



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1541 E Interstate 30 Suite 140 Rockwall 75087
 SUBDIVISION: _____ LOT: _____ BLOCK: _____
 GENERAL LOCATION: I-30 north service road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: LI CURRENT USE: Office / storage
 PROPOSED ZONING: LI PROPOSED USE: Wine Bar / storage
 ACREAGE: 2.2 LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Dynacap Holdings Limited</u>	<input type="checkbox"/> APPLICANT	<u>Encognito Winery</u>
CONTACT PERSON	<u>Charlie Smith</u>	CONTACT PERSON	<u>Charlie Smith</u>
ADDRESS	<u>1541 E Interstate 30 Suite 140</u>	ADDRESS	<u>1541 E Interstate 30 Ste 140</u>
CITY, STATE & ZIP	<u>Rockwall 75087</u>	CITY, STATE & ZIP	<u>Rockwall 75087</u>
PHONE	<u>214 212 2307</u>	PHONE	<u>214 212 2307</u>
E-MAIL	<u>charlie@ck2advisors.com</u>	E-MAIL	<u>charlie@ck2advisors.com</u>

NOTARY VERIFICATION [REQUIRED]

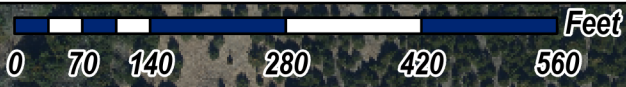
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Charles Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ wanted TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20 DAY OF May, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPY-RELATED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

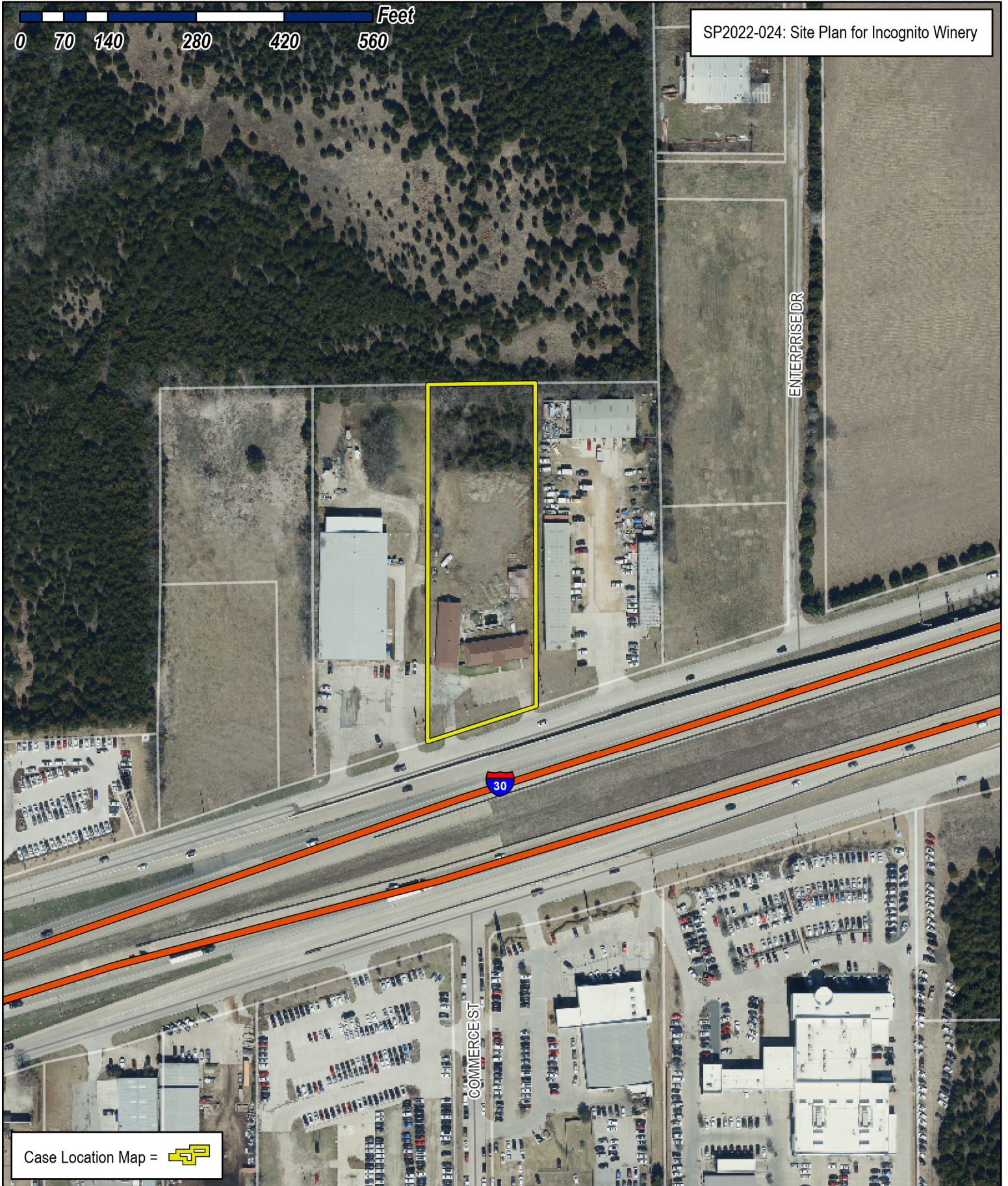
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20 DAY OF May, 2022
 OWNER'S SIGNATURE: _____

NOTARY PUBLIC
 THERESA L. MOSS
 Notary ID #130926177
 My Commission Expires
 December 8, 2024
 MY COMMISSION EXPIRES 12.08.2024

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Theresa L. Moss



SP2022-024: Site Plan for Incognito Winery



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Incognito Winery
Attn: Charlie Smith
214-212-2307

To: City of Rockwall

Permit #: COM2021-2176
Address: 1541 E Interstate 30, Suite 1440
Rockwall, Texas 75087

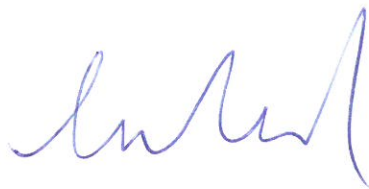
Property Owner: Dynacap Holdings Limited
Contact: Charlie Smith 214-212-2307

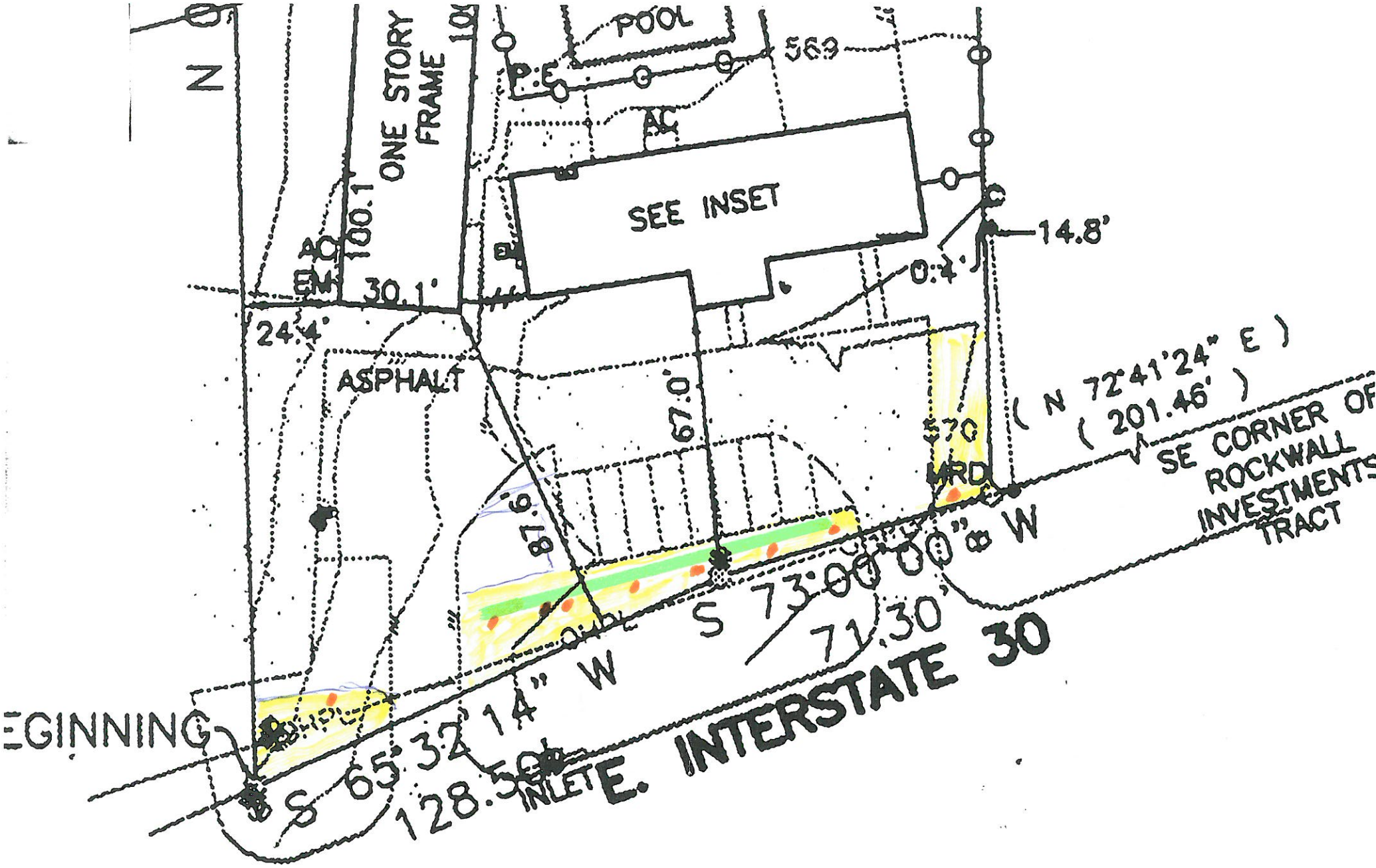
Permit Owner: Incognito Winery
Contact: Charlie Smith 214-212-2307

Request for Variance:

Canopy Trees – I have a small space at the front of my property which borders Interstate 30 which is not concrete – I have marked the grass area in yellow. The power lines are directly overhead that strip. I request to be able to put in 8 accent trees instead of canopy trees. Please see the attached survey of the front of the property where the location of the accent trees are marked with an orange dot.

Irrigation The water meter for the property is located on that same strip of property. I will irrigate the 6 trees in the area between the drives from the water supply line by having a valve or tap installed on the water supply line. I have marked the proposed irrigation location with a green line on the drawing. I request a variance on irrigating the two on the outside due to lack of infrastructure and cost.







Julie to Ryan - wanted to open June 1st

PAVEMENT REMOVAL AND REPLACEMENT PERMIT

PROJECT INFORMATION:

Project Name: Inconito Winery *Owner Dynacorp Holdings Limited* Request Date: 5/16/2022
 Project Location/Address: 1541 East Interstate 30
 Subdivision Name: _____ Lot: _____ Block: _____
 Paving Type: Fire Lane Driveway Barrier Free Ramps
 Sidewalk Parking Lot/Drive Isle Dumpster Pad
 Material Type: Concrete Replace Asphalt New Asphalt (requires Council approval)
 Description of work: Replace approx 200 sf grass area with concrete
Replace approx 475 sf grass area with concrete

PROPERTY OWNER INFORMATION:

CONTRACTOR INFORMATION:

Company Name: Dynacorp Holdings Limited Company Name: Ranco Construction Group LLC
 Contact Name: Charlie Smith Contact Name: Angel Ramirez
 Address: 1541 E Interstate 30 Address: A.D. Box 475
Rockwall Texas 75087 Rocky City Texas 75189
 Phone No.: 214-212-2307 Phone No.: 214 257 9421 OR 214 723 4451
 Contact Email: charlie@ck2advisors.com Contact Email: angelgramirez@yahoo.com

ATTACHMENTS (If Applicable)

- Mix Design (required) Other: _____
 Site Plan / Area of Construction (required)
 Typical Sections
 Traffic Control Plan (required if work to be performed in City or TxDOT ROW. Signed by a licensed professional engineer)

Replacement Steel Reinforced Concrete Pavement Requirements

Street/Pavement Type	Minimum Thickness (inches)	Strength 28-day (psi)	Minimum Cement (sacks/cy)		Min. Steel Reinforcement	
			Machine Placed	Hand Placed	Bar #	Spacing (O.C.E.W)
Collector	8"	3,600	6.0	6.5	#4 bars	18"
Residential	7" *	3,600	6.0	6.5	#4 bars	18"
Fire Lane	7" *	3,600	6.0	6.5	#3 bars	24"
Driveways**	7" *	3,600	6.0	6.5	#3 bars	24"
Barrier Free Ramps	6"	3,600	N/A	6.5	#3 bars	24"
Sidewalks	4"	3,000	N/A	5.5	#3 bars	24"
Parking Lot/Drive isles	6" *	3,000	5.0	5.5	#3 bars	24"
Dumpster Pads	7"	3,600	6.0	6.5	#3 bars	24"

*Replacement pavement shown as 1" thicker than minimum pavement thicknesses.

**Noq-residential driveway



The City of Rockwall, herein called the City, authorizes charlie Smith of Dynacorp Holdings LMI, herein called the Permittee, to remove and replace the paving listed in this permit.

1. The Permittee agrees to comply with the City's current Standards for Design and Construction.
2. All construction materials shall be subject to inspection by the City's Engineering Construction Inspector listed below.
3. The Permittee shall contact the City's Inspector at least twenty-four (24) hours prior to beginning work on this authorized permit.
4. The Permittee shall contact the City's Inspector at least twenty-four (24) hours for inspections.
5. The Permittee shall hold harmless the City and dully appointed agents and employees against any action for personal injury or property damage sustained by reason of the exercise of this permit.
6. This permit will be null and void if not constructed within six (6) months from the issuance date of this permit.
7. Approved permit must be kept onsite at all times while under construction or inspection.
8. All fill requires 95% compaction with densities. Densities may be required based on existing subgrade conditions if deficiencies are noticed after paving has been removed.
9. Concrete test cylinders will be required on all pours 10 yards or more. Pours less than 10 yards may require test cylinders as required by the Engineering Inspector. Permittee shall contact the Engineering Inspector for this determination prior to start of construction.
10. Mix design must be verified prior to concrete placement.
11. All lab results are to be emailed to the City Inspector.

Permittee (signature): [Signature]
Permittee (printed): Charles Smith

Date: 5/16/2022

For City Use:	<p style="text-align: right;">City Engineering Inspector: _____</p> <p style="text-align: right;">Inspector Phone Number: _____</p> <p style="text-align: right;">Engineering Department: <u>972-771-7746</u></p>
_____	_____
City Engineering Authorized Representative	Date of Issuance
<input type="checkbox"/> Subgrade <input type="checkbox"/> Batch Design Verification <input type="checkbox"/> Compression Testing Passed	<input type="checkbox"/> Reinforcement <input type="checkbox"/> Densities (if required) <input type="checkbox"/> Other _____
<input type="checkbox"/> Pavement Thickness <input type="checkbox"/> Cylinder Compression Testing	
Comments: _____ _____	
Inspector Signature	Date of Completion



Mix Code: 3058FAC
 Strength: 4000 psi @ 28 Days
 Usage: Sidewalks, Misc.
 Customer: Charlie Smith
 Project: 1541 E I-30 Rockwall, Tx

Material	Description		Specific Gravity	Weight, lbs/yd
Cement	ASTM C 150	Ashgrove Type I/II Cement - Midlothian Plant	3.15	414
Alt. Binder	ASTM C 618	Class F Fly Ash - Martin Lake	2.50	129
Fine Agg	ASTM C 33	Resolve Natural Concrete Sand-Ravenna	2.64	1198
Coarse Agg	ASTM C 33	Hanson #57 Limestone-Bridgeport	2.65	1850
Coarse Agg	ASTM C 33	Hanson #8 Pea Gravel-Scurry	2.64	0
Water	ASTM C 94	City 33.0 Gallons	1.00	275
Air	ASTM C 260	Riteks A-Train PR	0.0 to 2.00 oz/cwt	2.8 oz/cy
WR	ASTM C 494	Riteks NexCrete 1200	0.0 to 8.00 oz/cwt	13 oz/cy
WR	ASTM C 494	Riteks NexCrete 1710 - Type A/F	0.0 to 12.00 oz/cwt	14 oz/cy
Retarder	ASTM C 494	Riteks SYAD 75	As Needed	
Hydration Stabilizer	ASTM C 494	Riteks HydraStop	As Needed	
Specified Slump:	3.00" - 5.00"	Designed Unit Weight	144.3 lbs./cu.ft.	Totals
Specified Air:	4.5% +/- 1.5%	Designed w/cm ratio	0.51	3896

Notes:

Bee Line Ready Mix has no knowledge or authority regarding where this mix is to be placed unless specifically noted therefore it is the responsibility of the project architect/engineer, and or contractor to insure that the above designed mix parameters of compressive strength, water cement ratio, binder content, and air content, are appropriate for the anticipated environmental conditions (i.e. ACI-301,38 and the local building codes)

Chemical admixtures are added in accordance with the manufacturer's recommendations, and may be changed to meet job site demands. These mixtures proportions are proprietary, and dissemination without approval is a violation of federal law. Designed mix cementitious content, is stated as a minimum, and Bee Line Ready Mix reserves the right to increase cementitious content.