



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22022-007

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION** [PLEASE PRINT]

ADDRESS 514 Yvonne Dr.

SUBDIVISION

LOT 1096 BLOCK

GENERAL LOCATION

**ZONING, SITE PLAN AND PLATTING INFORMATION** [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Black Toro Custom Homes LLC  
Jose A Contreras

APPLICANT

Juan Aguilar

CONTACT PERSON

CONTACT PERSON

ADDRESS 1210 Creek Valley

ADDRESS

1210 Creek Valley Rd.

CITY, STATE & ZIP Mesquite TX 75181

CITY, STATE & ZIP

Mesquite TX 75181

PHONE 214-991-2329

PHONE

214-538-6401

E-MAIL blacktoro customhomes@gmail.com

E-MAIL

blacktoro customhomes@gmail.com

**NOTARY VERIFICATION** [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose A Contreras / Juan Aguilar [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

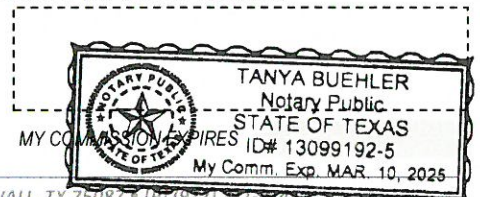
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022

OWNER'S SIGNATURE

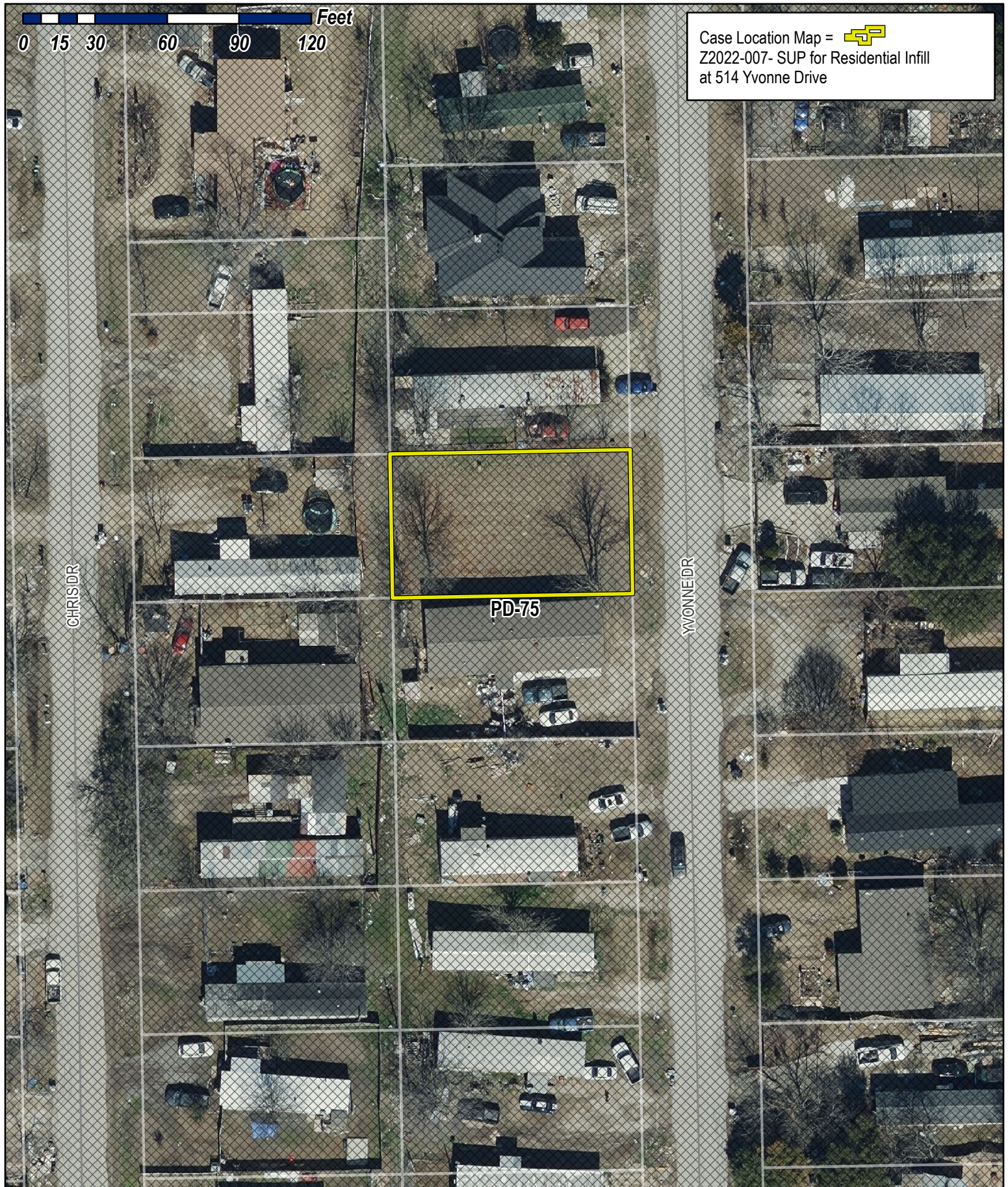
[Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Jayne Beech







Case Location Map =   
 Z2022-007- SUP for Residential Infill  
 at 514 Yvonne Drive

CHRISDR

WONNEEDR

PD-75



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



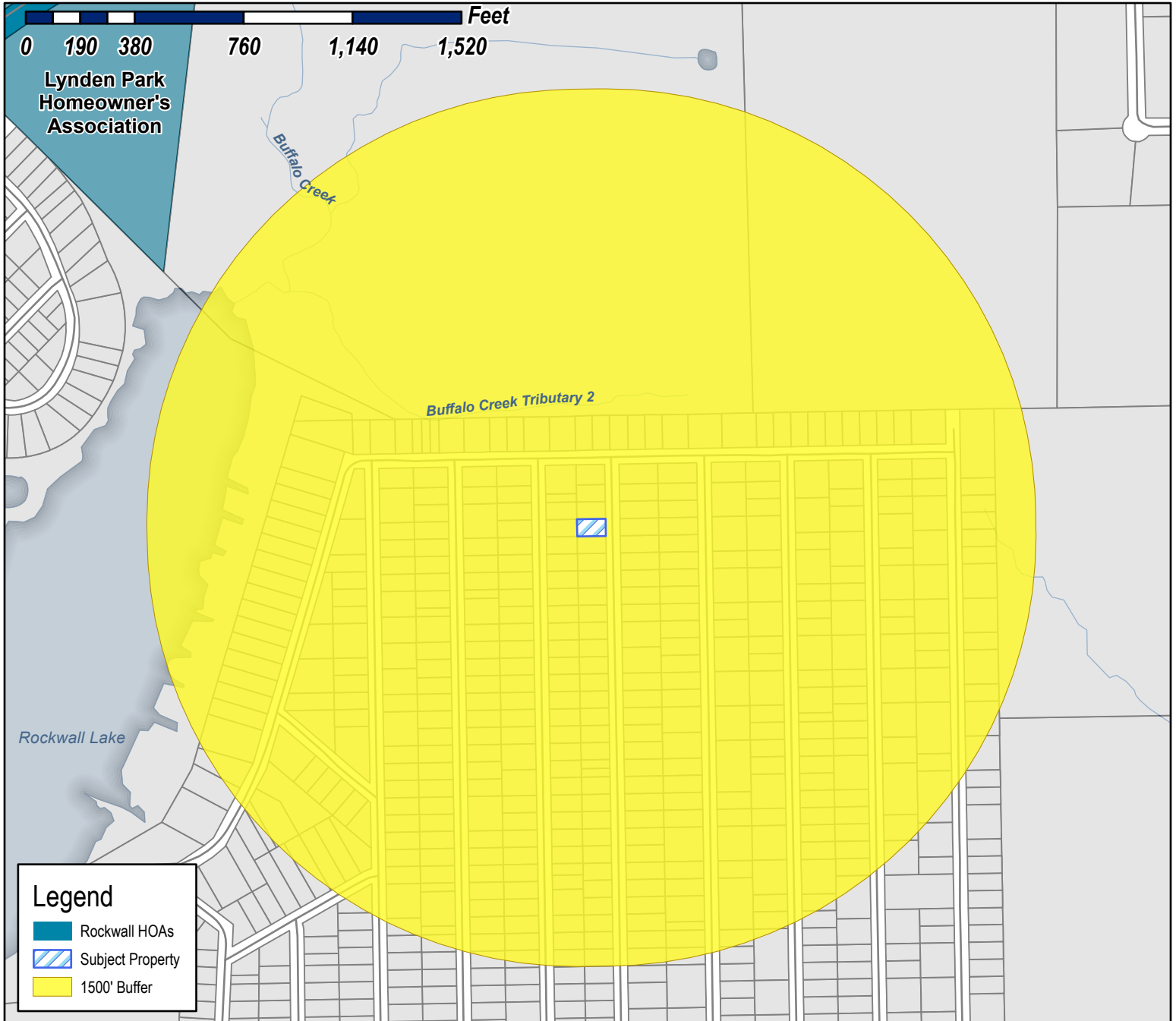







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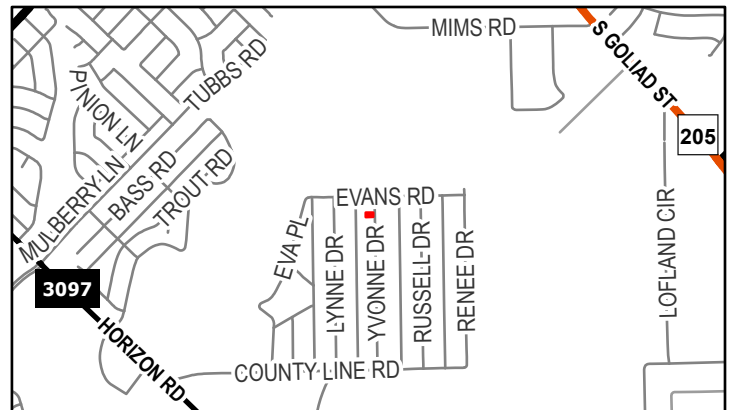


**Legend**

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

**Case Number:** Z2022-007  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 514 Yvonne Drive

**Date Saved:** 2/17/2022  
 For Questions on this Case Call (972) 771-7745

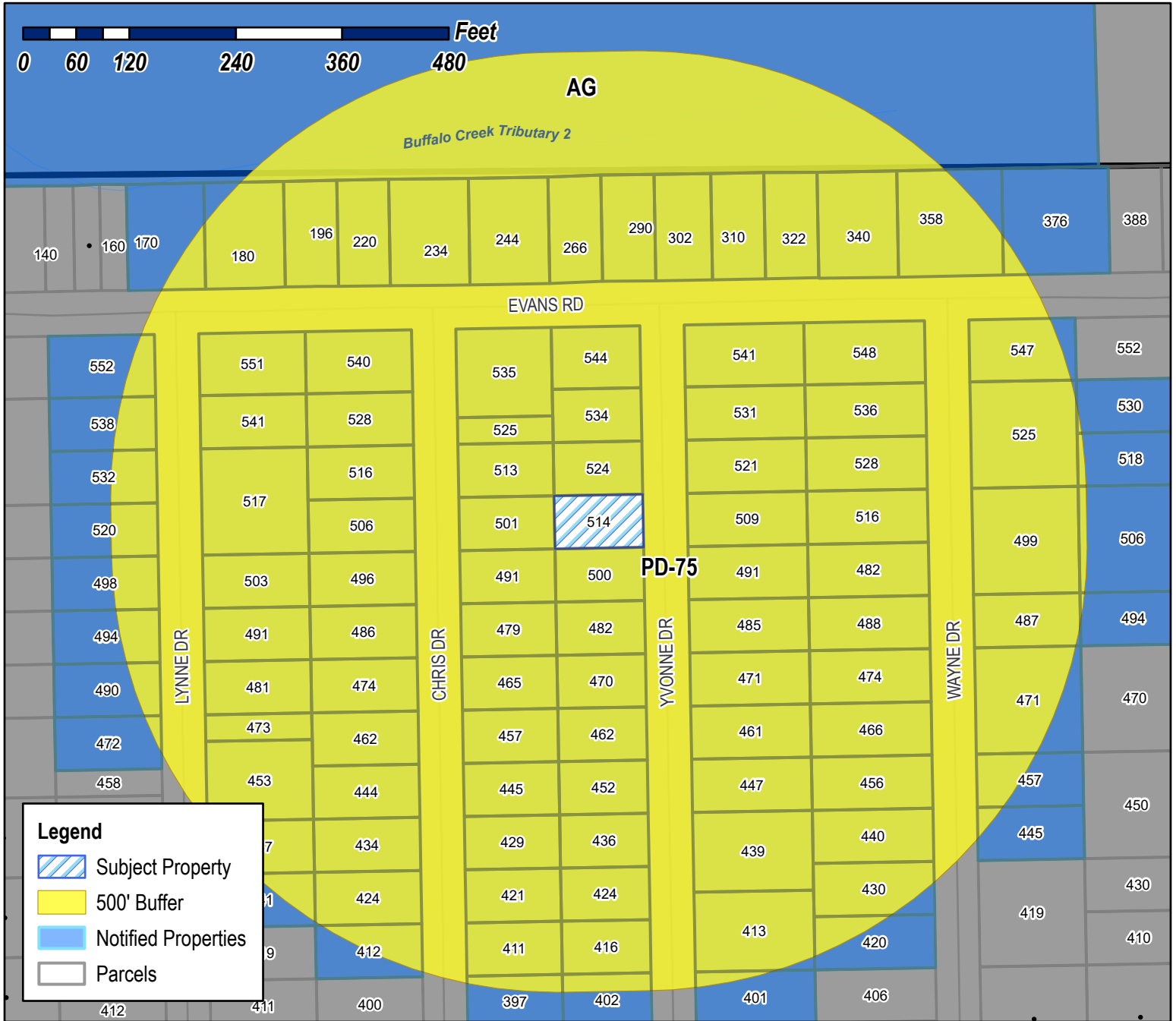




# City of Rockwall

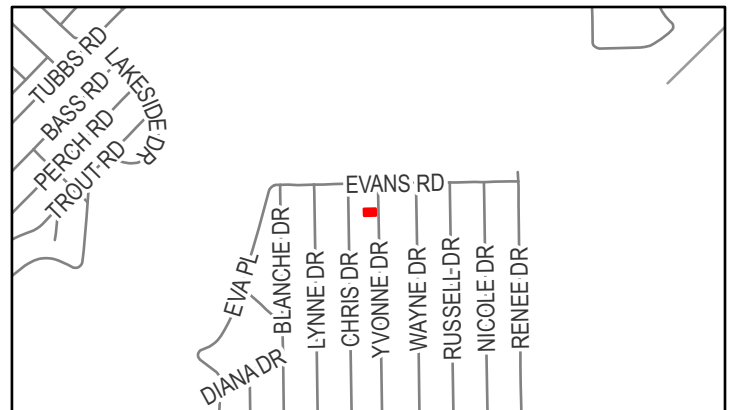
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THELWELL LINDA  
1013 BLACKBERRY TRL <Null>  
LANCASTER, TX 75134

SILVA BERTHA  
1041 E FM 552 <Null>  
ROCKWALL, TX 75087

VICMAR I LTD &  
E LOFLAND  
105 KAUFMAN ST <Null>  
ROCKWALL, TX 75087

CHAPELA AARON  
1188 YVONNE DR <Null>  
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ  
1244 COUNTY ROAD 2278 <Null>  
QUINLAN, TX 75087

CASTILLO ARTURO & VICTORIA  
151 PERCH RD <Null>  
ROCKWALL, TX 75032

DIAZ JOSE LUIS &  
MARICELA ARREDONDO  
170EVANSRD ROCKWALL  
TX, 75032

DIAZ JUANA  
1750 E FM 550 <Null>  
ROCKWALL, TX 75032

HERREROS BERTOLDO  
180 EVANS RD <Null>  
ROCKWALL, TX 75032

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR <Null>  
ROCKWALL, TX 75032

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR <Null>  
ROCKWALL, TX 75032

HERREROS BERTOLDO  
196 EVANS RD <Null>  
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA  
220 CRAWFORD LN <Null>  
ROYSE CITY, TX 75189

RODRIGUEZ ROMAN  
220 EVANS RD <Null>  
ROCKWALL, TX 75032

YANES MARIA TERESA  
230 CHRIS DR <Null>  
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA  
234 EVANS RD <Null>  
ROCKWALL, TX 75032

MEJIA RAMIRO  
244 EVANS RD <Null>  
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA  
266 EVANS RD ROCKWALL  
TX, 75032

SAULS AND BROS COMPANY LLC  
2716 GREENHILL DRIVE <Null>  
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO  
VELAZQUEZ  
290 EVANS <Null>  
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC  
302 EVANS RD ROCKWALL  
TX, 75032

SILVA JORGE & ELIZABETH  
3078 S FM 551 <Null>  
ROYSE CITY, TX 75189

BALDERAS GREGORY  
310 EVANS RD <Null>  
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE  
QUINONEZ  
322 EVANS RD <Null>  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
3248 BLACKLAND RD <Null>  
ROYSE CITY, TX 75189

RAMIRES RAUL  
358 EVANS RD <Null>  
ROCKWALL, TX 75032

BROTZE MARGARET  
373 YVONNE DR <Null>  
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L  
376 EVANS RD <Null>  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
397 CHRIS DR <Null>  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
400 EVANS RD <Null>  
ROCKWALL, TX 75032



BROTZE MARGARET  
401 YVONNE DR ROCKWALL  
TX, 75032

JARAMILLO JOSE A  
402 YVONNE DR <Null>  
ROCKWALL, TX 75032

CARMONA ROBERTO  
411 CHRIS DR <Null>  
ROCKWALL, TX 75032

OLGUIN CIRILO  
412 CHRIS DR <Null>  
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA  
413 YVONNE DR <Null>  
ROCKWALL, TX 75032

CRUZ JOSE AND  
ADRIANA GUERRERO  
416 YVONNE DR <Null>  
ROCKWALL, TX 75032

MERKEL JAMES  
420 WAYNE DR <Null>  
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ  
421CHRISDR ROCKWALL  
TX, 75032

CARDENAS RODOLFO  
424 CHRIS DR <Null>  
ROCKWALL, TX 75032

RAMIREZ MAXIMINO SIERRA  
424 YVONNE DR ROCKWALL  
TX, 75032

RAMIREZ ZACARIAS  
429 CHRIS DR ROCKWALL  
TX, 75032

DELGADO DONNY  
430 WAYNE DRIVE <Null>  
ROCKWALL, TX 75032

HERNANDEZ GREGORIA HERNANDEZ  
434 CHRIS <Null>  
ROCKWALL, TX 75032

HERRERA JUAN E  
436 YVONNE DR ROCKWALL  
TX, 75032

ANAYA JUAN C & RAUL  
439 PERCH RD <Null>  
ROCKWALL, TX 75032

GONZALEZ FELIPE GOVEA  
439 YVONNE DR ROCKWALL  
TX, 75032

RODRIGUEZ MARICELA  
440 WAYNE DR ROCKWALL  
TX, 75032

TORRES ALONSO  
441 LYNNE DR <Null>  
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES  
441 LYNNE DRIVE <Null>  
ROCKWALL, TX 75402

GOMEZ MIGUEL URBINA AND LILIA GARCIA  
RANGEL  
444 CHRIS DR <Null>  
ROCKWALL, TX 75032

RAMIREZ ZACARIAS  
445 CHRIS DR ROCKWALL  
TX, 75032

GARCIA JOSE NOE  
445 WAYNE DR <Null>  
ROCKWALL, TX 75150

TORRES ALONSO & MARIA DEL ROSARIO YANEZ  
447 LYNNE DR ROCKWALL  
TX, 75032

PRUET JAMES D  
447 YVONNE DR <Null>  
ROCKWALL, TX 75032

LICEA JOSE DELFINO  
448 LYNNE DR <Null>  
ROCKWALL, TX 75032

CHAPELA AARON  
452YVONNEDR ROCKWALL  
TX, 75032

CASTILLO ARTURO & VICTORIA  
453 LYNNE DR ROCKWALL  
TX, 75032

RODRIGUEZ MARICELA  
456 WAYNE DR <Null>  
ROCKWALL, TX 75032

GONZALEZ ANTONIO & ANNA MARIA  
456 WAYNE DR <Null>  
ROCKWALL, TX 75032

ORELLANA JUAN C & MARICELA  
457 CHRIS DR ROCKWALL  
TX, 75032



GARCIA JOSE NOE  
457 WAYNE DR ROCKWALL  
TX, 75032

MARTINEZ MARIO CRUZ  
461 YVONNE DR <Null>  
ROCKWALL, TX 75032

RANGEL LUIS GERARDO AND  
MARIA DEL ROCIO ZARATE  
462 CHRIS DR ROCKWALL  
TX, 75032

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
462 YVONNE DR ROCKWALL  
TX, 75032

YANES MARIA TERESA  
465 CHRIS DR ROCKWALL  
TX, 75032

MORENO LUIS NOE  
466 WAYNE DR ROCKWALL  
TX, 75032

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
470 YVONNE DR ROCKWALL  
TX, 75032

SOTO DOMINGO  
471 WAYNE DR <Null>  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
471 YVONNE DR ROCKWALL  
TX, 75032

LICEA DELFINO  
472 LYNNE DR ROCKWALL  
TX, 75032

CASTILLO IGNACIO  
473 LYNNE DR ROCKWALL  
TX, 75032

MORENO ORALIA SOLIS  
474 BASS ROAD <Null>  
ROCKWALL, TX 75032

MORENO LUIS NOE  
474 BASS ROAD <Null>  
ROCKWALL, TX 75032

TORRES ALONSO  
474 CHRIS DR ROCKWALL  
TX, 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR <Null>  
ROCKWALL, TX 75032

CASTILLO IGNACIO  
481 LYNNE DR <Null>  
ROCKWALL, TX 75032

CASTILLO IGNACIO  
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ROCKWALL, TX 75032

ALONSO ELEASAR &  
BENITO GAMEZ  
482 WAYNE DR <Null>  
ROCKWALL, TX 75032

GUEVARA MARIA  
482 YVONNE DRIVE <Null>  
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS  
MARTINEZ-AGUILAR  
485 YVONNE DR <Null>  
ROCKWALL, TX 75032

SMITH HELEN A  
486 CHRIS DR <Null>  
ROCKWALL, TX 75032

PAYNE MILDRED IRENE  
487 WAYNE DR <Null>  
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES  
488 WAYNE DR ROCKWALL  
TX, 75032

CASTRO MATEO IBARRA & ADELA SIERRA  
IBARRA  
490 LYNNE DRIVE <Null>  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR <Null>  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
491 YVONNE DR ROCKWALL  
TX, 75032

DIAZ JOSE LUIS  
494 LYNNE DR <Null>  
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND  
FANIA GARCIA  
494 RUSSELL <Null>  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
496 CHRIS DR ROCKWALL  
TX, 75032

LICEA JOSE DELFINO  
498 LYNNE DR ROCKWALL  
TX, 75032



PARRISH KENNETH LEE JR AND  
JUDITH GAIL WOOD  
499 WAYNE DR <Null>  
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI  
500 YVONNE DR <Null>  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE <Null>  
ROCKWALL, TX 75033

DIAZ MARIA L FLORES  
503 LYNNE DR <Null>  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
506 CHRIS DR ROCKWALL  
TX, 75032

MARTINEZ PEDRO & MARIA CELIA  
506 RUSSELL DR <Null>  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN  
509 YVONNE DR <Null>  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT <Null>  
GARLAND, TX 75043

SILVA JORGE & ELIZABETH  
513CHRISDR ROCKWALL  
TX, 75032

DIAZ JUANA  
514 YVONNE DR ROCKWALL  
TX, 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR <Null>  
ROCKWALL, TX 75032

MARTINEZ DAVID  
516 WAYNE DR <Null>  
ROCKWALL, TX 75032

DIAZ JOSE LUIS  
517 LYNNE DR ROCKWALL  
TX, 75032

GRANADOS CASTULO & NANCY  
518 RUSSELL DR ROCKWALL  
TX, 75032

FLORES JAIME W &  
MARLENE CASTRO  
520 LYNNE DR <Null>  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
521 YVONNE DR ROCKWALL  
TX, 75032

GANUS HUGH  
524 SESAME DR <Null>  
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA  
524 YVONNE DR <Null>  
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ  
525 WAYNE DR <Null>  
ROCKWALL, TX 75032

SILVA BERTHA  
528 CHRIS DR ROCKWALL  
TX, 75032

DIAZ MANUEL & ROSARIO  
528 WAYNE DR <Null>  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR <Null>  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR <Null>  
ROCKWALL, TX 75032

SAFRA PROPERTIES INC  
531 YVONNE DR ROCKWALL  
TX, 75032

ANAYA JUAN C & RAUL  
532 LYNNE DR ROCKWALL  
TX, 75032

MARTINEZ MARIO CRUZ  
534 YVONNE DR ROCKWALL  
TX, 75032

RETANA JUAN &  
YENY RUBIO  
535 CHRIS DR <Null>  
ROCKWALL, TX 75032

STRICKLAND TARA  
536 WAYNE DR <Null>  
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ  
538 LYNNE DR ROCKWALL  
TX, 75032

RODRIGUEZ ROMAN  
540 CHRIS DR <Null>  
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L  
541 EVANS RD <Null>  
ROCKWALL, TX 75032

DIAZ JOSE LUIS  
541 LYNNE DR ROCKWALL  
TX, 75032

ALVARADO HERALD DAVID CORDOVA  
544 YVONNE DR ROCKWALL  
TX, 75032

ANDREWS TRESIA AND KENNETH  
547 WAYNE DR <Null>  
ROCKWALL, TX 75032

ARRIAGA GREGORIA  
548 WAYNE ST <Null>  
ROCKWALL, TX 75032

THELWELL LINDA  
551 LYNNE DR ROCKWALL  
TX, 75032

GONZALEZ LUIS ENRIQUE VALDEZ  
552 LYNNE DRIVE <Null>  
ROCKWALL, TX 75032

RAMIREZ ZACARIAS  
703 T L TOWNSEND DR <Null>  
ROCKWALL, TX 75087

RAMIREZ MAXIMINO SIERRA  
774 EUGENE RD <Null>  
MEMPHIS, TN 38116

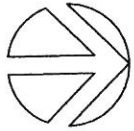
HUERTA JOSE AND MARIA  
848 SMITH ACRES DR <Null>  
ROYSE CITY, TX 75189

RANGEL LUIS GERARDO AND  
MARIA DEL ROCIO ZARATE  
907 WILLOW RIDGE <Null>  
ROCKWALL, TX 75032

HERRERA JUAN E  
926 BLACKLAND RD <Null>  
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC  
PO BOX 69 <Null>  
ROCKWALL, TX 75087

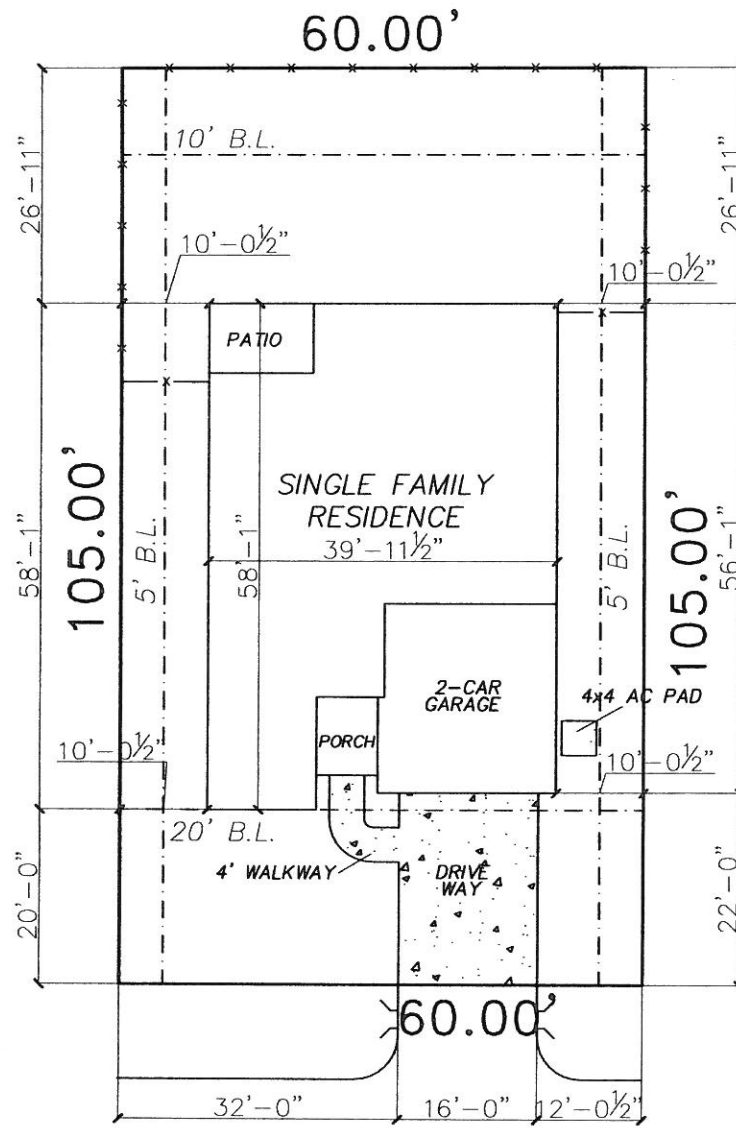




NORTH  
SCALE: 1' = 20'-0"

AREA CALCULATIONS	
LOT AREA	6300 SF
SLAB COVERAGE	2252 SF
% BUILDING COVERAGE	35.7 % COVERAGE
TOTAL IMP. COVERAGE	2670 SF
% TOTAL IMP. COVERAGE	42.4 % COVERAGE
DRIVEWAY COVERAGE	351 SF
% DRIVEWAY COVERAGE	5.6 % COVERAGE
WALKWAY COVERAGE	51 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	455 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	183 SF
LOT FRONTAGE	64.7 SF
FENCE	143 LINEAR SF

\*THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



YVONNE DRIVE

CUSTOMER SIGNATURE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: H ENTERPRISE	DATE: 10/07/2020	<b>DDS GROUP</b>
ADDITION: ROCKWALL	DRAWN BY: DDSG-AA	
ADDRESS: 514 YVONNE DR.	CITY: ROCKWALL	<b>PLOT PLAN SP1</b>
LOT: 1096 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

**CALL BEFORE YOU DIG**

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

**CAUTION - CONTRACTOR'S NOTE**

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.



10/30/2020  
J.S.B. Engineer  
F-20338

**LEGEND**

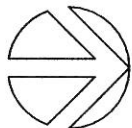
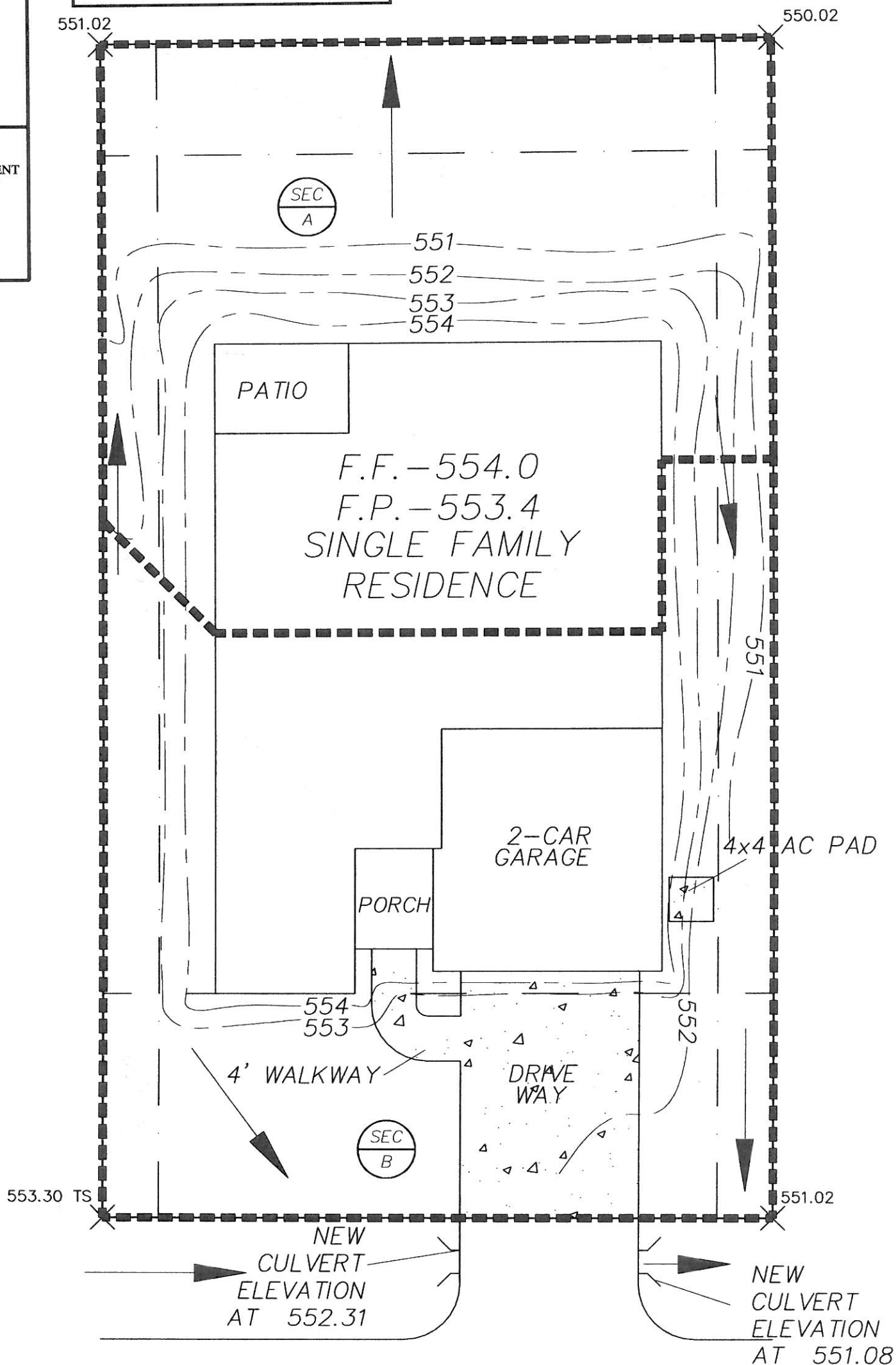
- PROPOSED DRAINAGE
- PROPOSED FENCE
- EXISTING FENCE
- CURLEX
- RETAINING WALL
- EXISTING GRADING
- 625- PROPOSED GRADING

- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- B.E. - BUFFERING EASEMENT

**SPOT ELEVATION KEY:**

- $102 \times 000.0$  = SPOT ELEVATION
- TP - TOP OF SWALE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

CULVERT PIPE CALCS				
SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	0.068	0.333200
B	0.500	9.800	0.076	0.372400



NORTH

SCALE: 1" = 10'-0"

# YVONNE DRIVE

ADDRESS: 514 YVONNE DR.

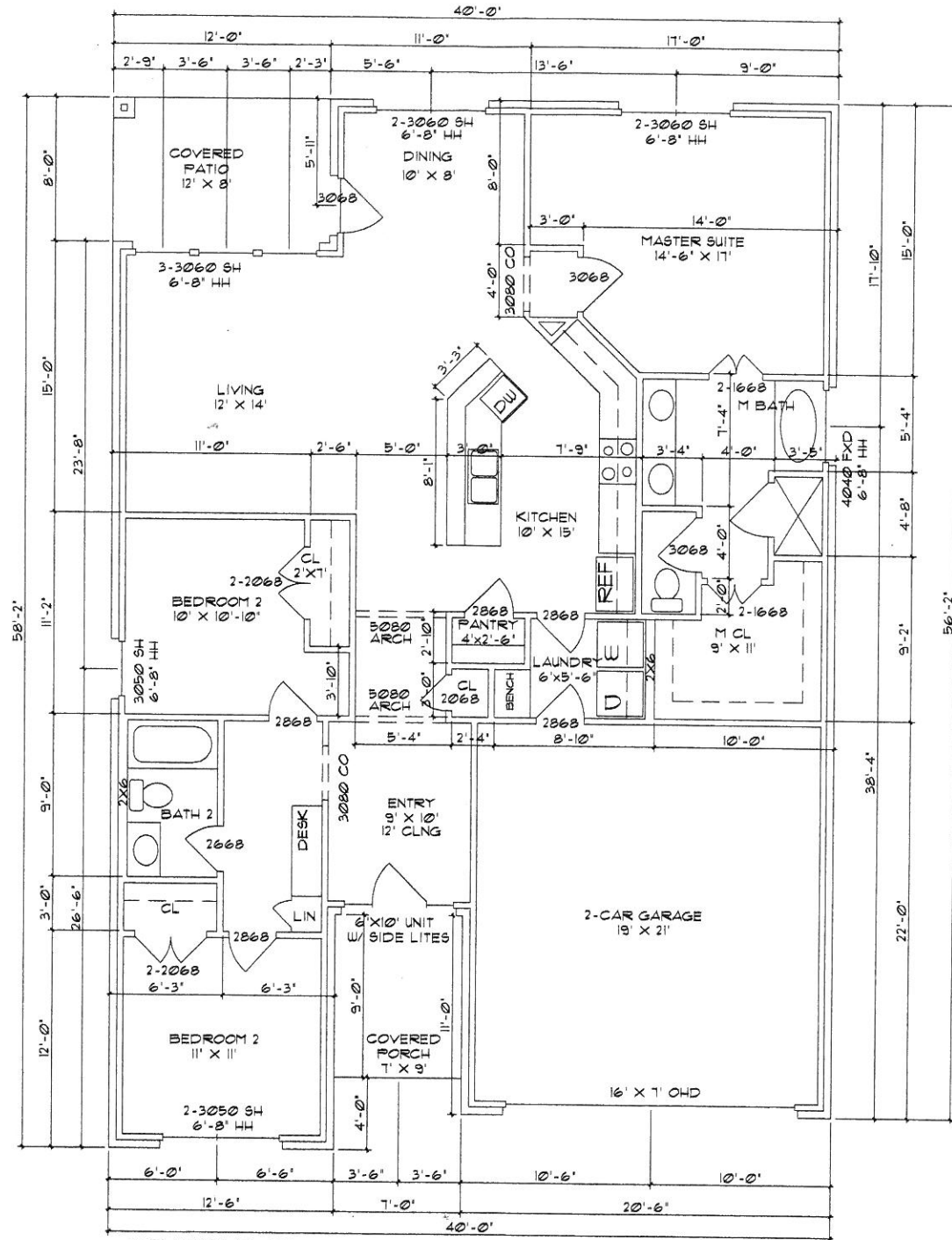
ROCKWALL, TX.

DRAWN BY: DDSG

DATE: 12-17-2020

**DDS GROUP**

GRADING PLAN



1 FLOOR PLAN  
SCALE: 1/4"=1'-0"

2030 SH  
AT DORMER

AREAS	
FIRST FLOOR LIVING	1663#
2-CAR GARAGE	436#
COVERED PORCH	63#
COVERED PATIO	96#
TOTAL AREA	2258#



DDS GROUP 214-966-0550  
123 W. MAIN STREET SUITE #121  
GRAND PRAIRIE TX. 75050  
WWW.DDSGLUS 469-999-0800

DESIGNER:  
DDS GROUP

PROJECT #:

514 YVONNE DR.  
ROCKWALL, TX.

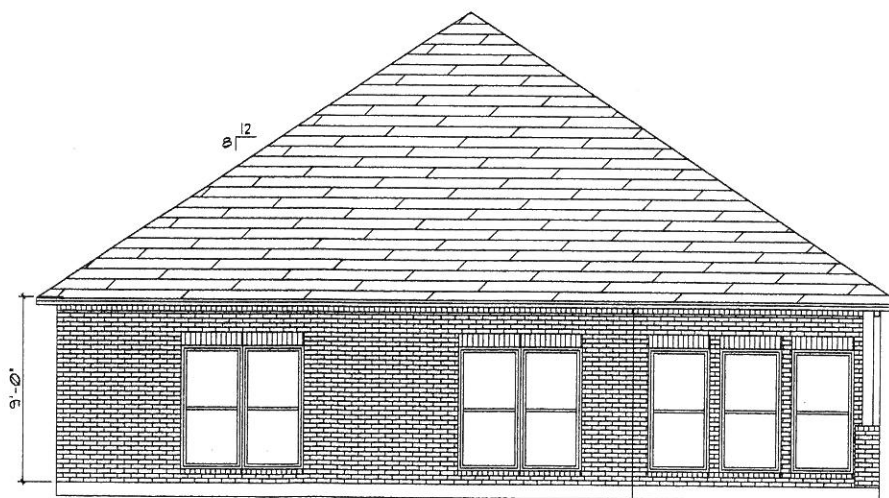
ELEVATION:  
A

SHEET NUMBER:  
A2





③ FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



② REAR ELEVATION  
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550  
123 W. MAIN STREET SUITE #121  
GRAND PRAIRIE TX. 75050  
WWW.DDSG.US 469-999-0800

DESIGNER:  
DDS GROUP

PROJECT #:

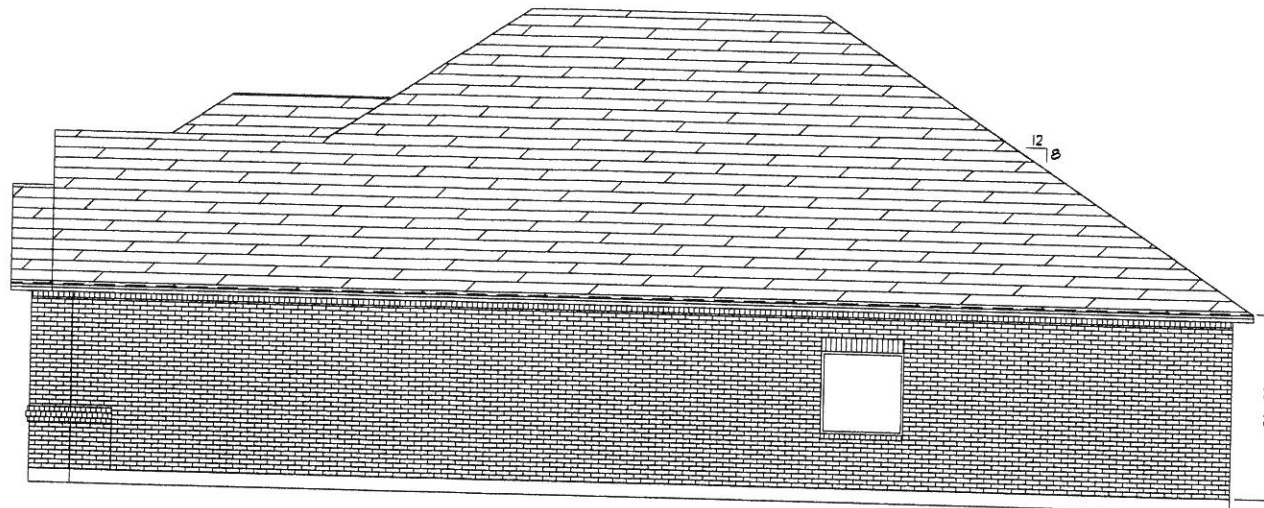
514 YVONNE DR.  
ROCKWALL, TX.

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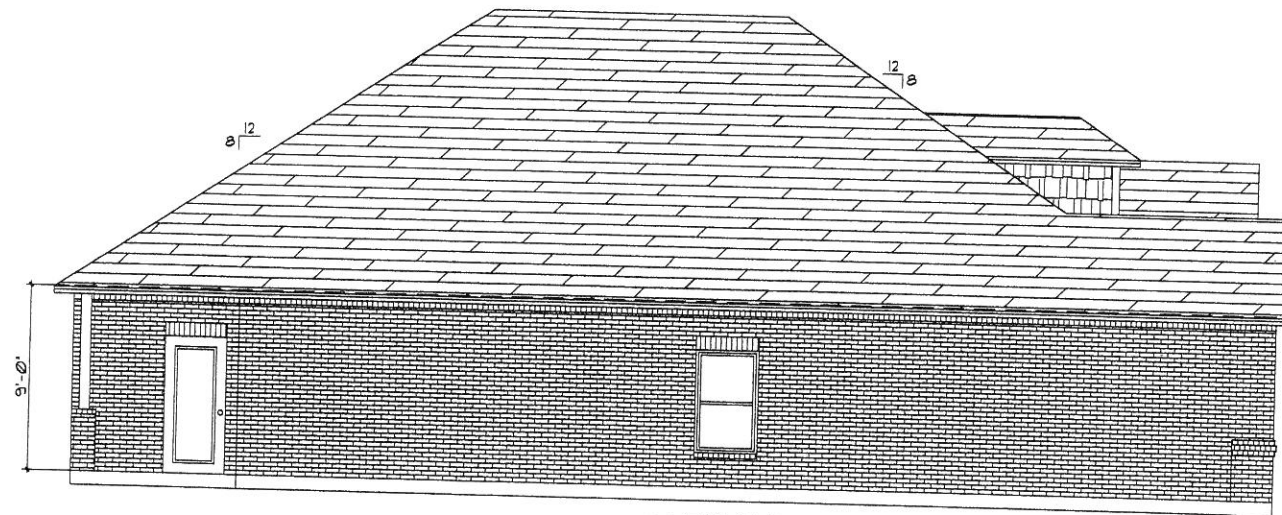
A

SHEET NUMBER:

A3



① RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



③ LEFT ELEVATION  
SCALE: 1/4"=1'-0"



DDS GROUP 214-966-0550  
123 W. MAIN STREET SUITE #121  
GRAND PRAIRIE TX. 75050  
WWW.DDSGROUP.US 469-999-0800

DESIGNER:  
DDS GROUP

PROJECT #:

514 YVONNE DR.  
ROCKWALL, TX.

ELEVATION:

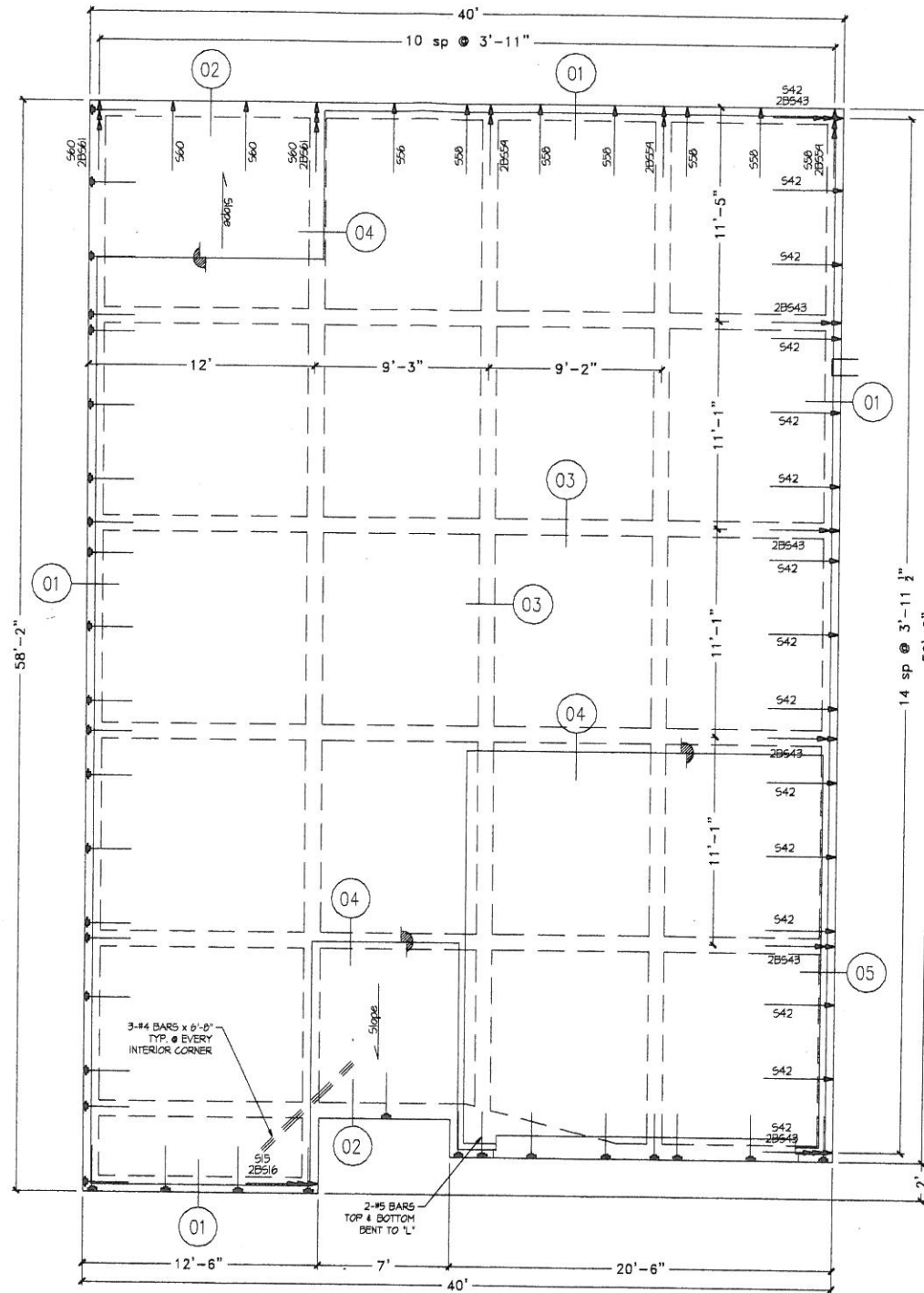
A

SHEET NUMBER:

A4



*J.S. Barton*  
 10/30/2020  
 JSB Engineer  
 F-20338



- Notes:
1. Slab thickness T= 4'
  2. Beam Depth D= 28'
  3. Beam Width W= 10'
  4. SXX Denotes slab strand
  5. BSXX Denotes beam strand

- PLAN LEGEND
1. Denotes one strand to be stressed
  2. Denotes two strands to be stressed
  3. Denotes three strands to be stressed
  4. Denotes factory seating end
  5. Denotes dimension to be verified
  6. Denotes concrete chair
  7. Denotes change in slab elevation

FOUNDATION PLAN  
 SCALE: 1/8" = 1'-0"



DDS GROUP 214-966-0550  
 123 W. MAIN STREET SUITE #121  
 GRAND PRAIRIE TX. 75050  
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DESIGNER:  
DDS GROUP

PROJECT #:

514 YVONNE DR.  
 ROCKWALL, TX.

ELEVATION:  
A

SHEET NUMBER:  
F1



**GENERAL NOTES**

- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH ASTM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH.
- STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER.
- CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE.
- ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS." I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION, WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF #4 DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG.

**SITE PREPARATION NOTES**

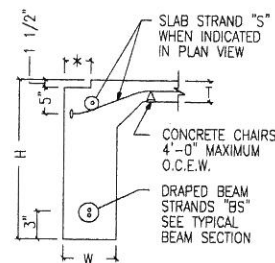
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
- SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION.

**CONSTRUCTION NOTES**

- SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION AT A MINIMUM OF 5% (5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUNDED IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR BARRIER.
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4' MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES.
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE.
- WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS.
- SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB.
- WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITHIN 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
- SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER. IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT.
- LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

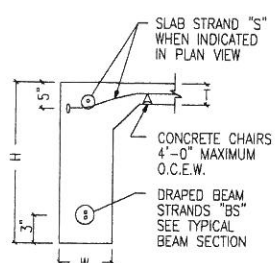
**STRESSING NOTES**

- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS.



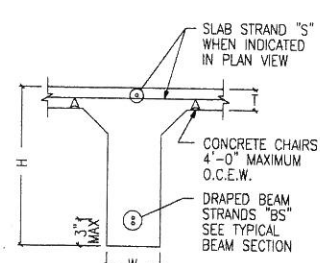
SECTION 01

NTS



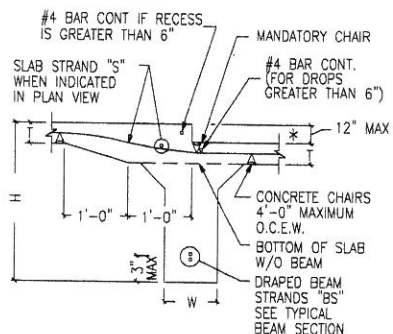
SECTION 02

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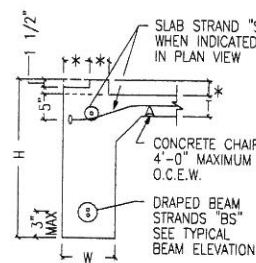
SECTION 03

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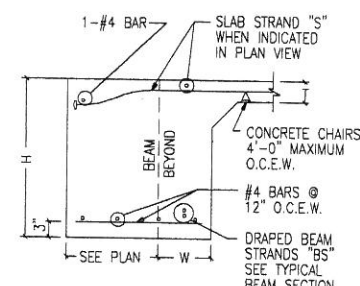
SECTION 04

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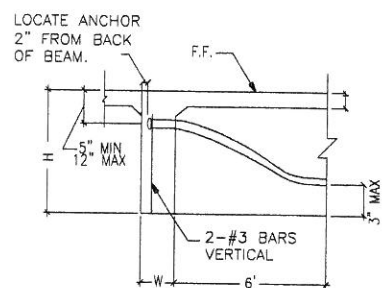
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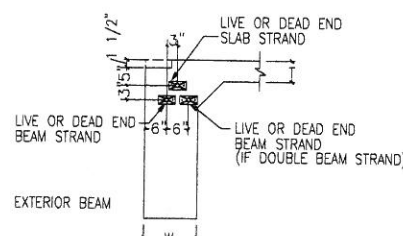
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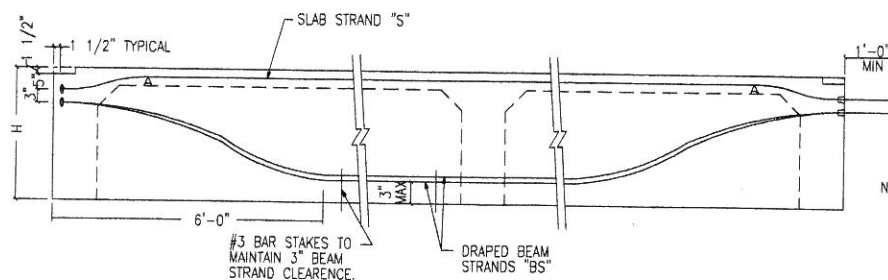
SECTION 07

NTS



STRAND END LAY-OUT

NTS



TYPICAL BEAM SECTION

NTS

NOTE: BEAM STRANDS (BS) SHALL BE TIED TOGETHER AS IF THEY ARE ONE STRAND. ANCHORS OF BEAM STRANDS (BS) SHALL BE PLACED SIDE BY SIDE DIRECTLY UNDERNEATH THE SLAB STRAND (S).  
SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 3" CLEARANCE.



*J. S. Barton*  
10/30/2020  
JSB Engineer  
F-20338



DDS GROUP 214-966-0550  
123 W. MAIN STREET SUITE #121  
GRAND PRAIRIE TX. 75050  
WWW.DDSGUS 469-999-0800

DESIGNER:  
DDS GROUP

PROJECT #

514 YVONNE DR.  
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

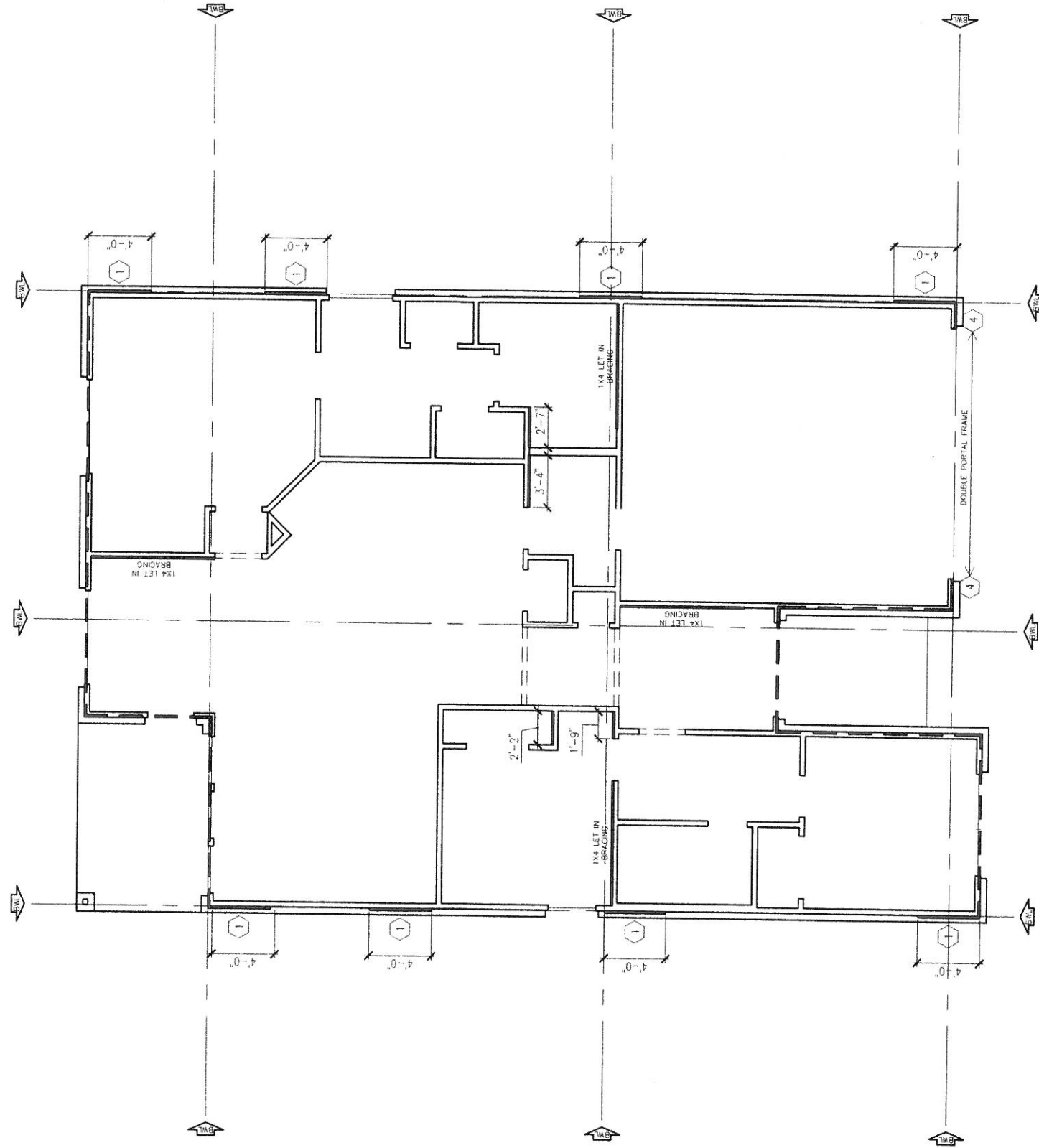
F2

NOTE:  
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 12'-0" PROVIDE 2X4 CONTINUOUS STUDS @ 16" O.C. FOR TOP PLATE HEIGHTS ABOVE 12'-0" TO 17'-0", PROVIDE 2X6 CONTINUOUS STUDS @ 16" O.C.  
 2) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH TABLE R602.3.1 OF 2000, 2003, 2006, 2009 & 2012 I.R.C.

FASTENING FOR THERMO FLY		
MAXIMUM STUD SPACING	FASTENING TYPE	MAXIMUM FASTENER SPACING
16"	NO. 16 GAGE STAPLES 1" CROWN x 1 1/2" LEGS	3 - PANEL EDGES 6 - INTERMEDIATE SUPPORTS

1. WALL BRACING PLAN DESIGN TO COMPLY W/ 2015 IRC.
2. DESIGN BASED ON 115 MPH WIND SPEED.

SYMBOL KEY	
	SIMPSON STHD10 or HTTS HOLD-DOWN
	CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS
	BRACED WALL PANEL - SEE DETAILS
	BRACED WALL LINE
	DASHED LINE INDICATES STRUCTURAL SHEATHING



12/31/2020  
 J.S.B. Engineer  
 F-25338

1 FIRST FLOOR PLAN - SHEAR WALL PLAN  
 SCALE: 1/8" = 1'-0"

ELEVATION:  
 A

SHEET NUMBER:  
 S1

514 YVONNE DR  
 WALL BARCE

PROJECT #:

DESIGNER:  
 DDS GROUP

DDS GROUP  
 132 E MAIN ST.  
 GRAND PRAIRIE TX. 75050  
 WWW.DDSGROUP.COM



# MECHANICAL LEGEND, NOTES, AND SPECIFICATIONS

(ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED ON PLANS)

MECHANICAL LEGEND	MECHANICAL GENERAL NOTES	MECHANICAL SPECIFICATIONS																																																																		
<p>TYPE —  — NECK SIZE   — CFM</p> <p> — DIFFUSER/GRILLE TAG</p> <p> — SUPPLY AIR DIFFUSER</p> <p> — RETURN AIR GRILLE</p> <p> — FLEX DUCT</p> <p> — FIRE DAMPER</p> <p> — SMOKE DAMPER</p> <p> — SUPPLY AIR FLOW</p> <p> — RETURN AIR FLOW</p> <p> — ELBOW DOWN</p> <p> — ELBOW UP</p> <p> — MANUAL VOLUME DAMPER</p> <p> — THERMOSTAT</p> <p> — TEMPERATURE SENSOR</p> <p> — AIR EXTRACTOR</p> <p> — TURNING VANES</p> <p> — TRANSITION</p> <p> — WALL GRILLE</p> <p> — MOTORIZED DAMPER</p> <p> — DUCT SMOKE DETECTOR</p>	<p>1. MATERIALS AND INSTALLATION OF ALL MECHANICAL EQUIPMENT SHALL CONFORM WITH ALL NATIONAL, STATE AND LOCAL CODES.</p> <p>2. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONSTRUCTION DELAYS.</p> <p>3. PROVIDE AND INSTALL DAMPERS, TURNING VANES AND SPLITTERS AS REQUIRED FOR EFFICIENT OPERATION AND AIR DISTRIBUTION.</p> <p>4. EXHAUST FANS FURNISHED BY THIS CONTRACTOR, ELECTRICAL CONNECTIONS BY ELECTRICAL CONTRACTOR.</p> <p>5. INSTALL FLEXIBLE CONNECTIONS AT UNIT ON SUPPLY AND RETURN AIR DUCTS.</p> <p>6. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL NECESSARY FOR CONSTRUCTION. AIR DUCTS NOT SHOWN ON PLAN, BUT IMPLIED AND NECESSARY FOR PROPER INSTALLATION AND OPERATION OF THE SYSTEMS, SHALL BE CONSIDERED AS PART OF THE MECHANICAL CONTRACTORS RESPONSIBILITY.</p> <p>7. EACH UNIT SHALL HAVE INSTALLED (1) FULLY PROGRAMMABLE, 7-DAY, 24 HOUR, THERMOSTAT EQUAL TO HONEYWELL T7350 WITH LOCKABLE PLASTIC COVERS.</p> <p>8. PROVIDE TURNING VANES IN ALL MITERED CORNERS.</p> <p>9. PROVIDE VOLUME DAMPERS WITH LOCKING HANDLES IN BRANCH DUCTS.</p> <p>10. CONSTRUCT ALL DUCT WORK IN ACCORDANCE WITH ASHRAE STANDARDS. ALL DUCTWORK TO BE SEALED WITH MASTIC SEALANT.</p> <p>11. ALL AIR DIFFUSERS PENETRATING FIRE/SMOKE WALLS TO BE EQUIPPED WITH APPROPRIATE FIRE/SMOKE DAMPER AS DUCT WORK PASSES THROUGH FIRE RATED WALL OR CEILINGS. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF FIRE WALLS AND CEILINGS. THESE PLANS ARE NOT INTENDED AS FIRE PROTECTION DRAWINGS.</p> <p>12. LIMIT FLEXIBLE DUCT WORK TO 7' FROM DIFFUSERS, ALL FLEX DUCT TO HAVE A MINIMUM OF R-8 INSULATION.</p> <p>13. THE CONTRACTOR SHALL INSTALL ALL SCHEDULE 40 PVC CONDENSATE DRAINS IN ATTIC AND ENCLOSED SPACES. INSTALL COPPER CONDENSATE DRAINS IN ALL EXPOSED AREAS. INSULATE IN ATTIC SPACES.</p> <p>14. PROVIDE CONDENSATE OVERFLOW DRAIN PAN IN ADDITION TO UNIT CONDENSATE DRAIN.</p> <p>15. PROVIDE ALL ROOF JACKS FOR EXHAUST FANS AND FRESH AIR DUCTS WITH BUG SCREEN.</p> <p>16. SUPPLY FRESH AIR WITH VOLUME DAMPER PER SCHEDULE TO EACH UNIT'S RETURN AIR PLENUM.</p> <p>17. SUPPLY COMBUSTION AIR INTO EACH MECHANICAL SPACE PER DETAIL, PROVIDE ONE INCH SQUARE OF DUCT AREA PER 1000 BTU OF GAS INPUT.</p> <p>18. DO NOT PLACE HUB DRAIN FOR CONDENSATE UNDER RETURN AIR PLENUM.</p> <p>19. PLACE VERTICAL GAS UNIT ON RETURN AIR PLENUM. SUPPLY SHOP DRAWINGS SHOWING ARRANGEMENT OF MECHANICAL SPACES. VERIFY THAT ALL COMPONENTS FIT IN MECHANICAL SPACE PRIOR TO BEGINNING CONSTRUCTION.</p> <p>20. PLACE UNITS ON VIBRATION ISOLATION PADS.</p> <p>21. INSTALL SHEET METAL DUCT PER SMCNA. RECTANGULAR SIZES TO HAVE EXTERIOR 1" INSULATION, ROUND SIZES TO HAVE 1" EXTERIOR INSULATION. IN AREAS WHERE DUCT WORK WILL BE EXPOSED, DUCT SHALL HAVE 1" INTERIOR DUCT LINER WITH ANTI-MICROBIAL COATING.</p> <p>22. BECAUSE ALL FURNACES ARE 2000 CFM AND UNDER, NO SMOKE DUCT DETECTORS ARE REQUIRED.</p> <p>23. ALL FRESH AIR INTAKES SHALL BE A MINIMUM OF 15' AWAY FROM TOILET DISCHARGES.</p> <p>24. INSTALL ALL ROOF MOUNTED EQUIPMENT A MINIMUM OF 10' AWAY FROM THE EXTERIOR BUILDING EDGE. IF PARAPET IS A MINIMUM OF 42" TALL THEN EQUIPMENT CAN BE MOUNTED TO WITHIN 4' OF SIDE WALL OR MANUFACTURERS' MINIMUM, WHICHEVER IS GREATER.</p>	<p><b>GENERAL CONDITIONS:</b></p> <p>A. THE REQUIREMENTS AS SET FORTH UNDER GENERAL CONDITIONS, INSTRUCTIONS TO BIDDERS AND GENERAL REQUIREMENTS ARE A PART OF THIS CONTRACT. IF NO GENERAL SPECIFICATIONS ARE INCLUDED, THE AIA STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR, LATEST EDITION, SHALL DICTATE GENERAL CONDITIONS.</p> <p>B. BIDS SHALL BE BASED ON A COMPLETE/FULL SET OF DRAWINGS.</p> <p>C. CONTRACTOR MUST READ THE ENTIRE SPECIFICATIONS AND DRAWINGS COVERING OTHER BRANCHES OF WORK. HE IS RESPONSIBLE FOR COORDINATION OF HIS WORK WITH WORK PERFORMED BY OTHER TRADES.</p> <p><b>SCOPE OF WORK:</b></p> <p>A. FURNISH ALL LABOR, MATERIALS, TESTING, EQUIPMENT, INCIDENTALS AND TOOLS TO PERFORM MECHANICAL WORK SHOWN, NOTED OR SCHEDULED FOR A COMPLETE AND FINISHED INSTALLATION. MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE NEW, UNLESS SPECIFICALLY DESIGNATED FOR REUSE OR RELOCATION, UNLESS DIRECTED OTHERWISE BY THE OWNER OR ARCHITECT.</p> <p>B. THE WORK IS TO BE IN ACCORDANCE WITH THE LATEST EDITION ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.</p> <p>C. INCLUDE ANY LABOR AND MATERIALS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIVE MECHANICAL SYSTEMS.</p> <p><b>PERMITS &amp; FEES:</b></p> <p>A. SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES, ASSESSMENTS AND INSPECTION CERTIFICATES THAT RELATE TO THE MECHANICAL CONTRACT.</p> <p>B. FURNISH APPROVED CERTIFICATE OF FINAL INSPECTION, AND TURN OVER TO OWNER AT COMPLETION OF PROJECT.</p> <p><b>DRAWINGS:</b></p> <p>A. THE MECHANICAL PLANS AND DETAILS ARE DIAGRAMMATIC, NOT SHOWING EVERY ITEM IN EXACT LOCATION OR DETAIL. MEASUREMENTS AND LOCATIONS MUST BE FIELD VERIFIED AND COORDINATED WITH EXISTING FIELD CONDITIONS AND ALL NEW WORK OF OTHER TRADES. PROVIDE FITTINGS, OFFSETS, ETC. AS NECESSARY TO PROVIDE A COMPLETE SYSTEM.</p> <p><b>SHOP DRAWINGS:</b></p> <p>A. SUBMIT FIVE COPIES OF MATERIAL LISTS AND SHOP DRAWINGS FOR MAJOR EQUIPMENT TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS EARLY ENOUGH IN PROJECT TO ALLOW AMPLE TIME FOR OWNER'S REVIEW WITHOUT CAUSING TIME DELAYS OR CONFLICTS IN THE JOB PROGRESS. SUBMITTALS SHALL BE IN ACCORDANCE WITH GENERAL CONDITIONS AND THE MANUFACTURERS LISTED ON THE DRAWINGS AND SHALL BEAR THE STAMP OF THE CONTRACTOR SHOWING THAT HE HAS REVIEWED AND APPROVED THEM AND THAT THEY ARE IN CONFORMANCE WITH THE CONTRACT DRAWINGS. LACK OF SUCH CONTRACTOR'S APPROVAL WILL BE CAUSE FOR REJECTION WITHOUT REVIEW BY THE OWNER. SUBMIT SHOP DRAWINGS FOR ALL SCHEDULED EQUIPMENT.</p> <p>B. MANUFACTURERS LISTED ON THE DRAWINGS WERE USED AS THE BASIS OF DESIGN. THE CONTRACTOR MAY, AT THEIR OPTION, PROVIDE AN EQUAL MANUFACTURED PRODUCT. THE CONTRACTOR IS ENTIRELY RESPONSIBLE FOR ANY AND ALL COSTS REQUIRED TO ALTER THE SYSTEM DESIGN, WHETHER IDENTIFIED OR NOT IDENTIFIED BY THE ENGINEER OR ARCHITECT, SHOULD AN EQUAL MANUFACTURER BE SUPPLIED.</p> <p><b>PIPE HANGERS AND SUPPORTS:</b></p> <p>A. PROVIDE ADJUSTABLE CLEVIS HANGERS SUPPORTED BY ALL-THREAD ATTACHED TO BUILDING STRUCTURE. SUPPORT HANGERS AND SUPPORT SPACING SHALL BE PER MSS SP-69, AND PER STATE AND LOCAL CODES.</p> <p><b>MECHANICAL INSULATION:</b></p> <p>A. INSULATE SUPPLY AND RETURN DUCTWORK WITH 1-1/2" THICK, 0.75 LB. DENSITY BLANKET TYPE, ASTM C553, TYPE 1, CLASS B-2 FIBERGLASS INSULATION. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO PROVIDE A VAPOR-PROOF INSTALLATION. INTERNALLY INSULATE THE FIRST 15 FEET OF SUPPLY AND RETURN DUCT AT HVAC UNIT WITH 1" DUCT LINER (WITH ANTI-MICROBIAL COATING) FOR SOUND ATTENUATION.</p> <p>B. INSULATE PIPING WITH CLOSED CELL ELASTOMERIC TUBING INSULATION, ASTM C534 TYPE 1 WITH FLAME SPREAD LESS THAN 25 AND SMOKE DEVELOPMENT LESS THAN 50. REFRIGERATION SUCTION PIPING INSULATION TO BE 1/2". INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.</p> <p><b>REFRIGERANT PIPING:</b></p> <p>A. USE TYPE 'K' (MIN.) COPPER TUBE. DEHYDRATED REFRIGERANT TUBING, DUCTILE AND FLEXIBLE, CHEMICALLY DRY AND CLEAN WITH SEALED ENDS.</p> <p>B. LEAK TEST UNDER VACUUM.</p> <p><b>HVAC EQUIPMENT:</b></p> <p>A. FURNISH AND INSTALL EQUIPMENT AS SHOWN ON THE DRAWINGS. FURNISH AND INSTALL DUCT SMOKE DETECTORS FOR ALL HVAC UNITS OVER 2,000 CFM, AND PER STATE AND LOCAL CODES. PIPE CONDENSATE TO NEAREST APPROVED DISCHARGE POINT, WITH APPROPRIATE SIZED TRAP, AND 3/4" TYPE 'K' COPPER PIPING (MIN.).</p> <p>B. GAS-FIRED APPLIANCES: PROVIDE FLUE PIPING PER APPLICABLE CODES. ENSURE THAT THE COMBUSTION AIR FOR GAS-FIRED APPLIANCES IS IN ACCORDANCE WITH APPLICABLE CODES.</p> <p><b>DUCTWORK:</b></p> <p>A. GALVANIZED SHEET STEEL: LOCK-FORMING QUALITY; COMPLYING WITH ASTM A 653/A 653M AND HAVING G90 COATING DESIGNATION. USE 'DUCTMATE' TYPE FLANGED CONNECTIONS, UNLESS NOTED OTHERWISE. ALL DUCT DIMENSIONS ARE INSIDE CLEAR DIMENSIONS.</p> <p>B. COMPLY WITH SMCNA'S "HVAC DUCT CONSTRUCTION STANDARDS—METAL AND FLEXIBLE" FOR ACCEPTABLE MATERIALS, MATERIAL THICKNESSES, AND DUCT CONSTRUCTION METHODS, UNLESS OTHERWISE INDICATED. SHEET METAL MATERIALS SHALL BE FREE OF PITTING, SEAM MARKS, ROLLER MARKS, STAINS, DISCOLORATIONS, AND OTHER IMPERFECTIONS.</p> <p>C. FLEXIBLE DUCT MAY BE USED FOR FINAL CONNECTIONS TO AIR DEVICES. FLEX DUCT MUST BE CLASS 0 OR 1, CONFORM TO UL 181, HAVE NO SHORT RADIUS 90 DEGREE BENDS, AND SHALL NOT EXCEED 72" IN LENGTH.</p> <p><b>DUCT ACCESSORIES:</b></p> <p>A. MANUFACTURED TURNING VANES: FABRICATE 1-1/2-INCH WIDE, SINGLE VANE, CURVED BLADES OF GALVANIZED SHEET STEEL SET 3/4 INCH; SUPPORT WITH BARS PERPENDICULAR TO BLADES SET 2 INCHES O.C.; AND SET INTO VANE RUNNERS SUITABLE FOR DUCT MOUNTING. INSTALL TURNING VANES IN ALL RECTANGULAR DUCTS UNLESS ELBOWS WITH CENTERLINE RADIUS OF R = 1.5D ARE USED.</p> <p>B. INSULATED-DUCT CONNECTORS: UL 181, CLASS 1, BLACK POLYMER FILM SUPPORTED BY HELICALLY WOUND, SPRING-STEEL WIRE; FIBROUS-GLASS INSULATION; POLYETHYLENE VAPOR BARRIER FILM; 4-INCH WG PRESSURE RATING.</p> <p>C. DIFFUSERS, REGISTERS, AND GRILLES AS SCHEDULED ON THE DRAWINGS.</p> <p><b>HVAC CONTROLS:</b></p> <p>A. FURNISH AND INSTALL 7-DAY FULLY PROGRAMMABLE ELECTRONIC THERMOSTAT, HEAT-OFF-COOL-AUTO SYSTEM SWITCH, COMPATIBLE WITH HVAC EQUIPMENT PROVIDED. ALL HVAC CONTROL WIRING IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR. CONTROLS SHALL BE CAPABLE OF ANTICIPATING SEASONAL TRENDS.</p> <p><b>TESTING, ADJUSTING, AND BALANCING:</b></p> <p>A. AS PART OF THIS CONTRACT, THE ENTIRE SYSTEM SHALL BE TESTED, ADJUSTED, AND BALANCED BY AN INDEPENDENT CONTRACTOR AND SHALL CONFORM TO AABC STANDARDS. SYSTEMS SHALL BE ADJUSTED TO WITHIN +/- 8% OF DESIGN CONDITIONS.</p> <p><b>INSTALLATION:</b></p> <p>A. ALL MECHANICAL WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING AND REPAIRING. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL SUCH AS CHANNELS, RODS, ETC., NECESSARY FOR THE INSTALLATION OF WORK AND SHALL BE FASTENED TO BUILDING STRUCTURE, BUT NOT PIPING OR DUCTWORK. ALL PIPING SHALL BE CONCEALED WHEREVER POSSIBLE. EXPOSED PIPES SHALL BE IN STRAIGHT LINES PARALLEL WITH OR AT RIGHT ANGLES TO BUILDING LINES.</p> <p>B. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ANY/ALL NECESSARY MECHANICAL DEMOLITION WORK THAT IS REQUIRED TO FACILITATE THE NEW INSTALLATION. FIELD COORDINATE PRIOR TO BIDS. REMOVE AND/OR MODIFY EQUIPMENT, ETC., AS REQUIRED FOR A COMPLETE INSTALLATION. COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH OWNER AND GENERAL CONTRACTOR TO AVOID CONFLICTS.</p> <p>C. COMPLETED SYSTEMS SHALL BE TESTED, BALANCED AND GUARANTEED.</p> <p><b>GUARANTEE:</b></p> <p>A. MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THE MECHANICAL CONTRACTOR'S EXPENSE.</p> <p>B. FOR THE SAME PERIOD, MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PREMISES CAUSED BY DEFECTS IN WORKMANSHIP OR IN THE WORK OR EQUIPMENT FURNISHED AND/OR INSTALLED BY THE MECHANICAL CONTRACTOR.</p>																																																																		
<p style="text-align: center;"><b>MECHANICAL ABBREVIATIONS</b></p> <table style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 10%;">AC</td><td>ABOVE CEILING</td></tr> <tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td></tr> <tr><td>AHU</td><td>AIR HANDLING UNIT</td></tr> <tr><td>BF</td><td>BELOW FLOOR</td></tr> <tr><td>BFC</td><td>BELOW FINISHED CEILING</td></tr> <tr><td>BG</td><td>BELOW GRADE</td></tr> <tr><td>BRF</td><td>BELOW RAISED FLOOR</td></tr> <tr><td>CD</td><td>CONDENSATE DRAIN</td></tr> <tr><td>CRAC</td><td>COMPUTER ROOM AIR CONDITIONER</td></tr> <tr><td>CU</td><td>CONDENSING UNIT</td></tr> <tr><td>DS</td><td>DISCONNECT SWITCH</td></tr> <tr><td>EA</td><td>EXHAUST AIR</td></tr> <tr><td>EX</td><td>EXISTING</td></tr> <tr><td>EDH</td><td>ELECTRIC DUCT HEATER</td></tr> <tr><td>EF</td><td>EXHAUST FAN</td></tr> <tr><td>ERV</td><td>ENERGY RECOVERY VENTILATOR</td></tr> <tr><td>EUH</td><td>ELECTRIC UNIT HEATER</td></tr> <tr><td>FA</td><td>FRESH AIR</td></tr> <tr><td>FCU</td><td>FAN COIL UNIT</td></tr> <tr><td>FPB</td><td>FAN POWERED BOX</td></tr> <tr><td>GC</td><td>GENERAL CONTRACTOR</td></tr> <tr><td>HP</td><td>HEAT PUMP</td></tr> <tr><td>MVD</td><td>MANUAL VOLUME DAMPER</td></tr> <tr><td>N</td><td>NEW</td></tr> <tr><td>QBD</td><td>OPPOSED BLADE DAMPER</td></tr> <tr><td>R</td><td>RELOCATED</td></tr> <tr><td>RA</td><td>RETURN AIR</td></tr> <tr><td>RTU</td><td>ROOF TOP UNIT</td></tr> <tr><td>SA</td><td>SUPPLY AIR</td></tr> <tr><td>UH</td><td>UNIT HEATER</td></tr> <tr><td>WSHP</td><td>WATER SOURCE HEAT PUMP</td></tr> <tr><td>VAV</td><td>VARIABLE AIR VOLUME</td></tr> <tr><td>VTR</td><td>VENT THRU ROOF</td></tr> </table>	AC	ABOVE CEILING	AFF	ABOVE FINISHED FLOOR	AHU	AIR HANDLING UNIT	BF	BELOW FLOOR	BFC	BELOW FINISHED CEILING	BG	BELOW GRADE	BRF	BELOW RAISED FLOOR	CD	CONDENSATE DRAIN	CRAC	COMPUTER ROOM AIR CONDITIONER	CU	CONDENSING UNIT	DS	DISCONNECT SWITCH	EA	EXHAUST AIR	EX	EXISTING	EDH	ELECTRIC DUCT HEATER	EF	EXHAUST FAN	ERV	ENERGY RECOVERY VENTILATOR	EUH	ELECTRIC UNIT HEATER	FA	FRESH AIR	FCU	FAN COIL UNIT	FPB	FAN POWERED BOX	GC	GENERAL CONTRACTOR	HP	HEAT PUMP	MVD	MANUAL VOLUME DAMPER	N	NEW	QBD	OPPOSED BLADE DAMPER	R	RELOCATED	RA	RETURN AIR	RTU	ROOF TOP UNIT	SA	SUPPLY AIR	UH	UNIT HEATER	WSHP	WATER SOURCE HEAT PUMP	VAV	VARIABLE AIR VOLUME	VTR	VENT THRU ROOF		
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**H-ENTERPRISE**  
 514 YVONNE DRIVE  
 ROCKWALL, TEXAS

**MECHANICAL SPECIFICATIONS**

No.	Date	Revision Description

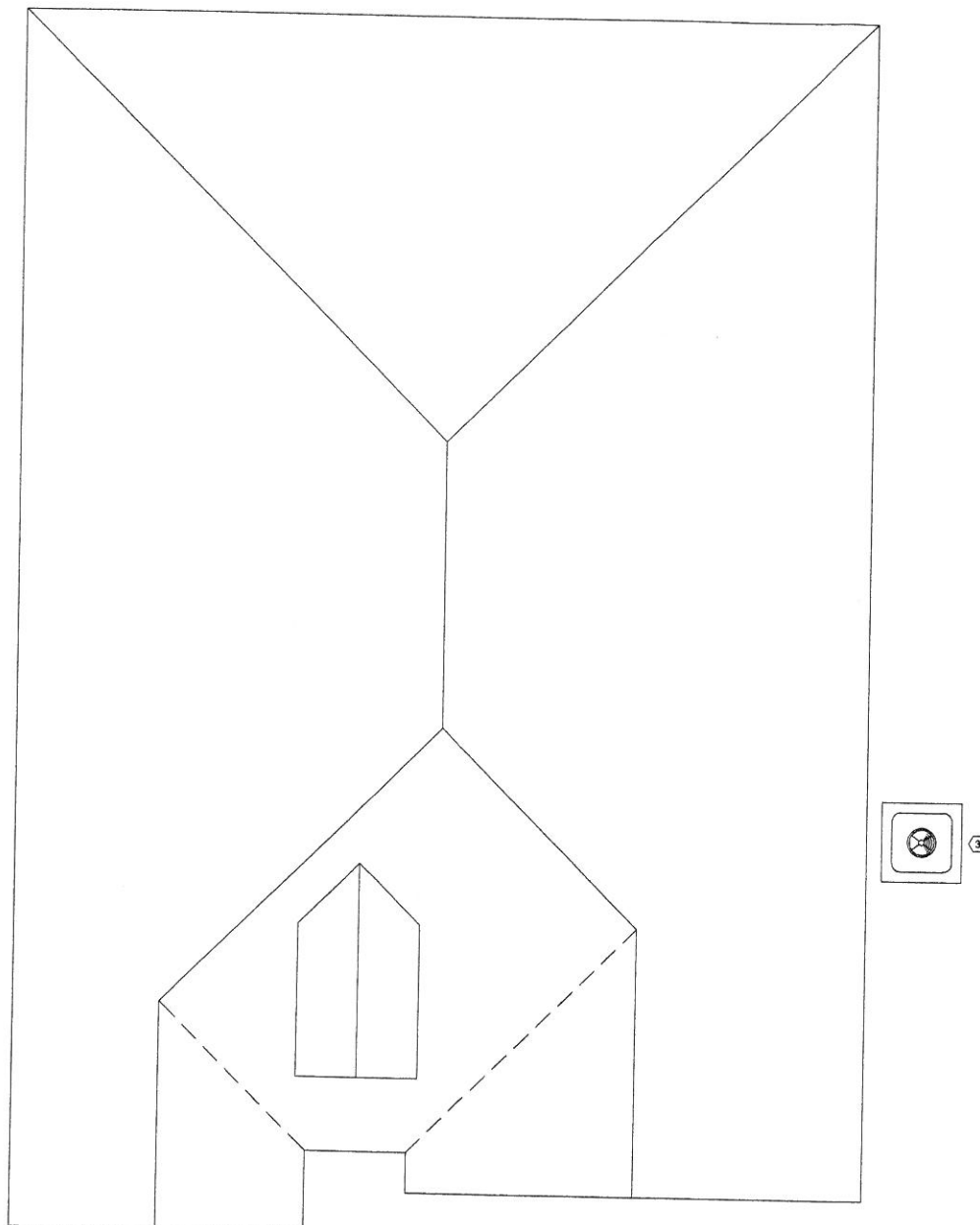
SHEET NO.

**M0.1**



INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



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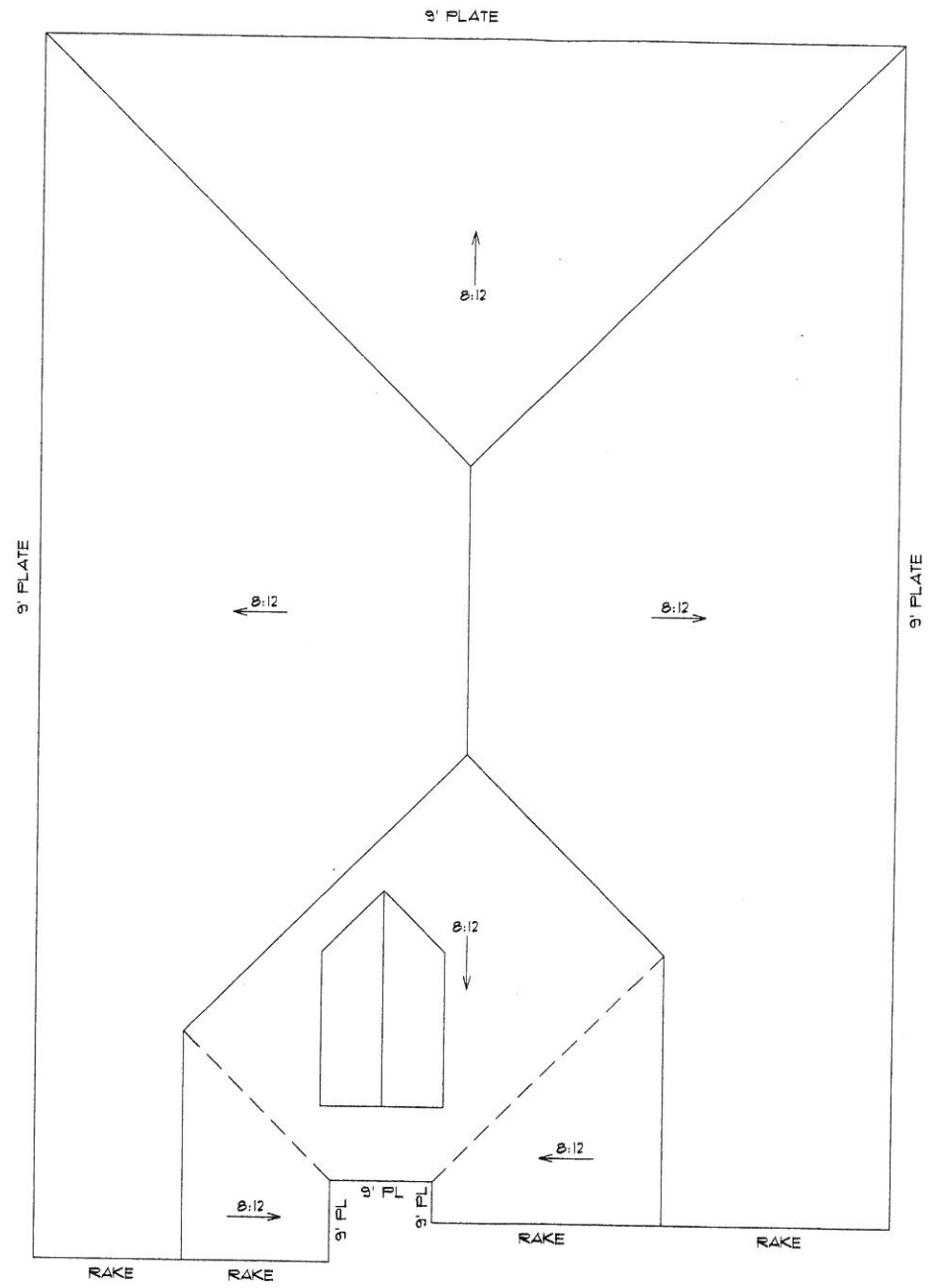
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Sheet Number	Sheet Title
MEP1.1	MEP ROOF PLAN
M0.1	MECHANICAL SPECIFICATIONS
M1.1	MECHANICAL PLAN


1  
MEP1.1
SCALE: 1/8" = 1'-0"  


**H-ENTERPRISE**  
 514 YVONNE DRIVE  
 ROCKWALL, TEXAS  
**MEP ROOF PLAN**

No.	Date	Revision Description

SHEET NO.  
**MEP1.1**



② ROOF PLAN  
SCALE: 1/4" = 1'-0"



DDS GROUP 214-966-0550  
123 W. MAIN STREET SUITE #121  
GRAND PRAIRIE TX. 75050  
WWW.DDSGROUP.US 469-999-0800

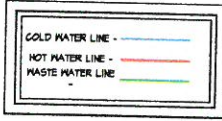
DESIGNER:  
DDS GROUP

PROJECT #:

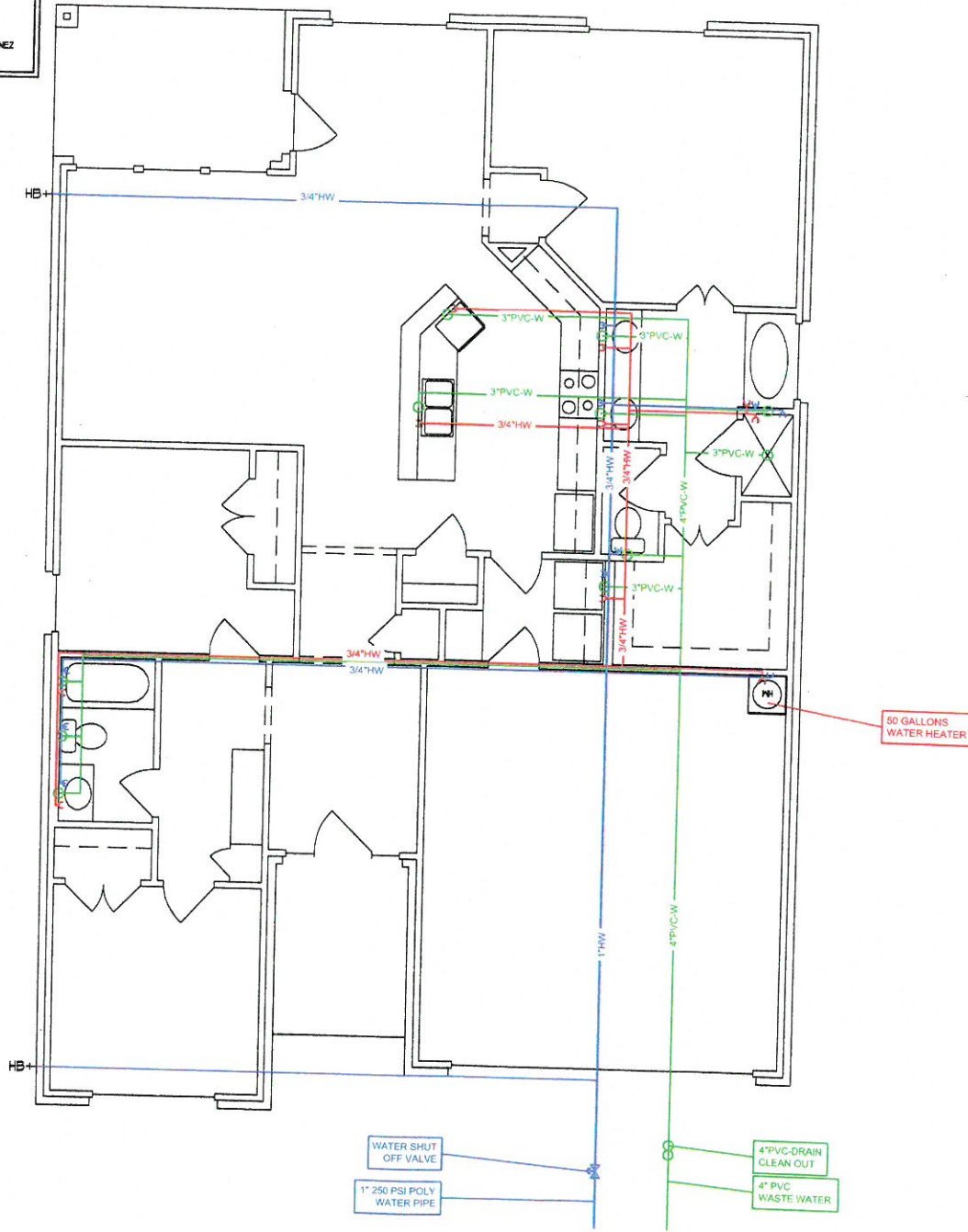
514 YVONNE DR.  
ROCKWALL, TX.

ELEVATION:  
A

SHEET NUMBER:  
A5



ACH PLUMBING CO.  
PO BOX 210944  
DALLAS TX 75211  
LIC. H-10289 ADAM MARTINEZ  
(972) 207-0286



**1 PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"



DDS GROUP 214-966-0550  
123 W. MAIN STREET SUITE #121  
GRAND PRAIRIE TX. 75050  
WWW.DDSGLUS 469-999-0800

DESIGNER:  
DDS GROUP

PROJECT #

**514 YVONNE DR.  
PLUMBING PLAN**

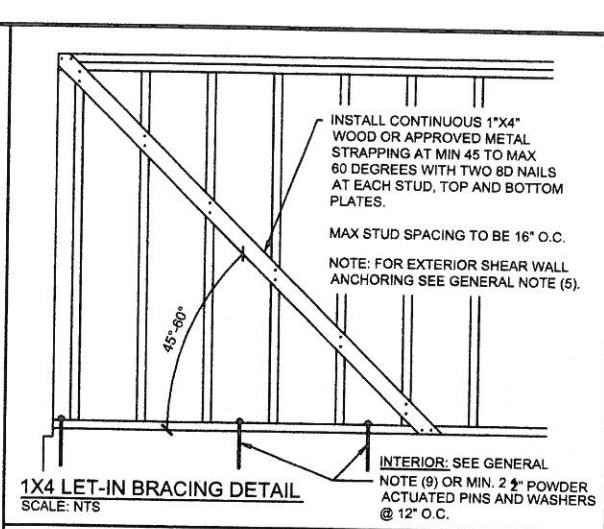
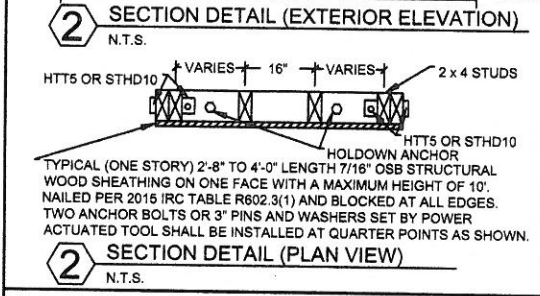
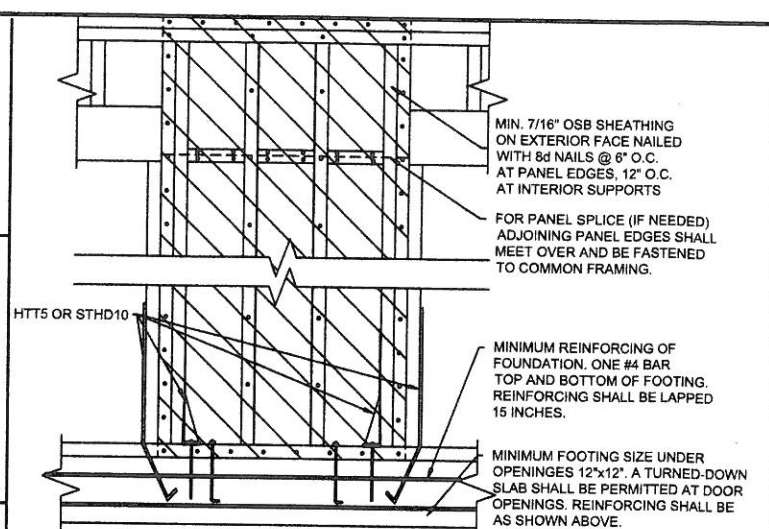
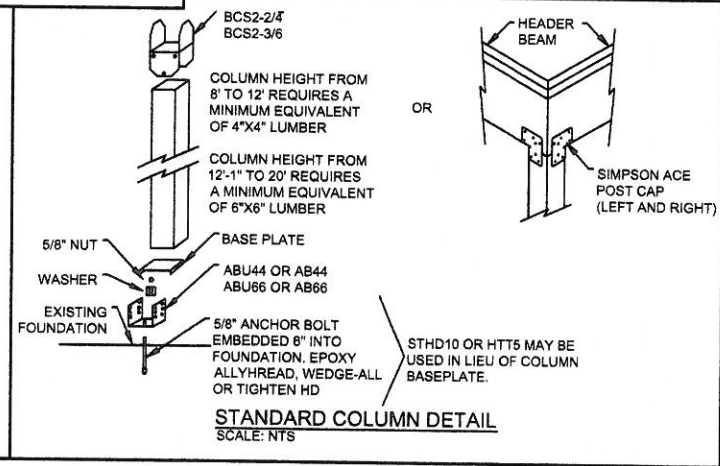
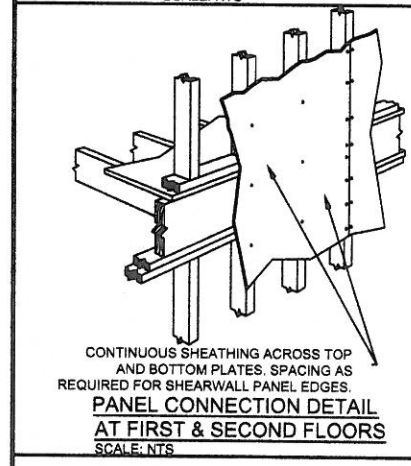
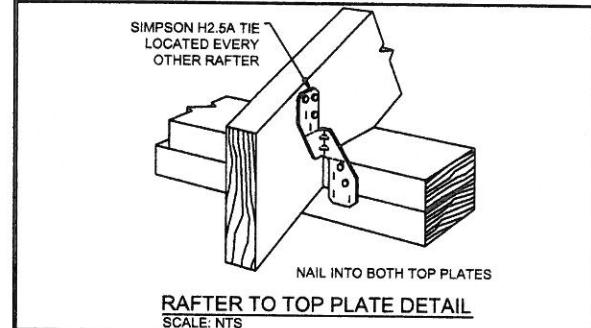
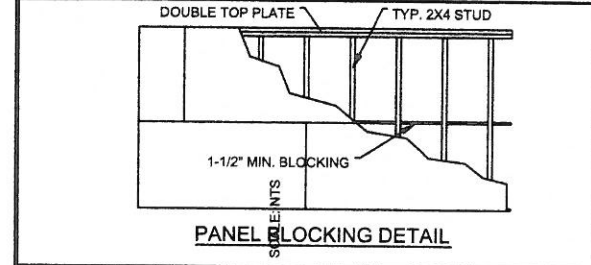
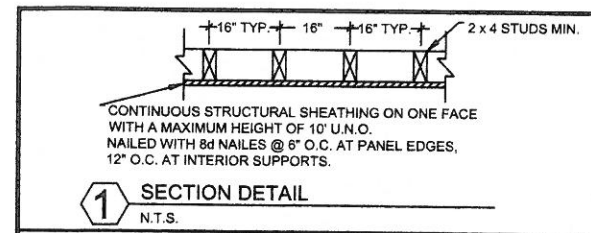
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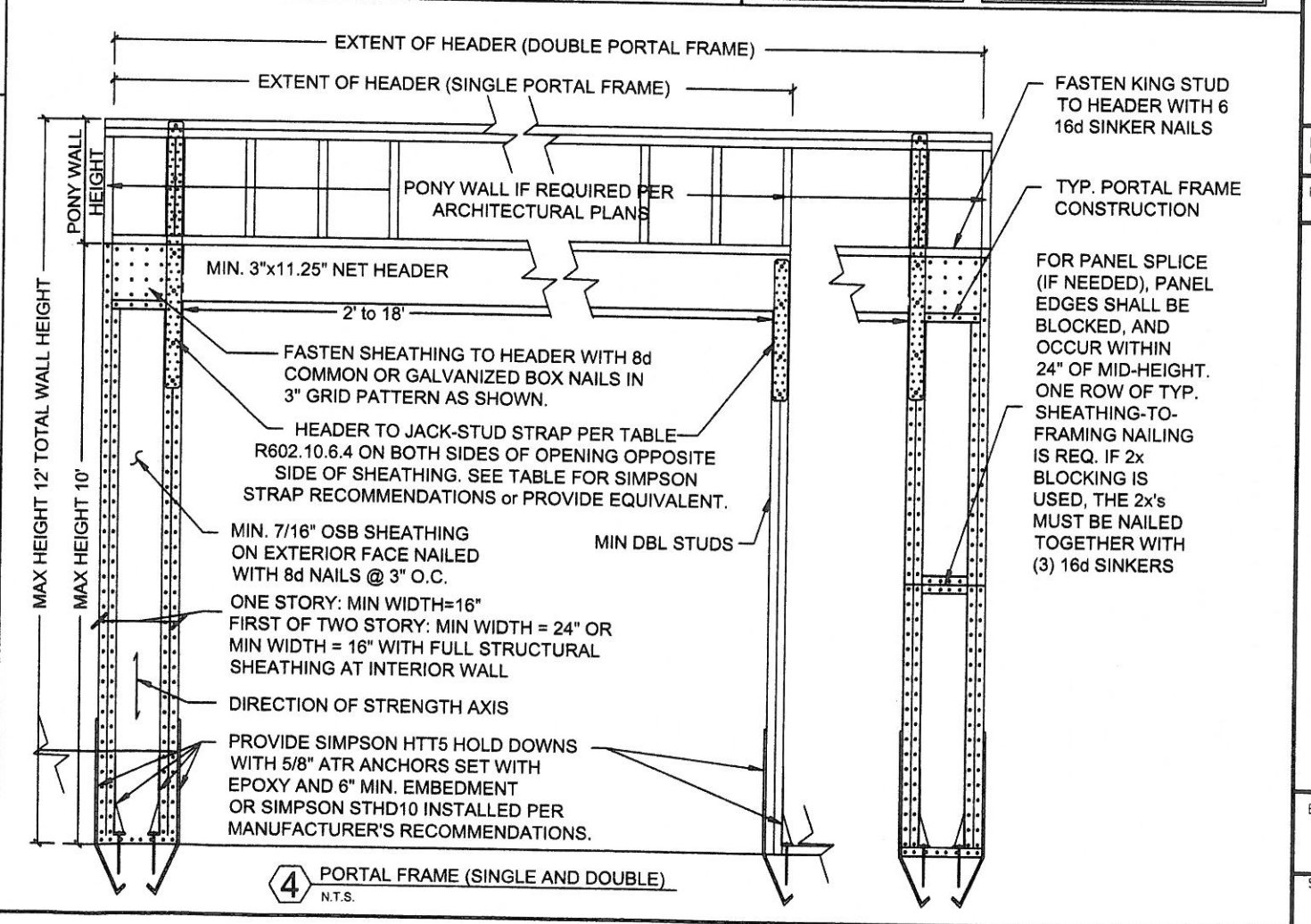
P1





**STRUCTURAL SHEATHING**  
IS CONSIDERED ONE OF THE FOLLOWING:  
• MIN 7/16" OSB  
• RED THERMOPLY  
• BLUE THERMOPLY

- GENERAL NOTES**
1. REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
  2. ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
  3. SHEAR WALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDDSILL THROUGH THE DOUBLE TOP PLATE.
  4. BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STHD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
  5. MUDDSILL AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDDSILL ANCHORS @ 8'-0" O.C.
  6. WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
  7. ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
  8. LET-IN BRACING MAY BE SUBSTITUTED WITH 4X8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR CS-18 X-BRACING.
  9. ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
    - 9.1. INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
    - 9.2. MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.
- NOTE: SIMPSON STHD10 OR HTT5 CAN BE ROTATED 90°
- NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL



STATE OF TEXAS  
J. S. BARTON  
58124  
LICENSED PROFESSIONAL ENGINEER

10/30/2020  
JSB ENGINEER  
F-20338

**DDS GROUP**

DDS GROUP  
132 E MAIN ST.  
GRAND PRAIRIE TX. 75050  
WWW.DDSGROUP.COM

DESIGNER:  
DDS GROUP

PROJECT #:

**514 YVONNE DR**  
**WALL BRACE**

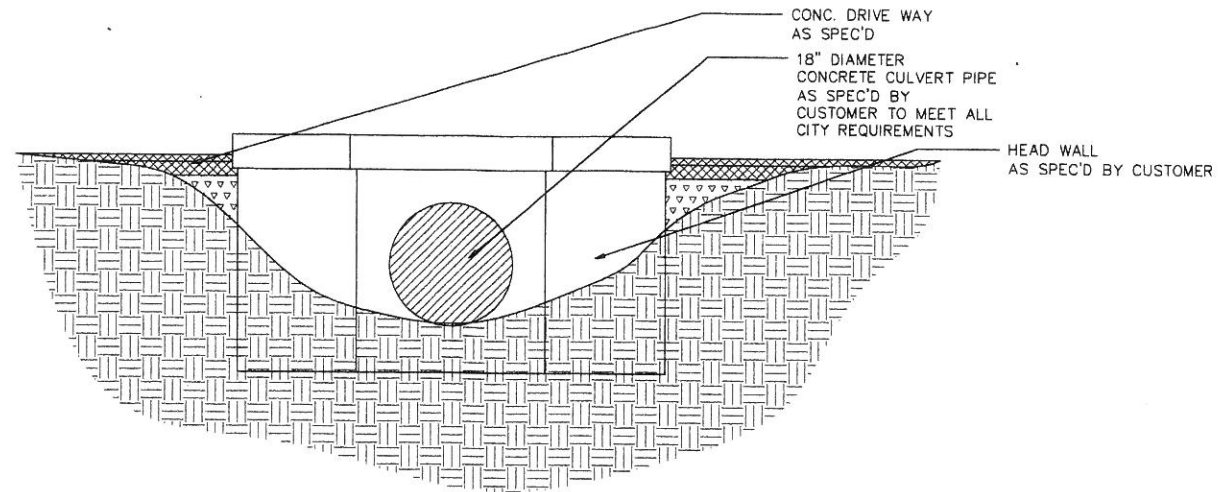
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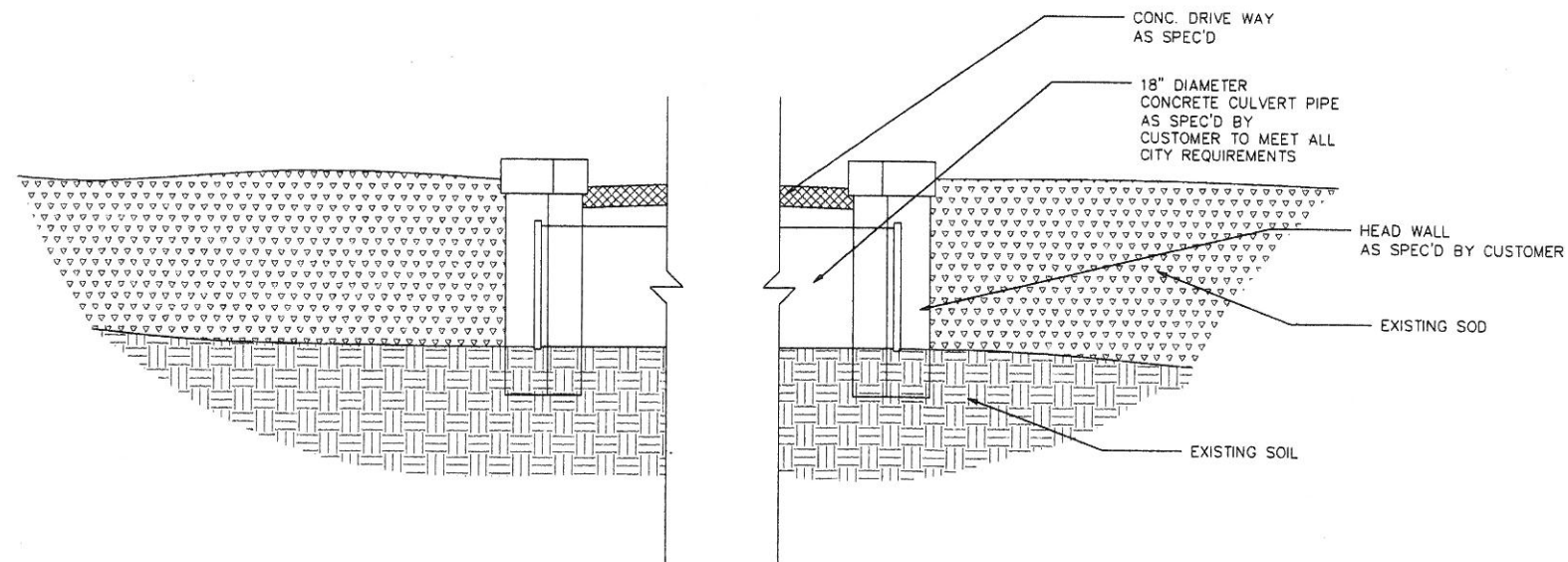




*J.S. Barton*  
12/30/2020  
J.S.B. Engineer  
F-20338



**1 PROPOSED CULVERT HEADWALL ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 PROPOSED CULVERT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



DDS GROUP  
2921 BRUSH CREEK ST.  
GRAND PRAIRIE TX. 75052  
WWW.DDSGROUP.COM

DESIGNER:  
DDS GROUP

PROJECT #:

514 YVONNE DR  
ROCKWALL, TX.

ELEVATION:

A

SHEET NUMBER:

D1