE Gas Furn 36k

SystemType	Fuel-fired air distribution
Fuel Type	Natural gas
Rated Output Capacity (kBtuh)	36.0
Seasonal Equipment Efficiency	96.0 AFUE
Auxiliary Electric	242 Eae
Note	
Number Of Units	1
Location	Conditioned area
Performance Adjustment	100
Percent Load Served	100

Cool: 14SEER A/C 3 ton

System Type	Air conditioner
Fuel Type	Electric
Rated Output Capacity (kBtuh)	36.0
Seasonal Equipment Efficiency	14.0 SEER
Sensible Heat Fraction (SHF)	0.70
Note	
Number Of Units	1
Location	Conditioned area
Performance Adjustment	100
Percent Load Served	100

DHW: Demand-Gas*****

Water Heater Type	Instant water heater
-------------------	----------------------

Building Summary

Property

211 Jacob Crossing
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Weather:Dallas/Fort Worth Intl,
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Custom
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Organization

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972-564-0592
Rob Poole

Builder

Scott Clements

HERS

Projected Rating
Rater ID:190 4900

Mechanical Equipment

Fuel Type	Natural gas
Energy Factor	0.93
Recovery Efficiency	0.00
Water Tank Size (gallons)	0
Extra Tank Insulation (R-Value)	0.0
Note	
Number Of Units	1
Location	Conditioned area
Performance Adjustment	100
Percent Load Served	100

DHW Efficiencies

All bath faucets & showers <= 2gpm	false
All DHW pipes fully insulated >= R-3	false
Recirculation type	None (standard system)
Farthest fixture to DHW heater	78
TOTAL Pipelength for longest DHW run	98
DWHR unit present?	false

DHW Diagnostics

dhwGpd	46.78
peRatio	1.12
dishwasherGpd	4.32
clothesWasherHotWaterGPD	3.89
EDef	1.02
ewaste	34.89
tmains	71.70
dwhrWhInletTempAdj	0.00
pumpConsKwh	0.00
pumpConsMmbtu	0.00

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Duct Systems

Name

Conditioned Floor Area(sq ft) 2277.0
of Returns 3
Heating System 96AFUE Gas Furn 36k
Cooling System 14SEER A/C 3 ton
Supply Duct Surface Area(sq ft) 461.1
Return Duct Surface Area(sq ft) 426.9

Duct Leakage

Qualitative Assessment Not Applicable
Duct Leakage to Outside
Supply+Return 1.00 CFM @ 25 Pascals
Supply Only Not Applicable
Return Only Not Applicable
Total Duct Leakage 1.00 CFM @ 25 Pascals
Duct Tightness Test Postconstruction Test
Test Exemptions
IECC FALSE
RESNET LtO FALSE
ENERGY STAR LtO FALSE

Type	Location	Percent Location	R-Value
Supply	Conditioned space	100.0	8.0
Return	Conditioned space	100.0	8.0

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Infiltration and Mechanical Ventilation

Whole Dwelling Infiltration

Input Type	Blower door
Heating Season Infiltration Value	3.00 ACH @ 50 Pascals
Cooling Season Infiltration Value	3.00 ACH @ 50 Pascals
Shelter Class	4
Code Verification	Tested

Mechanical Ventilation for IAQ

Type	Balanced
Rate(cfm)	75
Adjusted Sensible Recovery Efficiency(%)	0.00
Adjusted Total Recovery Efficiency(%)	0.00
Hours per Day	24.0
Fan Power (watts)	48.00
ECM Fan Motor	false

Ventilation Strategy for Cooling

Cooling Season Ventilation	Natural Ventilation
----------------------------	---------------------

Good Air Exchange for Multi-Family

NA

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Lights and Appliances

Rating/RESNET audit

Ceiling Fan CFM / Watt	70.40
Refrigerator kWh/yr	775
Refrigerator Location	Conditioned
Range/Oven Fuel Type	Natural gas
Induction Range	No
Convection Oven	No

Dishwasher

Energy Factor	0.46
Dishwasher kWh/yr	0
Place Setting Capacity	12

Clothes Dryer

Fuel Type	Electric
Location	Conditioned
Moisture Sensing	Yes
CEF	2.62

Clothes Washer

Location	Conditioned
LER (kWh/yr)	704
IMEF	0.331
Capacity (CU.Ft)	2.874
Electricity Rate	0.08
Gas Rate	0.58
Annual Gas Cost	23.00

Qualifying Light Fixtures

Interior Lights %	100.0
Exterior Lights %	100.0
Garage Lights %	100.0
Interior LEDs %	0.0
Exterior LEDs %	0.0
Garage LEDs %	0.0

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Mandatory Requirements

IECC Requirements

Verified IECC 06	true
Verified IECC 09	true
Verified IECC 12	true
Verified IECC 15	true
Verified IECC 18	true
Verified NY-ECCC 2016	false
Verified IECC MI	false
Verified IECC NC 2018	false

EPA Requirements

Rater certifies that the home complies with the following requirements for:

ENERGY STAR v3.0

- Rater Design Review Checklist
- Rater Field Checklist
- HVAC Design Report
- HVAC Commissioning Checklist (optional)

ENERGY STAR Version 3 Appliances

Amount

Refrigerators	0
Ceiling Fans	0
Exhaust Fans	0
Dishwashers	0

ENERGY STAR Multi-Family Checks

Clothes washer is in a category with no ENERGY STAR options.	NA
Clothes dryer is in a category with no ENERGY STAR options.	NA
Apt or Townhome uses 'Class AW' Windows.	NA

ENERGY STAR Version 3 Basements

Basement Wall Area 50% Below Grad:	false
Basement Floor Area	0.00
Slab Insulation Exemption:	false
Indoor airPlus Verification Checklist	true

EPA Field App ID

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DOE Zero Energy Ready Home

Home Builder ID Number

Mandatory Requirements

Verified Fenestration	false
Verified Insulation	false
Verified Duct Location	false
Verified Appliance	false
Verified Lighting	false
Verified Fan Efficiency	false
Verified Water Efficiency	false
Verified EPA Indoor airPLUS	false
Verified Renewable Energy Ready Solar Electric	false

Optional Home Builder Commitments for Recognition

Certified under the EPA WaterSense for New Homes Program	No
Certified under the IBHS fortified for Safer Living Program	No
Followed the DOE Zero Energy Ready Home Quality Management Guidelines	No
The buyer of this home signed a waiver giving DOE Zero Energy Ready Home access to utility bill data for one year.	No

Active Solar

System Type	None
Collector Loop Type	None
Collector Type	None
Collector Orientation	None
Area(sq ft)	0.0
Tilt(degrees)	0.0
Volume(cu ft/gal)	0.0

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Notes

House faces South

ENERGY STAR v3.0 Home Report

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Scott Clements

Projected Rating: Based on Plans - Field Confirmation Required. Normalized, Modified End-Use Loads (MMBtu/yr)

	ENERGY STAR	As Designed
Heating	20.0	13.0
Cooling	25.9	20.8
Water Heating	7.5	2.6
Lights and Appliances	24.1	24.3
Total	77.5	60.6

HERS Index of Reference Design Home	70	53 HERS Index w/o PV
HERS Index Target (SAF Adjusted)	69	53 HERS Index
Size Adjustment Factor	0.99	

HERS Index w/o PV <= HERS Index of Reference Design Home AND HERS Index <= HERS Index Target to comply.

ENERGY STAR v3.0 Mandatory Requirements

X	Duct leakage at post construction better than or equal to ENERGY STAR v3/3.1 requirements.
X	Envelope insulation levels meet or exceed ENERGY STAR v3/3.1 requirements.
X	Slab on Grade Insulation must be > R-5, and at IECC 2009 Depth for Climate Zones 4 and above.
X	Envelope insulation achieves RESNET Grade I installation, or Grade II with insulated sheathing.
X	Windows meet the 2009 IECC Requirements - Table 402.1.1.
X	Duct insulation meets the EPA minimum requirements of R-6.
X	Mechanical ventilation system is installed in the home.
X	ENERGY STAR Checklists fully verified and complete.



This home **MEETS** or **EXCEEDS** the energy efficiency requirements for designation as an EPA ENERGY STAR Version 3 Certified Home.

Pollution Prevented

Type of Emissions	Reduction
Carbon Dioxide (CO2) - tons/yr	4.8
Sulfur Dioxide (SO2) - lbs/yr	10.3
Nitrogen Oxides (NOx) - lbs/yr	8.7

Energy Cost Savings

	\$/yr
Heating	19
Cooling	206
Water Heating	0
Lights & Appliances	132
Total	357

The energy savings and pollution prevented are calculated by comparing the Rated Home to the Reference Home as defined in the Mortgage Industry National Home Energy Rating Systems Standards as promulgated by the Residential Energy Services Network (RESNET). In accordance with these guidelines, building inputs affecting setpoints, infiltration rates, window shading and the existence of mechanical systems may have been changed prior to calculating loads.

REM/Rate - Residential Energy Analysis and Rating Software v15.7.3

This information does not constitute any warranty of energy costs or savings.

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ENERGY STAR v3.0 Home Verification Summary

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Builder
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Projected Rating: Based on Plans - Field Confirmation Required.

Building Information		Rating	
Conditioned Area (sq ft)	2277	HERS Index	53
Conditioned Volume (cubic ft)	23908	HERS Index w/o PV	53
Insulated Shell Area (sq ft)	6187	HERS Index Target (SAF Adjusted)	69
Number of Bedrooms	3	HERS Index of Reference Design Home	70
Housing Type	Single-family detached	Size Adjustment Factor	0.99
Foundation Type	Slab		



This home MEETS or EXCEEDS the energy efficiency requirements for designation as an EPA ENERGY STAR Version 3 Certified Home.
HERS Index w/o PV <= HERS Index of Reference Design Home AND HERS Index <= HERS Index Target to comply.

Building Shell

Ceiling w/Attic	R-38 Foam U=0.025	Window Type	DBL/LoE/Arg - Vinyl*****0*****
Sealed Attic	None	Window	U-Value: 0.350, SHGC: 0.250
Vaulted Ceiling	None	Window/Wall Ratio	0.09
Above Grade Walls	R-1 gr1 2x4-16 br*** U=0.056	Infiltration Type	Blower door
Found. Walls(Cond)	None	Infiltration	Htg: 3.00 Clg: 3.00 ACH50
Found. Walls(Uncond)	None	Duct Leakage to Outside	1.00 CFM @ 25 Pascals
Floors	None	Total Duct Leakage	1.00 CFM @ 25 Pascals
Slab Floors	Uninsulated***** U=0.365		

Mechanical Systems

Heating	Fuel-fired air distribution, 36.0 kBtuh, 96.0 AFUE.
Cooling	Air conditioner, 36.0 kBtuh, 14.0 SEER.
Water Heating	Instant water heater, Gas, 0.93 EF.
Programmable Thermostat	Heat=Yes; Cool=Yes
Ventilation System	Balanced: 75 cfm, 48.0 watts.

Lights and Appliances

Interior LED Lighting (%)	0.00	Clothes Dryer Fuel	Electric
Refrigerator (kWh/yr)	775.00	Clothes Dryer CEF	2.62
Dishwasher Energy Factor	0.46	Clothes Washer LER	704.00
Ceiling Fan (cfm/Watt)	70.40	Clothes Washer Capacity	2.87
Range/Oven Fuel	Natural gas		

Note: Where feature level varies in home, the dominant value is shown.

2015 IECC Building UA Compliance

Property
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Elements

Insulation Levels

	2015 IECC	As Designed
Shell UA Check		
Ceilings:	51.4	42.7
Above-Grade Walls:	148.1	139.7
Windows and Doors:	101.2	100.8
Slab Floor:	59.9	59.9
Overall UA (Design must be equal or lower):	360.6	343.0

Mandatory Requirements

Shell UA Check	PASSES
Duct Insulation R-Value Check (per Section 403.3.1)	PASSES
Window U-Value and SHGC Check (per Section 402.5)	PASSES
Home Infiltration (Section 402.4.1.2)	PASSES
Duct Testing (Section 403.3.3)	PASSES
Mechanical Ventilation (Section 403.6)	PASSES
Mechanical Ventilation Fan Efficacy (Section 403.6.1)	PASSES
Mandatory Requirements Check Box (2015 IECC)	PASSES

This home **MEETS** the overall thermal performance requirements and verifications of the International Energy Conservation Code based on a climate zone of 3A. (Section 402, International Energy Conservation Code, 2015 edition.)

Name | Rob Poole
Organization | Eric L Davis Engineering

Signature | 
Date | 7 November 2022

2015 IECC Energy Cost Compliance

Property
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972-564-0592
Rob Poole

HERS
Projected Rating
Rater ID:190 4900

Weather:Dallas/Fort Worth Intl,
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Annual Energy Cost

	2015 IECC	\$/yr As Designed
Heating	7	9
Cooling	259	242
Water Heating	0	0
SubTotal - Used to Determine Compliance	265	250
Mechanical Ventilation Fan	17	34
Lights & Appliances (minus MechVent)	502	464
Photovoltaics	-0	-0
Service Charge	81	81
Total	865	829

Mandatory Requirements

Annual Energy Cost Check	PASSES
Duct Insulation R-Value Check (per Section 405.2)	PASSES
Window U-Value and SHGC Check (per Section 402.5)	PASSES
Home Infiltration (Section 402.4.1)	PASSES
Duct Testing (Section 403.3.3)	PASSES
Mechanical Ventilation (Section 403.6)	PASSES
Mechanical Ventilation Fan Efficacy (Section 403.6.1)	PASSES
Mandatory Requirements Check Box (2015 IECC)	PASSES

This home **MEETS** the annual energy cost requirements of Section 405 of the 2015 International Energy Conservation Code based on a climate zone of 3A. In fact, this home surpasses the requirements by 5.6%.

Name | Rob Poole
Organization | Eric L Davis Engineering

Signature | 
Date | 7 November 2022

In accordance with IECC, building inputs, such as setpoints, infiltration rates, and window shading may have been changed prior to calculating annual energy cost. Furthermore, the standard reference design HVAC system efficiencies are set equal to those in the design home as specified in the 2015 IECC. These standards are subject to change, and software updates should be obtained periodically to ensure the compliance calculations reflect current federal minimum standards.

RESNET Home Energy Rating Standard Disclosure

For home located at: 211 Jacob Crossing

City: Rockwall

State: TX

1. The Rater or Rater's employer is receiving a fee for providing the rating on this home.
2. In addition to the rating, the Rater or Rater's employer has also provided the following consulting services for this home.
- A. Mechanical system design
 - B. Moisture control or indoor air quality consulting
 - C. Performance testing and/or commissioning other than required for the rating itself
 - D. Training for sales or construction personnel
 - E. Other (specify below)

3. The Rater or Rater's employer is:
- A. The seller of this home or their agent
 - B. The mortgagor for some portion of the financial payments on this home
 - C. An employee, contractor or consultant of the electric and/or natural gas utility serving this home

4. The Rater or Rater's employer is a supplier or installer of products, which may include:

HVAC Systems
Thermal Insulation Systems
Air sealing of envelope or duct systems
Windows or window shading systems
Energy efficient appliances
Construction (builder, developer, construction contractor, etc.)
Other (specify below):

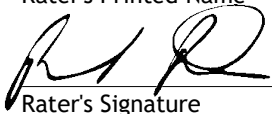
Installed in this home by:		OR	is in the business of:	
<input type="checkbox"/> Rater	<input type="checkbox"/> Employer		<input type="checkbox"/> Rater	<input type="checkbox"/> Employer
<input type="checkbox"/> Rater	<input type="checkbox"/> Employer		<input type="checkbox"/> Rater	<input type="checkbox"/> Employer
<input type="checkbox"/> Rater	<input type="checkbox"/> Employer		<input type="checkbox"/> Rater	<input type="checkbox"/> Employer
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<input type="checkbox"/> Rater	<input type="checkbox"/> Employer		<input type="checkbox"/> Rater	<input type="checkbox"/> Employer
<input type="checkbox"/> Rater	<input type="checkbox"/> Employer		<input type="checkbox"/> Rater	<input type="checkbox"/> Employer

5. This home has been verified under the provisions of Chapter 6, Section 603 'Technical Requirements for Sampling' of the Mortgage Industry National Home Energy Rating Standard as set forth by the Residential Energy Services Network (RESNET).

I attest that the above information is true and correct to the best of my knowledge. As a Rater or Rating Provider I abide by the rating quality control provisions of the Mortgage Industry National Home Energy Rating Standard as set forth by the Residential Energy Services Network (RESNET). The national rating quality control provisions of the rating standard are contained in Chapter One 4.C.8. of the standard and are posted at http://resnet.us/standards/RESNET_Mortgage_Industry_National_HERS_Standards.pdf. The Home Energy Rating Standard Disclosure for this home is available from the rating provider.

Rob Poole

Rater's Printed Name



Rater's Signature

190 4900

Certification #

November 07, 2022

Date

RESNET Form 0300-2