



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N/A

SUBDIVISION N/A

LOT ---

BLOCK ---

GENERAL LOCATION NE Quadrant of John King Blvd & US Hwy 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-10 & John King/US 276 overlays

CURRENT USE Vacant

PROPOSED ZONING No change

PROPOSED USE Self-Storage

ACREAGE 3.682

LOTS [CURRENT] 0

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER The Cambridge Companies, Inc.

APPLICANT BACA

CONTACT PERSON James J. Melino

CONTACT PERSON David Baca

ADDRESS 8750 N Central Expy, Ste. 1735

ADDRESS 100 N. Travis St, No. 500

CITY, STATE & ZIP Dallas, TX 75231

CITY, STATE & ZIP Sherman, Texas 75090

PHONE 972.832.8933

PHONE 903.893.5800

E-MAIL rjones@advantagestorage.net

E-MAIL david@baca.team

NOTARY VERIFICATION [REQUIRED]

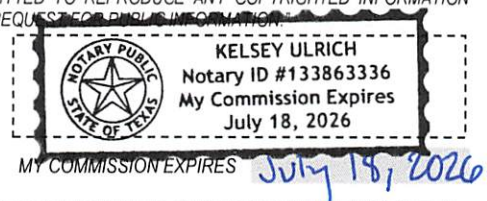
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES J. MELINO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

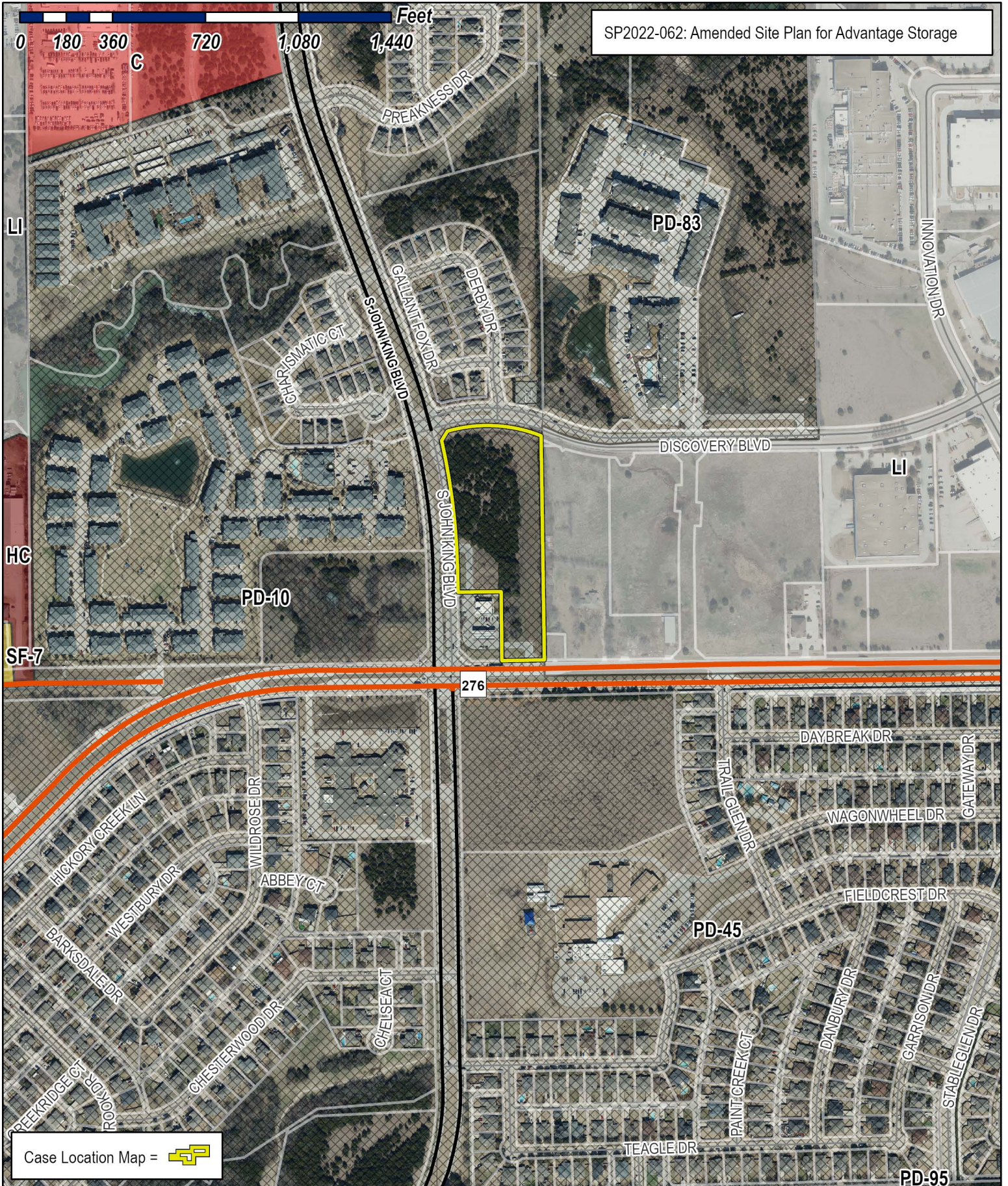
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF DECEMBER, 2022.

OWNER'S SIGNATURE Dr. James Melino, President

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kelsey Ulrich



0 180 360 720 1,080 1,440 Feet



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SCHEMATIC DESIGN REVIEW

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

NO.	DESCRIPTION	DATE
1	ADJUSTED WINDOW LOCATIONS	12.12.22
2	REVISED MATERIAL PERCENTAGES	12.12.22
3	CHANGED PARAPET MAT. TO MATCH EXT.	12.12.22
4	REMOVED AWNING	12.12.22
5	EXTENDED WALL 10'	12.12.22

APPLICANT INFORMATION
 APPLICANT: BACA ARCHITECTURE
 CONTACT PERSON: DAVID BACA
 ADDRESS: 100 N. TRAVIS ST. SUITE 500
 SHERMAN, TX, 75090
 EMAIL: DAVID@BACA.TEAM
 PHONE: 903.893.5800

OWNER INFORMATION
 OWNER: CAMBRIDGE PROPERTIES INC.
 CONTACT PERSON: GARRETT POINDEXTER
 ADDRESS: 8750 N. CENTRAL EXP., SUITE 1735
 DALLAS, TEXAS 75231
 EMAIL: RJONES@ADVANTAGESTORAGE.NET
 PHONE: 972.832.8933

PROJECT INFORMATION
 NAME: ADVANTAGE STORAGE
 ADDRESS: 1701 STATE HIGHWAY 276
 ROCKWALL, TEXAS 75032
 CASE #:

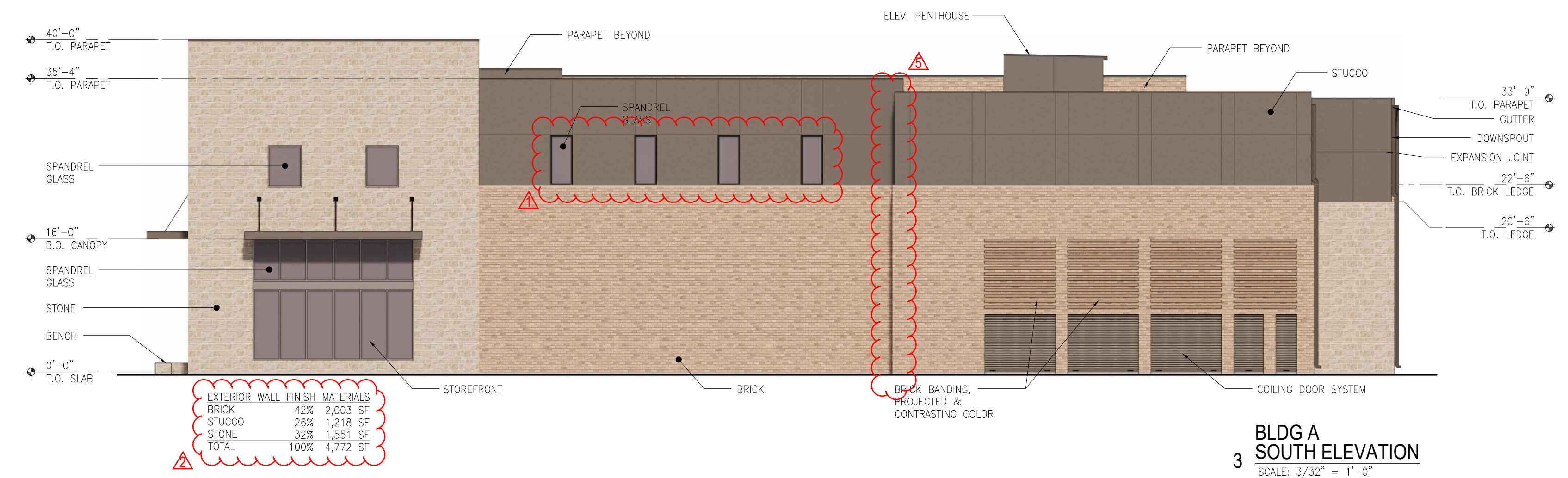


EXTERIOR WALL FINISH MATERIALS

BRICK	28%	1,710 SF
STUCCO	33%	1,963 SF
STONE	39%	2,360 SF
TOTAL	100%	6,053 SF

BUILDING TOTALS

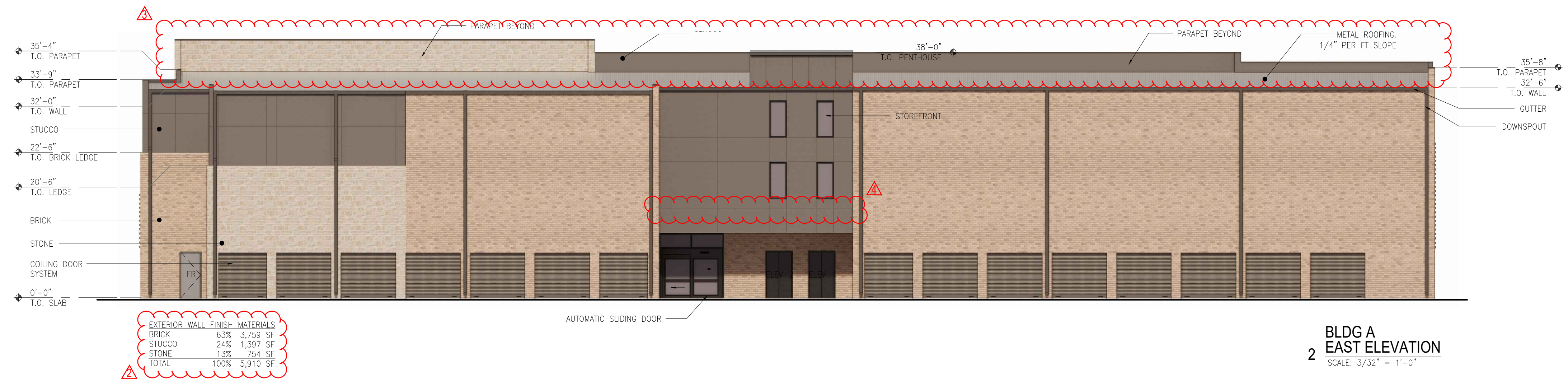
BRICK	49%	10,327 SF
STUCCO	25%	5,249 SF
STONE	26%	5,547 SF
TOTAL	100%	21,123 SF



EXTERIOR WALL FINISH MATERIALS

BRICK	42%	2,003 SF
STUCCO	26%	1,218 SF
STONE	32%	1,561 SF
TOTAL	100%	4,772 SF

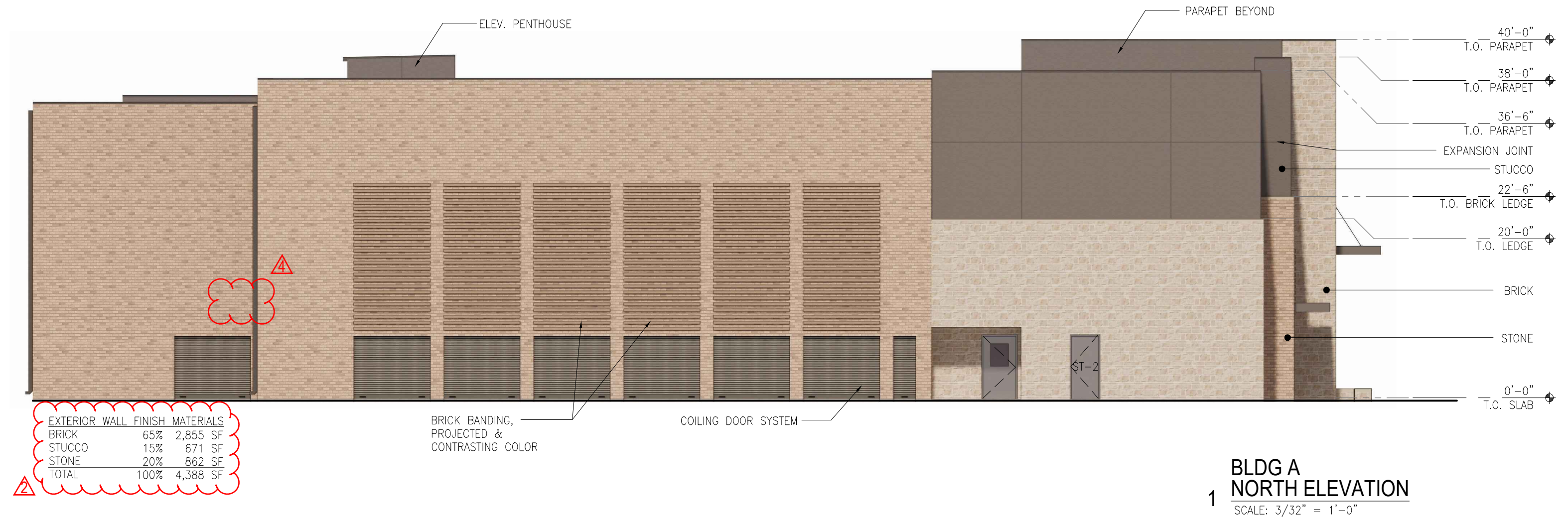
BLDG A SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	63%	3,759 SF
STUCCO	24%	1,397 SF
STONE	13%	754 SF
TOTAL	100%	5,910 SF

BLDG A EAST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS

BRICK	65%	2,855 SF
STUCCO	15%	671 SF
STONE	20%	862 SF
TOTAL	100%	4,388 SF

BLDG A NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

exterior elevations - bldg a

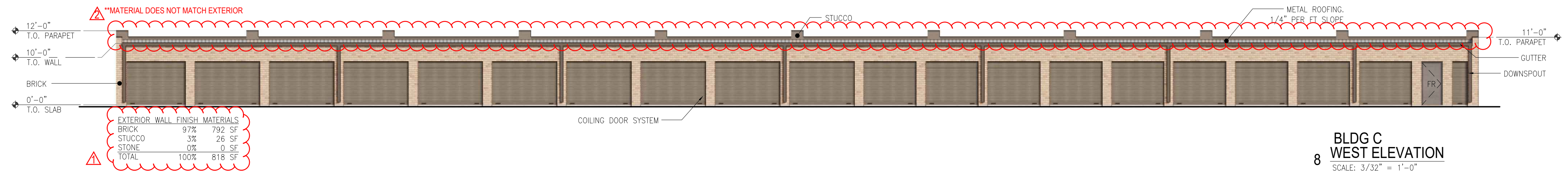
Advantage Storage
 Contact: Advantage Construction - 214.308.5225
 1701 State Highway 276
 Rockwall, Texas

PROJECT NUMBER
2225
 DATE
12.12.22
 SHEET NUMBER
A6.0

APPLICANT INFORMATION
 APPLICANT: BACA ARCHITECTURE
 CONTACT PERSON: DAVID BACA
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 SHERMAN, TX, 75090
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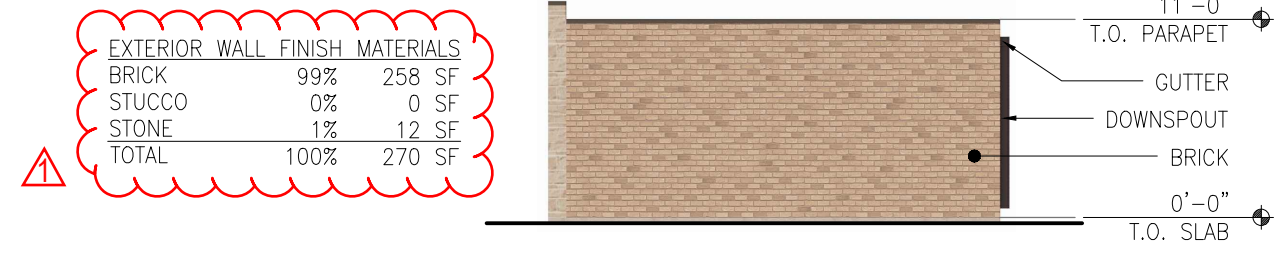
PROJECT INFORMATION
 NAME: ADVANTAGE STORAGE
 ADDRESS: 1701 STATE HIGHWAY 276
 ROCKWALL, TEXAS 75032
 CASE #:



EXTERIOR WALL FINISH MATERIALS			
BRICK	97%	792 SF	
STUCCO	3%	26 SF	
STONE	0%	0 SF	
TOTAL	100%	818 SF	

BUILDING TOTALS			
BRICK	91%	3,325 SF	
STUCCO	1%	26 SF	
STONE	0%	0 SF	
TOTAL	100%	3,634 SF	

BLDG C WEST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS			
BRICK	99%	258 SF	
STUCCO	0%	0 SF	
STONE	1%	12 SF	
TOTAL	100%	270 SF	

BLDG C NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



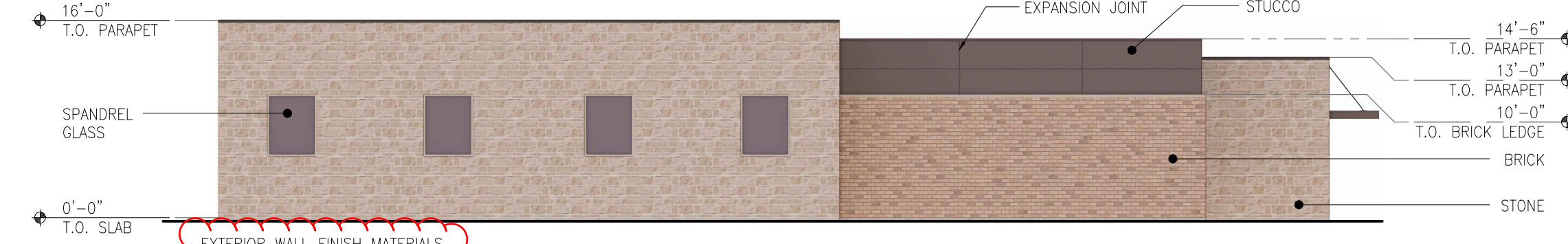
EXTERIOR WALL FINISH MATERIALS			
BRICK	89%	2,129 SF	
STUCCO	0%	0 SF	
STONE	11%	259 SF	
TOTAL	100%	2,388 SF	

BLDG C EAST ELEVATION
 SCALE: 3/32" = 1'-0"



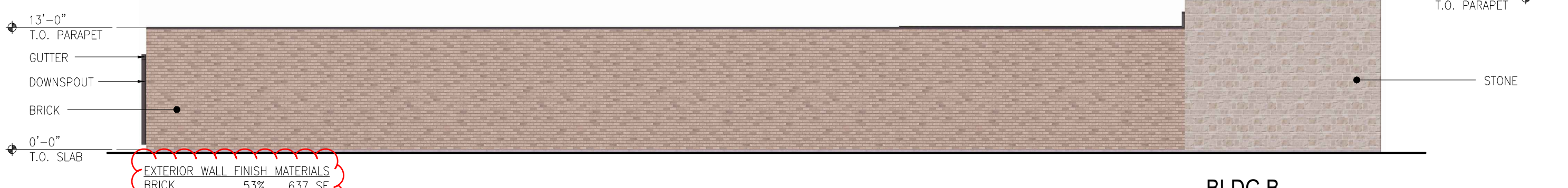
EXTERIOR WALL FINISH MATERIALS			
BRICK	88%	146 SF	
STUCCO	0%	0 SF	
STONE	12%	12 SF	
TOTAL	100%	158 SF	

BLDG C SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



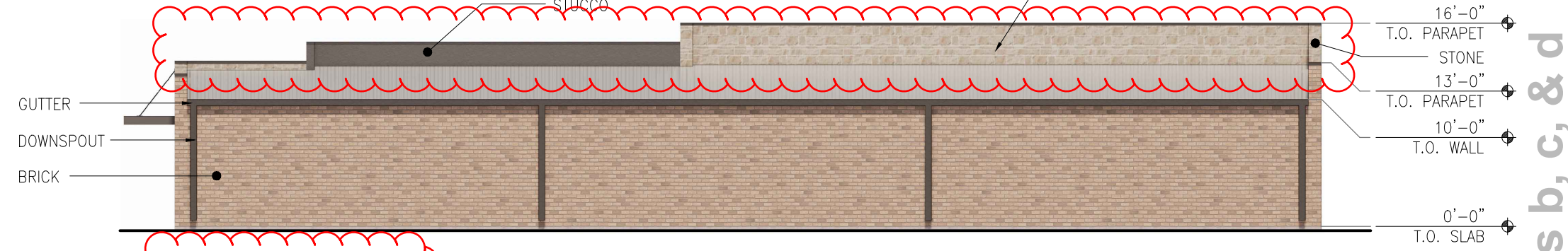
EXTERIOR WALL FINISH MATERIALS			
BRICK	23%	297 SF	
STUCCO	10%	132 SF	
STONE	67%	861 SF	
TOTAL	100%	1,290 SF	

BLDG B WEST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS			
BRICK	53%	637 SF	
STUCCO	3%	42 SF	
STONE	44%	533 SF	
TOTAL	100%	1,212 SF	

BLDG B NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS			
BRICK	61%	866 SF	
STUCCO	4%	48 SF	
STONE	15%	157 SF	
TOTAL	100%	1,071 SF	

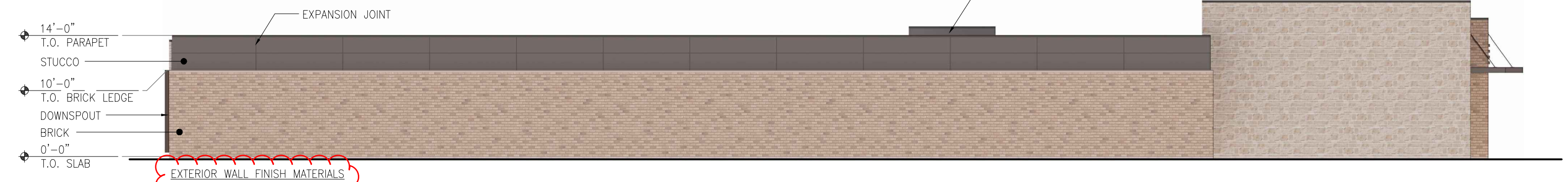
BLDG B EAST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS			
BRICK	49%	549 SF	
STUCCO	1%	18 SF	
STONE	50%	563 SF	
TOTAL	100%	1,130 SF	

BUILDING TOTALS			
BRICK	62%	3,922 SF	
STUCCO	8%	477 SF	
STONE	30%	1,906 SF	
TOTAL	100%	6,305 SF	

BLDG D SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



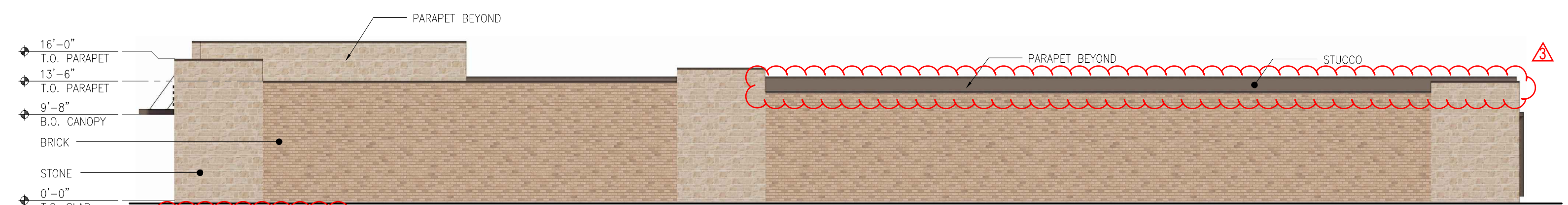
EXTERIOR WALL FINISH MATERIALS			
BRICK	55%	1,215 SF	
STUCCO	20%	450 SF	
STONE	25%	547 SF	
TOTAL	100%	2,212 SF	

BLDG D WEST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS			
BRICK	70%	602 SF	
STUCCO	1%	9 SF	
STONE	29%	252 SF	
TOTAL	100%	863 SF	

BLDG D NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS			
BRICK	74%	1,556 SF	
STUCCO	0%	0 SF	
STONE	26%	544 SF	
TOTAL	100%	2,100 SF	

BLDG D EAST ELEVATION
 SCALE: 3/32" = 1'-0"



EXTERIOR WALL FINISH MATERIALS			
BRICK	82%	1,430 SF	
STUCCO	0%	0 SF	
STONE	18%	300 SF	
TOTAL	100%	1,730 SF	

BLDG B SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

BACA
 100 NORTH TRAVIS STREET
 SUITE NO.500
 SHERMAN, TEXAS 75090
 903.893.5800
 www.BACA.team

SCHEMATIC DESIGN REVIEW
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NO.	DESCRIPTION	DATE
1	REVISED MATERIAL PERCENTAGES	12.12.22
2	CHANGED PARAPET MAT. TO MATCH EXT.	12.12.22
3	CHANGED PARAPET HEIGHT	12.12.22
4	REDUCED SIZE OF CANOPY	12.12.22

Advantage Storage
 Contact: Advantage Construction - 214.308.5225
 1701 State Highway 276
 Rockwall, Texas

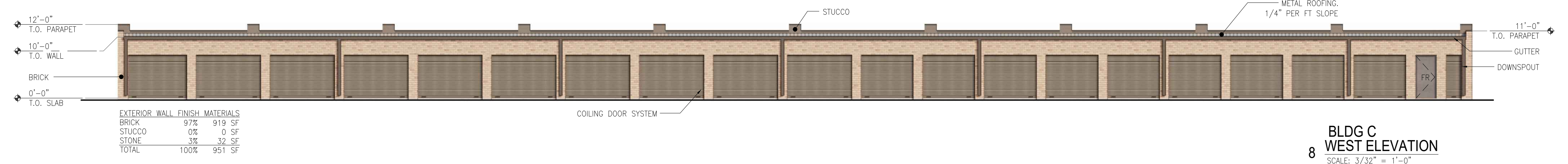
PROJECT NUMBER
2225
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12.12.22
 SHEET NUMBER
A6.1

exterior elevations - bldg's b, c, & d

SCHEMATIC DESIGN REVIEW

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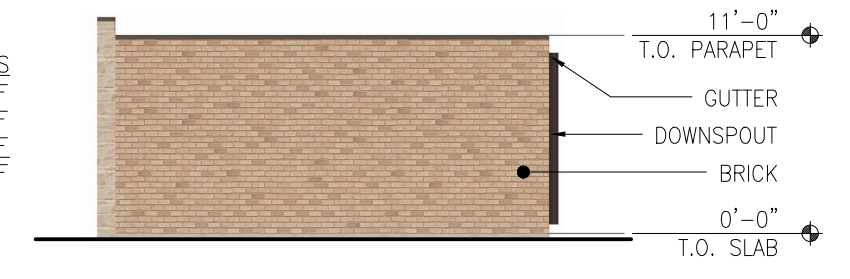
NO.	DESCRIPTION	DATE



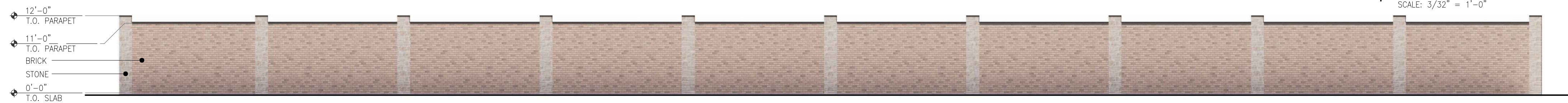
BLDG C WEST ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	92%	3,030 SF
STONE	8%	278 SF
TOTAL	100%	3,308 SF

BRICK	95%	264 SF
STUCCO	0%	0 SF
STONE	5%	12 SF
TOTAL	100%	278 SF

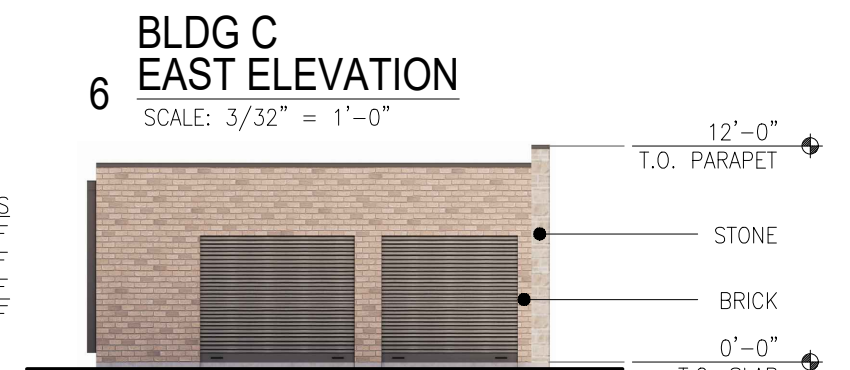


BLDG C NORTH ELEVATION
SCALE: 3/32" = 1'-0"

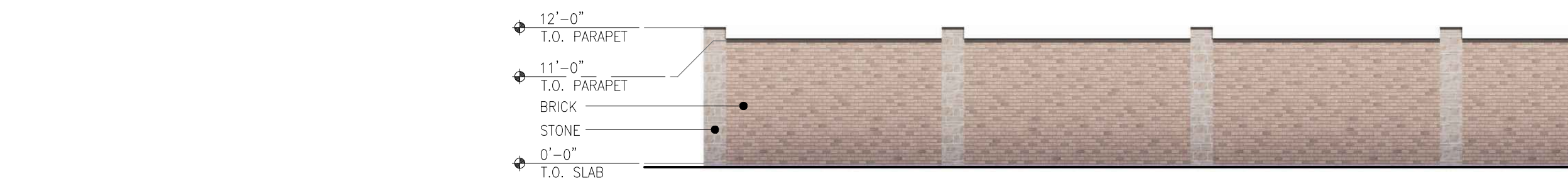


BRICK	89%	2,178 SF
STUCCO	0%	0 SF
STONE	11%	264 SF
TOTAL	100%	2,442 SF

BRICK	93%	152 SF
STUCCO	0%	0 SF
STONE	7%	12 SF
TOTAL	100%	164 SF



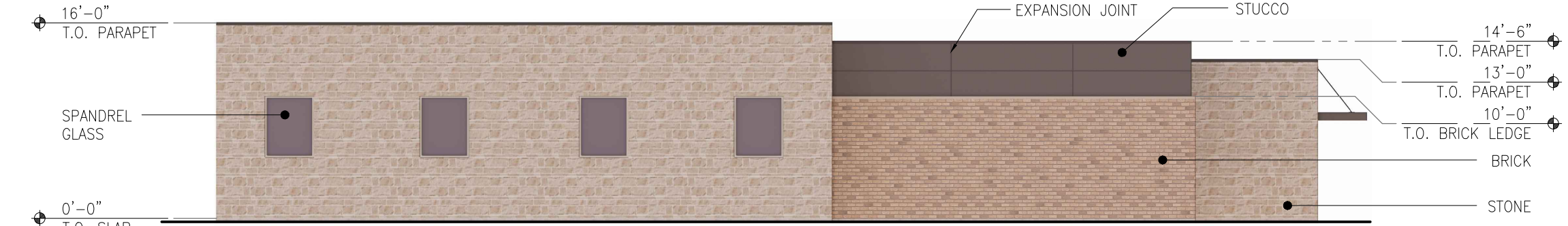
BLDG C EAST ELEVATION
SCALE: 3/32" = 1'-0"



BLDG D SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	44%	471 SF
STUCCO	2%	20 SF
STONE	54%	571 SF
TOTAL	100%	1,062 SF

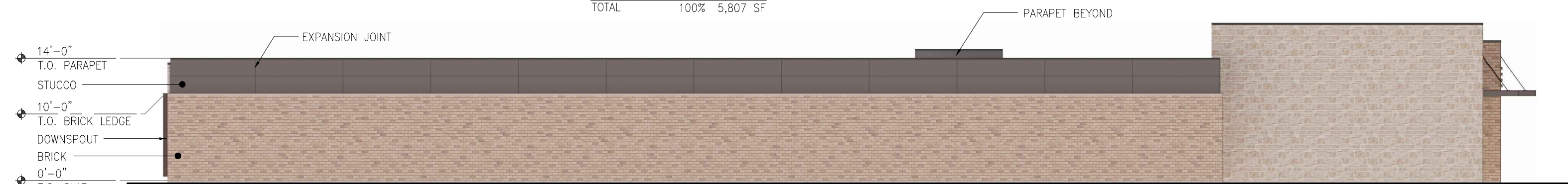
BRICK	65%	3,768 SF
STUCCO	8%	503 SF
STONE	27%	1,509 SF
TOTAL	100%	5,807 SF



BLDG B WEST ELEVATION
SCALE: 3/32" = 1'-0"

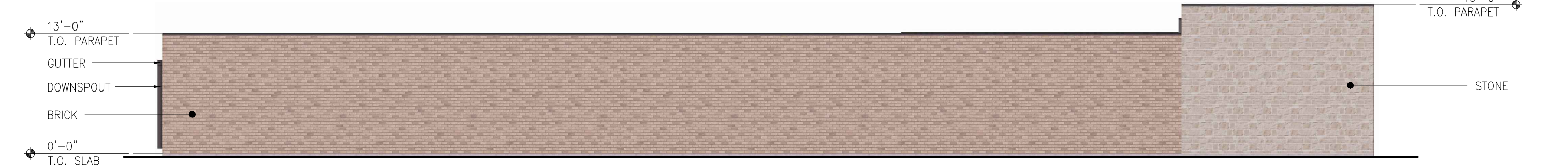
BRICK	23%	297 SF
STUCCO	10%	132 SF
STONE	67%	856 SF
TOTAL	100%	1,285 SF

BRICK	64%	3,247 SF
STUCCO	4%	200 SF
STONE	32%	1,638 SF
TOTAL	100%	5,085 SF



BLDG D WEST ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	55%	1,235 SF
STUCCO	21%	479 SF
STONE	24%	541 SF
TOTAL	100%	2,255 SF



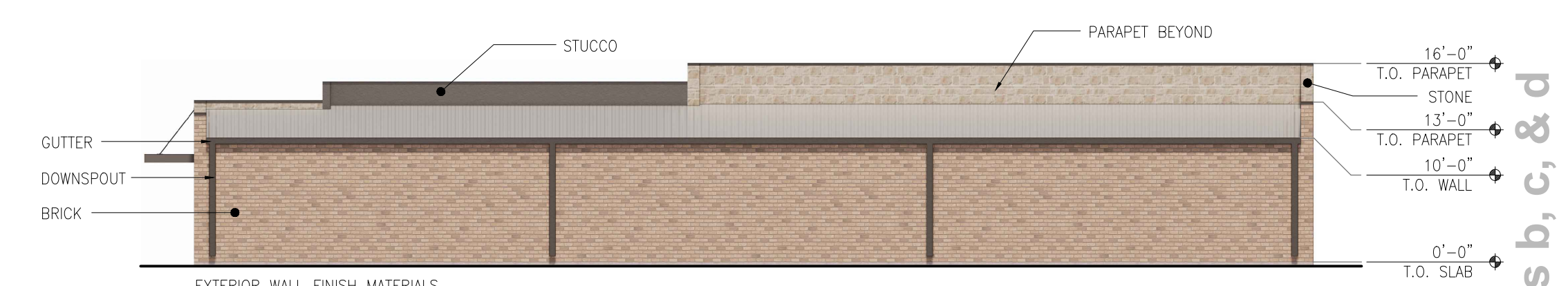
BLDG B NORTH ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	87%	1,410 SF
STUCCO	0%	0 SF
STONE	13%	331 SF
TOTAL	100%	1,617 SF



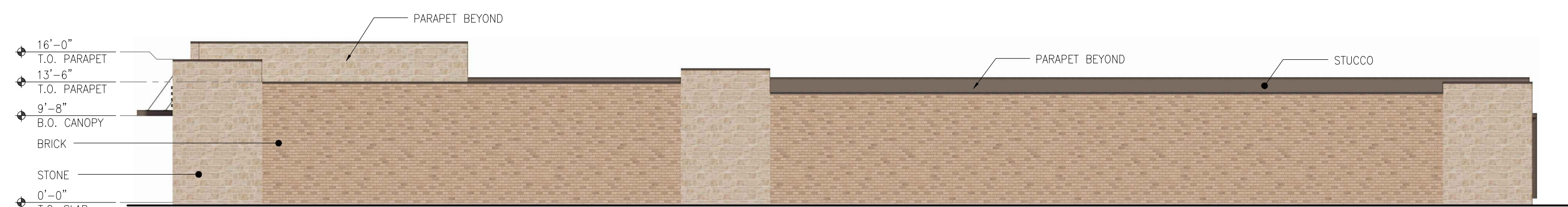
BLDG D NORTH ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	97%	503 SF
STUCCO	1%	4 SF
STONE	2%	14 SF
TOTAL	100%	521 SF



BLDG B EAST ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	99%	887 SF
STUCCO	0%	0 SF
STONE	1%	3 SF
TOTAL	100%	890 SF



BLDG D EAST ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	79%	1,559 SF
STUCCO	0%	0 SF
STONE	21%	445 SF
TOTAL	100%	2,004 SF



BLDG B SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

BRICK	56%	653 SF
STUCCO	5%	68 SF
STONE	39%	448 SF
TOTAL	100%	1,169 SF

exterior elevations - bldg's b, c, & d

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Contact: Advantage Construction - 214.308.5225
1701 State Highway 276
Rockwall, Texas

PROJECT NUMBER
2225
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11.14.22
SHEET NUMBER
A6.1