



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Nelson Lake Estates**

SUBDIVISION **Nelson Lake Estates**

LOT **44**

BLOCK **J**

GENERAL LOCATION **Between Glenwood Lane and Euclid Drive, along Macbeth Lane**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE **Private Recreational Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE **Private Recreational Center**

ACREAGE **1.403**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (U.S.), INC.**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive**

ADDRESS **704 Central Parkway East**

Suite 350

Suite 1200

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYLE TRESSLER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 378.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF NOVEMBER, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST.

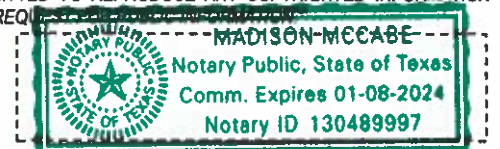
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF November, 2022

OWNER'S SIGNATURE

Kyle Tressler

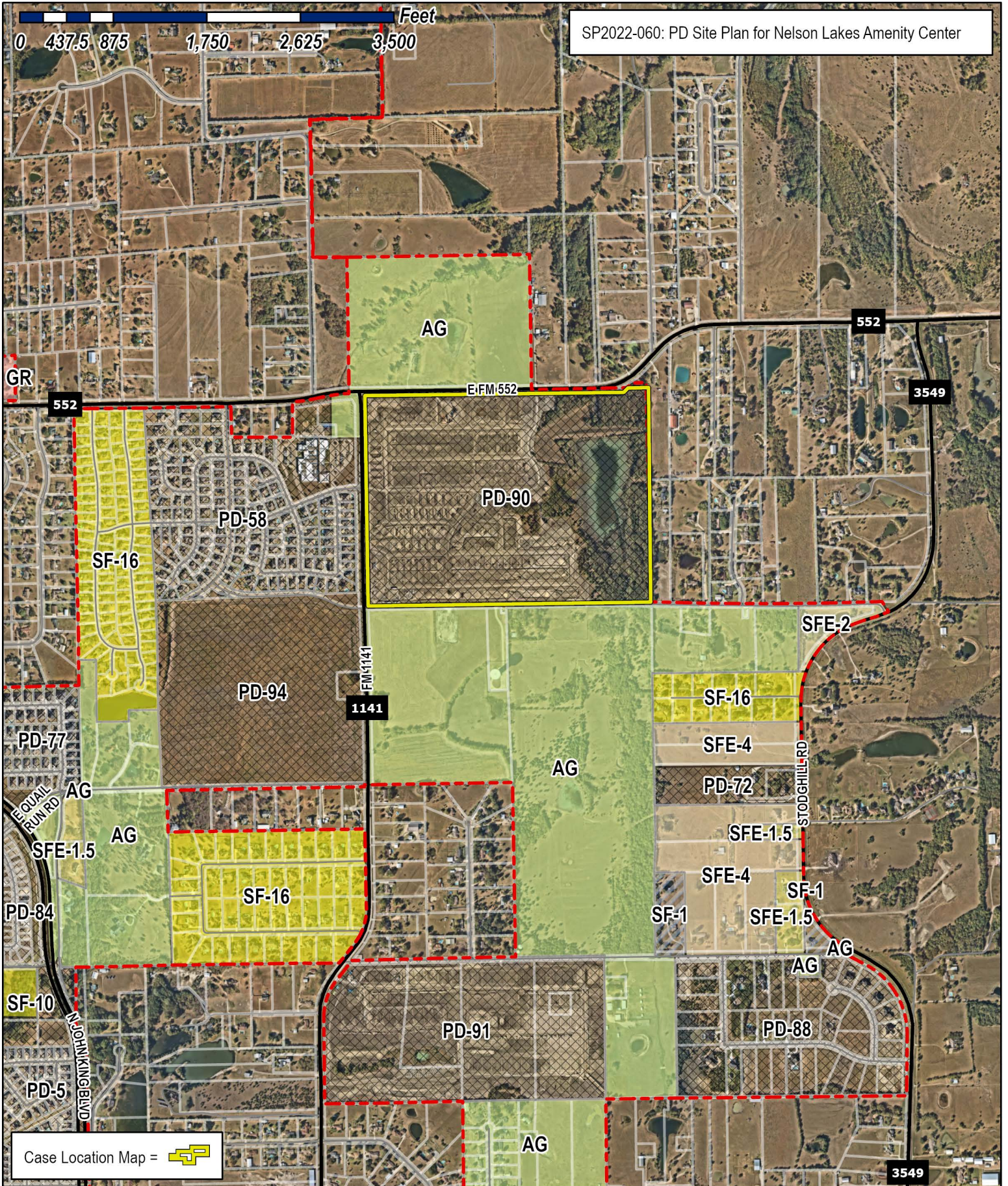
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Madison McCabe



MY COMMISSION EXPIRES 01-08-2024

0 437.5 875 1,750 2,625 3,500 Feet



Case Location Map = 

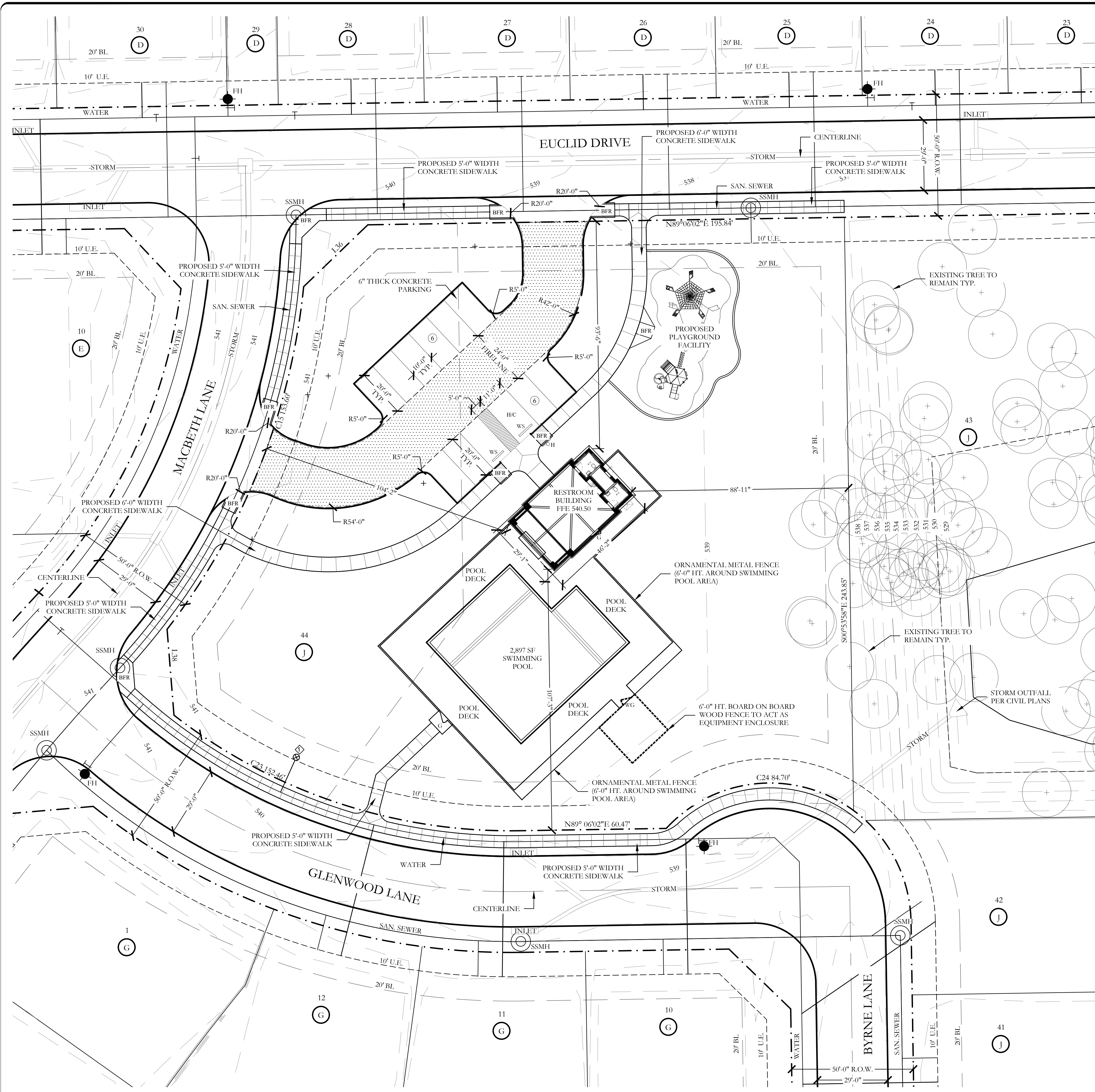


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

⊖	PROPOSED PARKING COUNT	⊗	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	G	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
⊙	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
—	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
⊖	EXISTING CURB INLET	▨	FIRELANE PAVING PER CITY STANDARD DETAILS
—	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

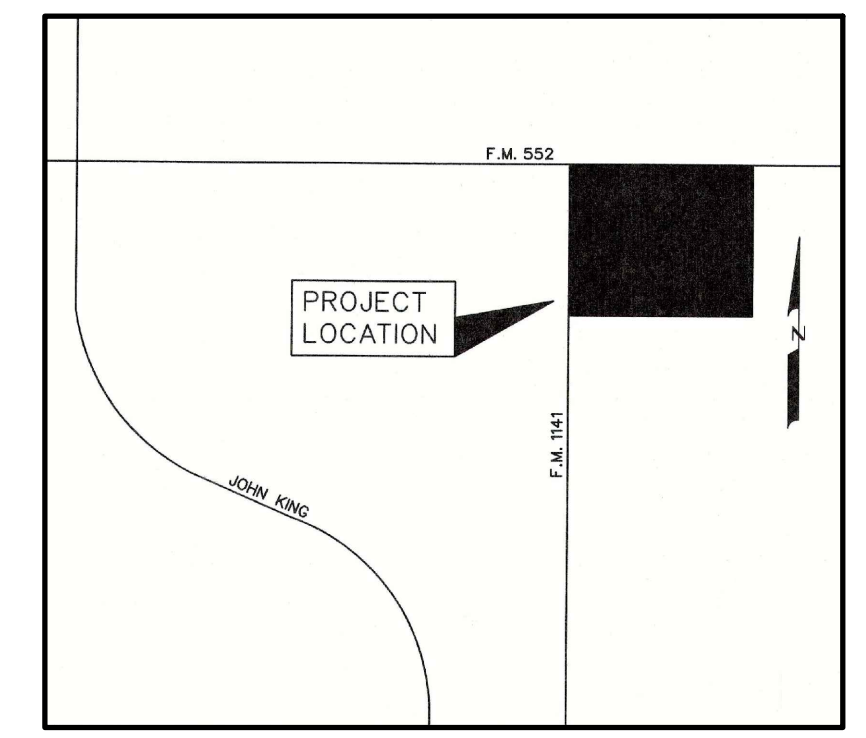
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊖	1"	1"	X		4"



SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.0221 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

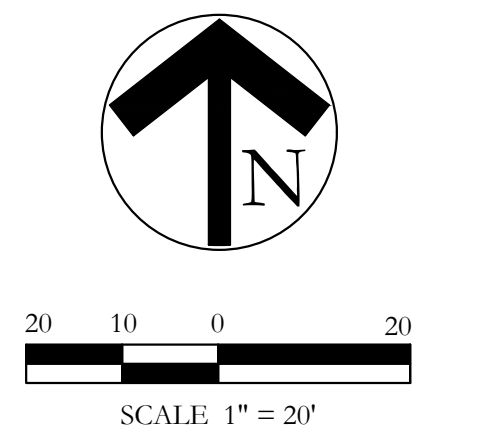
PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

POOL DECK SURFACE: 4,373.64 SF



- ### SITE PLAN NOTES:
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
 - FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
 - ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
 - STANDARD PARKING SPACES SHALL BE A MINIMUM OF 10'-0" WIDTH x 20'-0" LENGTH.
 - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
 - ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

SITE PLAN NELSON LAKE ESTATES LOT 44, BLOCK J ~AMENITY CENTER~

BEING 1.403 ACRES OUT OF THE
 J.M. GASS SURVEY
 ABSTRACT NO. 88
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:
 QUALICO DEVELOPMENT (U.S.), INC
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070
 CONTACT: KYLE TRESSLER

LANDSCAPE ARCHITECT:
 JOHNSON VOLK CONSULTING
 704 CENTRAL PARKWAY EAST, SUITE 1200
 PLANO, TEXAS 75074
 PH. (972) 201-3100
 CONTACT: CODY JOHNSON, RLA, ASLA, LI



November 14, 2022



TEXAS STONE DESIGN INC.
HILLTOP LIMESTONE



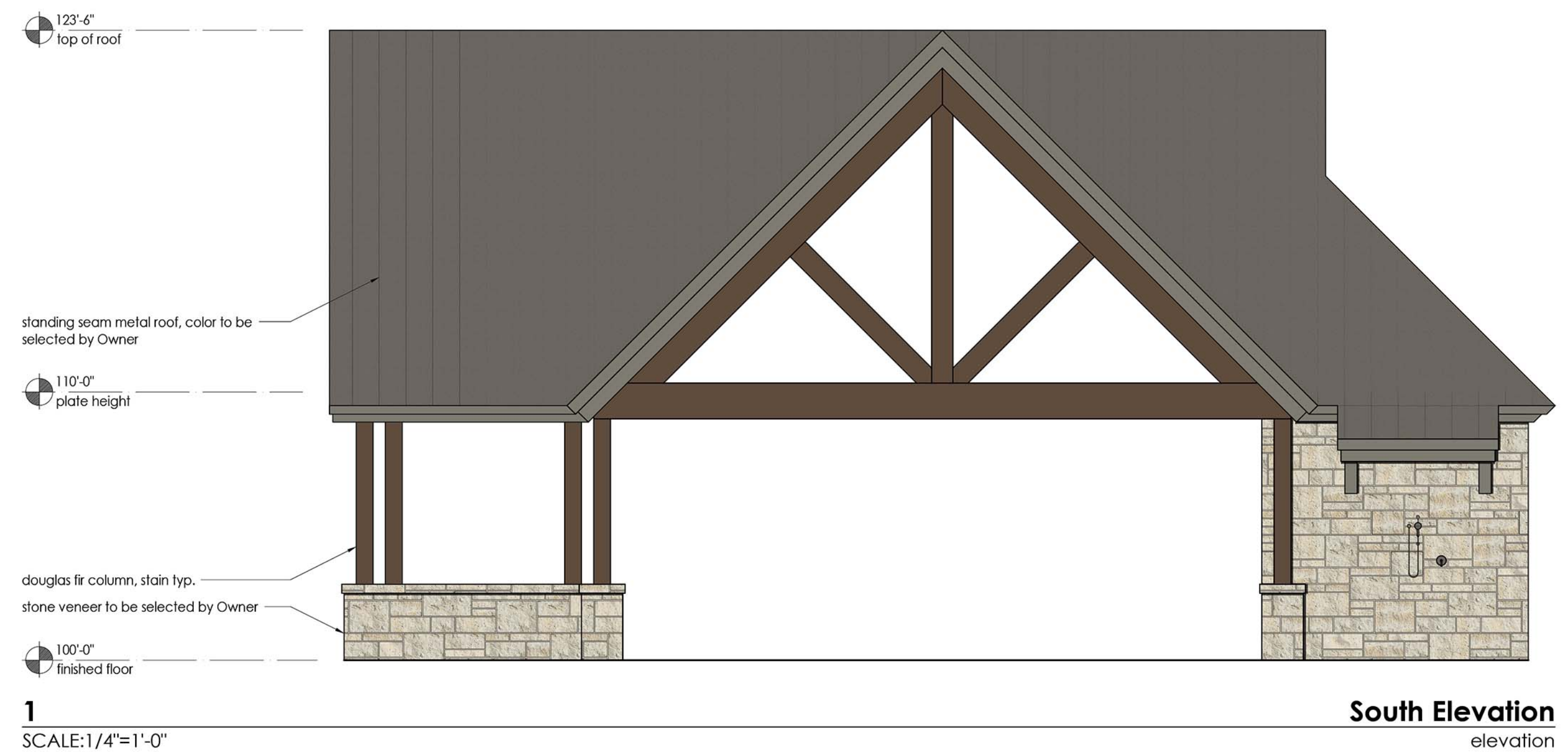
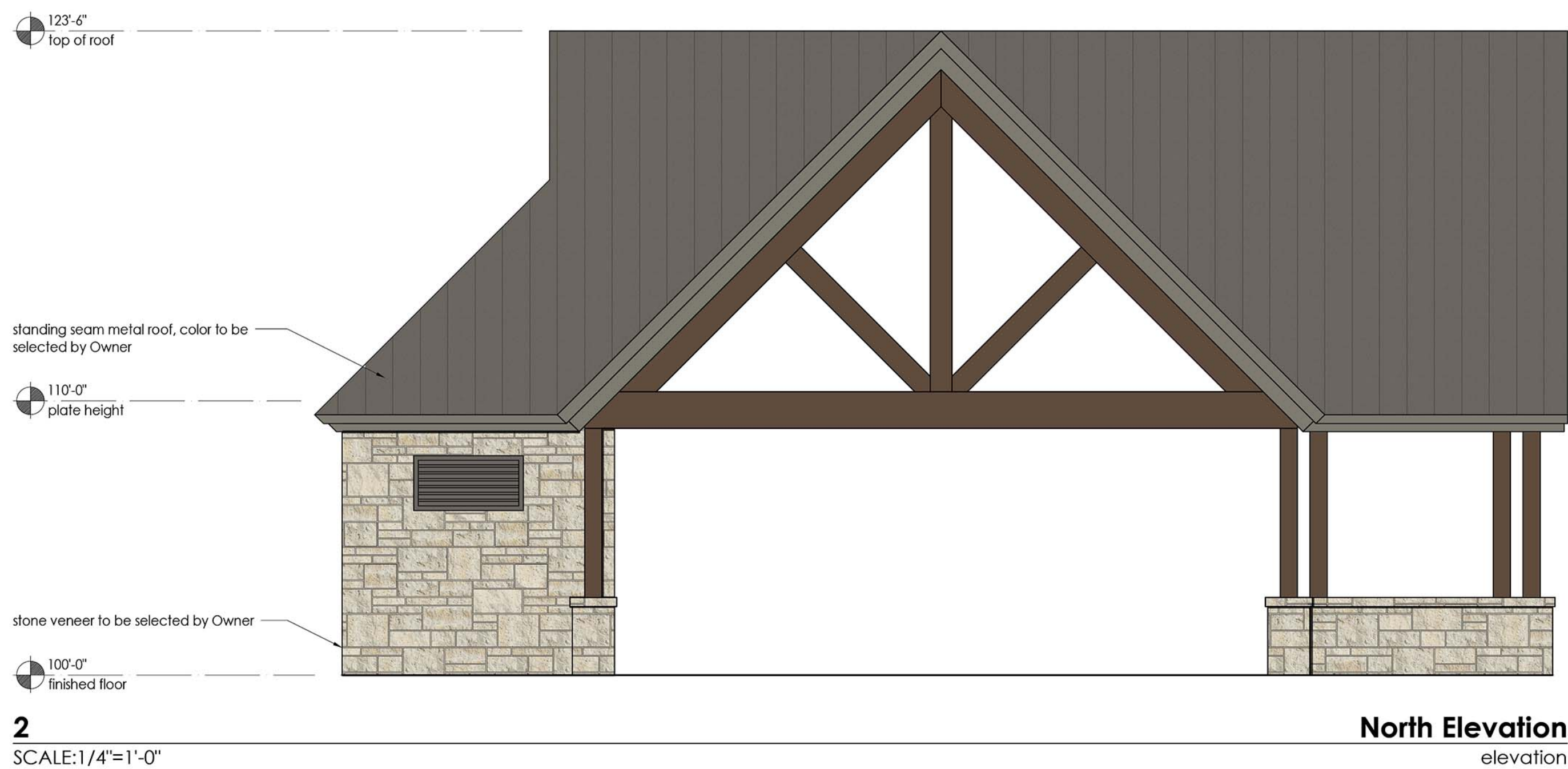
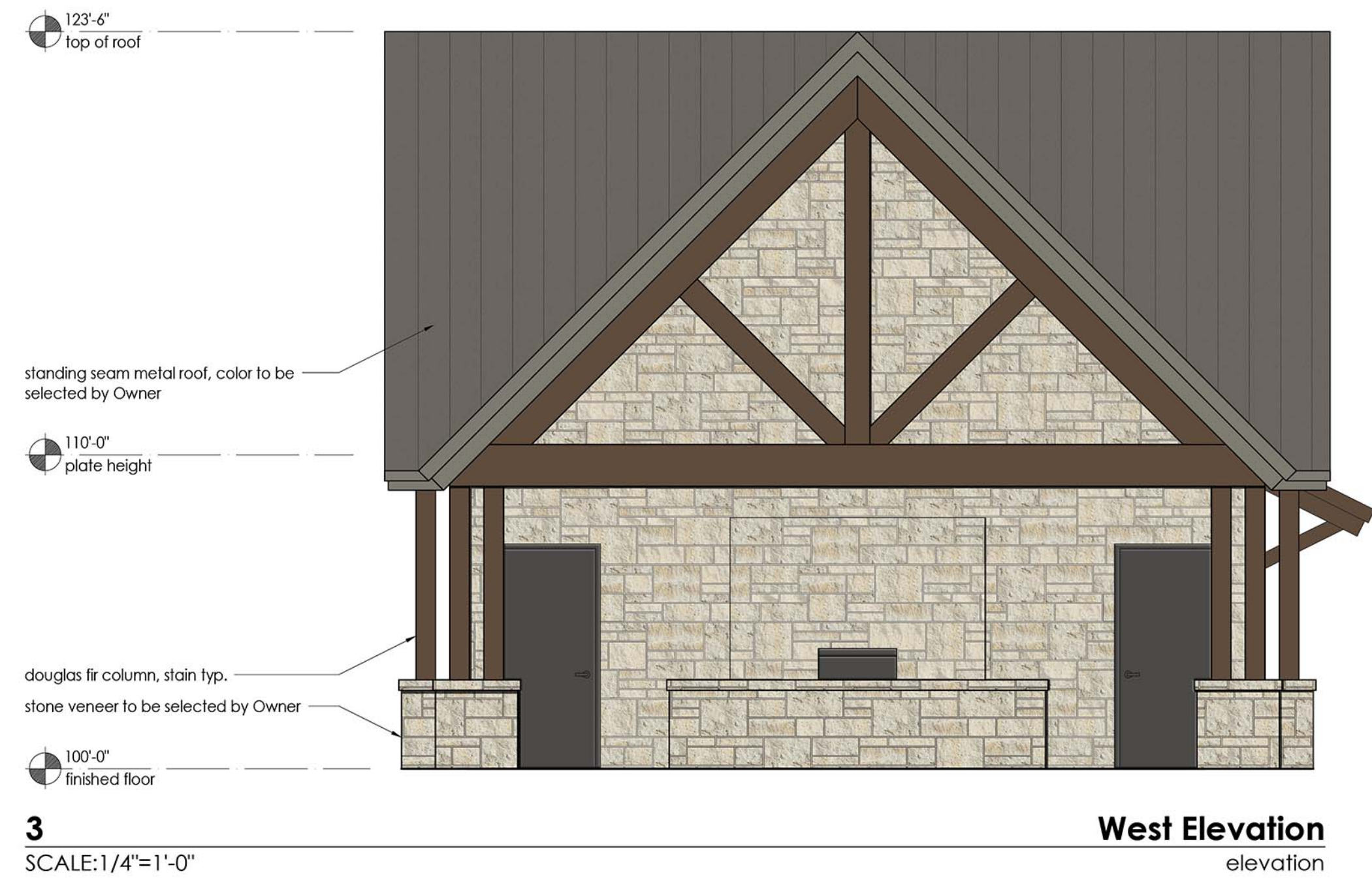
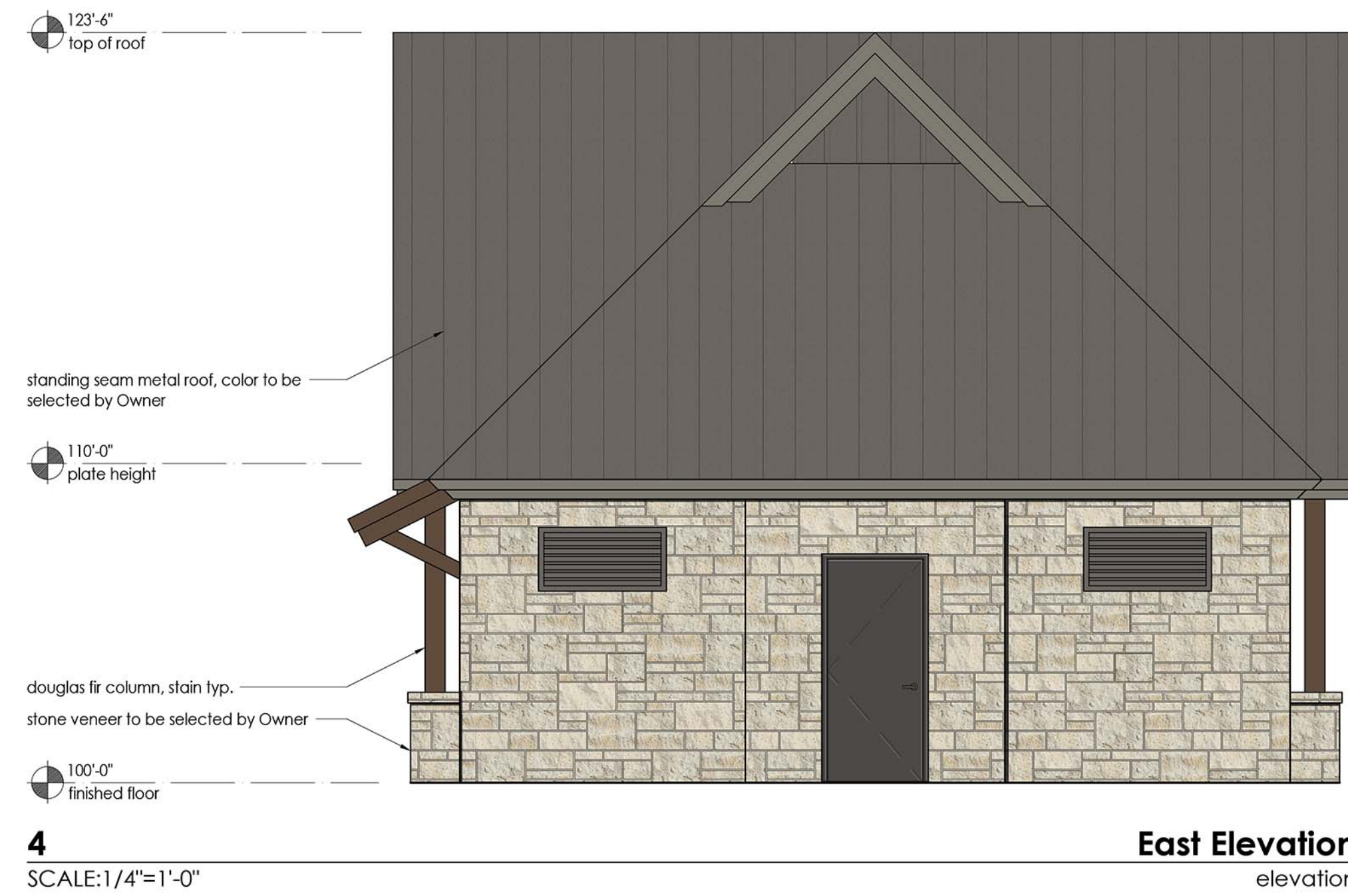
TIMBERLINE NS SHINGLES
WEATHERED WOOD



SHERWIN WILLIAMS
HALF-CAFF
SW 9091

BUILDING MATERIAL CALCULATIONS

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	215 S.F.	-	206 S.F.	-	255 S.F.	-	416 S.F.	-
PRIMARY MATERIAL TOTALS	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
STONE VENEER (TO BE SELECTED BY OWNER)	106 S.F.	49.30%	104 S.F.	50.49%	203 S.F.	79.61%	272 S.F.	65.38%
SECONDARY MATERIAL TOTALS	101 S.F.	46.98%	102 S.F.	49.51%	15 S.F.	5.88%	106 S.F.	25.48%
FIBER CEMENT SIDING (COLOR TO BE SELECTED BY OWNER)	-	-	-	-	7 S.F.	2.74%	-	-
DOUGLAS FIR BEAMS/COLUMNS (STAIN TO BE SELECTED BY OWNER)	101 S.F.	46.98%	102 S.F.	49.51%	8 S.F.	3.14%	106 S.F.	25.48%
DOOR/WINDOW/OPERABLE COVER TOTALS	8 S.F.	3.72%	-	-	37 S.F.	14.51%	38 S.F.	9.14%
ROOF (STANDING SEAM METAL, COLOR TO BE SELECTED BY OWNER)	-	-	-	-	-	-	-	-

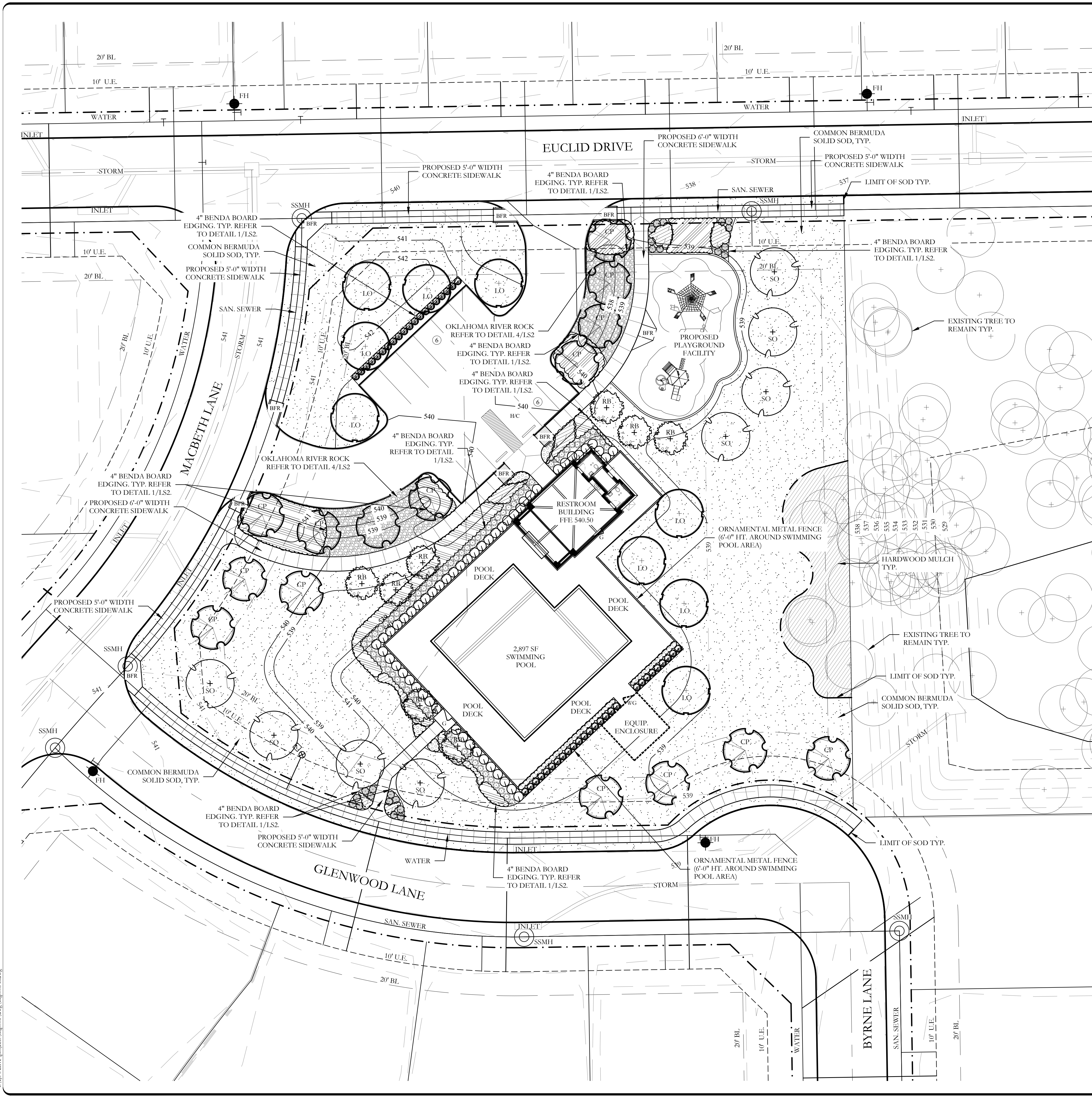


SEAL

Copyright © 2022
DATE: 11.02.2022
SCALE: MA22057
JOB NO. JV
DRAWN: KM
APPD: KM
ACAD #
EXTERIOR ELEVATIONS

DRAWING NO. REV. NO.

A4.00



PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.
		UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.
		AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK, MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

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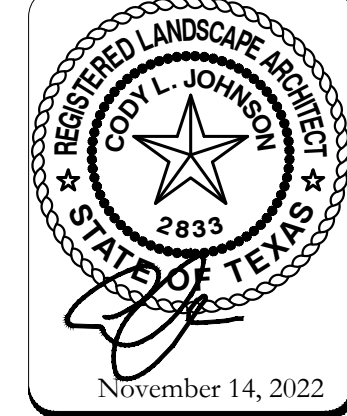
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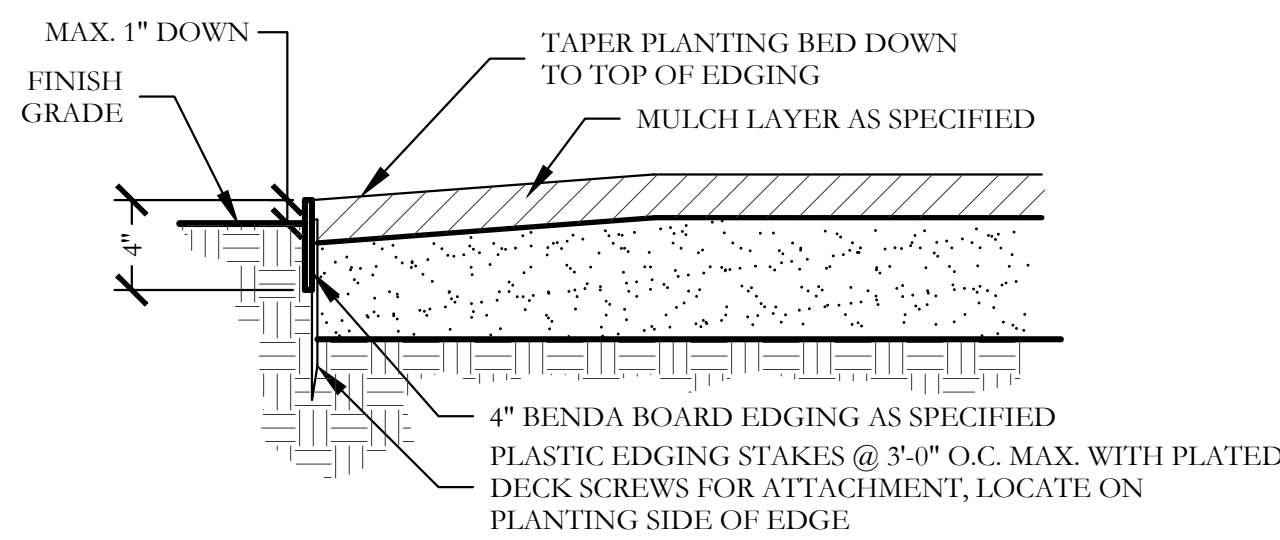
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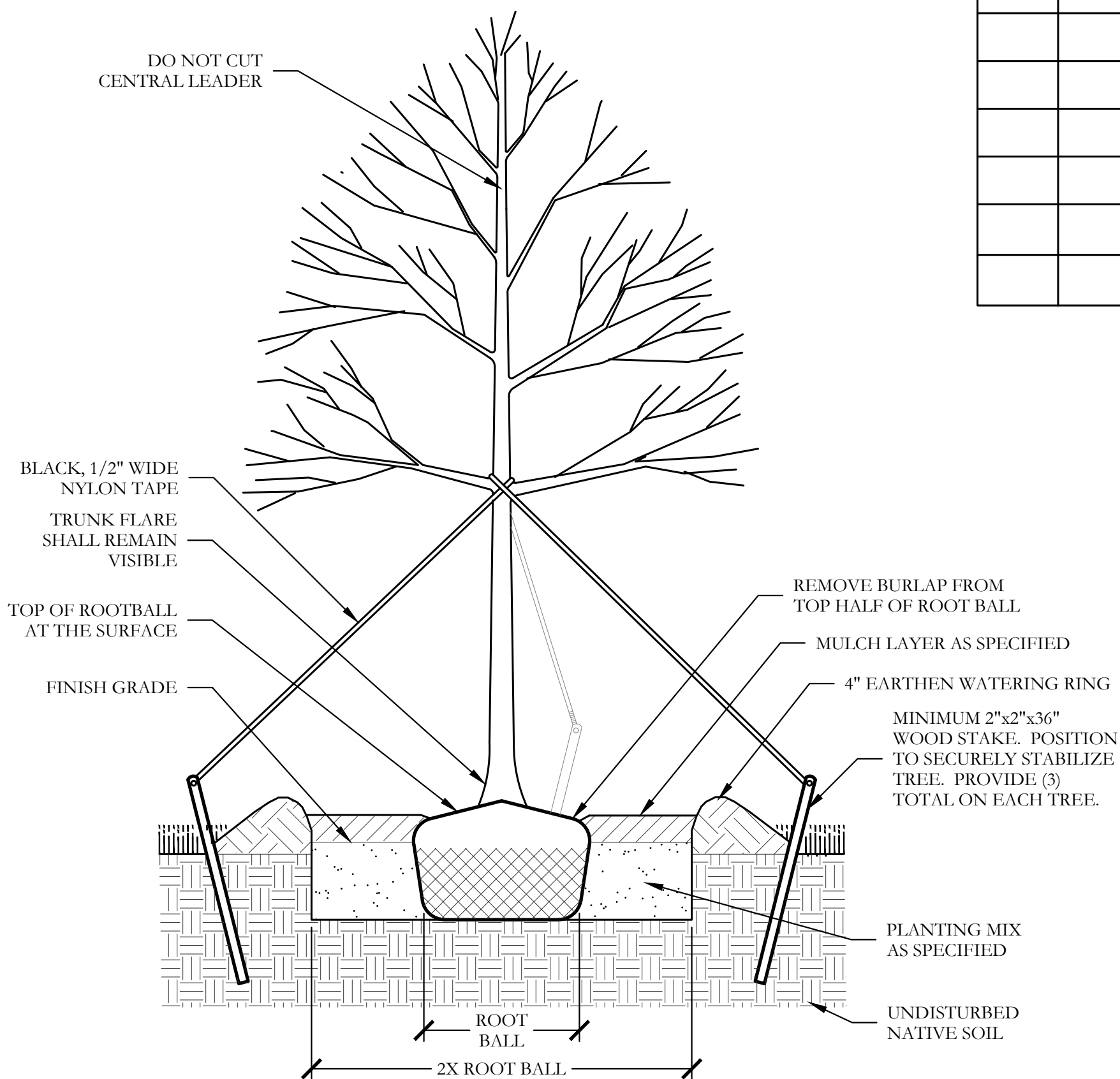
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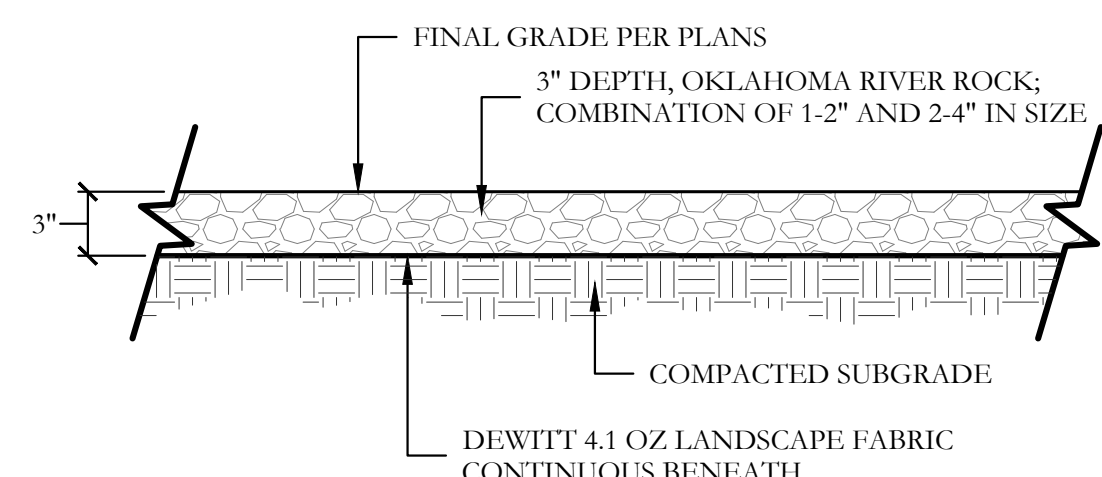




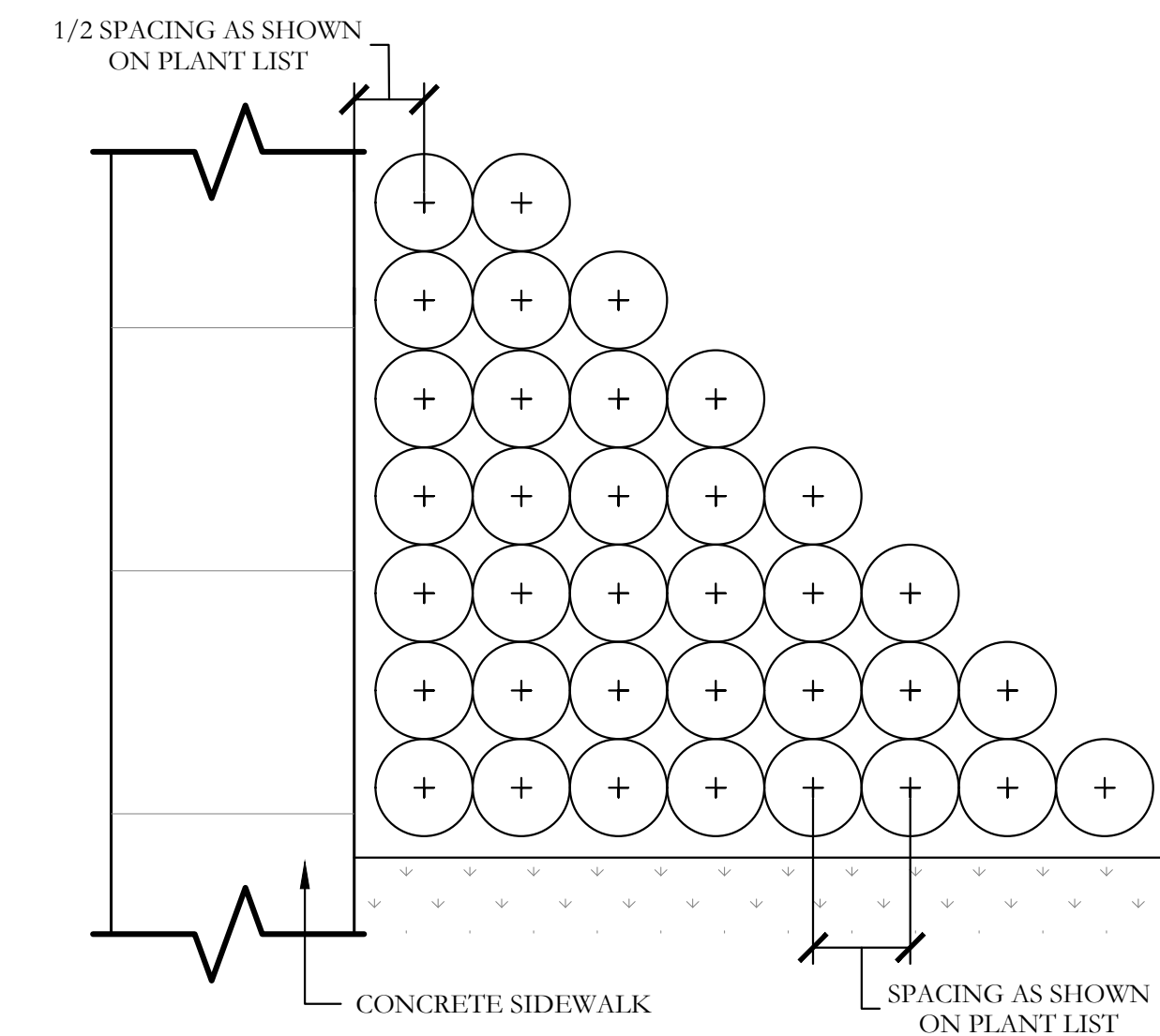
1 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL TREE PLANTING SECTION NOT TO SCALE



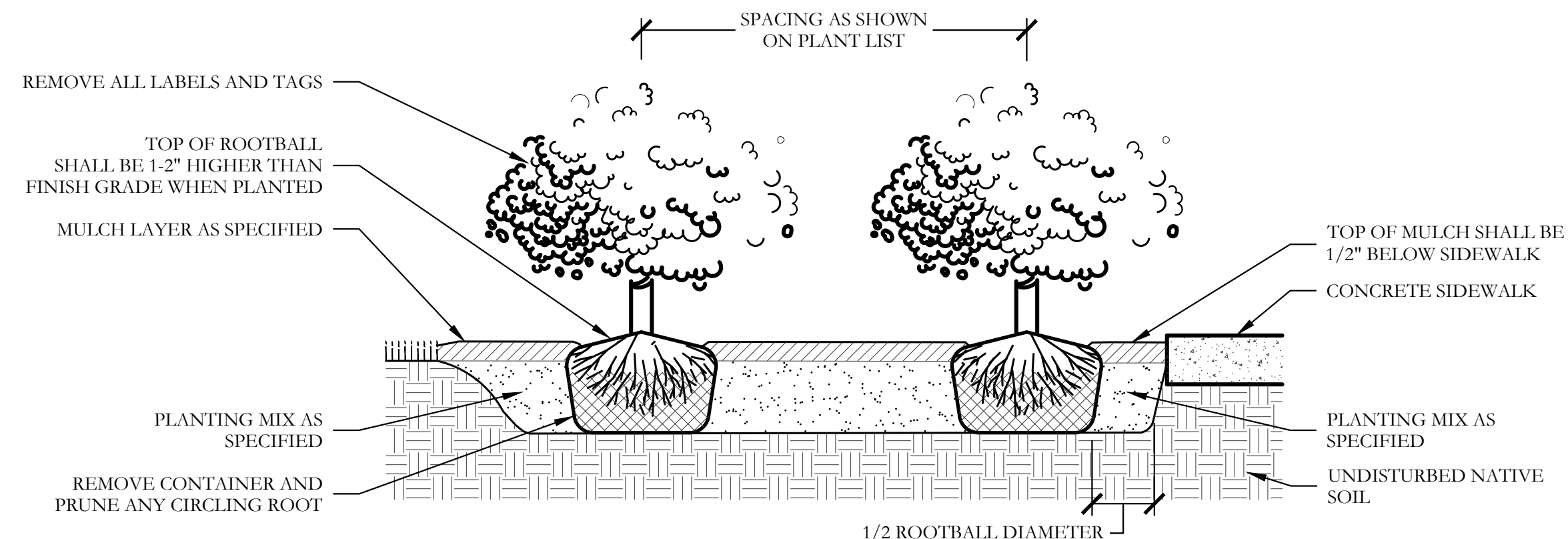
4 OKLAHOMA RIVER ROCK BED SECTION NOT TO SCALE



3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	9	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	15	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
RB	8	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	53	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	47	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	24	AUTUMN SAGE	SALVIA GREGGII	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	70	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'UPRIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	690	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	105	BLUE GRAMA 'BLONDE AMBITION' GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	70	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	250	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	33,840	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	1,690	OKLAHOMA RIVER ROCK	3" DEPTH; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	SQUARE FEET	EQUAL MIX 1-2" AND 2-4"	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK
	2,140	HARDWOOD MULCH	NA	SQUARE FEET	3" DEPTH	MINIMUM 100% COVERAGE ALL AREAS SHOWN; 3" DEPTH

NOTE:
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



NOT TO SCALE

GENERAL LANDSCAPE NOTES

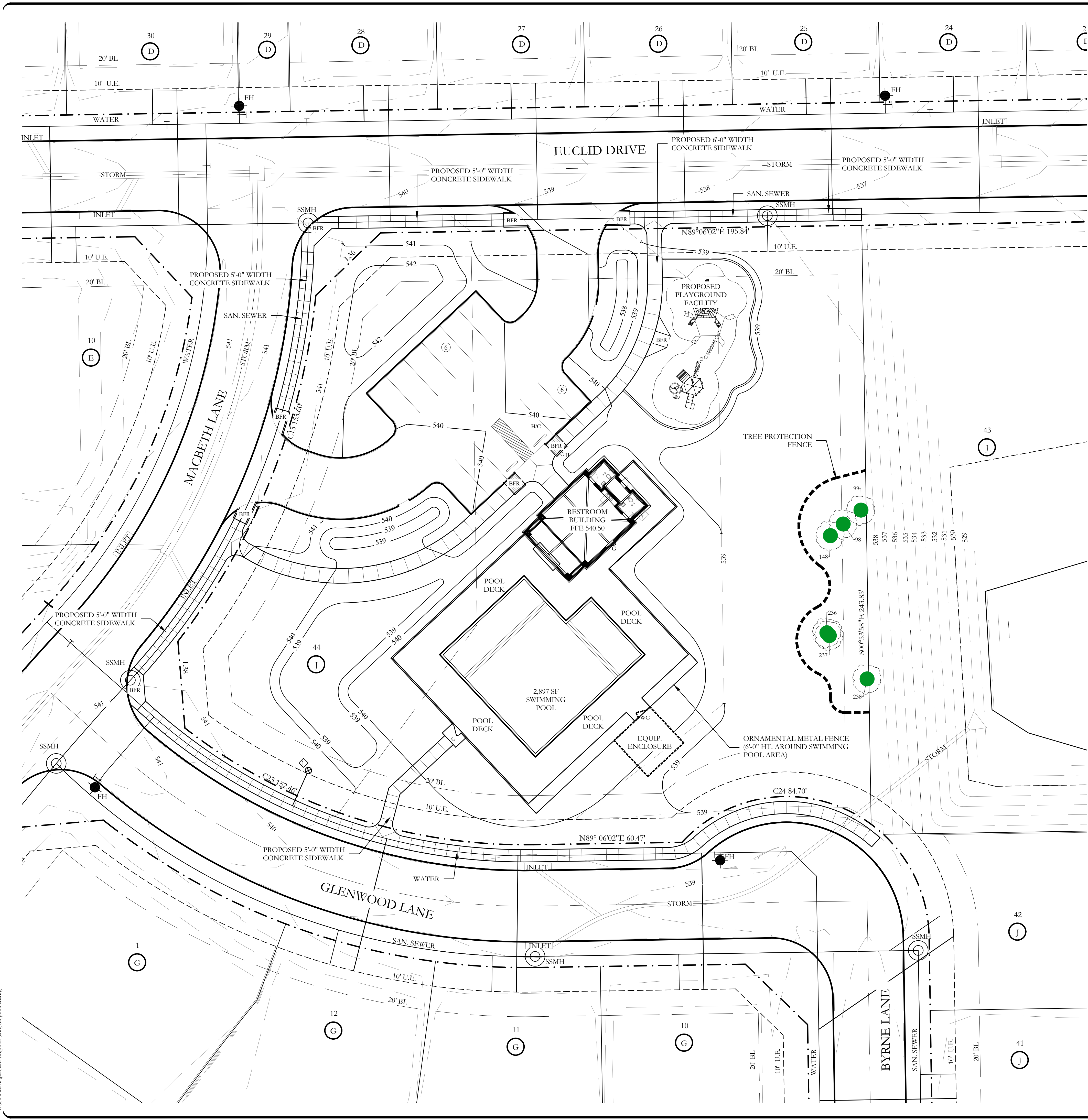
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



LEGEND

EXISTING TREE TO BE PRESERVED.

TREE PROTECTION FENCE, TYP.

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN, TYP.

Tree Number	Diameter at Breast Height (inches)	Species	Scientific Name	Canopy Radius (Feet)	General Condition	Status
98	15.3	Sugarberry	<i>Celtis laevigata</i>	10	Healthy	Preserved
99	6.5	Cedar Elm	<i>Ulmus crassifolia</i>	10	Healthy	Preserved
148	5.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
236	6.1	Cedar Elm	<i>Ulmus crassifolia</i>	6	Healthy	Preserved
237	4.7	Cedar Elm	<i>Ulmus crassifolia</i>	4	Healthy	Preserved
238	9.5	Cedar Elm	<i>Ulmus crassifolia</i>	15	Healthy	Preserved

Summary	Caliper Inches	Percent CI	Number of Trees
Total Trees	47.80	100.00%	6
Preserved Trees	47.80	100.00%	6

SITE INFORMATION

SINGLE FAMILY RESIDENTIAL
 PROPOSED USE: PRIVATE RECREATION CENTER
 LAND AREA: 1.403 ACRES
 61,114.68 SQ. FT.

BUILDING AREA: 1,342.68 SQUARE FEET
 BUILDING HEIGHT: 23'-6" (1 STORY)

FLOOR TO AREA: 0.022:1 [1,342.68/61,114.68]
 LOT COVERAGE: 2.20%

PARKING REQUIRED: 1 PER 250 SF. OF ASSEMBLY SPACE
 1,342.68/250=5.37
 6 REQUIRED SPACES

PARKING PROVIDED: 12 TOTAL, (WITH 1 HANDICAP)

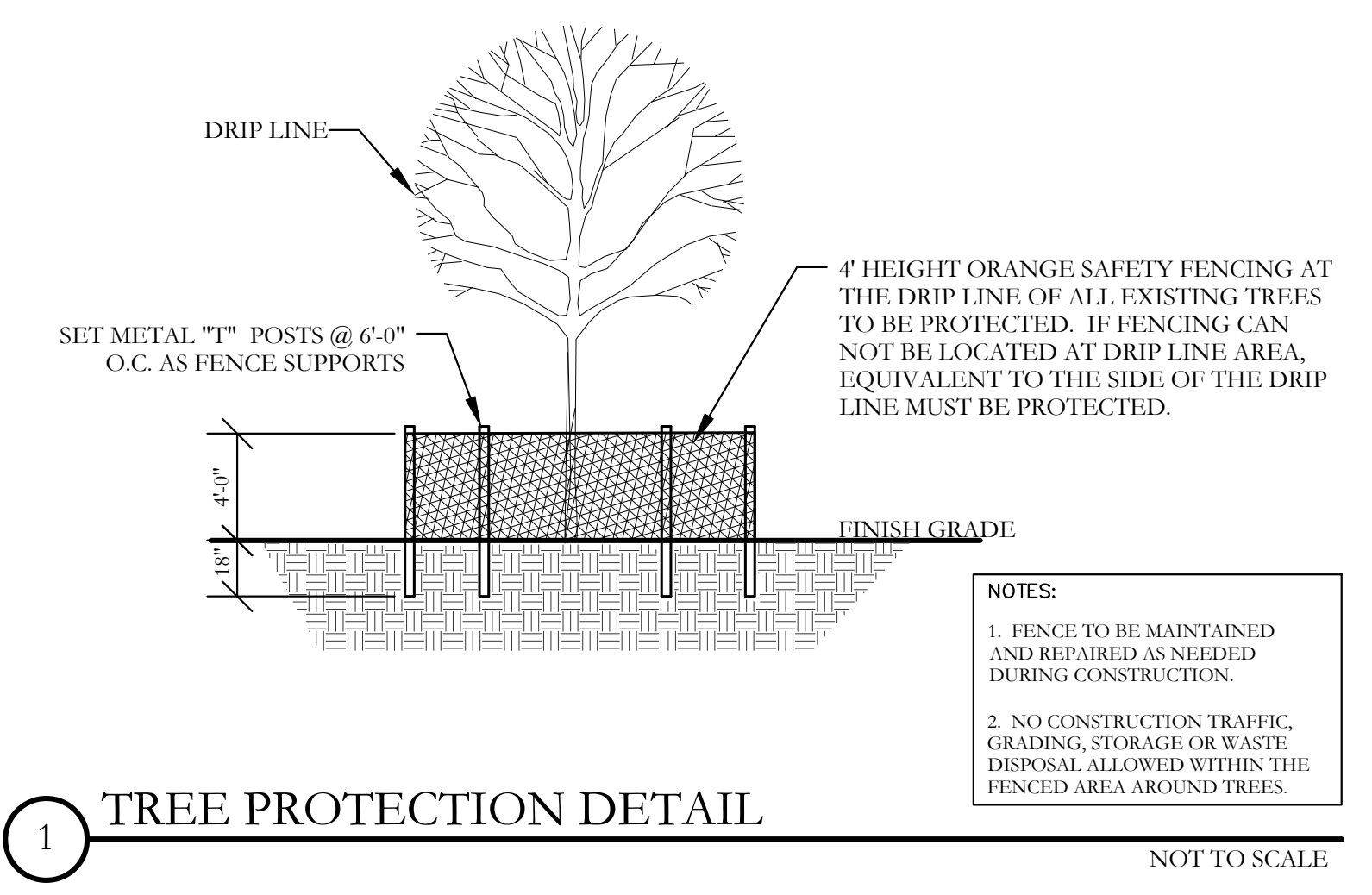
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

TOTAL IMPERVIOUS SURFACE: 17,917.66 SF
 PROPOSED IMPERVIOUS RATIO: 0.2932 OR 29.32%
 INTERIOR LANDSCAPE PROVIDED: 43,197.02 SF

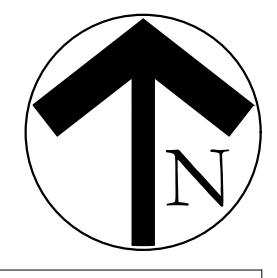
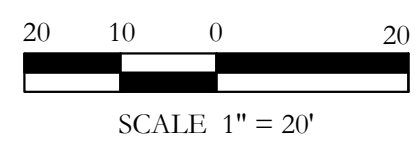
POOL DECK SURFACE: 4,373.64 SF

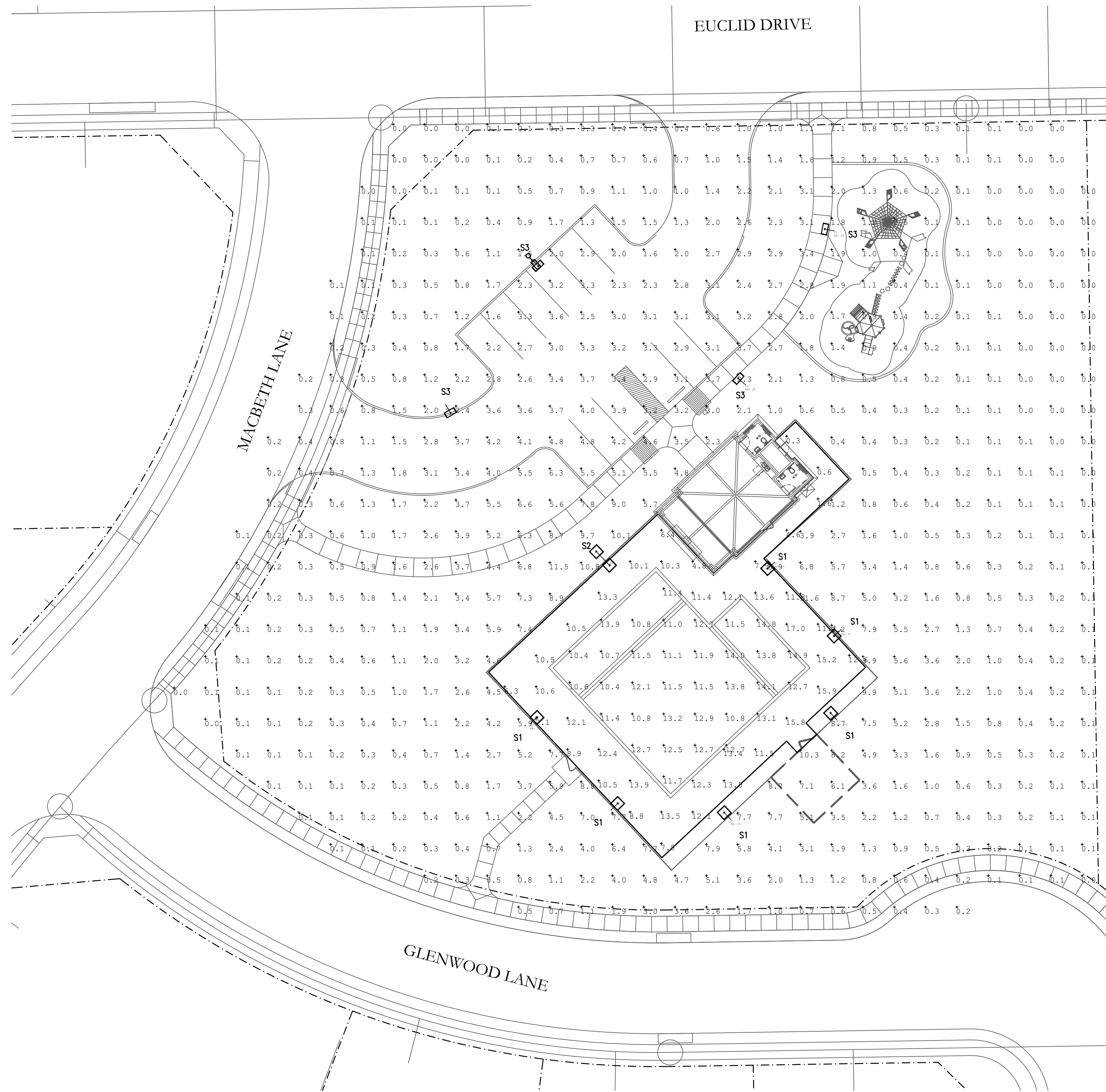
TREE PROTECTION NOTES

- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
- DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
- NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
- NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED



1 TREE PROTECTION DETAIL





1 SITE PLAN - ELECTRICAL - PHOTOMETRICS
SCALE: 1" = 20'-0"

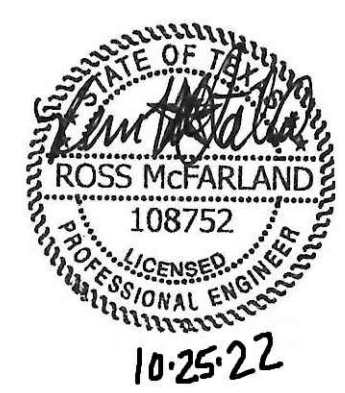
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
□	4	S3	SINGLE	N.A.	0.850	EALS03 D4AF740	70	70	280
+	6	S1	SINGLE	N.A.	0.850	EALS03 J4AF740	186	186	1116
□+	1	S2	D180°	N.A.	0.850	EALS03 J4AF740	186	372	372

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
GROUND Planar	Illuminance	Fc	1.79	11.6	0.0	N.A.	N.A.		
POOL DECK Planar	Illuminance	Fc	10.33	17.0	0.3	34.43	56.67		
POOL SURFACE POOL SURFACE	Illuminance	Fc	12.22	14.9	10.4	1.18	1.43		

CONTRACTOR SHALL COORDINATE
MEP DRAWINGS WITH ALL OTHER
DISCIPLINES



Texas Registered Engineering Firm F-9218
5020 Temnyson Parkway - Plano, TX 75024
Dallas / Fort Worth 214.432.3030
Houston 832.532.2007



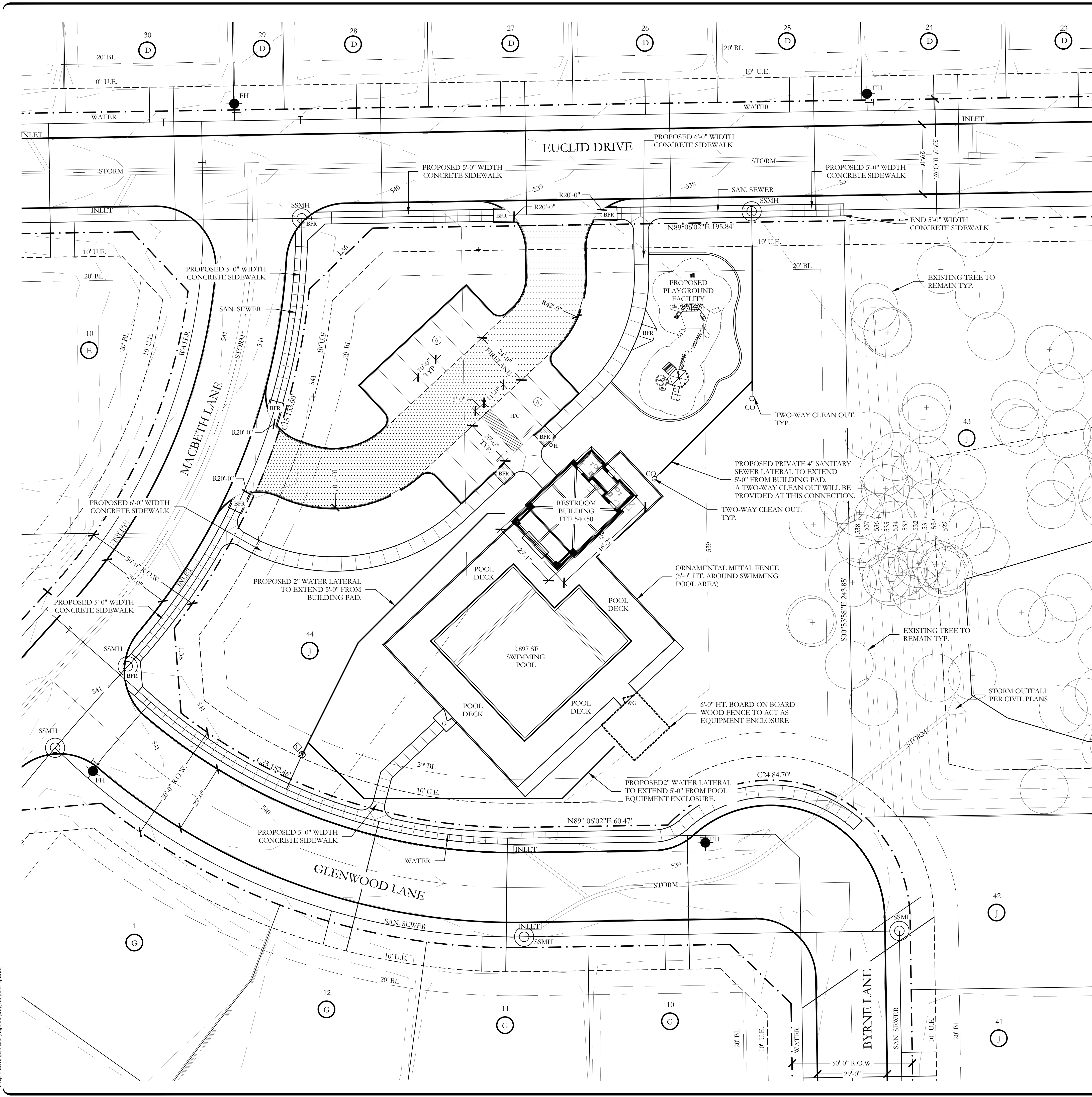
**Nelson Lake
Amenity Center**
Rockwall, TEXAS

Issue: PERMIT 10/18/2022
Revisions:

Drawing Title:
**ELECTRICAL -
SITE PLAN
PHOTOMETRICS**

Sheet
E1.02

AOS JOB #: 3799-001-22



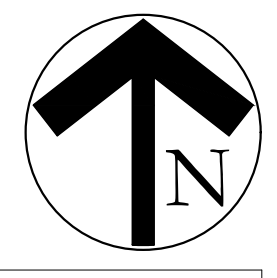
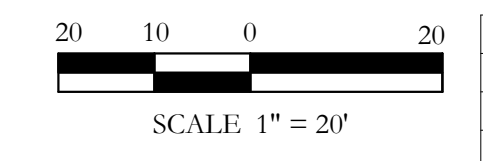
LEGEND

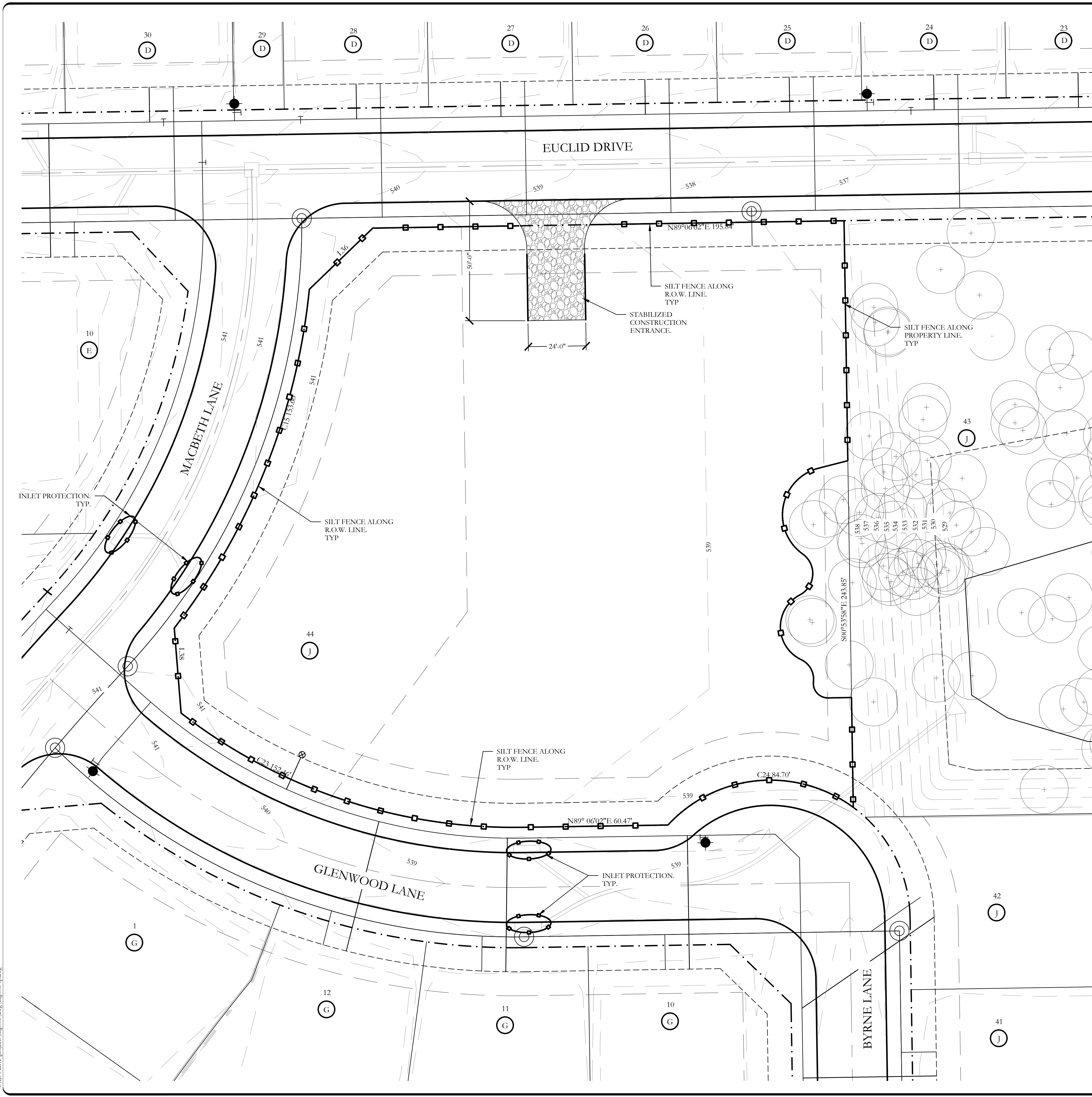
⑥	PROPOSED PARKING COUNT	⊕	EXISTING 1" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP	H - P	HANDICAP PARKING SIGN
H/C	HANDICAP PARKING SPACE	—	ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
●	EXISTING FIRE HYDRANT	7	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING METAL GATE
⊕	EXISTING SANITARY SEWER MANHOLE	WG	1 - 4'-0" WIDTH SELF LATCHING, SELF-CLOSING WOODEN GATE
+	EXISTING WATER MAIN W/ VALVE	---	6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
—	EXISTING SANITARY SEWER	---	EXISTING CONTOUR INTERVAL
—	EXISTING STORM	FFE 540.50	FINISHED FLOOR ELEVATION
⊕	EXISTING CURB INLET	---	FIRELANE PAVING PER CITY STANDARD DETAILS
---	RIGHT-OF-WAY		
WS	PROPOSED CONCRETE WHEEL STOP		

- ### UTILITY NOTES
- SANITARY SEWER LATERAL IS SHOWN ON PLAN TO BE LOCATED WITHIN 5'-0" FROM THE BUILDING PAD. MEP PLANS SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A TWO-WAY CLEAN OUT WILL BE PROVIDED AT THIS CONNECTION AS WELL AS AT THE PROPERTY LINE.
 - WATER LATERAL LINE IS SHOWN ON PLAN TO BE LOCATED 5'-0" FROM THE BUILDING PAD. MEP PLANS WILL SHOW THE CONNECTION OF THE PROPOSED PLUMBING FIXTURES TO THIS LATERAL LINE. A CUT-OFF DRAIN VALVE WILL BE PROVIDED INSIDE A WATER CUT-OFF BOX WITH A LOCKABLE COVER AT THIS CONNECTION.

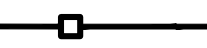

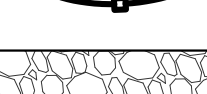
WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
⊕	1"	1"	X		4"





LEGEND

-  SILT FENCE WITH WIRE MESH BACKING
-  INLET PROTECTION
-  STABILIZED CONSTRUCTION ENTRANCE

REFER TO SHET L2 FOR EROSION CONTROL CONSTRUCTION DETAILS.

EROSION CONTROL NOTES

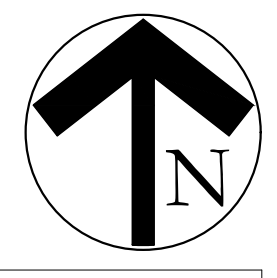
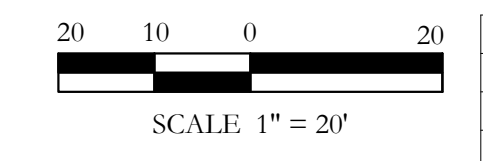
1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AND AUTHORITY OF THE TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
2. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
3. ALL RELEASES OF REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR AND EPA.
4. THE CONTRACTOR SHALL COMPLETE AND CERTIFY EROSION CONTROL INSPECTION REPORTS EVERY FOURTEEN DAYS OR WITHIN 24 HOURS OF A RAINFALL EVENT. THE CONTRACTOR SHALL DOCUMENT THE RESULTS WITHIN THE STORM WATER PREVENTION POLLUTION PLAN (SWPPP). COPIES OF THE INSPECTION REPORTS SHALL ACCOMPANY THE CONTRACTOR'S MONTHLY PAYREQUEST. THE CONTRACTOR SHALL NOT BE PAID UNTIL SAID REPORTS ARE PRESENTED TO THE OWNER/OWNER'S REPRESENTATIVE. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE UTILITY CONTRACTOR BEGINS HIS WORK. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE PAVING CONTRACTOR BEGINS HIS WORK. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS UNTIL THE EARTHWORK CONTRACTOR BEGINS FINAL LOT BENCHING OPERATIONS. THE EARTHWORK CONTRACTOR SHALL MAKE REMAINING INSPECTIONS UNTIL PROJECT IS ACCEPTED BY THE CITY.
5. MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
6. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, HE SHALL NOTIFY THE OPERATOR AND CONTRACTOR IN VIOLATION, AS WELL AS THE FACILITY OPERATOR.
7. EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY GRADING.
8. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES SIX INCHES. REMOVAL OF SILT DEPOSITS BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PERFORMANCE OF THE CONTRACT AND A SEPARATE BID ITEM SHALL NOT BE INCLUDED.
9. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR THE CITY.
10. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE GRASS GROUND COVER SHALL BE ESTABLISHED IN ALL STREET PARKWAYS, LOTS AND ALL OTHER DISTURBED AREAS. MATERIALS SHALL BE AS SPECIFIED IN ITEM 2.15 AND SEEDING SHALL BE IN ACCORDANCE WITH ITEM 3.10 OF THE NCTCOG STANDARD SPECIFICATIONS. DEPENDING UPON SCHEDULE FOR HOUSE CONSTRUCTION, GRASS ESTABLISHMENT MAY BE WAIVED ON A SINGLE LOT BASIS IF HOUSE CONSTRUCTION BEGINS IMMEDIATELY ON THAT LOT.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
12. IF ANY EROSION CONTROL IS REMOVED FOR CONSTRUCTION AND/OR ACCESS PURPOSES, THE CONTRACTOR SHALL REPLACE IT AT THE END OF THE WORK DAY.
13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A DUMPSTER (OR EQUAL) TO COLLECT SOLID WASTE MATERIALS DURING CONSTRUCTION.

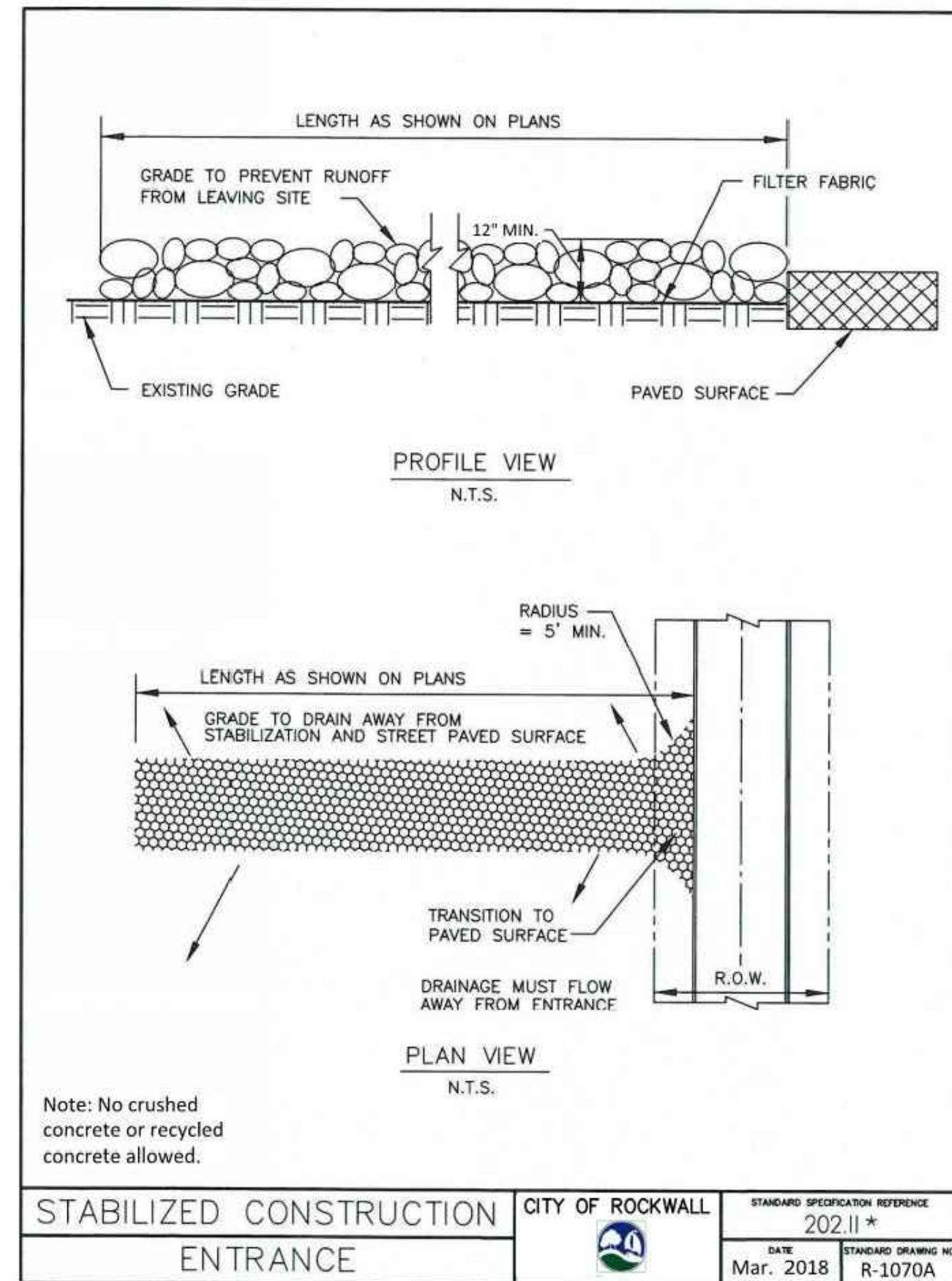
SILT FENCE CONSTRUCTION NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF TWO FEET.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE THE FENCE CANNOT BE TRENCHED (I.E. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIXTEEN INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE WOOD/STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP AND SECURELY FASTENED WHERE ENDS OF THE FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY 2 WEEKS AND AFTER EACH ONE-HALF INCH RAINFALL. FREQUENT REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE SILT FENCE. THE SILT FENCE SHALL BE DISPOSED OF IN AN APPROVED SPOIL SITE OR IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
9. AT POINT OF SURFACE FLOW CONCENTRATION REINFORCE SILT FENCE WITH WIRE MESH BACKING ON DOWNSTREAM SIDE OF FENCE.

STABILIZED CONSTRUCTION ENTRANCE NOTES

1. STONE FOR CONSTRUCTION ENTRANCE SHALL BE 3"-5" DIAMETER AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
2. IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH MIN. 12 INCHES COVER OF CRUSHED STONE. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
3. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE PUBLIC STREET AND THE STABILIZED ENTRANCE.





STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.11 *	
		DATE Mar. 2018	STANDARD DRAWING NO. R-1070A

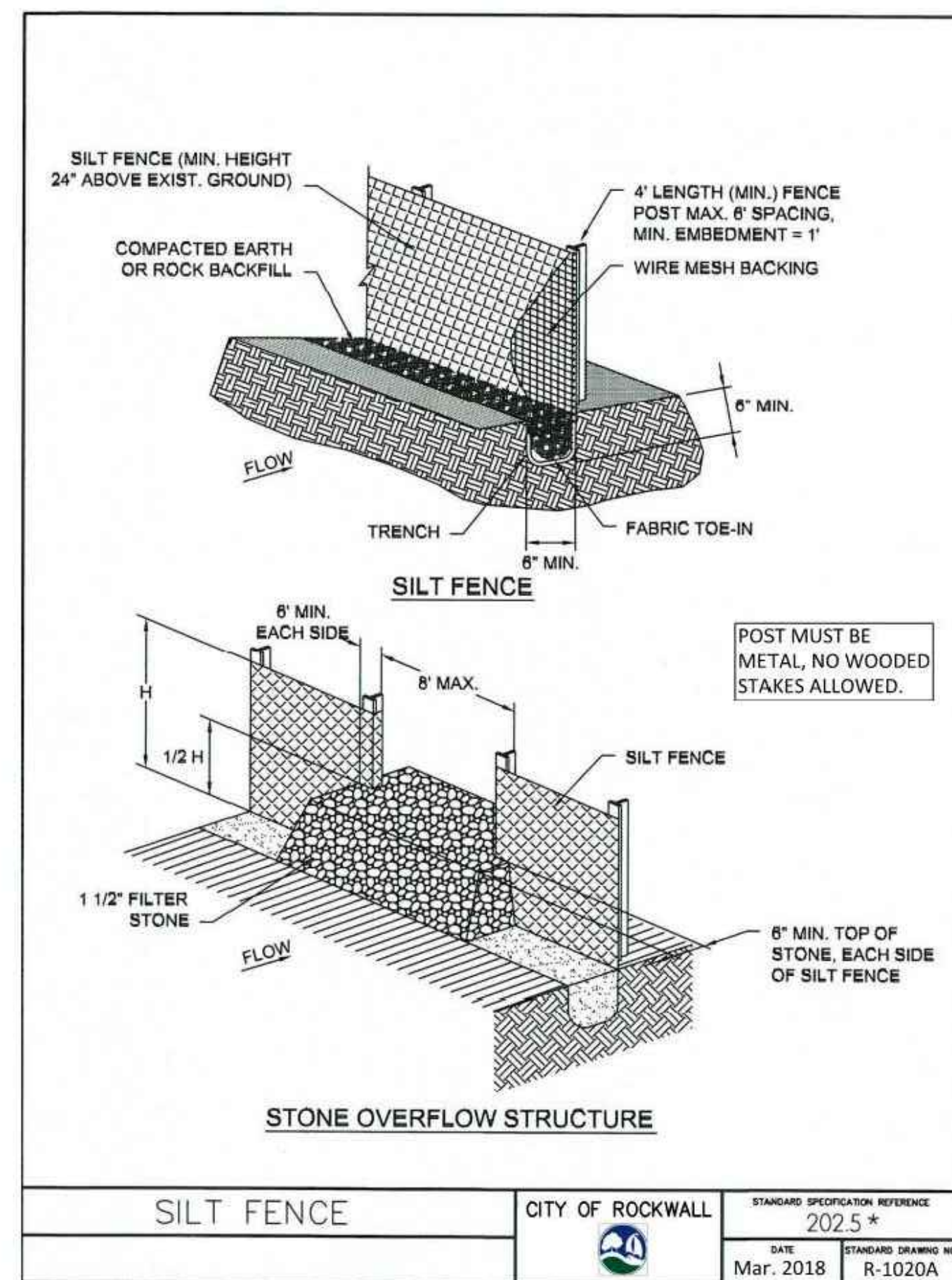
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STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 4 TO 6 INCH DIAMETER COARSE AGGREGATE.
2. MINIMUM LENGTH SHALL BE 50 FEET AND WIDTH SHALL BE 20 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.
10. NO CRUSHED OR RECYCLED CONCRETE ALLOWED.

STABILIZED CONSTRUCTION ENTRANCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.11 *	
		DATE Mar. 2018	STANDARD DRAWING NO. R-1070B

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SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5 *	
		DATE Mar. 2018	STANDARD DRAWING NO. R-1020A

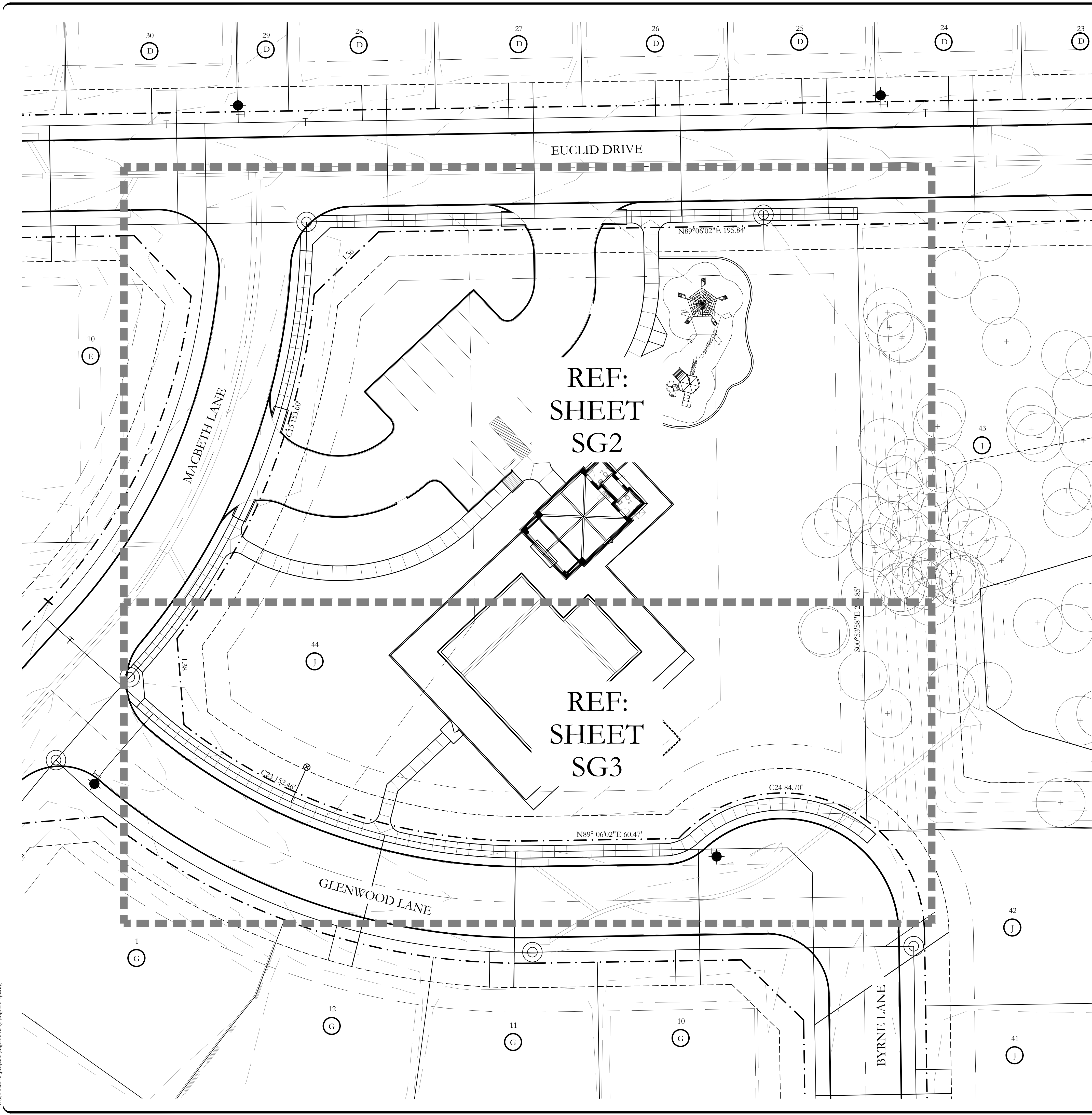
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SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. FILTER STONE SHALL BE WRAPPED IN FILTER FABRIC AND BURIED SIX (6") INCHES MINIMUM.

SILT FENCE	CITY OF ROCKWALL	STANDARD SPECIFICATION REFERENCE 202.5 *	
		DATE Mar. 2018	STANDARD DRAWING NO. R-1020B

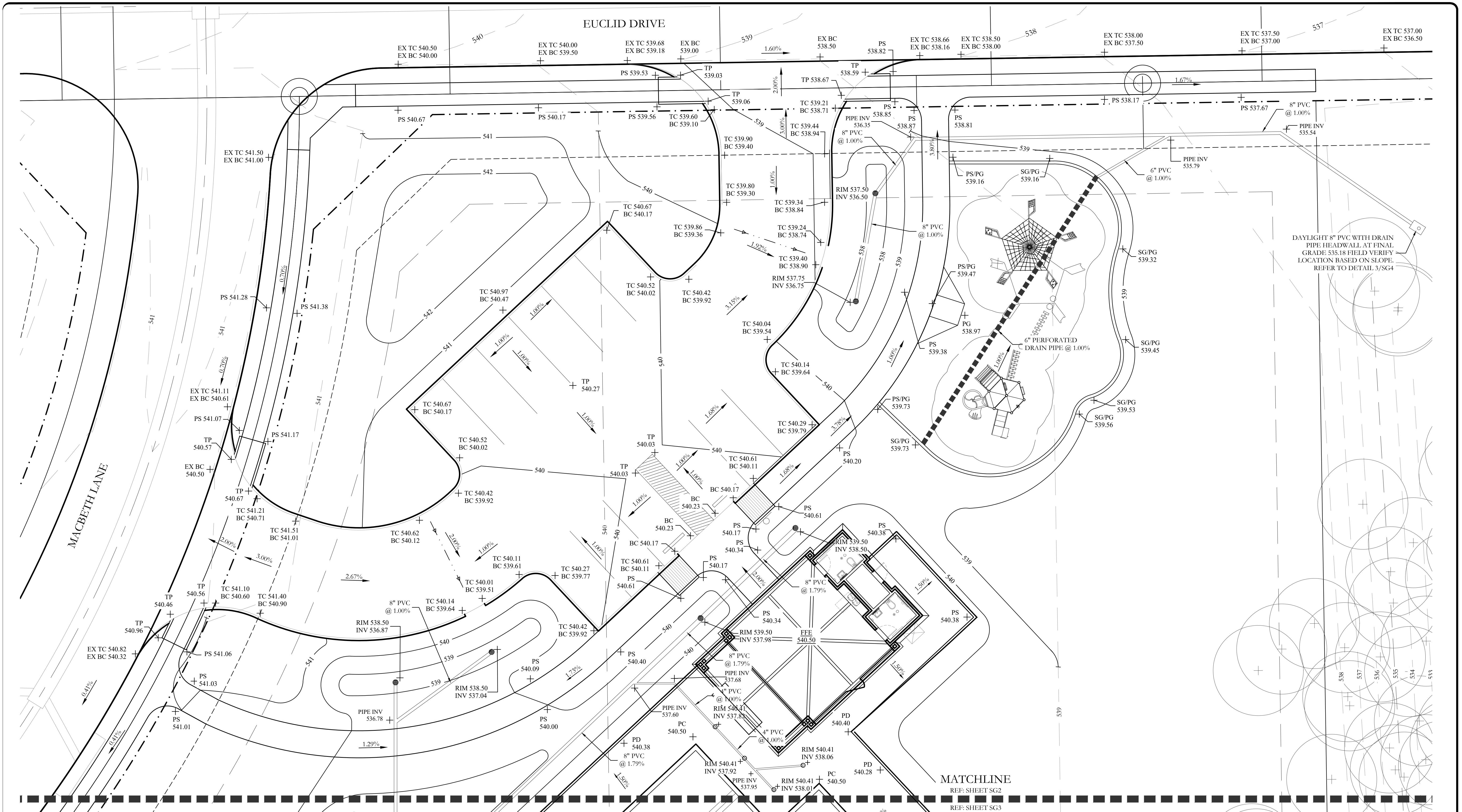
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GRADING NOTES

1. TOP SOIL SHALL NOT BE REMOVED FROM RESIDENTIAL LOTS OR USED AS SPOIL, BUT SHALL BE STRIPPED AND REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER ON THE LOTS, PARKWAYS AND MEDIANS. PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS.
2. TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
3. ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
4. GRASS SHALL BE ESTABLISHED ON THE SLOPES OF ALL DRAINAGE CHANNELS THAT ARE STEEPER THAN 6:1. GRASS SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION.
5. ALL PERMEABLE SURFACES WITHIN THE DEVELOPMENT SHALL BE GRADED TO A SMOOTH AND UNIFORM APPEARANCE THAT CAN BE EASILY MOWED WITH A SMALL RESIDENTIAL RIDING LAWN MOWER.
6. COMPACTING AREA TO BE FILLED: AFTER THE AREA TO BE FILLED IS CLEARED AND SCARIFIED, THE SUBGRADE SOILS SHALL BE COMPACTED MECHANICALLY TO AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND AT A MOISTURE CONTENT WITHIN 3 PERCENTAGE POINTS OF THE MATERIALS OPTIMUM MOISTURE.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TOPSOIL FOR CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE AROUND AND DIRECTING DRAINAGE AWAY FROM THE BUILDING, POOL, AND PLAYGROUND AREA.
9. ALL SIDEWALK PAVING SHALL HAVE A MAXIMUM 5% LONGITUDINAL SLOPE WITH A MAX. 2% CROSS SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS). CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO REQUIREMENTS.

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GRADING LEGEND

PD + 102.9	PROPOSED POOL DECK SPOT ELEVATION	HP + 102.9	PROPOSED HIGH POINT SPOT ELEVATION
PC + 102.9	PROPOSED POOL COPING SPOT ELEVATION	FFE 540.50	PROPOSED FINISH FLOOR ELEVATION
PS + 102.9	PROPOSED SIDEWALK SPOT ELEVATION	→	PROPOSED FLOW DIRECTION, 2% MAX. SLOPE IN ALL DIRECTIONS ON POOL DECK
TC 102.9 + BC 102.4	PROPOSED TOP AND BOTTOM OF CURB SPOT ELEVATION	— 540 —	PROPOSED CONTOUR
EX. TC 102.9 + EX. BC 102.4	EXISTING TOP AND BOTTOM OF CURB SPOT ELEVATION	- - - 540 - - -	EXISTING CONTOUR
TW 102.9 + BC 102.4	TOP AND BOTTOM OF PROPOSED WALL ELEVATION	→	PROPOSED FLOW LINE
TP + 102.9	PROPOSED TOP OF PAVING SPOT ELEVATION	○	4" DIA. SURFACE DRAIN IN POOL DECK SYMBOL N.T.S FOR CLARITY REFER TO DETAIL 1/SG4.
SP + 102.9	PROPOSED SPOT GRADE SPOT ELEVATION	●	12" DIA. DRAIN INLET. REFER TO DETAIL 2/SG4.
PG + 102.9	PROPOSED PLAYGROUND EDGE SPOT ELEVATION	—	PROPOSED DRAINAGE PVC OR HDPE REFER TO PLAN FOR SIZING
		○	PROPOSED DRAIN PIPE HEADWALL. REFER TO DETAIL 3/SG4.

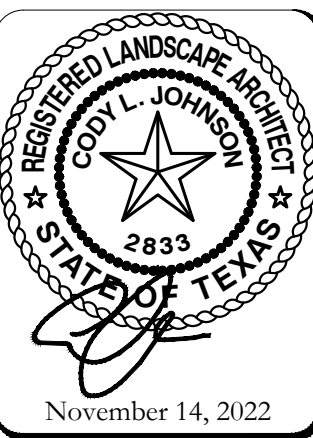
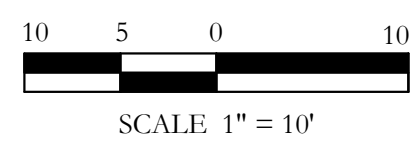
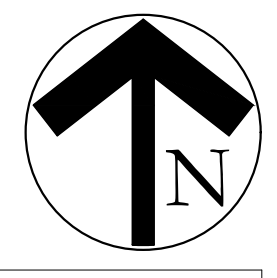
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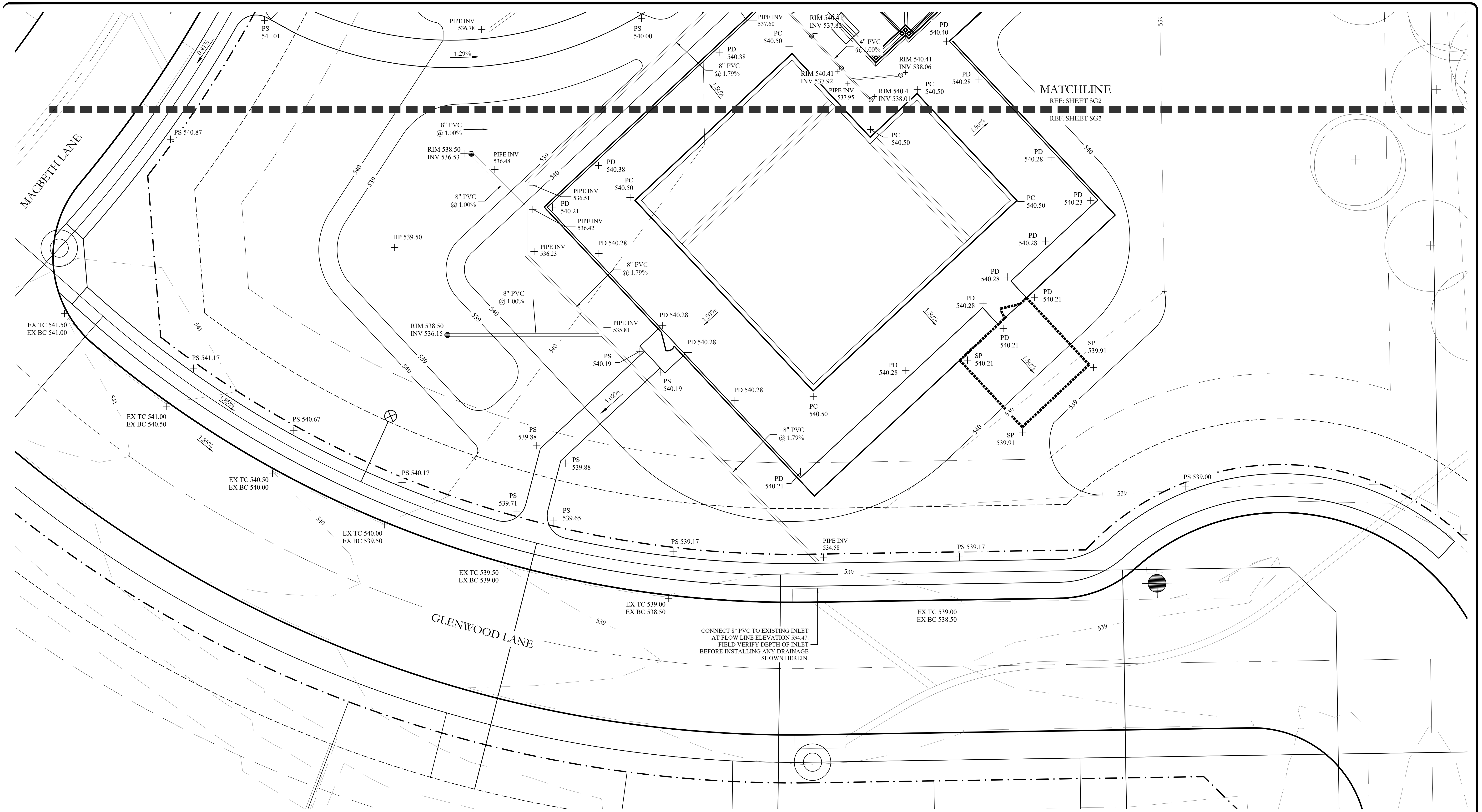
GRADING NOTES

- TOP SOIL SHALL NOT BE REMOVED FROM RESIDENTIAL LOTS OR USED AS SPOIL, BUT SHALL BE STRIPPED AND REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER ON THE LOTS, PARKWAYS AND MEDIANS. PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS.
- TEMPORARY EROSION CONTROL SHALL BE USED TO MINIMIZE THE SPREAD OF SILT AND MUD FROM THE PROJECT ON TO EXISTING STREETS, ALLEYS, DRAINAGEWAYS AND PUBLIC AND PRIVATE PROPERTY. TEMPORARY EROSION CONTROLS MAY INCLUDE SILT FENCES, STRAW BALES, BERMS, DIKES, SWALES, STRIPS OF UNDISTURBED VEGETATION, CHECK DAMS AND OTHER METHODS AS REQUIRED BY THE CITY ADMINISTRATOR OR HIS REPRESENTATIVE AND AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
- ALL STREET RIGHTS-OF-WAY, REGARDLESS OF SLOPE; ALL FINISHED GRADE SLOPES THAT ARE STEEPER THAN 6:1; AND THE FLOW LINES OF ALL DRAINAGE DITCHES AND SWALES SHALL BE COMPLETELY COVERED WITH EROSION CONTROL MATTING AS SPECIFIED IN THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS CONSTRUCTION (N.C.T.C.O.G) BMP MANUAL.
- GRASS SHALL BE ESTABLISHED ON THE SLOPES OF ALL DRAINAGE CHANNELS THAT ARE STEEPER THAN 6:1. GRASS SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE TEXAS DEPARTMENT OF TRANSPORTATION.
- ALL PERMEABLE SURFACES WITHIN THE DEVELOPMENT SHALL BE GRADED TO A SMOOTH AND UNIFORM APPEARANCE THAT CAN BE EASILY MOWED WITH A SMALL RESIDENTIAL RIDING LAWN MOWER.
- COMPACTING AREA TO BE FILLED: AFTER THE AREA TO BE FILLED IS CLEARED AND SCARIFIED, THE SUBGRADE SOILS SHALL BE COMPACTED MECHANICALLY TO AT LEAST 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND AT A MOISTURE CONTENT WITHIN 3 PERCENTAGE POINTS OF THE MATERIAL'S OPTIMUM MOISTURE.
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DAYLIGHT 8" PVC WITH DRAIN PIPE HEADWALL AT FINAL GRADE 535.18 FIELD VERIFY LOCATION BASED ON SLOPE. REFER TO DETAIL 3/SG4

MATCHLINE
REF: SHEET SG2
REF: SHEET SG3





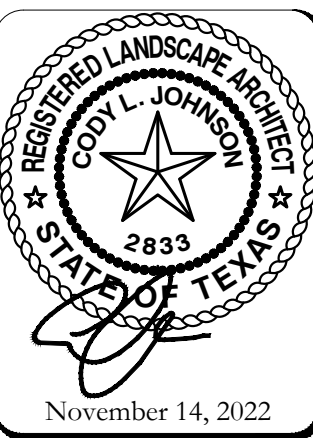
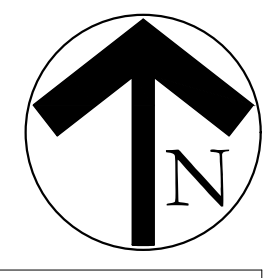
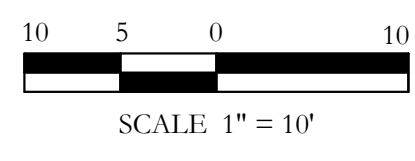
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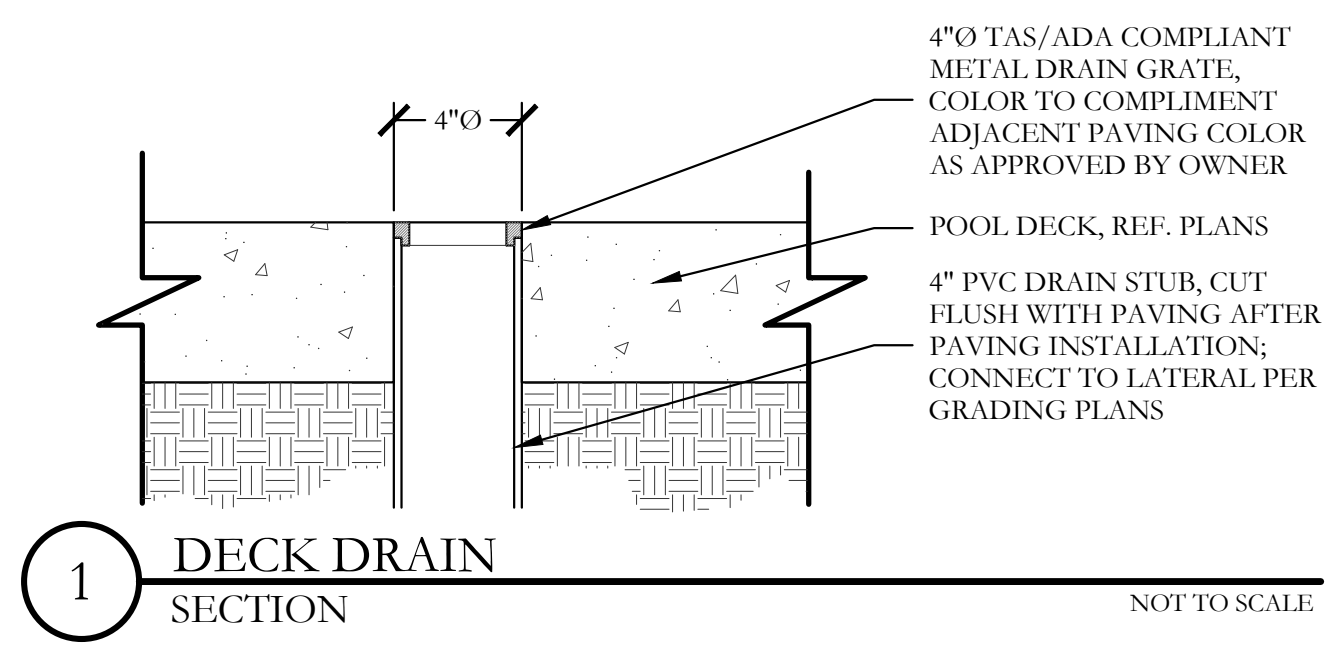
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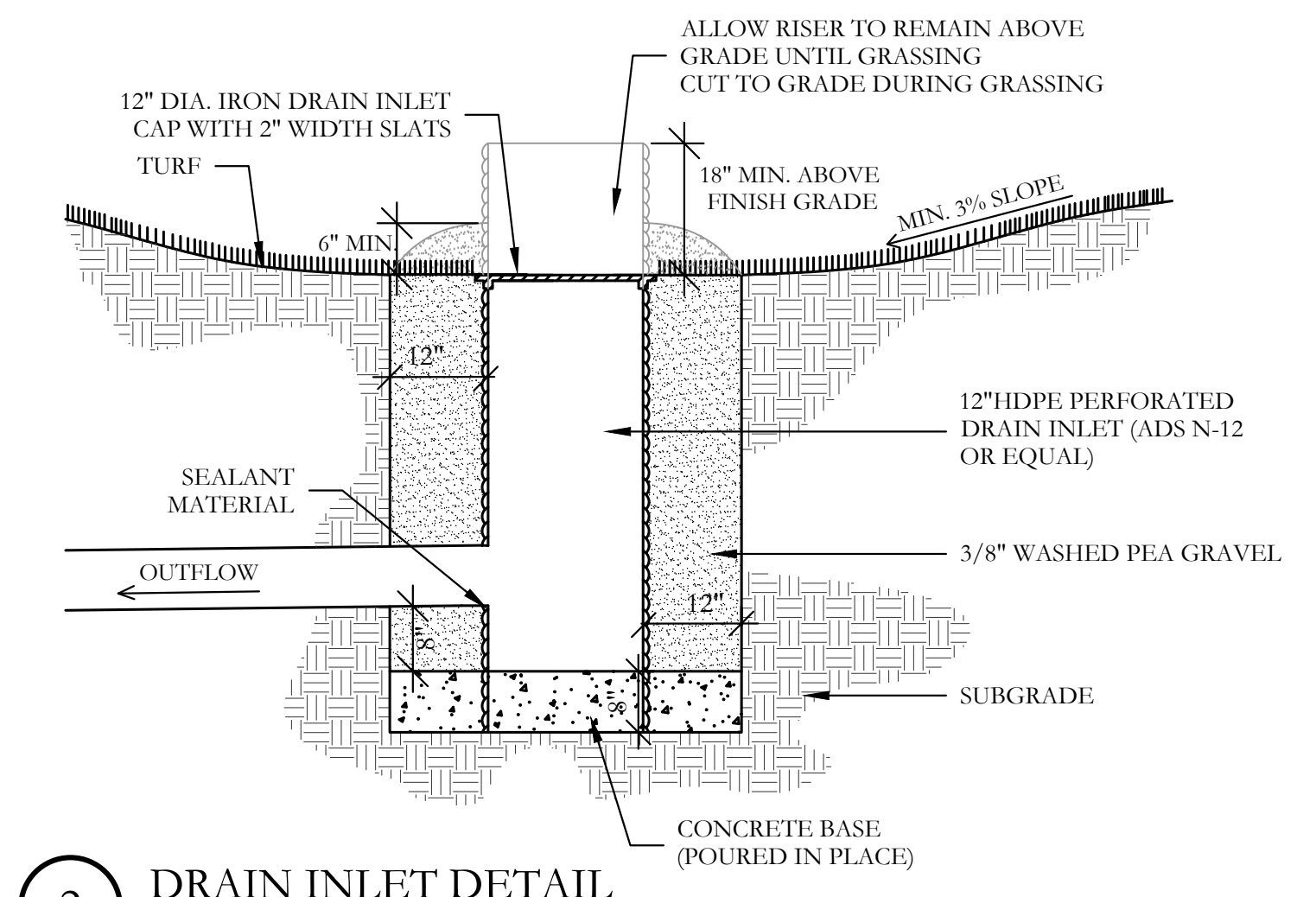
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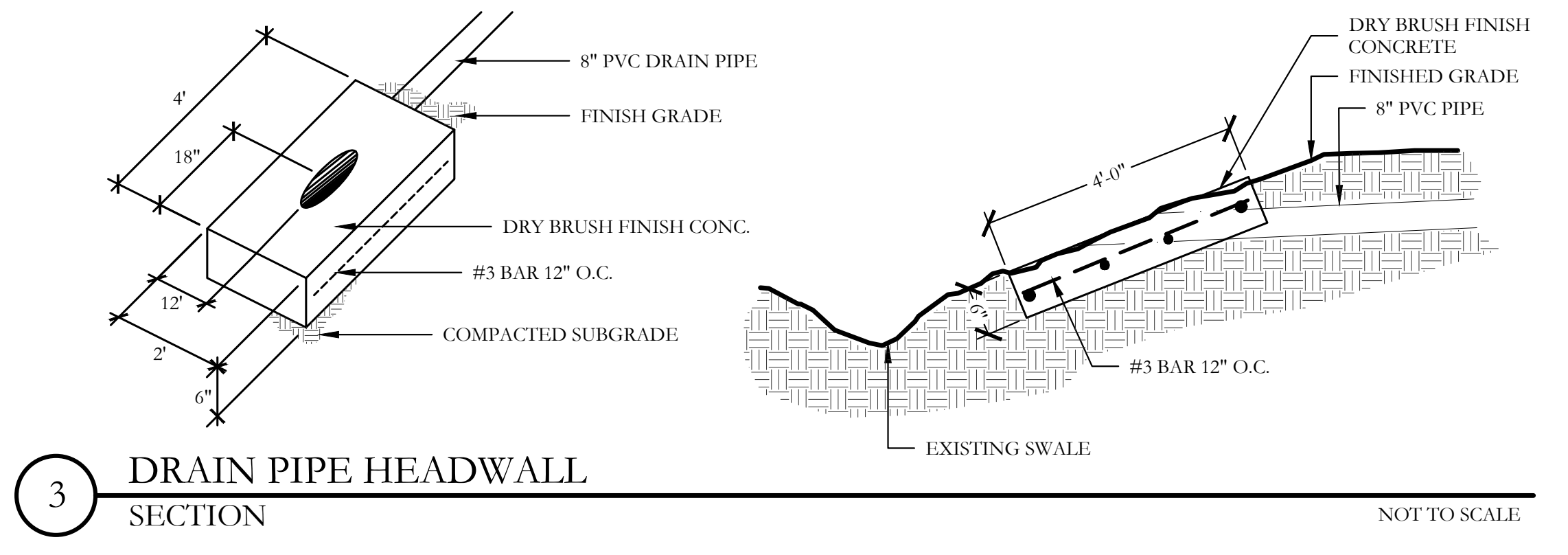
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1 DECK DRAIN SECTION NOT TO SCALE



2 DRAIN INLET DETAIL SECTION NOT TO SCALE



3 DRAIN PIPE HEADWALL SECTION NOT TO SCALE