



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2301 S. John King, Rockwall, TX

SUBDIVISION Rockwall Heath High School 9th Grade Center LOT 2 BLOCK A

GENERAL LOCATION Rockwall 9th Grade Center - South site - at the Gene Burton Academy

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE Public School

PROPOSED ZONING PD for NS uses PROPOSED USE Public School

ACREAGE 79.54 acres LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Independent School District APPLICANT Rockwall Independent School District

CONTACT PERSON William Salee - Executive Director of Operations CONTACT PERSON Robert Howman

ADDRESS 1191 T.L. Townsend Drive ADDRESS 4500 Fuller Drive

CITY, STATE & ZIP Rockwall, Texas 75087 CITY, STATE & ZIP Irving, Texas 75038

PHONE 469-698-7031 PHONE 972.989.2174 (mobile)

E-MAIL will.salee@rockwallisd.org E-MAIL rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

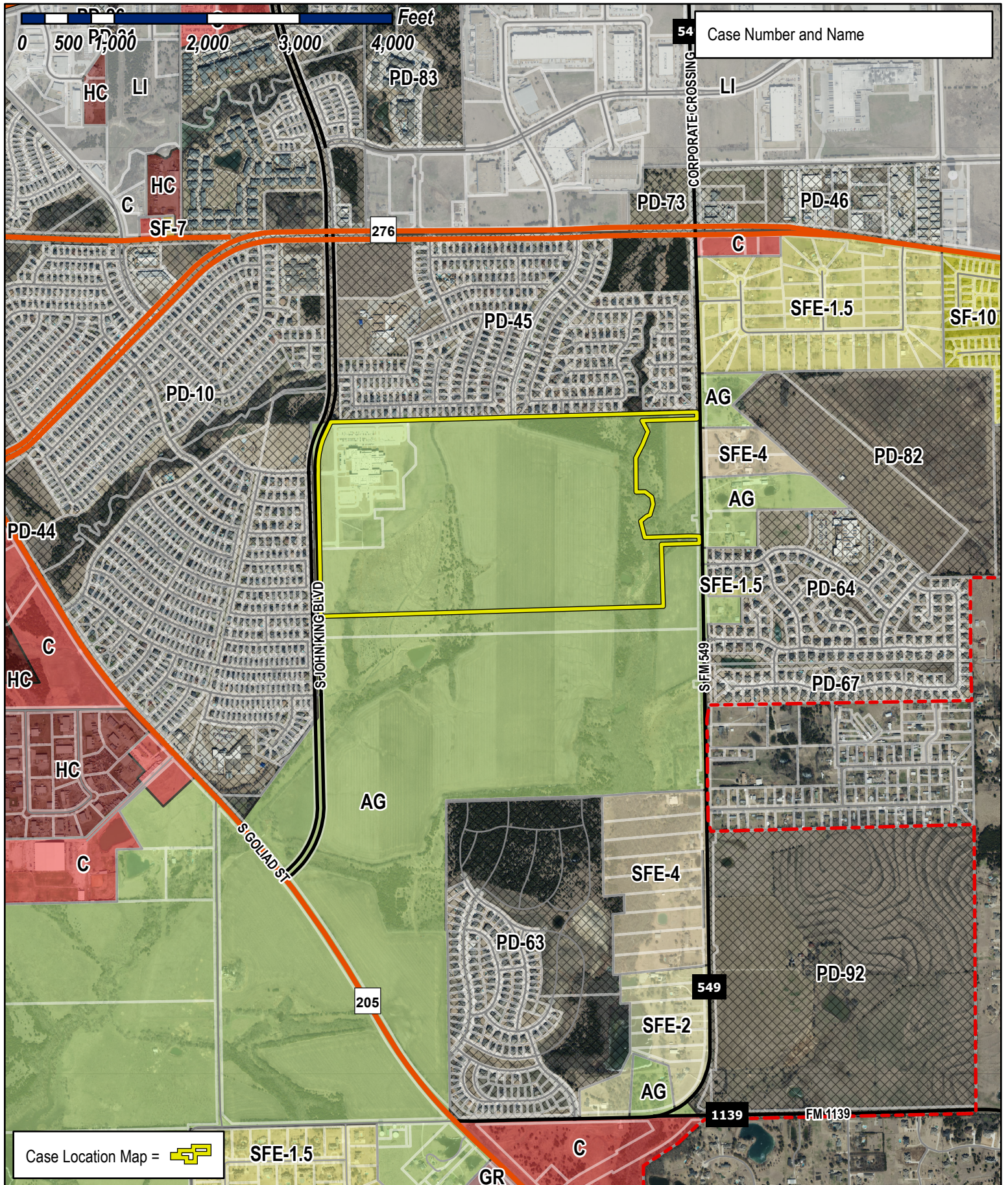
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20 _____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20 ____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



May 20, 2022

Bethany Ross
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

Rockwall ISD – Rockwall-Heath Ninth Grade Center (South Site)
Project Number SP2022-18
Request for Masonry Percentage Variance

Dear Ms. Ross:

We are requesting a variance from the masonry percentage requirements per the SH-205 By-Pass Overlay district for the Rockwall ISD Ninth Grade Center – South Site. Our materials and design have been approved by the Architectural Review Board as of Tuesday April 26th, 2022. Per the overlay district requirements, we are to have 90% masonry materials on exterior elevations and 20% of that masonry is to be stone. Currently, 3 of our 4 overall elevations meet this requirement. The West facing elevation, adjacent to S. John King Blvd, meets the required percentage of stone at 21% but only has a total masonry percentage of 86%. This is due to the increased amount of a wood-look phenolic panel and glazing on this façade compared to the others.

The school district desires to have increased transparency at the front entry elevation of the building to create a welcoming and open entry façade that will showcase the dynamic activity within the commons spaces and allow for oversight from multiple locations in the building out to the entry plaza. The use of strategic security glazing systems will mitigate the vulnerability of traditionally glazed systems. This transparent glazing that otherwise would be largely masonry, reduces the overall percentage of masonry on this elevation, but allows for meeting the district's goals while maintaining security and increasing visual oversight. Please reference the provided samples of these materials on the exterior material boards provided to the city for review.

In addition to this natural look phenolic panel, we believe that our design meets the following compensatory measures as described in the City of Rockwall Unified Development Code, Subsection 09.01 of Article 11.

- Increased landscaping
- The inclusion of at least 20% natural stone.
- Increased architectural elements, such as canopies, outdoor patio/plaza space and varied roof heights.

We thank you for your consideration of this exception. We would be happy to answer any further questions regarding this material and our design for the Rockwall ISD Ninth Grade Centers.

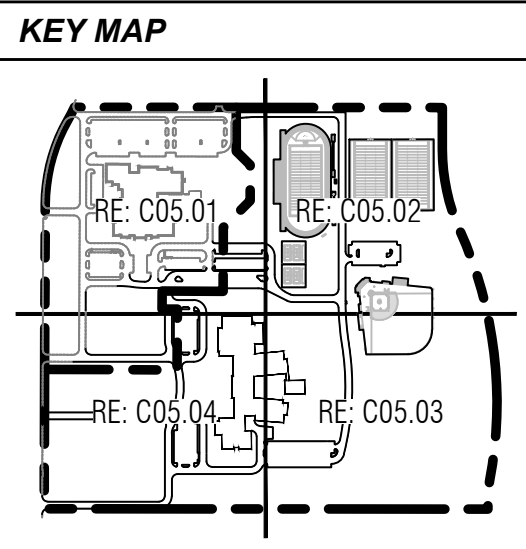
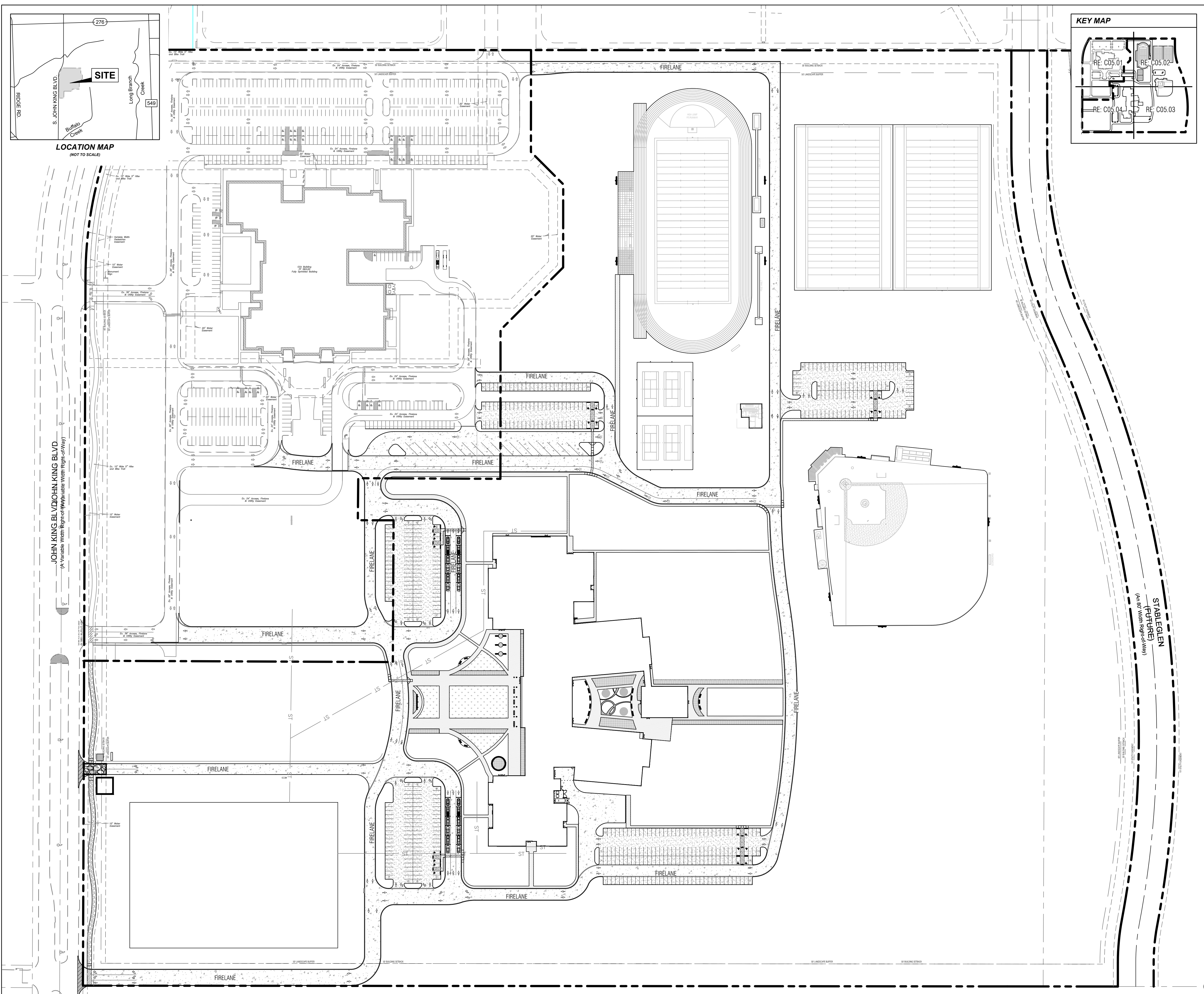
Sincerely,



BEVERLY FORNOF
Project Manager — Senior Associate
Corgan

May 19, 2022 - 1:43pm User: Cheralyn
 C:\Users\Cheralyn\AppData\Local\Temp\AcPublish_24644\ROCKWALL HEATH HS NINTH GRADE CENTER-ENG.dwg

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT



- GENERAL SITE NOTES**
- STRIPING & SIGNAGE DIMENSIONS ARE FROM FACE OF CURB.
 - ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
 - PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
 - ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
 - IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
 - IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
 - TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
 - MARK THE FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION. NO PARKING FIRE LANE EVERY 25' WHITE 4" LETTERS ON A RED STRIPED BACKGROUND.
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
 - BARRIER FIRE RAMP'S BARRIERS IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
 - ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 1FOOT-CANDLE OR LESS.

PAVING LEGEND (PROPOSED)

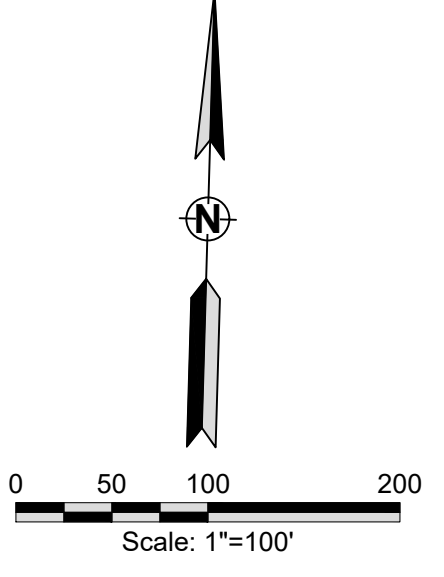
[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	ORNAMENTAL FENCE
[Symbol]	PAINTED TRAFFIC DIRECTIONAL ARROW
[Symbol]	PROPERTY LINE
[Symbol]	10' MASONRY SCREENING WALL
[Symbol]	PRIVATE #4 REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE 6/6 SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY
[Symbol]	RE: GEOTECHNICAL REPORT (PRIVATE) # REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE 6/6 SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY
[Symbol]	RE: GEOTECHNICAL REPORT (PUBLIC) #7 REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE 6/6 SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY
[Symbol]	RE: GEOTECHNICAL REPORT (PRIVATE) #4 REINFORCED CONCRETE SIDEWALK W/ #3 REBARS ON 18" CENTERS EACH WAY
[Symbol]	RE: GEOTECHNICAL REPORT (PUBLIC) #3 REINFORCED CONCRETE SIDEWALK W/ #3 REBARS ON 24" CENTERS EACH WAY
[Symbol]	RE: GEOTECHNICAL REPORT (PRIVATE) #3 REINFORCED CONCRETE SIDEWALK W/ #3 REBARS ON 24" CENTERS EACH WAY
[Symbol]	RE: GEOTECHNICAL REPORT (PUBLIC) #2 REINFORCED CONCRETE SIDEWALK W/ #3 REBARS ON 24" CENTERS EACH WAY
[Symbol]	RE: GEOTECHNICAL REPORT (PRIVATE) #2 REINFORCED CONCRETE SIDEWALK W/ #3 REBARS ON 24" CENTERS EACH WAY
[Symbol]	RE: LANDSCAPE

PAVING LEGEND (EXISTING)

[Symbol]	CONCRETE CURB
[Symbol]	EDGE OF ASPHALT
[Symbol]	EDGE OF CONCRETE
[Symbol]	FENCE
[Symbol]	PROPERTY LINE

SITE DATA SUMMARY TABLE

EXISTING ZONING	AB
PROPOSED ZONING	PD FOR HS USES (2202-015)
USE	PUBLIC SCHOOL
LOT AREA	3,464.70 S.F. OR 79.54 AC.
BUILDING AREA (FLOOR AREA)	153,187 S.F.
PROPOSED FIRST FLOOR	41,019 S.F.
PROPOSED SECOND FLOOR	112,168 S.F.
TOTAL BUILDING AREA	153,187 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	153,187 S.F.
FLOOR AREA RATIO	0.051
TOTAL IMPERVIOUS AREA	916,945.31 S.F. OR 18.73 AC.
BUILDING HEIGHT	13'-10" (2 STORY)
TOTAL REQUIRED PARKING (1 PER 8 STUDENTS)	200 SPACES
PARKING PROVIDED	304 SPACES
9'x18' 0"	299 SPACES
15'x30' 0"	19 SPACES
TOTAL PARKING PROVIDED	532 SPACES



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].
 WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

**ROCKWALL - HEATH NINTH GRADE CENTER
 LOT 2, BLOCK A
 OUT OF THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0605
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARIMUO

CITY OF ROCKWALL CASE NO. SP2022-018

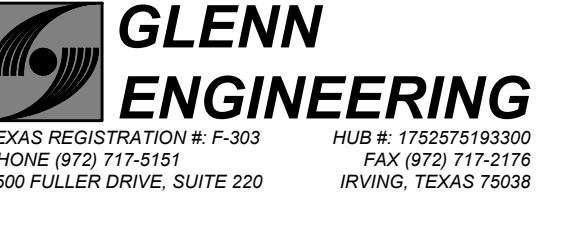


ISSUES

1	05/11/22	30% PROGRESS SET
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REVISIONS

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PRELIMINARY - FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of, Cheralyn Arimuo, P.E. 84566
 Date: 05/11/22

ROCKWALL-HEATH NINTH GRADE CENTER

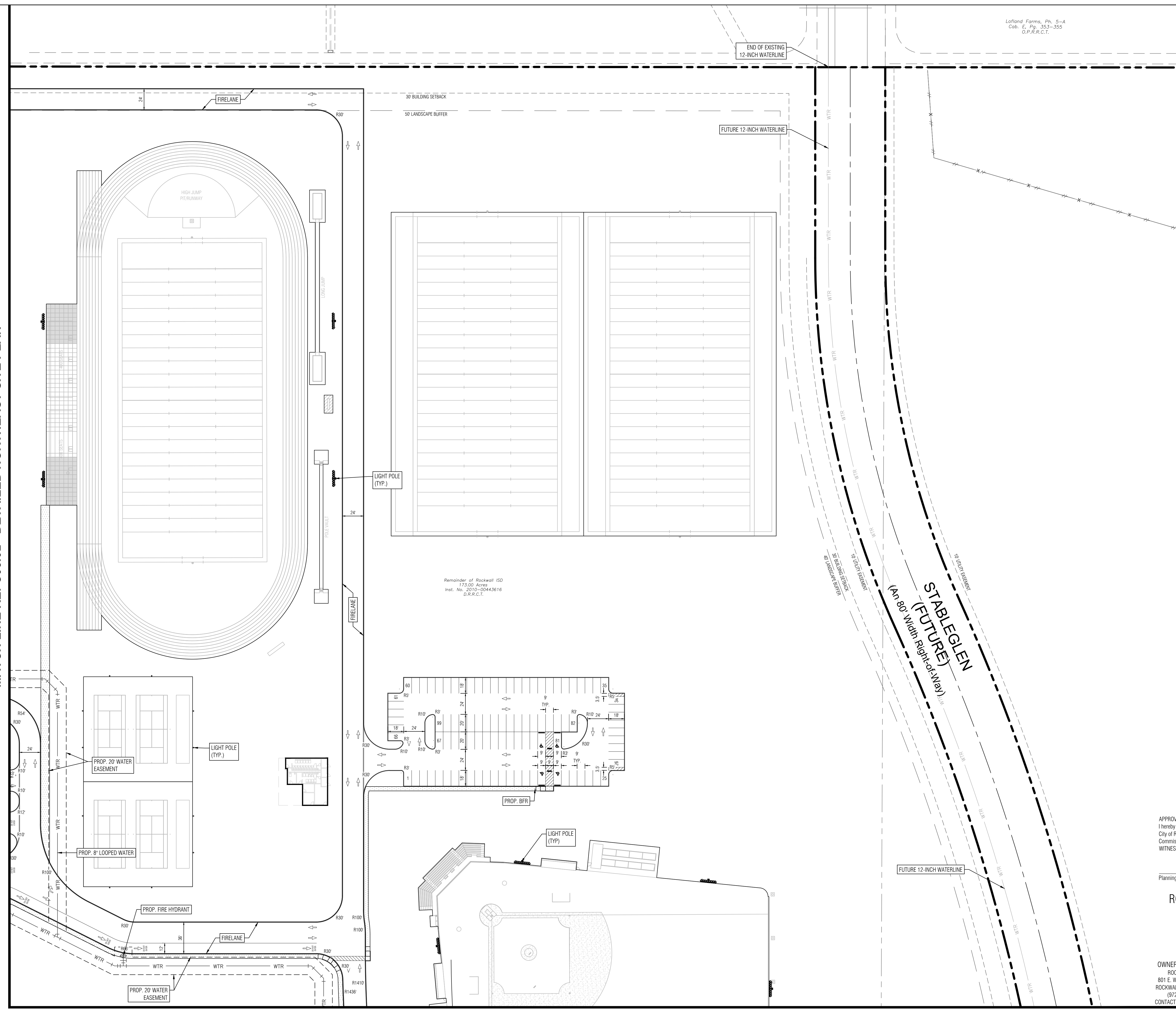
2727 S. John King Blvd.
 Rockwall, TX 75032

OVERALL SITE PLAN

JOB 21572.0000
 DATE 05/11/22
 SHEET
C05.00

May 19, 2022 - 1:43pm User: Cherylm
 C:\Users\Cherylm\AppData\Local\Temp\AcPublish_24644\ROCKWALL HEATH HS NINTH GRADE CENTER-ENG.dwg

MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN



MATCH LINE RE: C05.03 - DETAILED SOUTHEAST SITE PLAN

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

Lofland Farms, Pn. 5-A
 Cob. E. Pg. 353-355
 D.P.R.C.T.

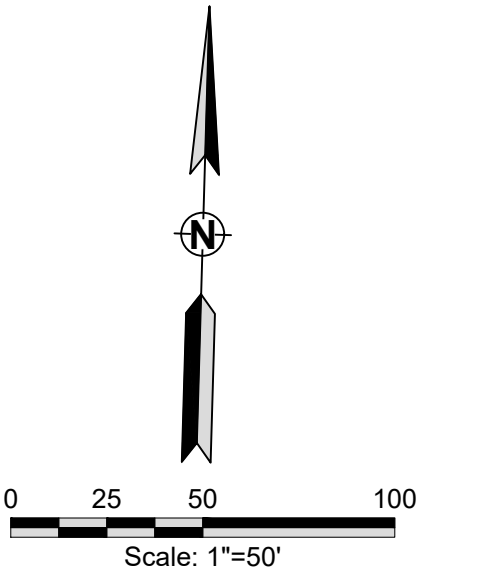
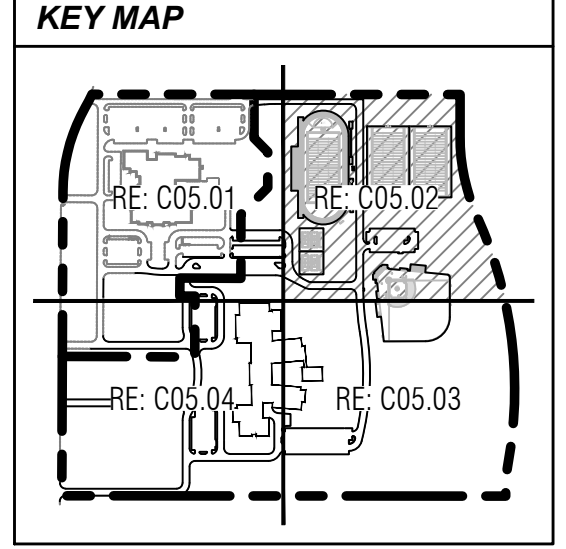
Remainder of Rockwall ISD
 173.00 Acres
 Plat. No. 2013-00443616
 D.P.R.C.T.

SITE LEGEND (PROPOSED)

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
ORNAMENTAL FENCE
FIRE LANE
PAINTED TRAFFIC DIRECTIONAL ARROW
PLANTING AREAS
RE LANDSCAPE
PROPERTY LINE
SANITARY SEWER
10' MASONRY SCREENING WALL
SS
STW
WTR
WATER

SITE LEGEND (EXISTING)

CONCRETE CURB
EDGE OF ASPHALT
EDGE OF CONCRETE
FENCE
PROPERTY LINE
SANITARY SEWER
STORM SEWER
WATER



CORGAN
 CORGAN ASSOCIATES, INC.
 401 North Houston Street
 Dallas, Texas 75202
 Tel 214 748 2000
 Fax 214 653 6281

ISSUES

1	05/11/22	30% PROGRESS SET
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REVISIONS

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GLENN ENGINEERING
 TEXAS REGISTRATION # F-351
 PHONE 972 717-5151
 4500 FULLER DRIVE, SUITE 200
 IRVING, TEXAS 75038
 FAX 972 717-5176
 IRVING, TEXAS 75038

PRELIMINARY—FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of, Cherylm Arimulo, P.E. 84556
 Date: 05/11/22

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].
 WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman
 Director of Planning and Zoning

**ROCKWALL - HEATH NINTH GRADE CENTER
 LOT 2, BLOCK A
 OUT OF THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0605
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARIMULO

CITY OF ROCKWALL CASE NO. SP2022-018

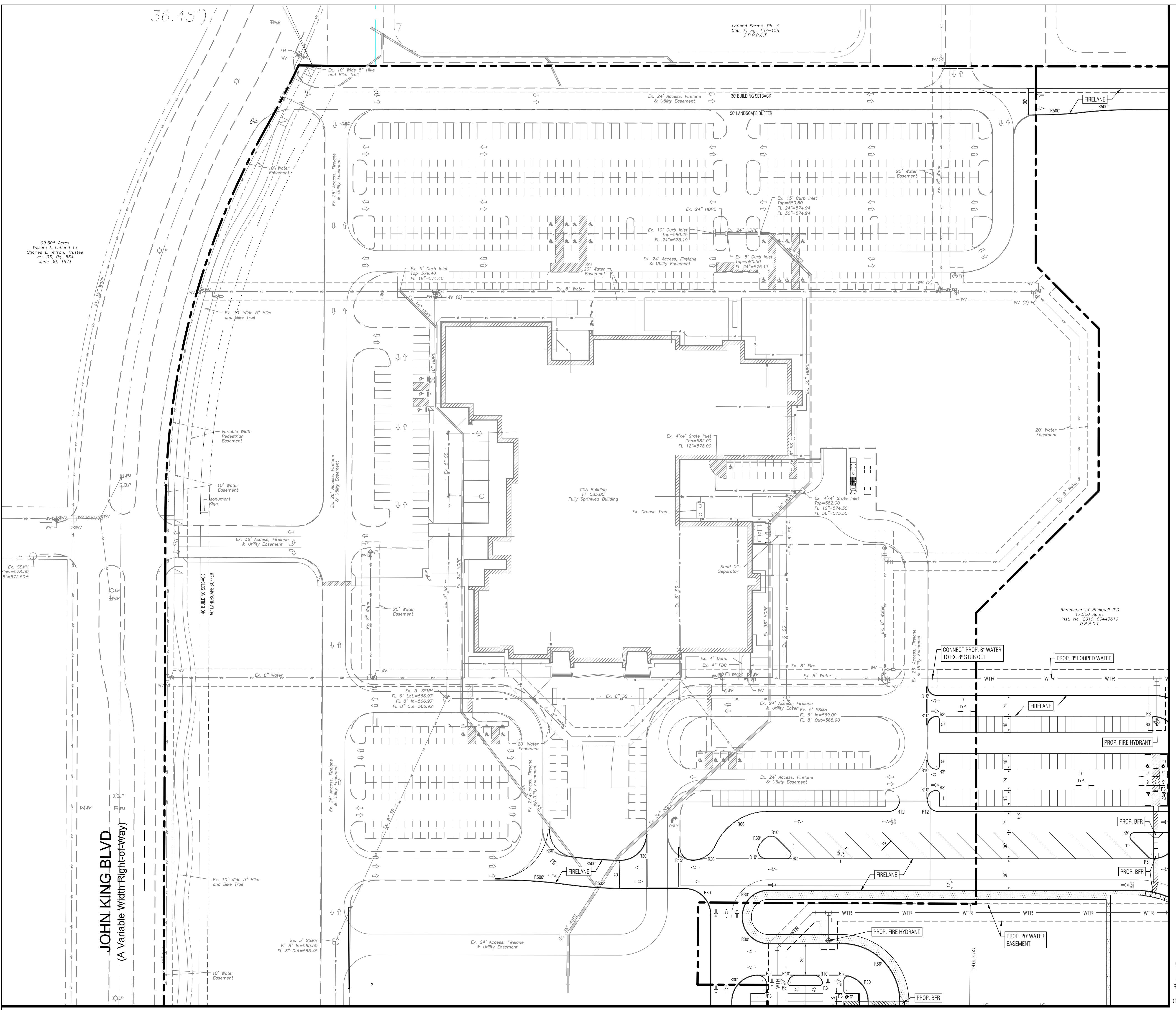
**ROCKWALL-HEATH
 NINTH GRADE CENTER**

2727 S. John King Blvd.
 Rockwall, TX 75032

**DETAILED
 NORTHEAST SITE
 PLAN**

**JOB 21572.0000
 DATE 05/11/22
 SHEET C05.02**

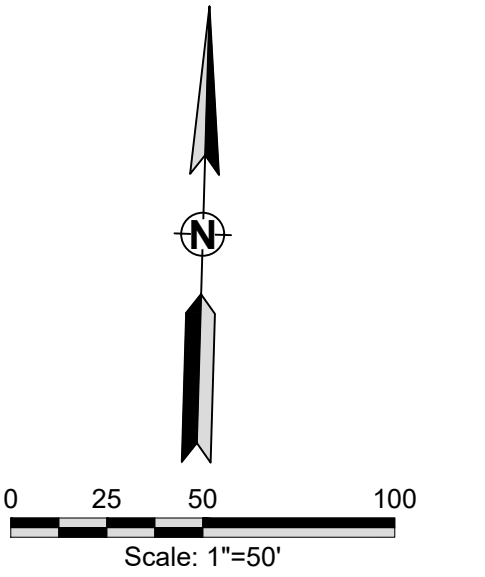
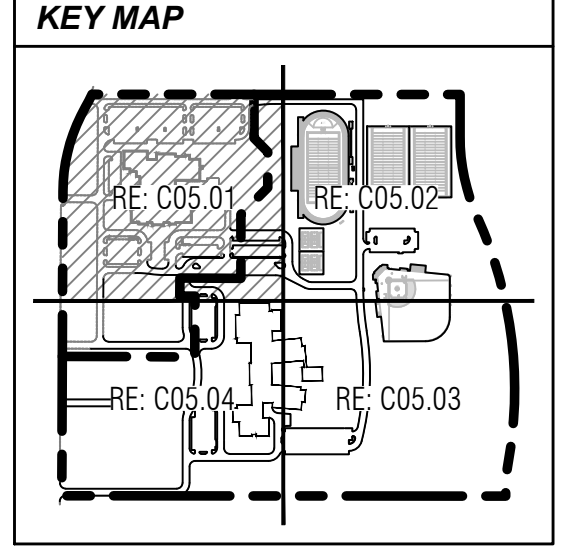
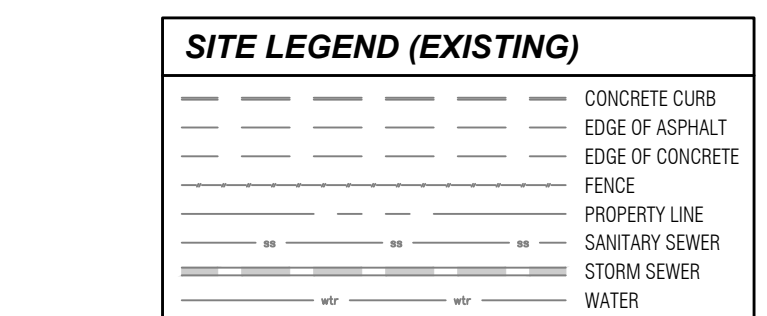
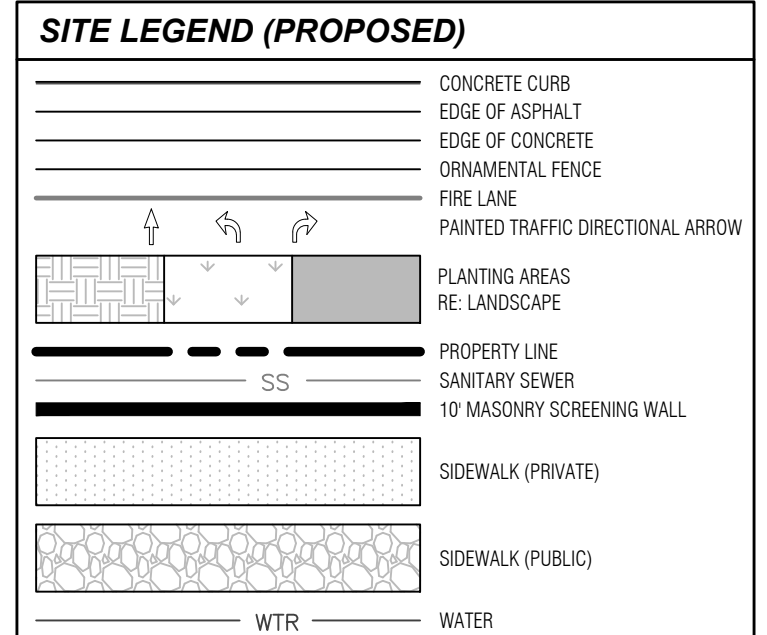
May 19, 2022 - 1:43pm User: Cherylm
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JOHN KING BLVD
 (A Variable Width Right-of-Way)

MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN

MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN



CORGAN
CORGAN ASSOCIATES, INC.
 401 North Houston Street
 Dallas, Texas 75202
 Tel 214 748 2000
 Fax 214 653 6281

ISSUES

1	05/11/22	30% PROGRESS SET
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REVISIONS

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GLENN ENGINEERING
 TEXAS REGISTRATION # F-381
 PHONE (972) 717-5151 FAX (972) 717-5176
 4500 FULLER DRIVE, SUITE 220 IRVING, TEXAS 75038

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 Date: 05/11/22

ROCKWALL-HEATH NINTH GRADE CENTER

2727 S. John King Blvd.
 Rockwall, TX 75032

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Planning & Zoning Commission, Chairman Director of Planning and Zoning

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 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR. IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMITAGE

CITY OF ROCKWALL CASE NO. SP2022-018

DETAILED NORTHWEST SITE PLAN

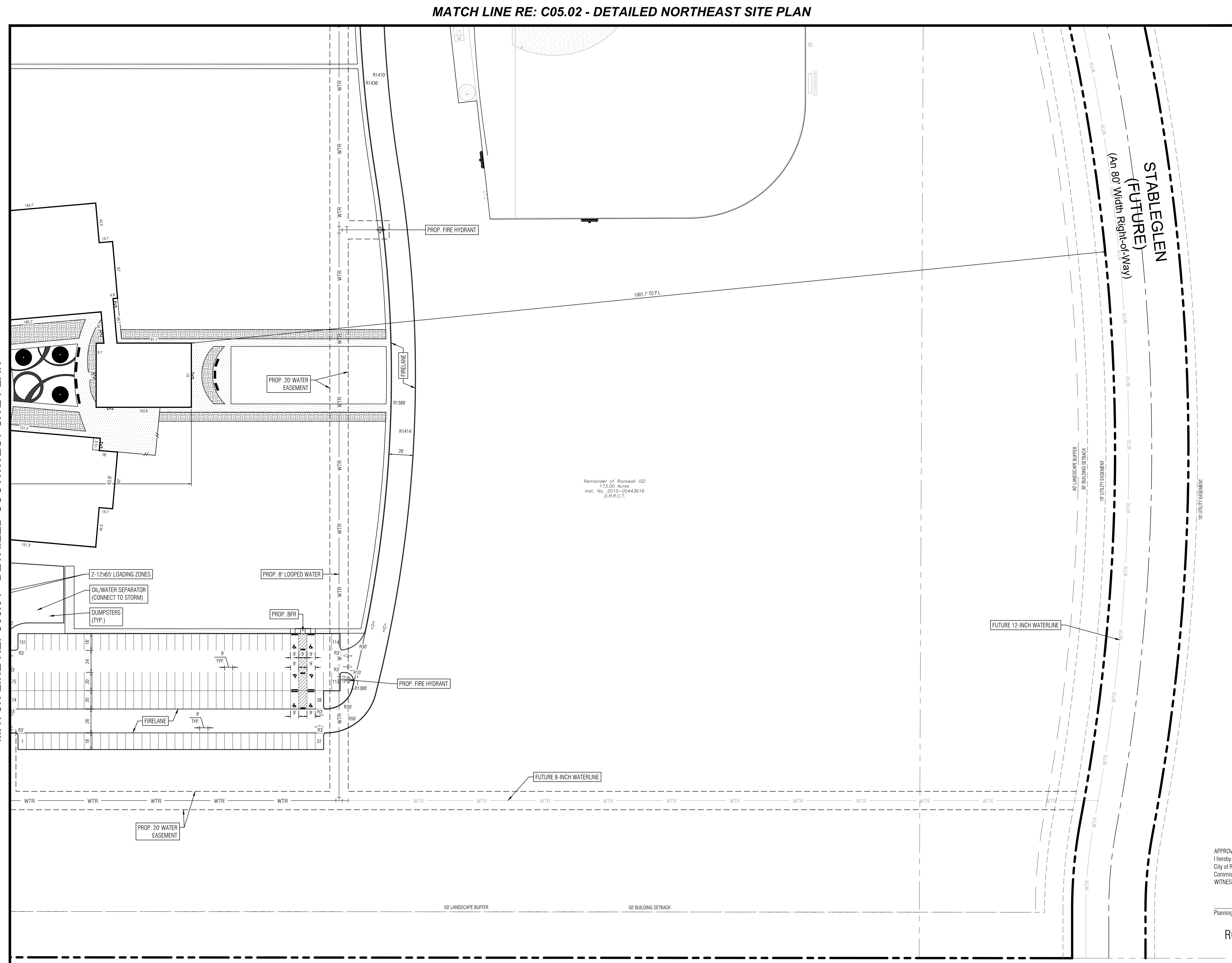
JOB 21572.0000
DATE 05/11/22
SHEET

C05.01

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

May 19, 2022 - 1:43pm User: Cheralyn
 C:\Users\Cheralyn\AppData\Local\Temp\AcPublish-24644\ROCKWALL_HEATH_HS_NINTH_GRADE_CENTER-ENG.dwg

MATCH LINE RE: C05.04 - DETAILED SOUTHWEST SITE PLAN



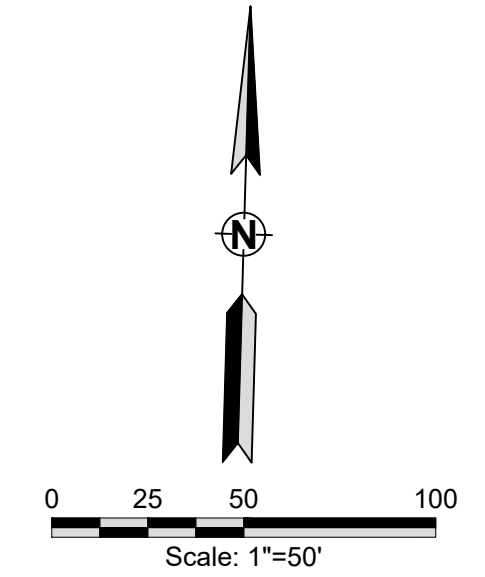
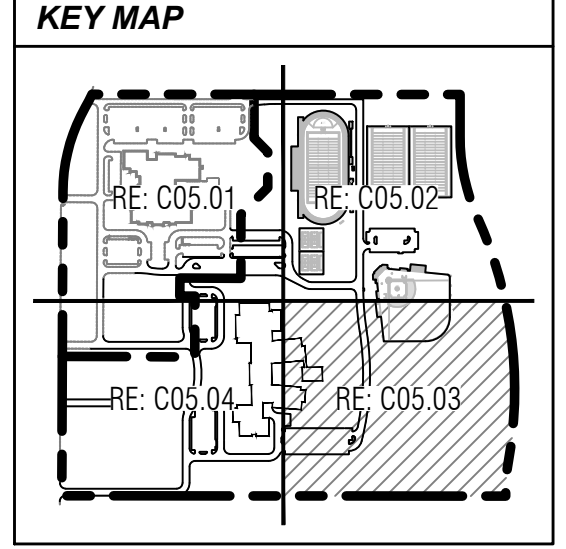
MATCH LINE RE: C05.02 - DETAILED NORTHEAST SITE PLAN

SITE LEGEND (PROPOSED)

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- ORNAMENTAL FENCE
- FIRE LANE
- PAINTED TRAFFIC DIRECTIONAL ARROW
- PLANTING AREAS
- RE LANDSCAPE
- PROPERTY LINE
- SANITARY SEWER
- 10' MASONRY SCREENING WALL
- SIDEWALK (PRIVATE)
- SIDEWALK (PUBLIC)
- WATER

SITE LEGEND (EXISTING)

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE
- SANITARY SEWER
- STORM SEWER
- WATER



Remainder of Rockwall ISD
 173.00 Acres
 Inst. No. 2010-10443616
 D.A.R.C.T.

Newman, Leland
 Vol. 9, Pg. 548
 D.A.R.C.T.

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 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERALYN M. ARMISTEAD

CITY OF ROCKWALL CASE NO. SP2022-018

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

CORGAN
 CORGAN ASSOCIATES, INC.
 401 North Houston Street
 Dallas, Texas 75202
 Tel 214 748 2000
 Fax 214 653 6281

ISSUES

1	05/11/22	30% PROGRESS SET
---	----------	------------------

REVISIONS

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GLENN ENGINEERING
 TEXAS REGISTRATION # F-381
 PHONE (972) 717-5151
 4500 FULLER DRIVE, SUITE 200
 IRVING, TEXAS 75038
 FAX (972) 717-5176
 IRVING, TEXAS 75038

PRELIMINARY - FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of, Cheralyn Armistead, P.E. 84566
 Date: 05/11/22

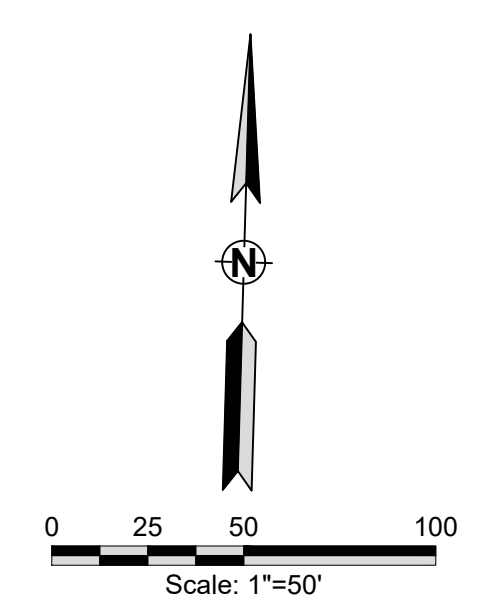
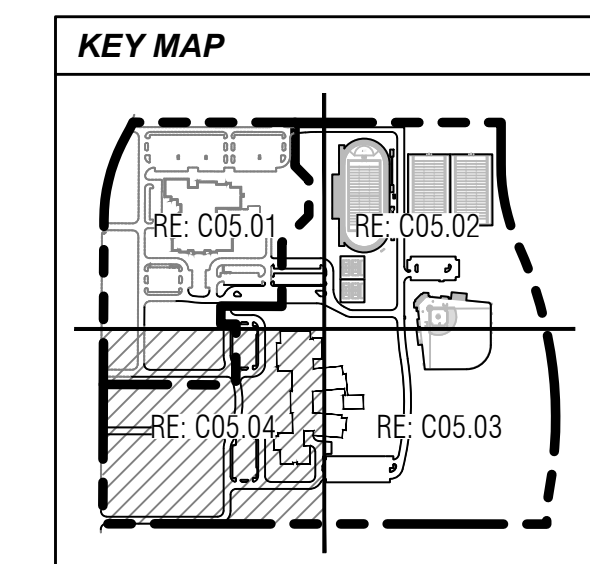
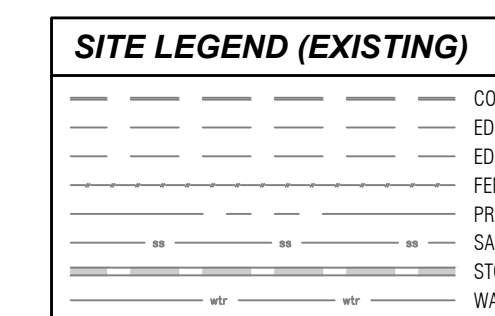
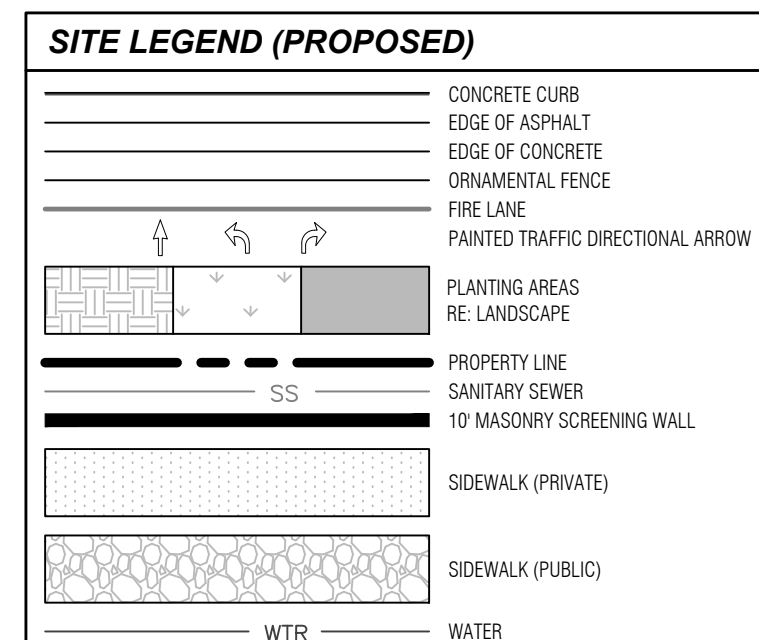
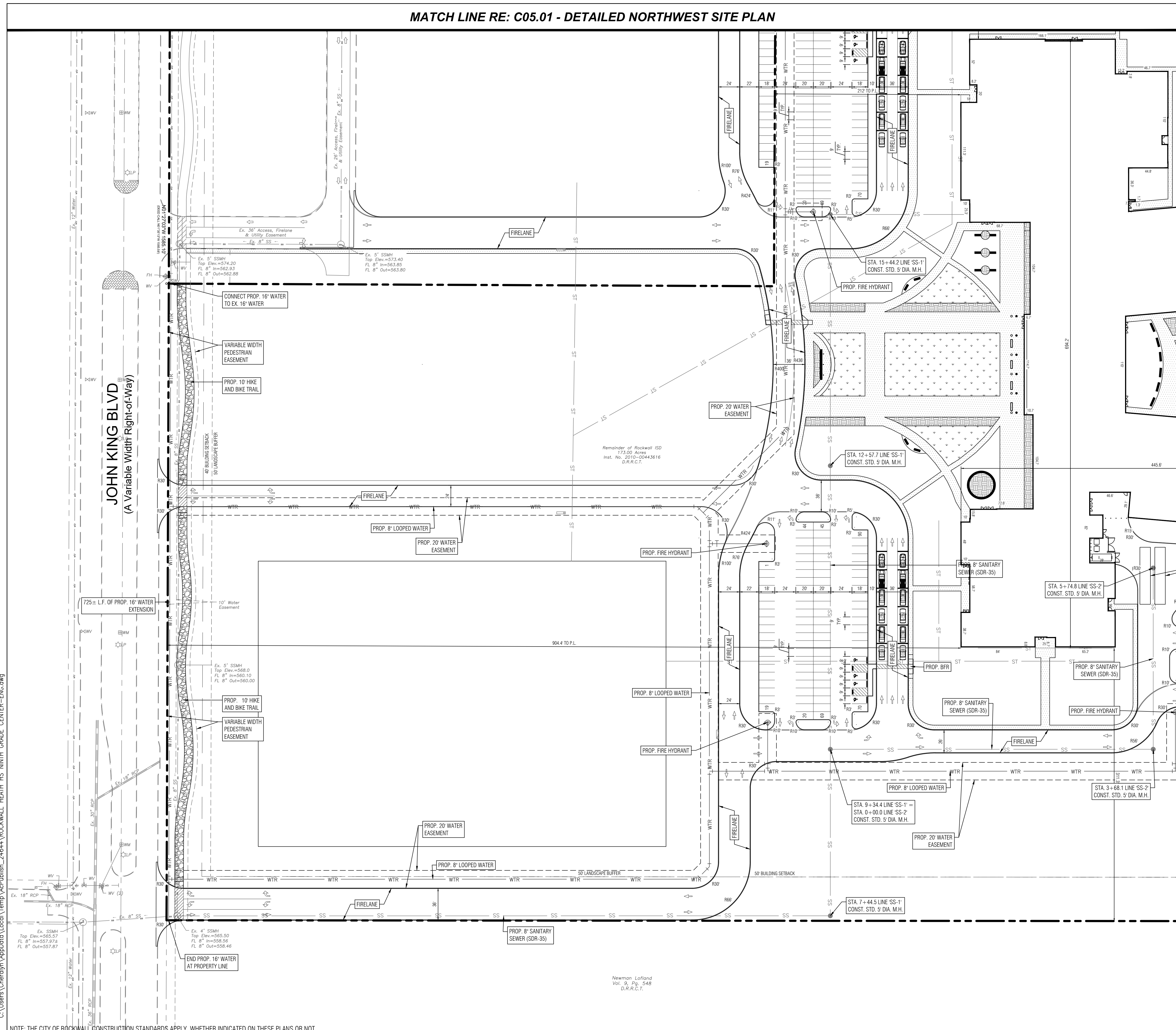
ROCKWALL-HEATH NINTH GRADE CENTER

2727 S. John King Blvd.
 Rockwall, TX 75032

DETAILED SOUTHWEST SITE PLAN

JOB 21572.0000
 DATE 05/11/22
 SHEET
C05.03

MATCH LINE RE: C05.01 - DETAILED NORTHWEST SITE PLAN



CORGAN

CORGAN ASSOCIATES, INC.
 401 North Houston Street
 Dallas, Texas 75202
 Tel 214 748 2000
 Fax 214 653 6281

ISSUES

1	05/11/22	30% PROGRESS SET
---	----------	------------------

REVISIONS

--	--	--

GLENN ENGINEERING

TEXAS REGISTRATION # F-381
 PHONE 972-717-5151
 4500 FULLER DRIVE, SUITE 200
 IRVING, TEXAS 75038

PRELIMINARY - FOR REVIEW ONLY
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 Date: 05/11/22

**ROCKWALL-HEATH
 NINTH GRADE CENTER**

2727 S. John King Blvd.
 Rockwall, TX 75032

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].
 WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman
 Director of Planning and Zoning

**ROCKWALL - HEATH NINTH GRADE CENTER
 LOT 2, BLOCK A**
 OUT OF THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
 801 E. WASHINGTON ST.
 ROCKWALL, TEXAS 75087
 (972) 771-0605
 CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
 1200 W. MAGNOLIA BLVD.
 SUITE 300
 FORT WORTH, TEXAS 76104
 (214) 484-8586
 CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
 4500 FULLER DR.
 IRVING, TEXAS 75038
 (972) 717-5151
 CONTACT: CHERYL M. ARROYO

CITY OF ROCKWALL CASE NO. SP2022-018

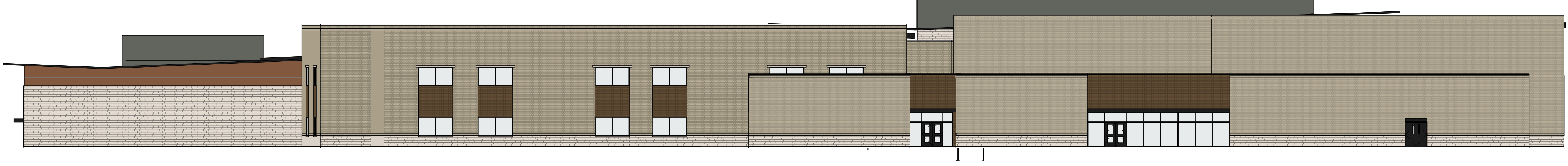
**DETAILED
 SOUTHWEST
 SITE PLAN**

JOB 21572.0000
DATE 05/11/22
SHEET
C05.04

May 19, 2022 - 1:43pm
 User: Cheryl Arroyo
 C:\Users\Cheryl\AppData\Local\Temp\AcPublish_24644\ROCKWALL-HEATH HS NINTH GRADE CENTER-ENG.dwg

NOTE: THE CITY OF ROCKWALL CONSTRUCTION STANDARDS APPLY, WHETHER INDICATED ON THESE PLANS OR NOT

Newman Leland
 Vol. 9, Pg. 548
 D.R.R.C.T.



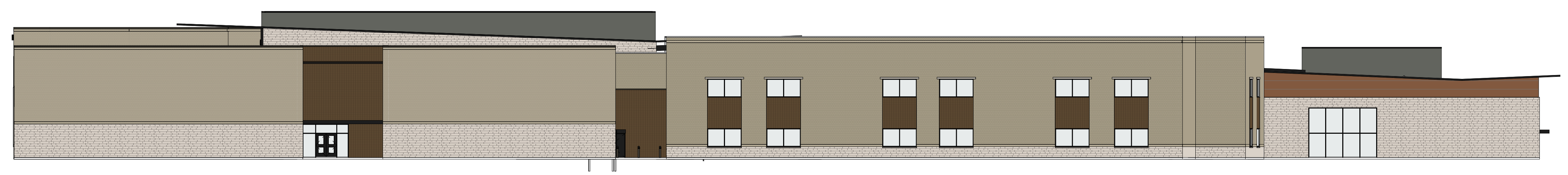
04 OVERALL EXTERIOR ELEVATION - NORTH
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	16,308 SF
TOTAL FACADE SF (MINUS GLAZING: 1,001 SF):	15,307 SF
BRICK:	11,458 SF (74.85%)
STONE:	2,435 SF (15.91%)
METAL PANEL:	908 SF (5.93%)
PHENOLIC PANEL:	506 SF (3.31%)
MASONRY PERCENTAGE:	(91%)



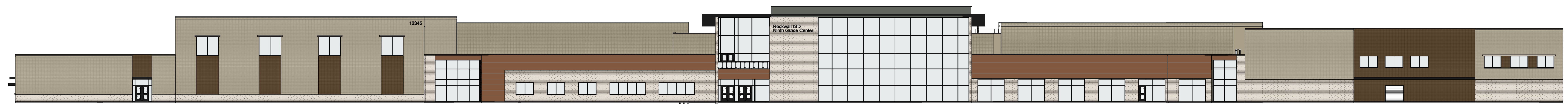
03 OVERALL EXTERIOR ELEVATION - EAST
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	24,073 SF
TOTAL FACADE SF (MINUS GLAZING: 2,239 SF):	21,834 SF
BRICK:	15,239 SF (69.80%)
STONE:	5,148 SF (23.59%)
METAL PANEL:	1,042 SF (4.77%)
PHENOLIC PANEL:	404 SF (1.85%)
MASONRY PERCENTAGE:	(93%)



02 OVERALL EXTERIOR ELEVATION - SOUTH
1" = 20'-0"

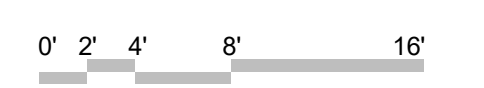
TOTAL FACADE SQUARE FOOTAGE:	18,275 SF
TOTAL FACADE SF (MINUS GLAZING: 1,073 SF):	15,202 SF
BRICK:	10,015 SF (65.88%)
STONE:	3,608 SF (23.73%)
METAL PANEL:	1,109 SF (7.30%)
PHENOLIC PANEL:	470 SF (3.09%)
MASONRY PERCENTAGE:	(90%)



01 OVERALL EXTERIOR ELEVATION - WEST (FACES PUBLIC ROW S. JOHN KING BLVD)
1" = 20'-0"

TOTAL FACADE SQUARE FOOTAGE:	24,147 SF
TOTAL FACADE SF (MINUS GLAZING: 5,607 SF):	18,540 SF
BRICK:	12,036 SF (64.91%)
STONE:	3,885 SF (20.95%)
METAL PANEL:	483 SF (2.61%)
PHENOLIC PANEL:	2,136 SF (11.52%)
MASONRY PERCENTAGE:	(86%)

EXT. MATERIALS LEGEND		
	BR-1	
	BR-2	
	MP-1	



EXTERIOR ELEVATIONS - OVERALL

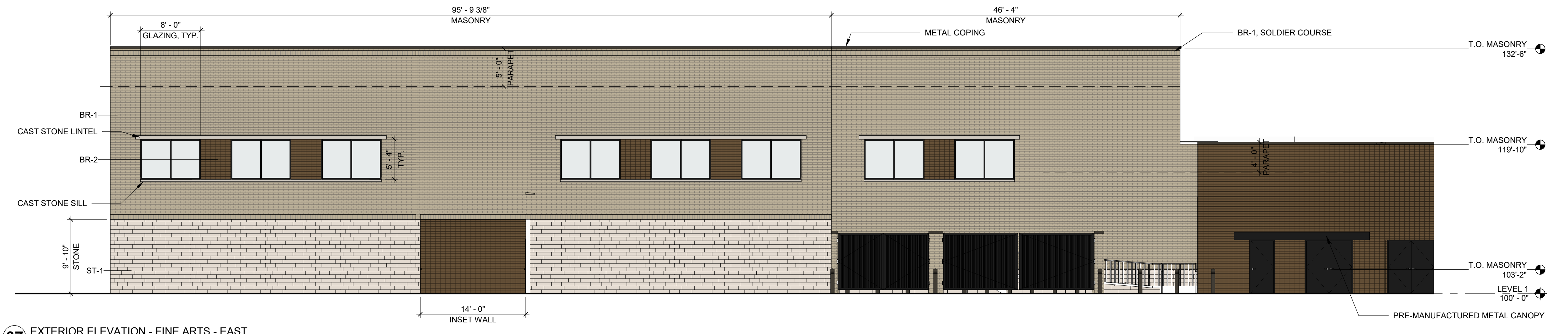
As indicated

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

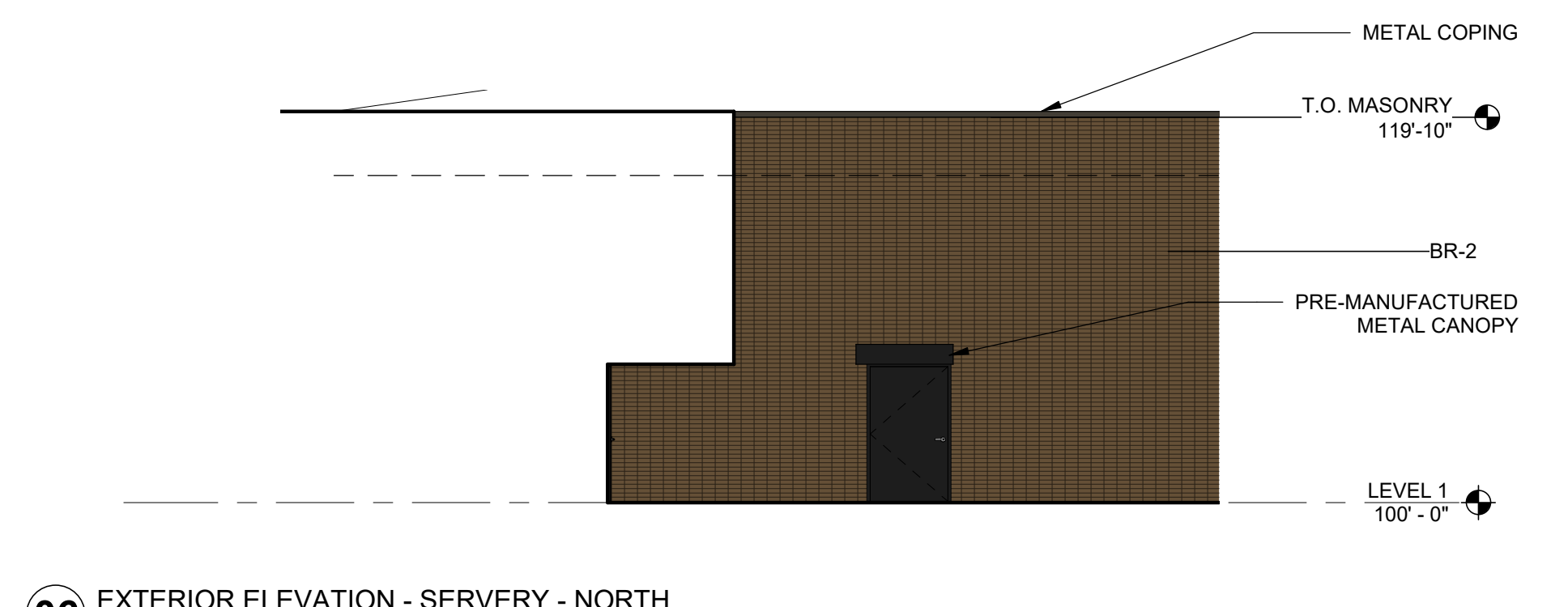
Planning & Zoning Commission, Chairman

Director of Planning and Zoning





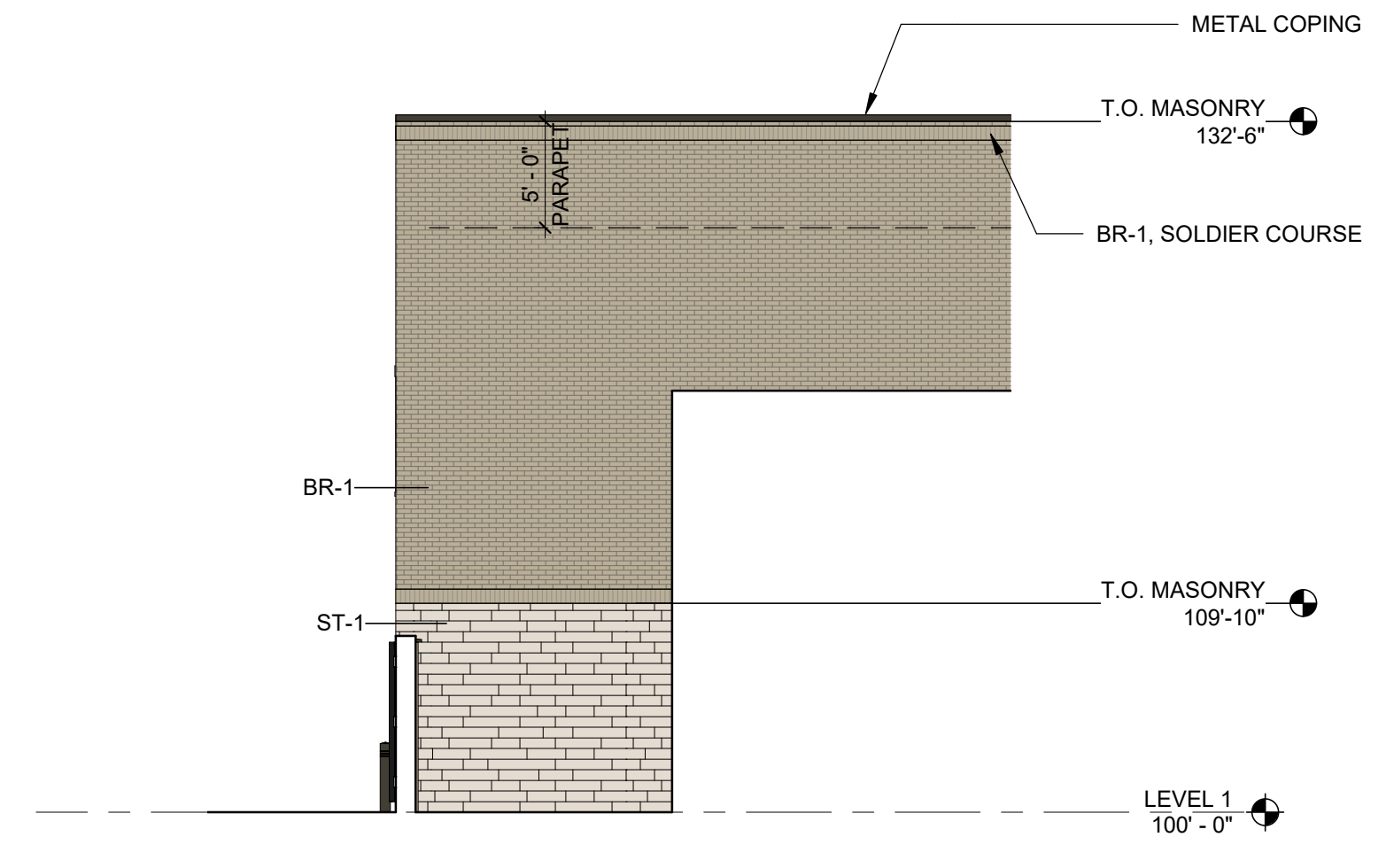
07 EXTERIOR ELEVATION - FINE ARTS - EAST
1/8" = 1'-0"



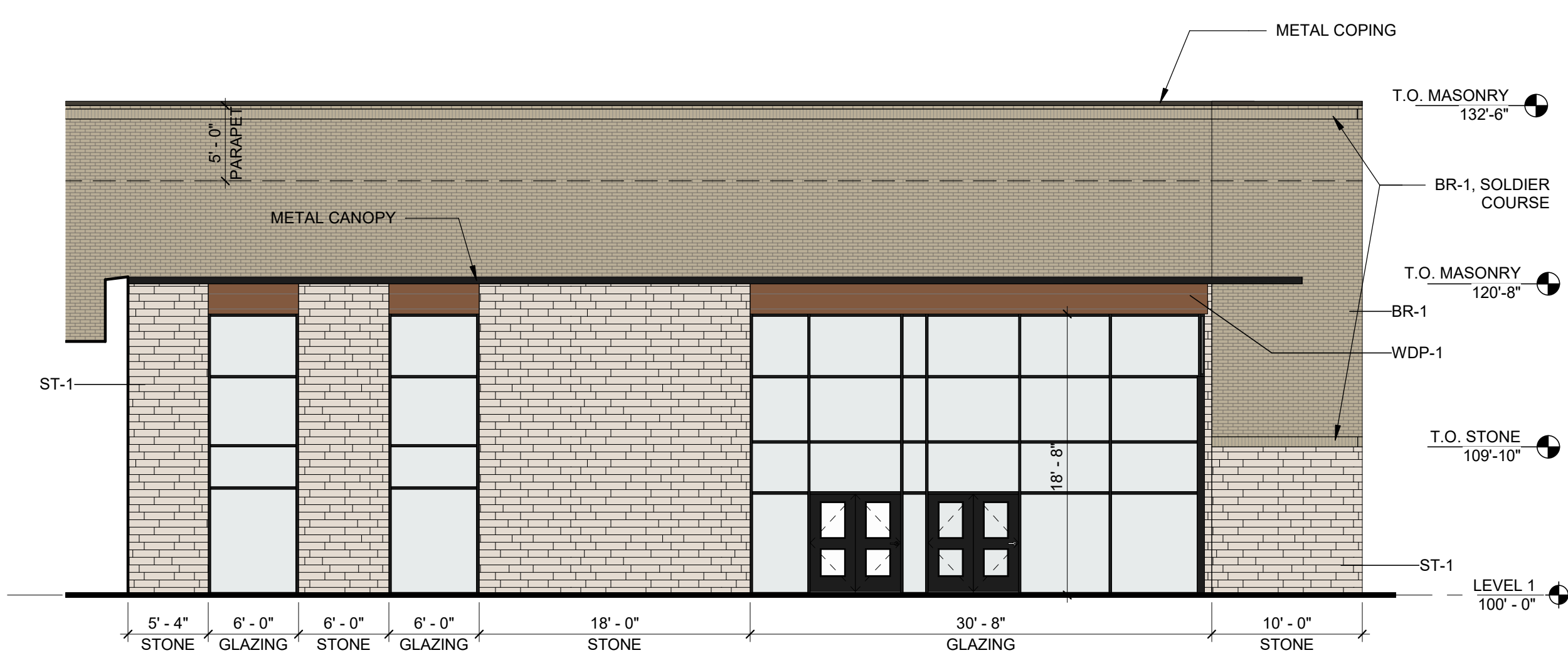
06 EXTERIOR ELEVATION - SERVRY - NORTH
1/8" = 1'-0"



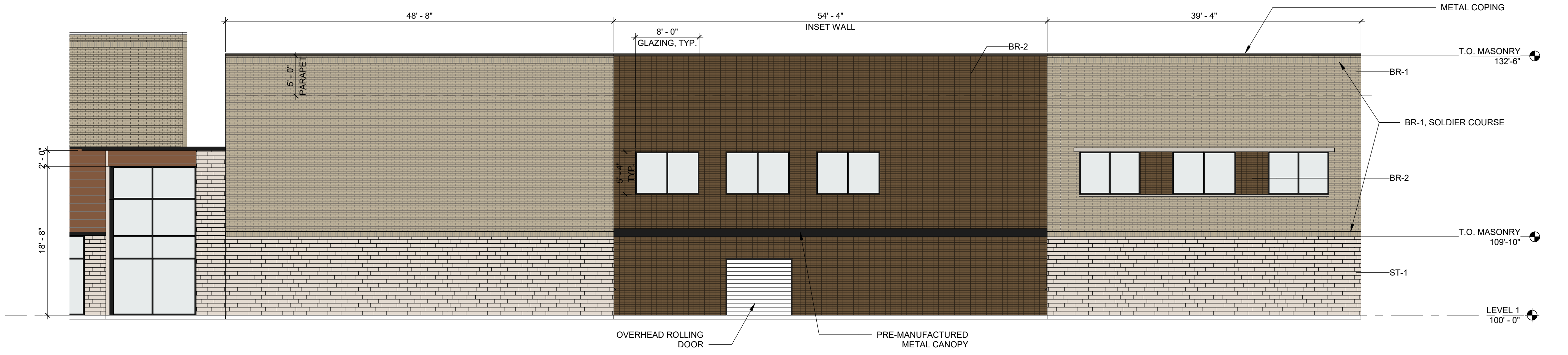
05 EXTERIOR ELEVATION - FINE ARTS - SOUTH
1/8" = 1'-0"



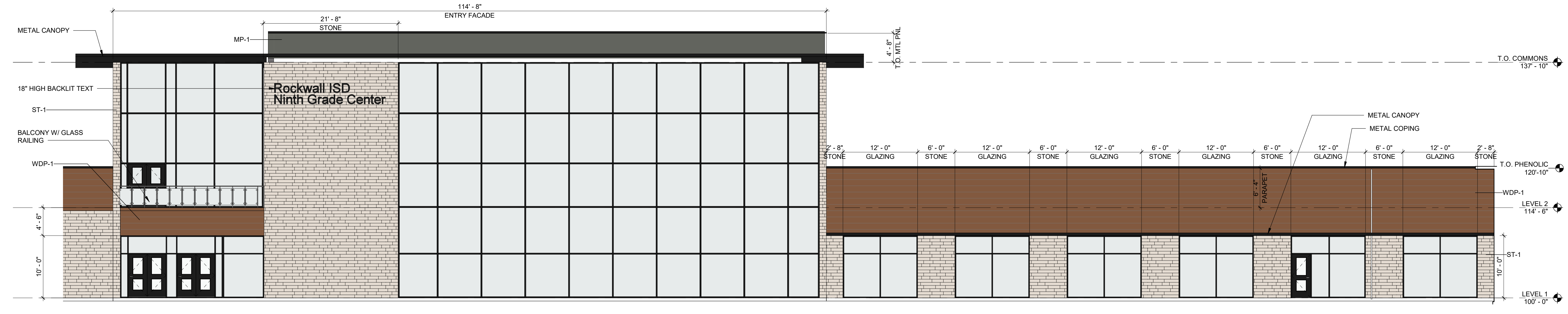
04 EXTERIOR ELEVATIONS - FINE ARTS - NORTH - B
1/8" = 1'-0"



03 EXTERIOR ELEVATION - FINE ARTS - NORTH - A
1/8" = 1'-0"

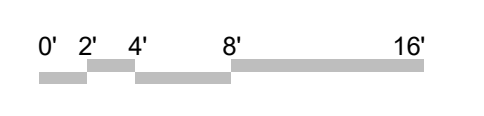


02 EXTERIOR ELEVATION - FINE ARTS - WEST
1/8" = 1'-0"



01 EXTERIOR ELEVATION - MAIN ENTRY (FACES ROW FM 1141)
1/8" = 1'-0"

EXT. MATERIALS LEGEND		



EXTERIOR ELEVATIONS

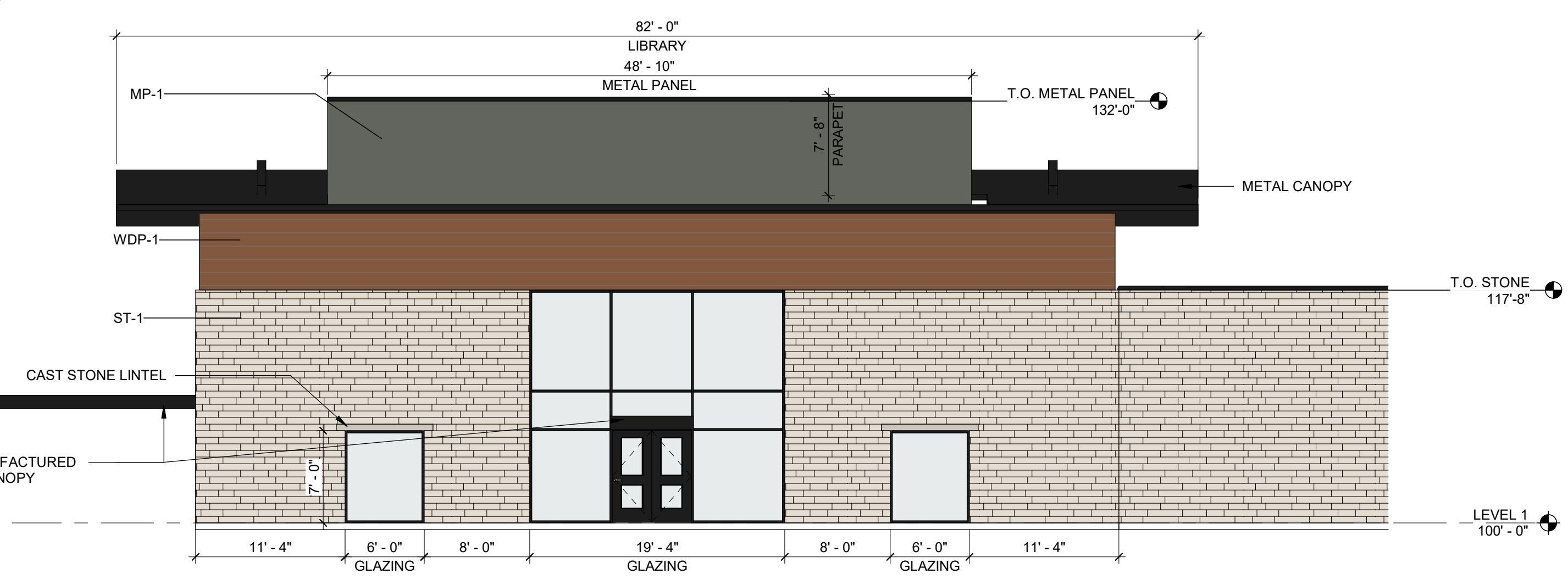
As indicated

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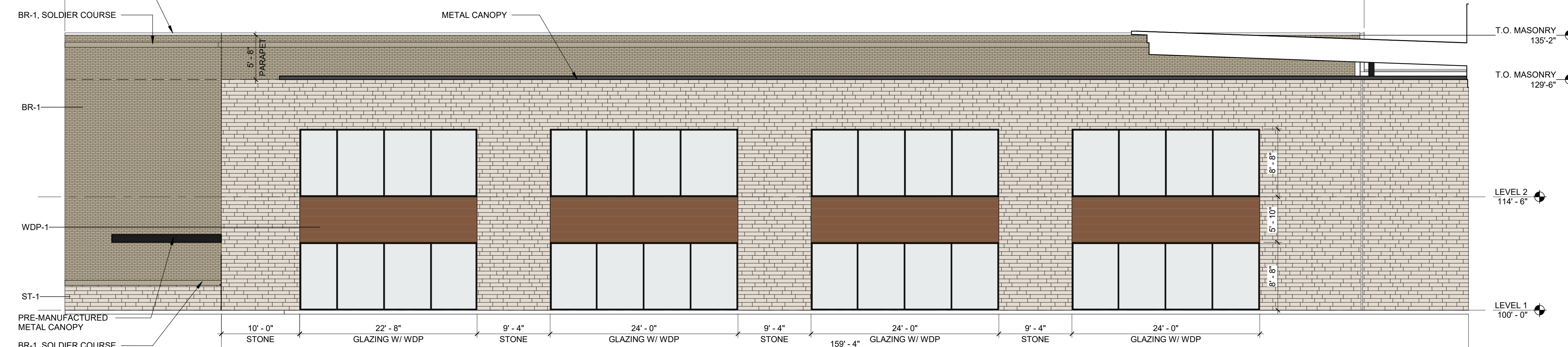
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

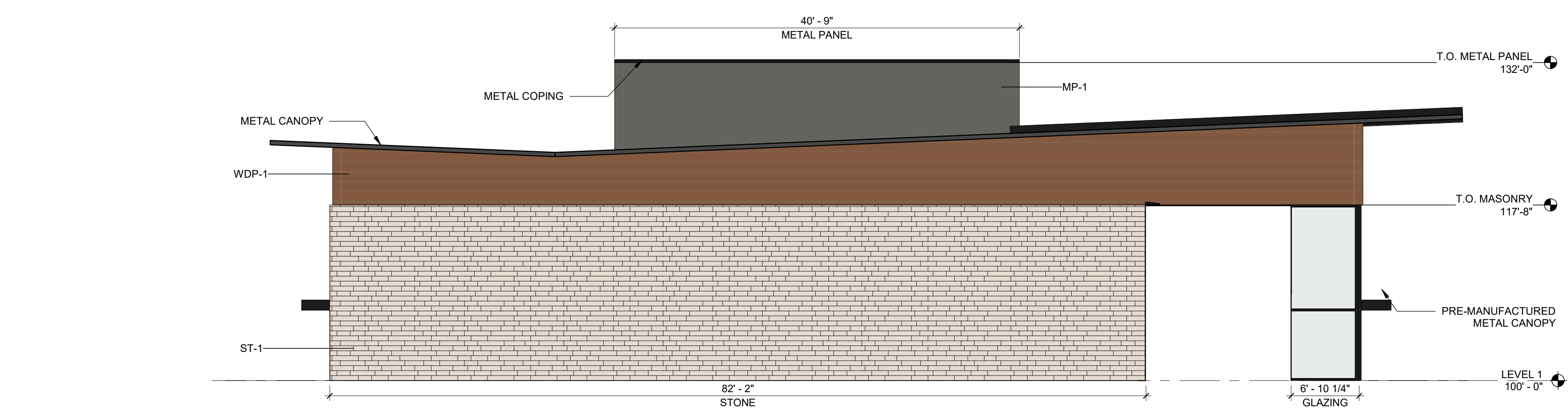




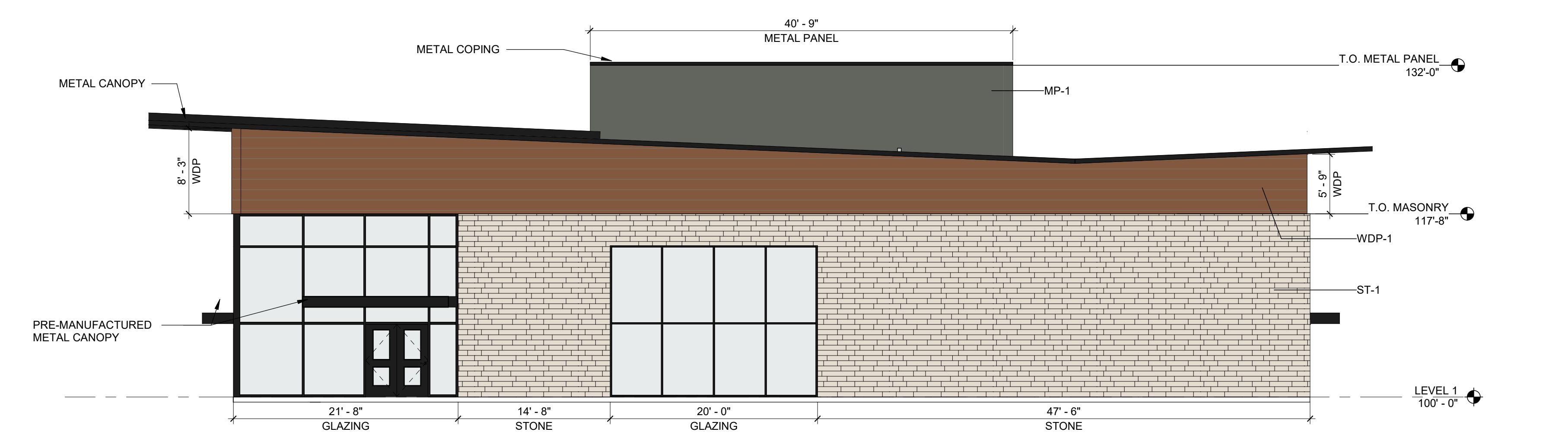
07 EXTERIOR ELEVATION - LIBRARY - EAST
1/8" = 1'-0"



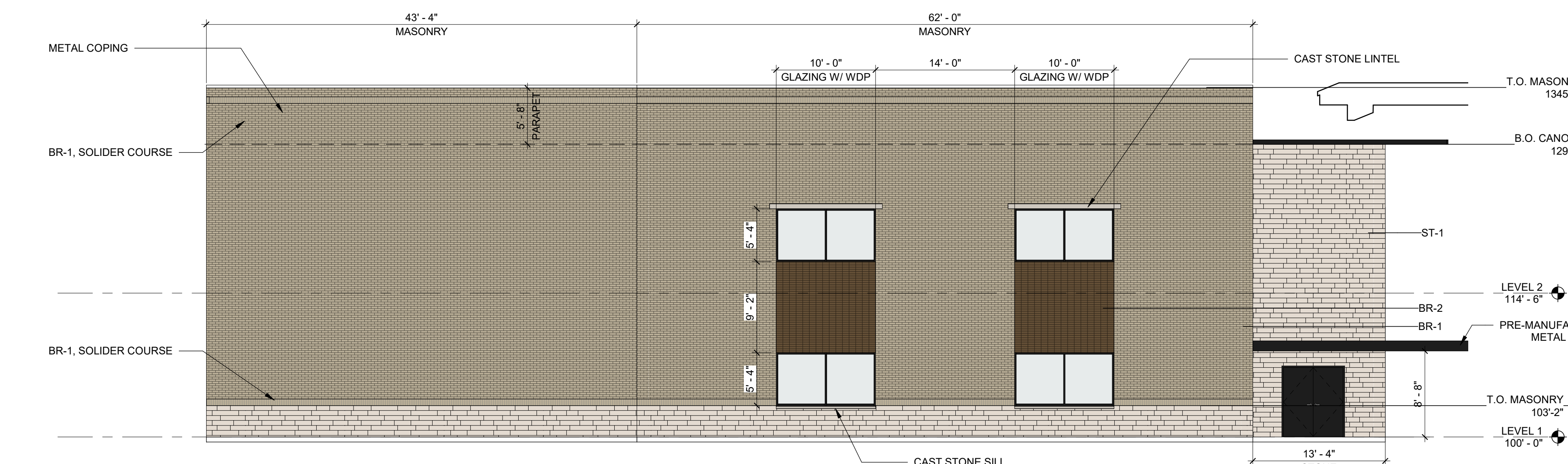
06 EXTERIOR ELEVATION - NORTH CLASSROOM WING - NORTH
1/8" = 1'-0"



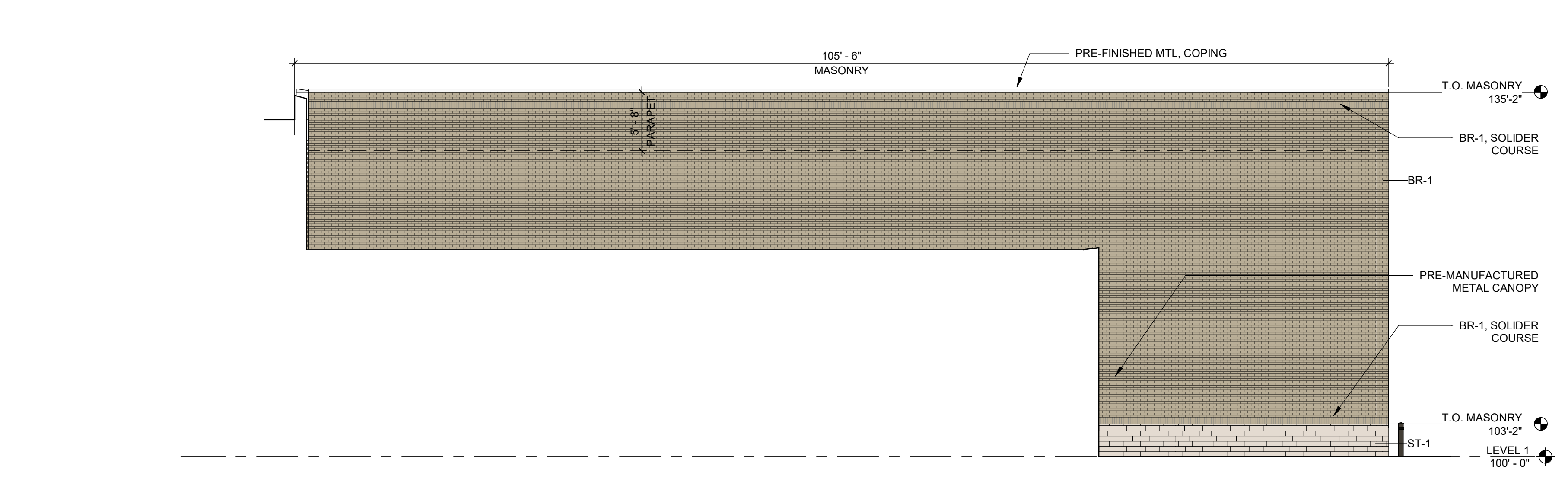
05 EXTERIOR ELEVATION - LIBRARY - NORTH
1/8" = 1'-0"



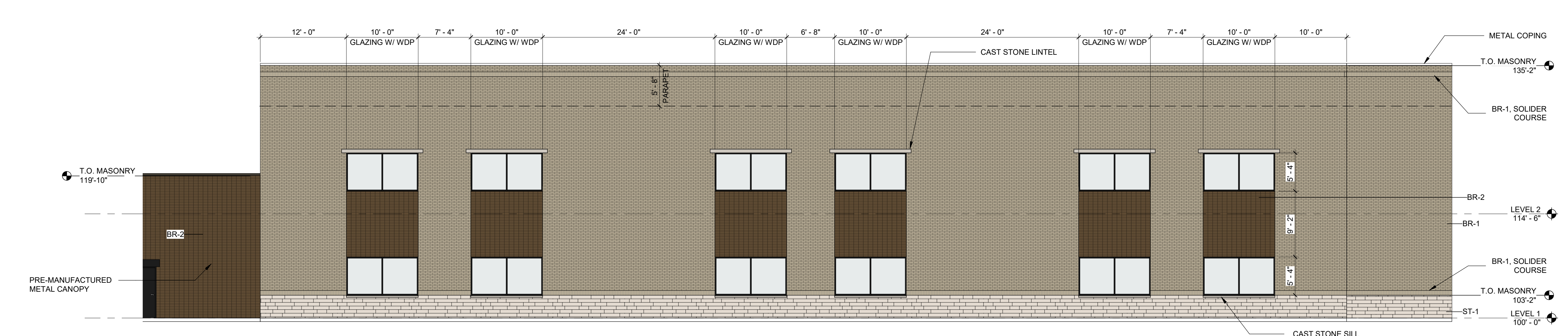
04 EXTERIOR ELEVATION - LIBRARY - SOUTH
1/8" = 1'-0"



03 EXTERIOR ELEVATION - NORTH CLASSROOM WING - EAST
1/8" = 1'-0"

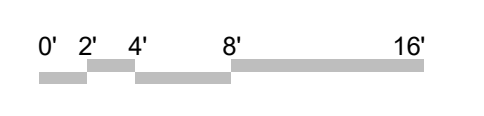


02 EXTERIOR ELEVATION - NORTH CLASSROOM WING - WEST
1/8" = 1'-0"



01 EXTERIOR ELEVATION - NORTH CLASSROOM WING - NORTH (FACES N. COUNTRY LN)
1/8" = 1'-0"

EXT. MATERIALS LEGEND		



EXTERIOR ELEVATIONS

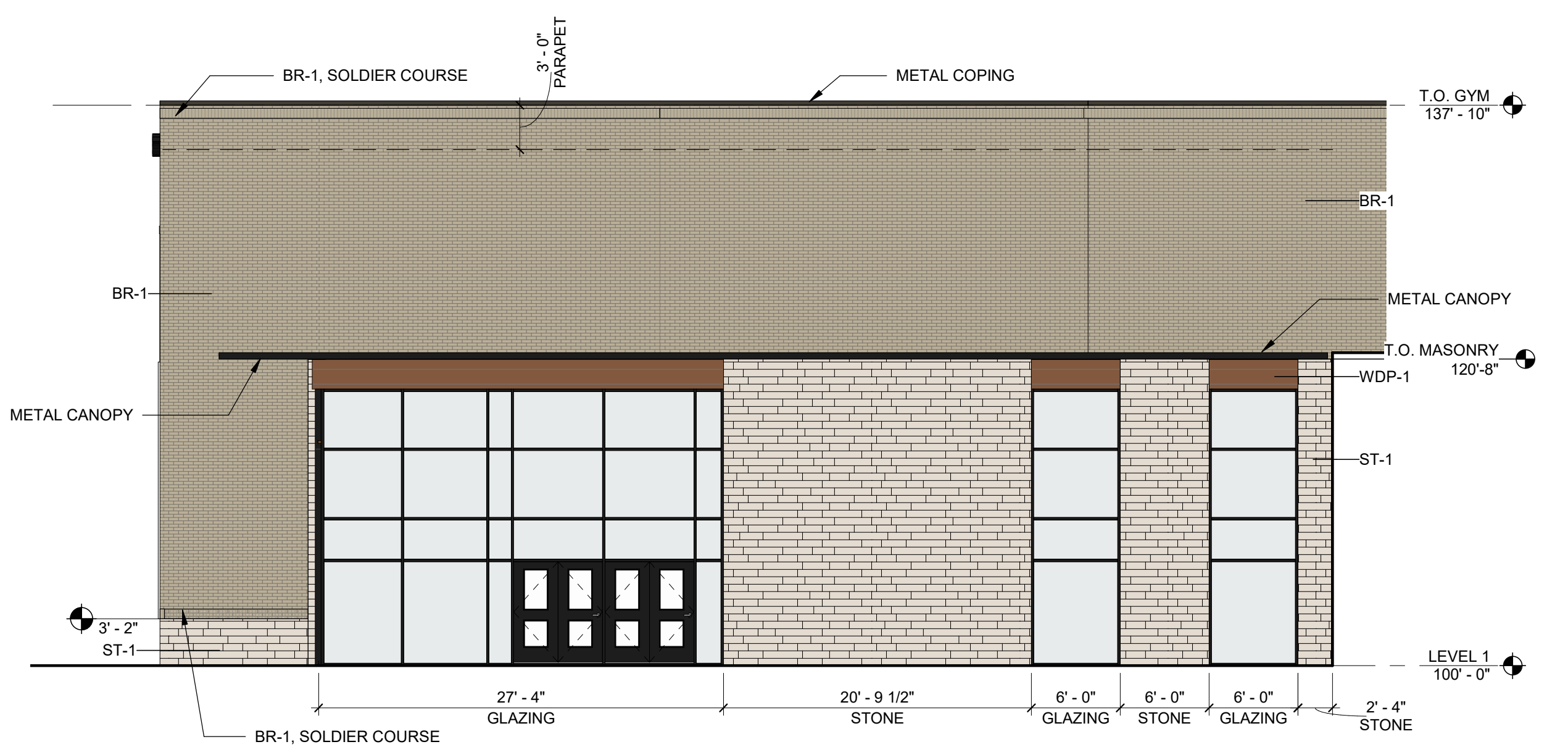
As indicated

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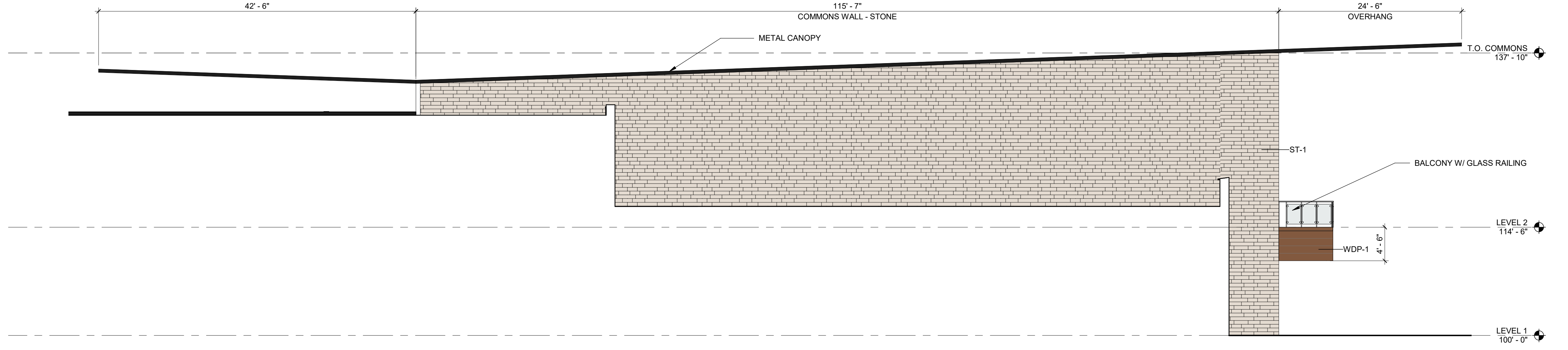
Planning & Zoning Commission, Chairman Director of Planning and Zoning



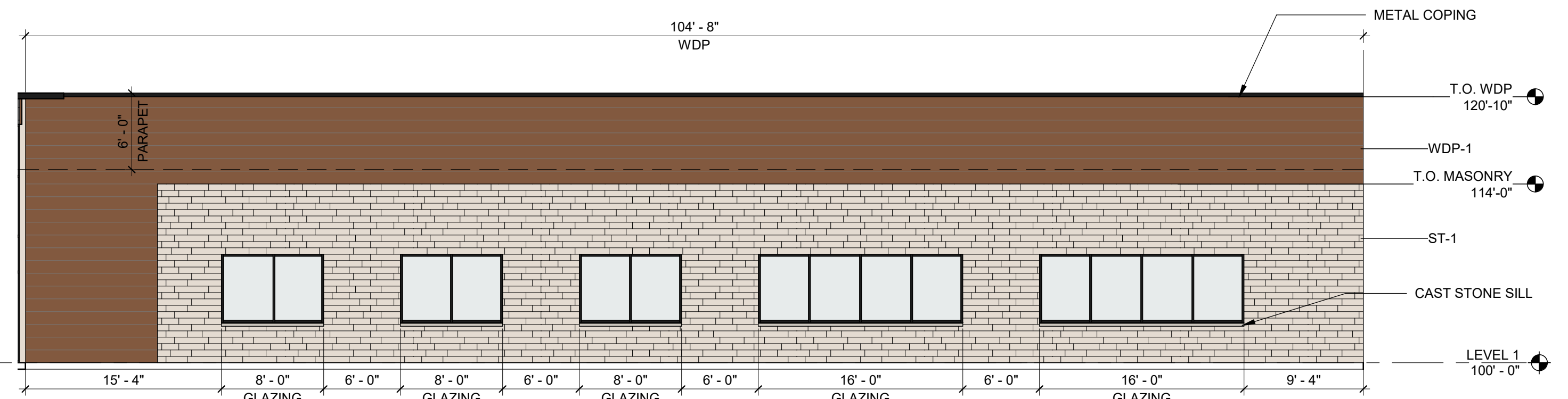
This document is incomplete and may not be used for regulatory approval, permit or construction.



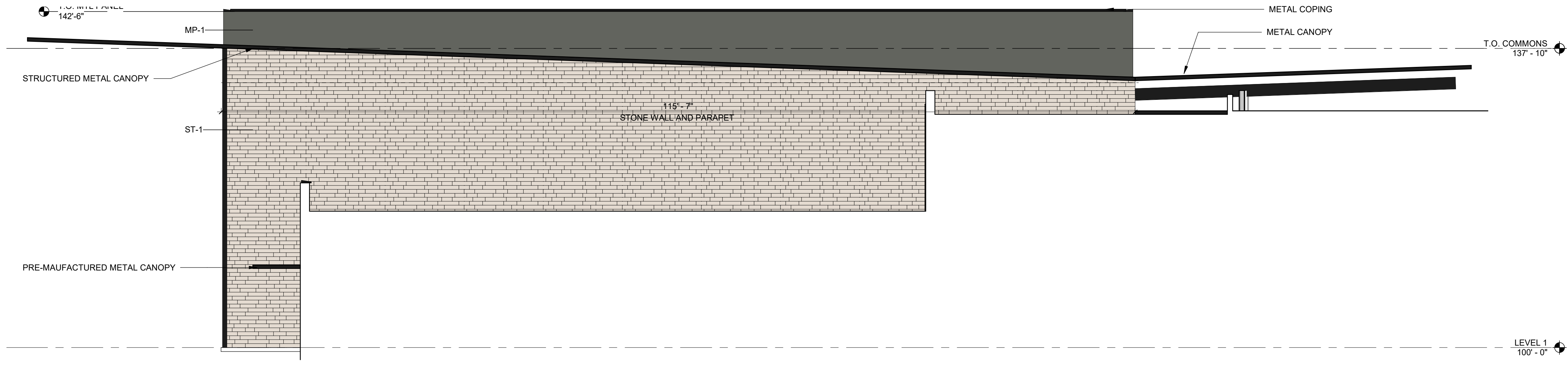
07 EXTERIOR ELEVATION - ATHLETICS - SOUTH - B
1/8" = 1'-0"



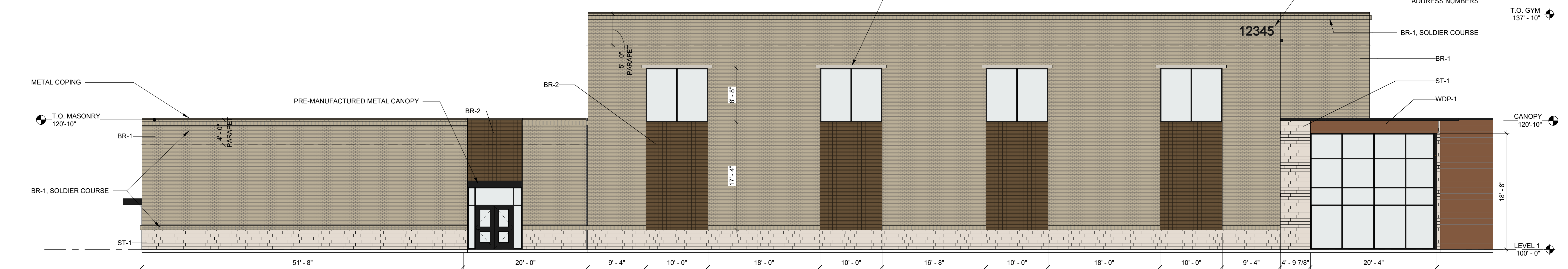
06 EXTERIOR ELEVATION - COMMONS - NORTH
1/8" = 1'-0"



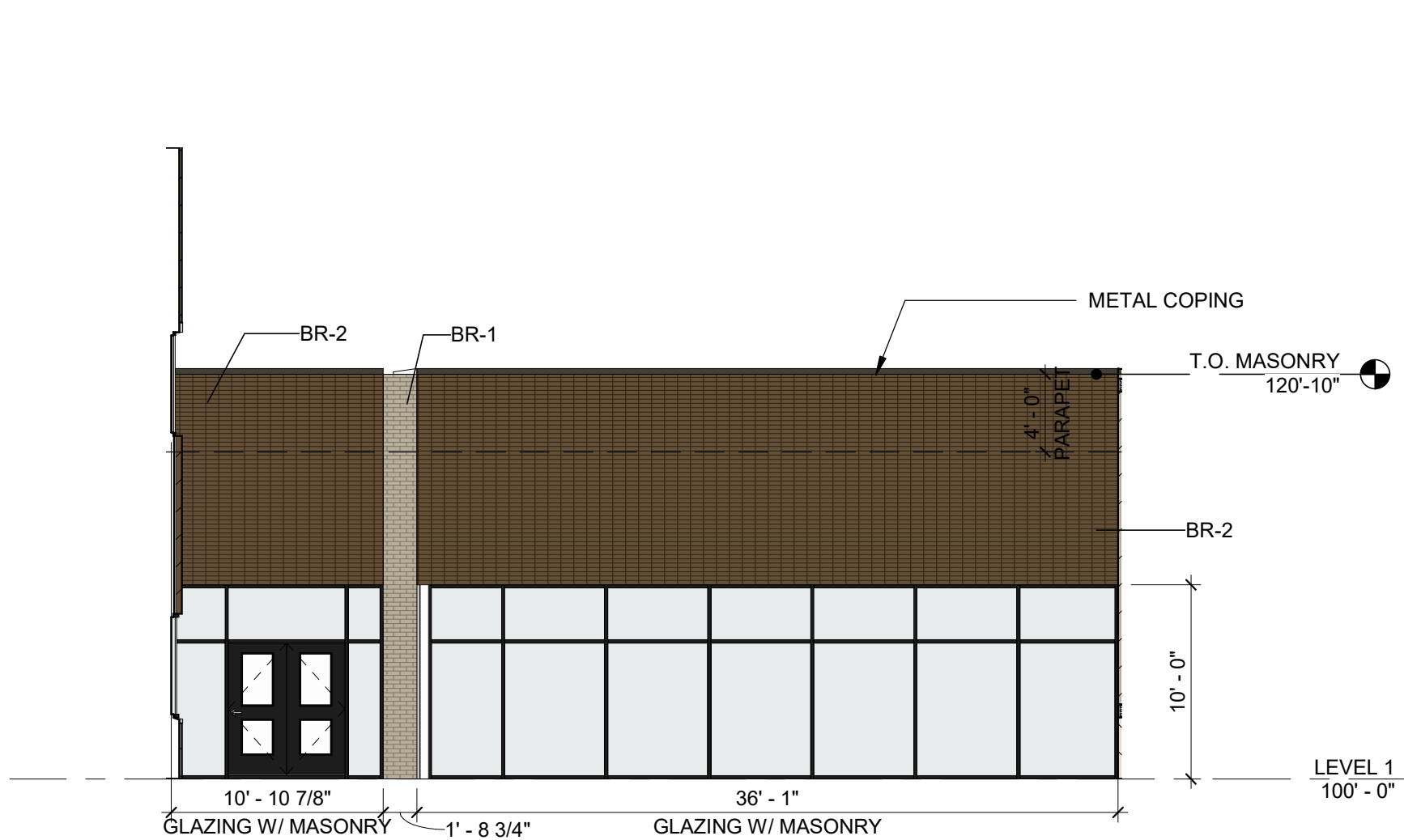
05 EXTERIOR ELEVATION - ADMIN - WEST
1/8" = 1'-0"



04 EXTERIOR ELEVATION - COMMONS - SOUTH
1/8" = 1'-0"



03 EXTERIOR ELEVATIONS - ATHLETICS - WEST
1/8" = 1'-0"

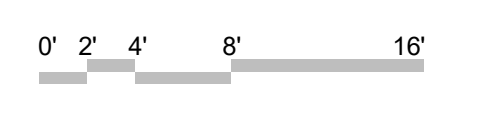


02 EXTERIOR ELEVATION - ATHLETICS - EAST - B
1/8" = 1'-0"



01 EXTERIOR ELEVATION - ATHLETICS - NORTH
1/8" = 1'-0"

EXT. MATERIALS LEGEND		



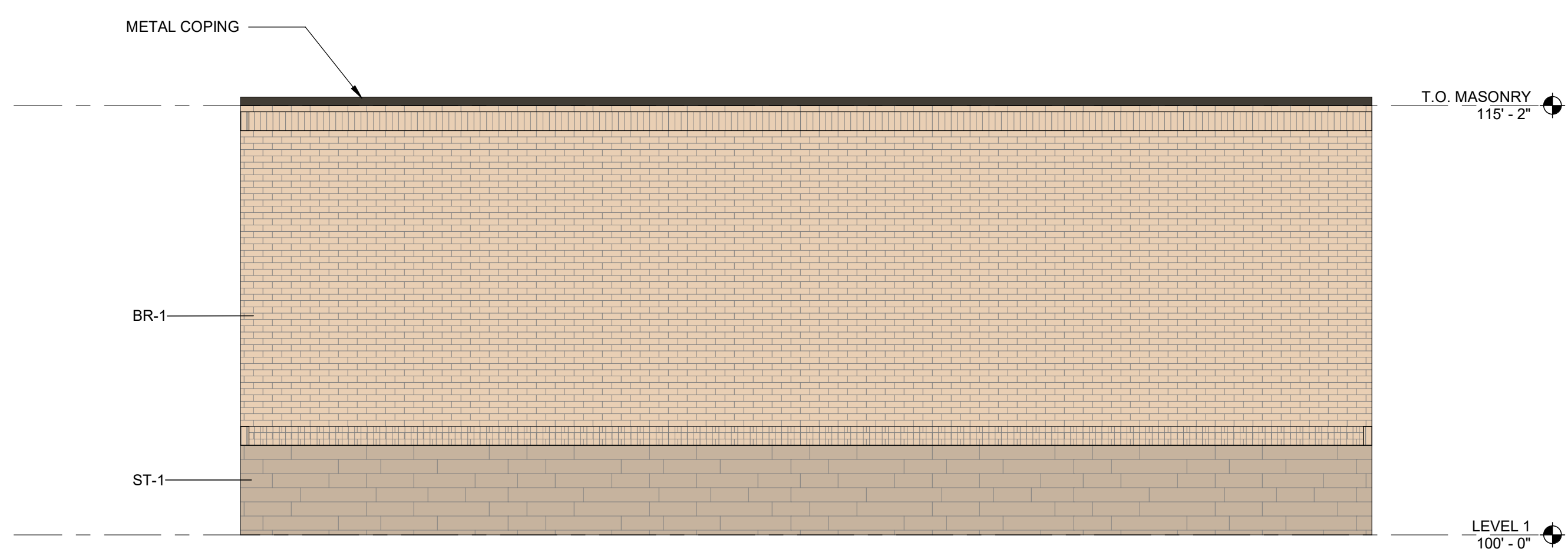
EXTERIOR ELEVATIONS

As indicated

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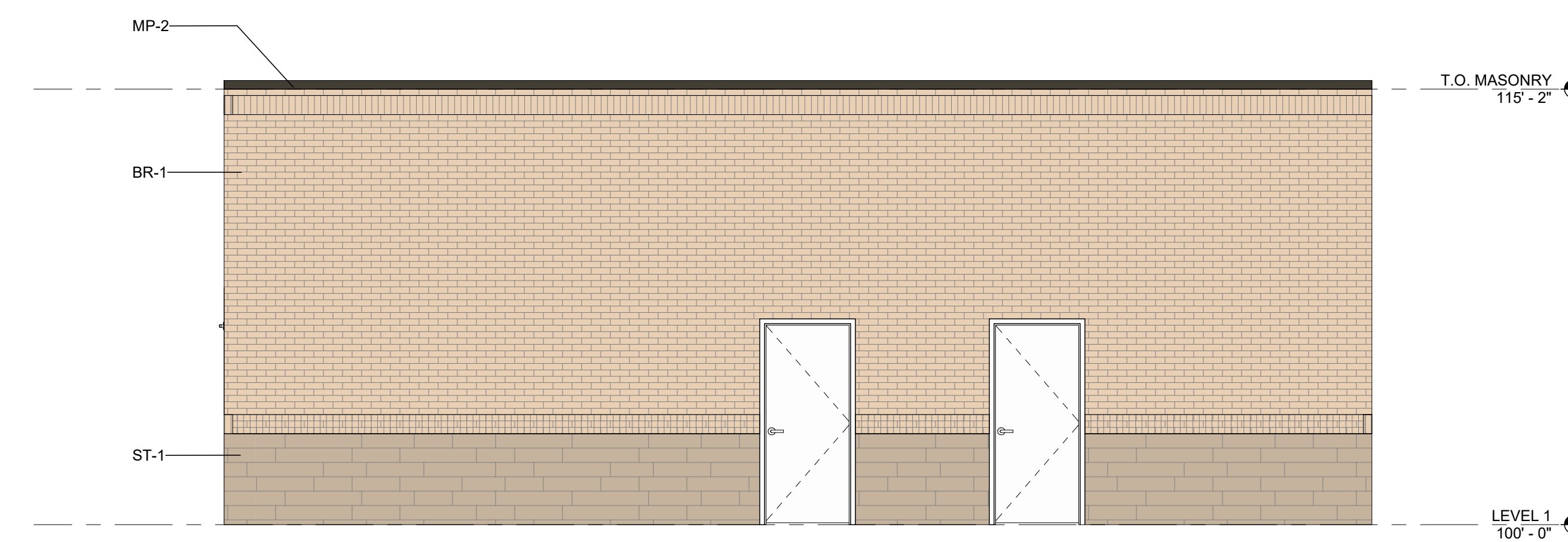
Planning & Zoning Commission, Chairman
Director of Planning and Zoning





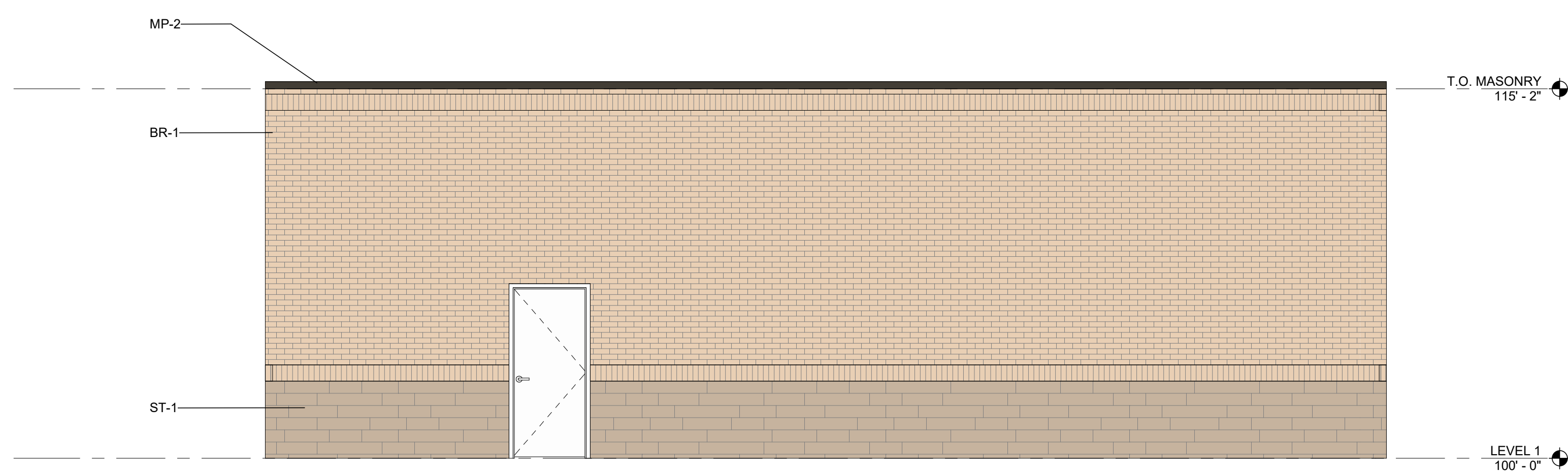
04 EXTERIOR ELEVATION - TENNIS BUILDING - NORTH
1/4" = 1'-0"

TOTAL FAÇADE SQUARE FOOTAGE: 606 SQ FT
BRICK: 480 SQ FT
STONE: 126 SQ FT



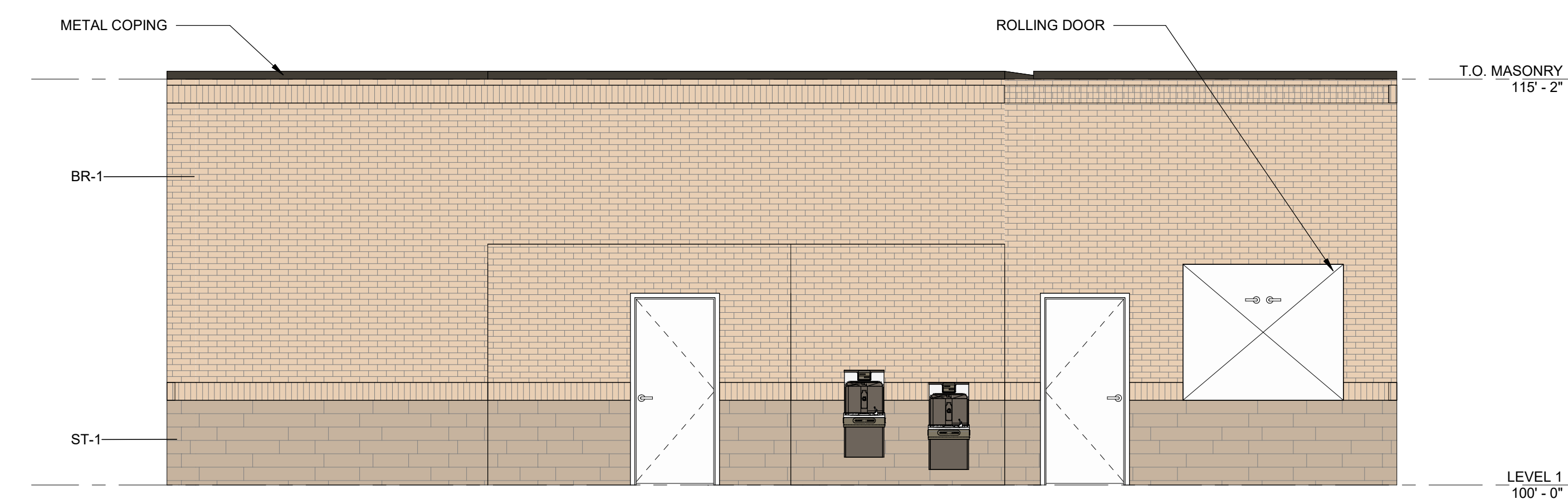
03 EXTERIOR ELEVATION - TENNIS BUILDING - SOUTH
1/4" = 1'-0"

TOTAL FAÇADE SQUARE FOOTAGE: 557 SQ FT
BRICK: 452 SQ FT
STONE: 105 SQ FT



02 EXTERIOR ELEVATION - TENNIS BUILDING - EAST
1/4" = 1'-0"

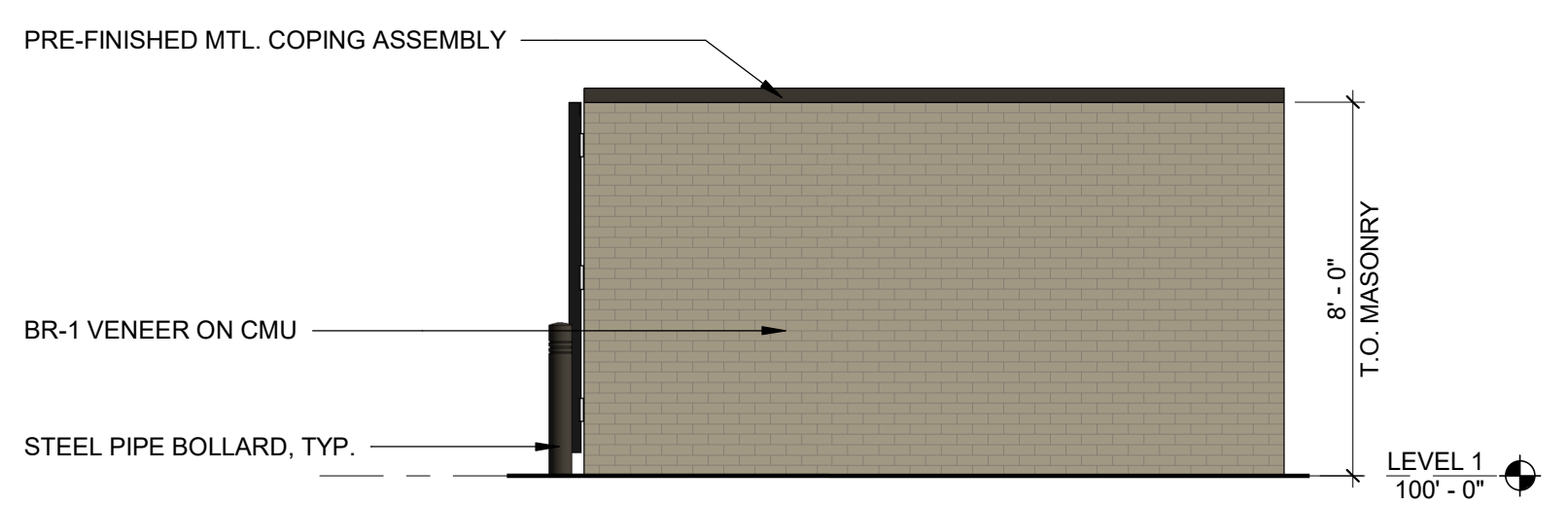
TOTAL FAÇADE SQUARE FOOTAGE: 674 SQ FT
BRICK: 538 SQ FT
STONE: 136 SQ FT



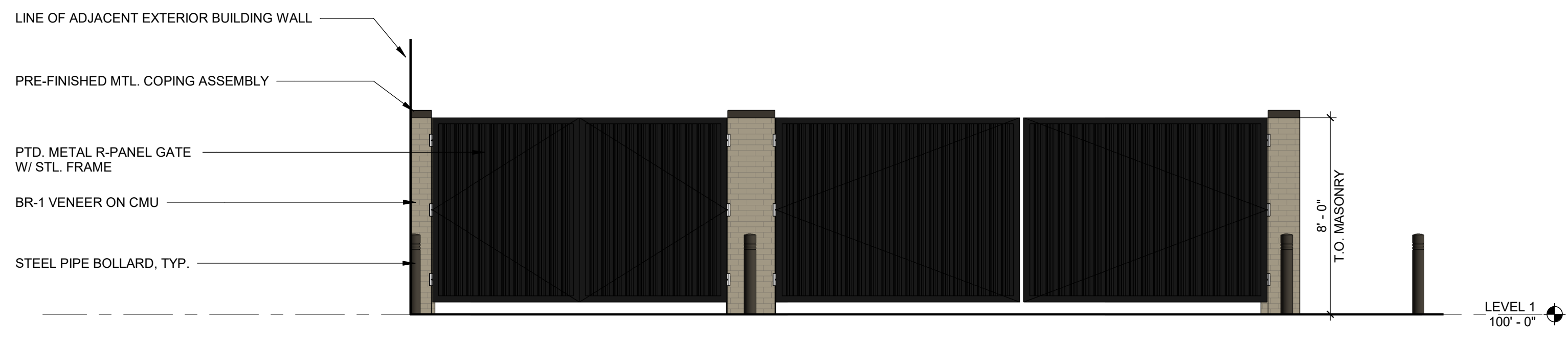
01 EXTERIOR ELEVATION - TENNIS BUILDING - WEST
1/4" = 1'-0"

TOTAL FAÇADE SQUARE FOOTAGE: 618 SQ FT
BRICK: 494 SQ FT
STONE: 124 SQ FT

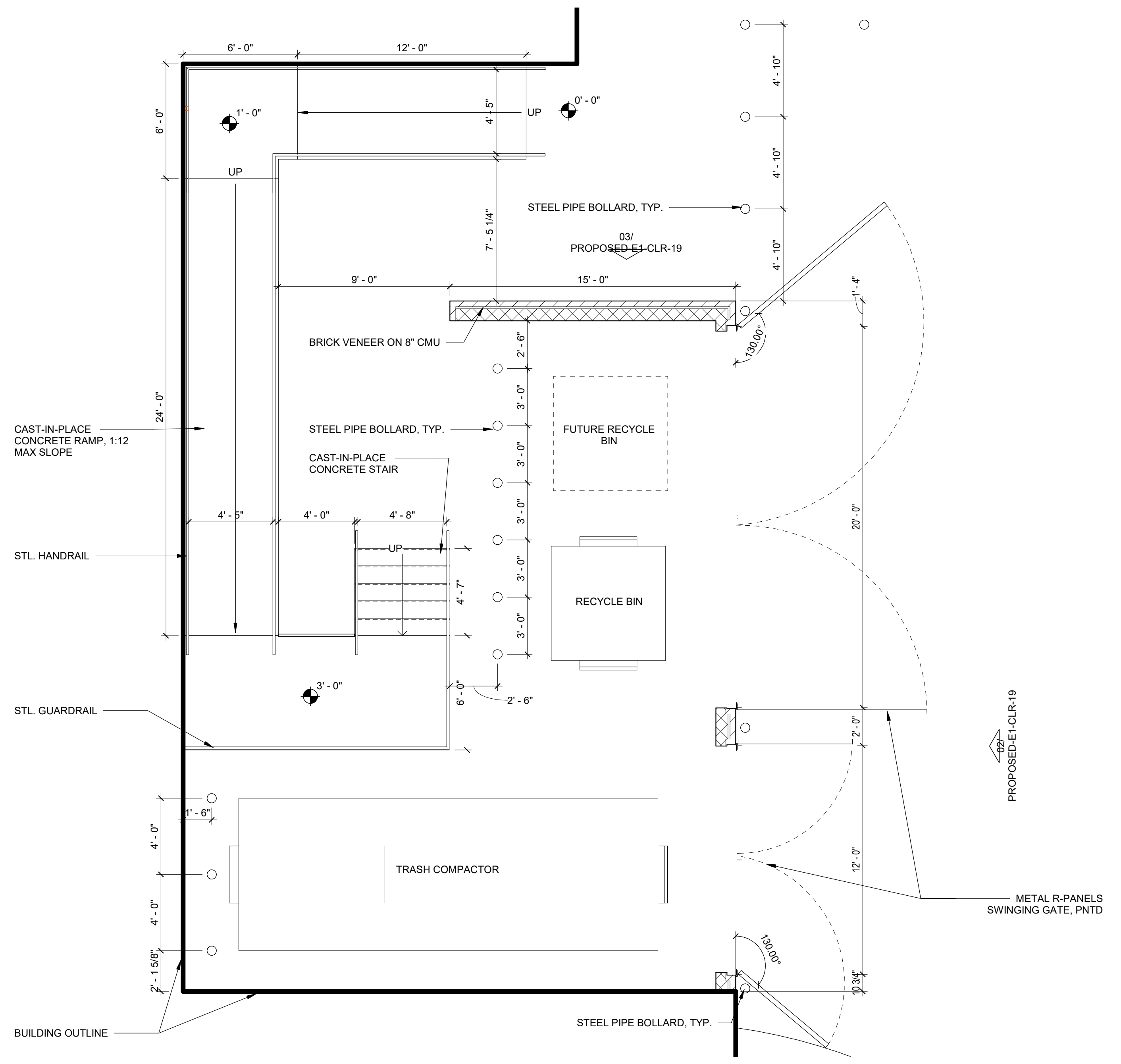
0' 2' 4' 8' 16'



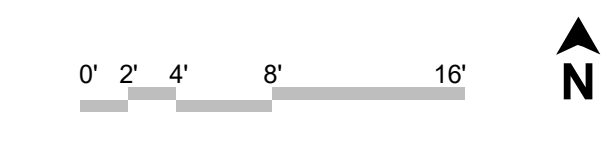
03 EXTERIOR ELEVATION - DUMPSTER SIDE WALL
1/4" = 1'-0"



02 EXTERIOR ELEVATION - DUMPSTER GATE
1/4" = 1'-0"



01 DUMPSTER ENCLOSURE - PLAN
1/4" = 1'-0"



ROOF PLAN - RTU LOCATIONS

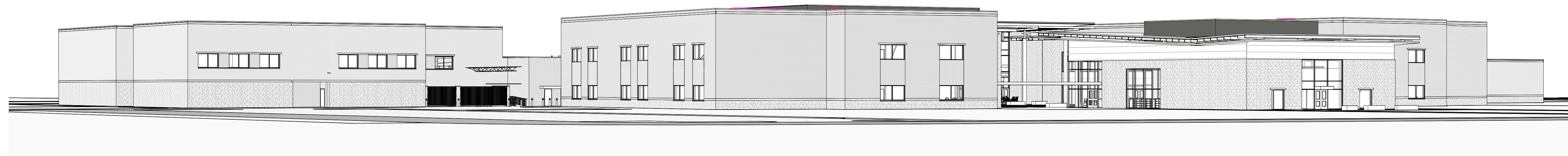
1/32" = 1'-0"

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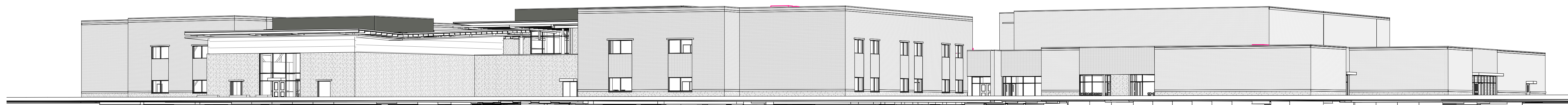
 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning





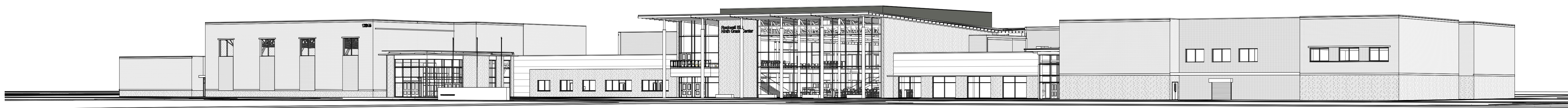
4 3D BUILDING VIEW - SOUTHEAST CORNER
N.T.S.



3 3D BUILDING VIEW - NORTHEAST CORNER
N.T.S.



2 3D BUILDING VIEW - NORTHWEST CORNER
N.T.S.



1 3D BUILDING VIEW - SOUTHWEST CORNER
N.T.S.



3D RTU SCREENING VIEWS

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WITNESS OUR HANDS, this _____ day of _____, 2022.



Planning & Zoning Commission, Chairman

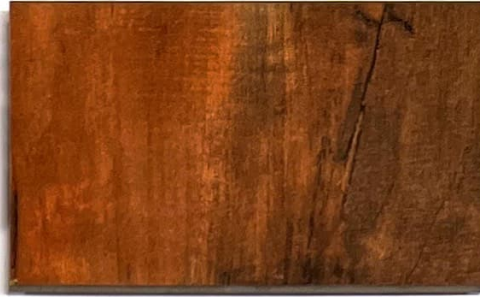
Director of Planning and Zoning

ROCKWALL ISD 9TH GRADE CENTERS - ROCKWALL-HEATH HIGH SCHOOL

EXTERIOR - S. JOHN KING BLVD NEAR DR. GENE BURTON COLLEGE & CAREER ACADEMY



BR-1 BRICK



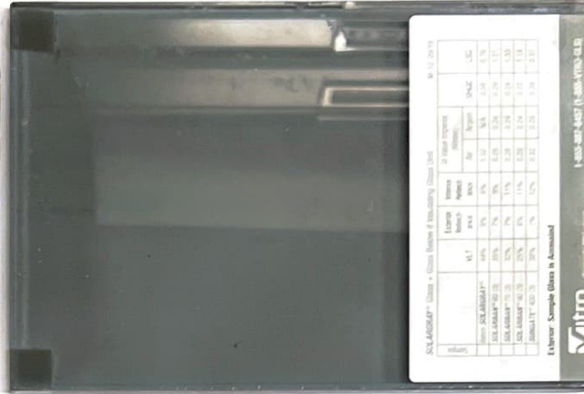
WDP-1 PHENOLIC WOOD-LOOK PANEL



BR-2 BRICK



ST-1 STONE



GL-1 INSULATED EXTERIOR GLAZING UNIT



AL-1 STOREFRONT ALUMINUM



ROCKWALL ISD 9TH GRADE CENTERS - ROCKWALL-HEATH HIGH SCHOOL

EXTERIOR - S. JOHN KING BLVD NEAR DR. GENE BURTON COLLEGE & CAREER ACADEMY

FINISH CODE	DESCRIPTION	MANUFACTURER	COLOR
BR-1	BRICK	GIEN-GRY	COPENHAGEN
ST-1	STONE	BBCO QUARRIES	MILLS COUNTY BLEND
WDP-1	PHENOLIC PANEL, WOOD-LOOK	FUNDERMAX	PHOENIX - NT
GL-1	INSULATED GLAZING UNIT	VITRO	SOLARBAN 90 - SOLARGRAY + CLEAR
BR-2	BRICK	CLOUD CERAMICS	COCA BROWN
AL-1	ANODIZED ALUMINUM STOREFRONT	KAWNEER	BLACK

* SEE ROCKWALL HIGH SCHOOL FINISH BOARD FOR FULL GLAZING UNIT



N89°00'23"E
34.15'
(DEED CALL
N89°49'51"E
36.45')

N88°23'21"W 3926.93'

PART OF 58
N.L. L
VOL. 38,

L6

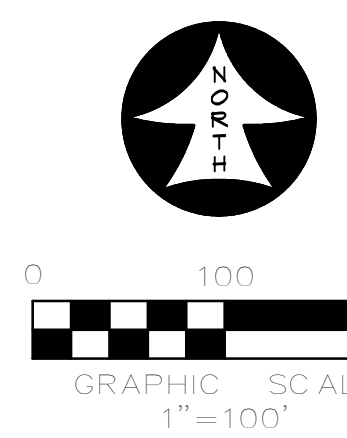
L2

L5

L3

L4

SITE DATA SUMMARY	
EXISTING ZONING	AG
PROPOSED ZONING	PD FOR NS USES (22022-015)
USE	PUBLIC SCHOOL
LOT AREA	3,464,762 S.F. OR 75.54 AC.
BUILDING AREA (FLOOR AREA)	150,170 S.F.
PROPOSED FIRST FLOOR	41,019 S.F.
PROPOSED SECOND FLOOR	109,151 S.F.
TOTAL BUILDING AREA	150,170 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	150,170 S.F.
TOTAL FLOOR AREA (TOTAL FLOOR)	150,170 S.F./3,464,762 S.F. = 4.33%
LOT COVERAGE	0.05:1
FLOOR AREA RATIO	813,028.31 S.F. OR 18.66 AC.
TOTAL IMPERVIOUS AREA	137'-10" (2 STORIES)
BUILDING HEIGHT	203 SPACES
TOTAL REQUIRED PARKING (1 PER 5 STUDENTS)	203 SPACES
PARKING PROVIDED	304 SPACES
PARKING SURFACE	209 SPACES
9.0x18.0	19 SPACES
9.0x20.0	19 SPACES
15.0x30.0	532 SPACES
TOTAL PARKING PROVIDED	



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR]. WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman Director of Planning and Zoning

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-018

CORGAN ■
401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
1	05/20/22 PERMIT REVIEW
2	
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6	

REVISIONS	

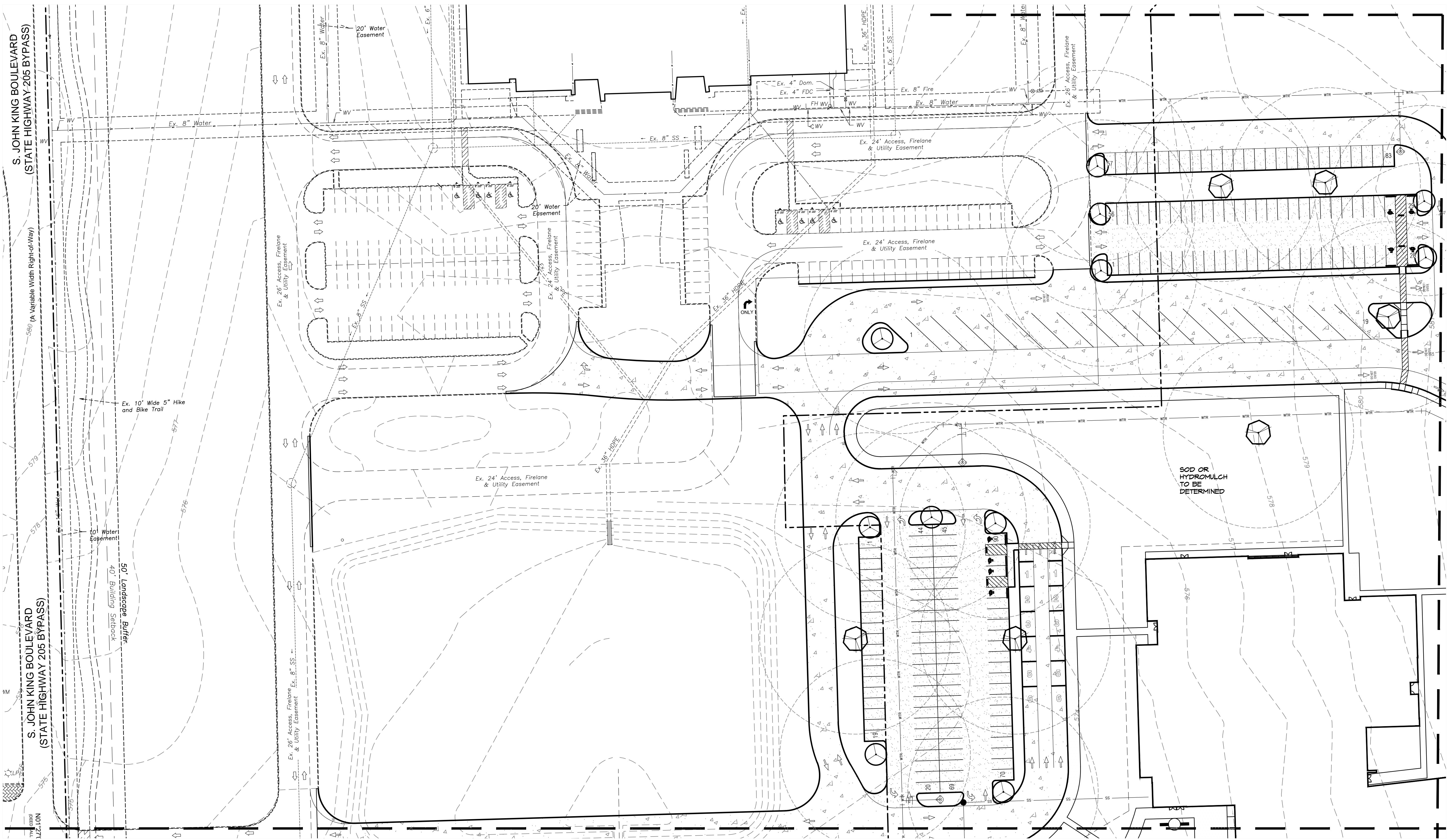
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RAMSEY LANDSCAPE ARCHITECTS, LLC
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

OVERALL
LANDSCAPE PLAN

JOB 21572.0000
DATE 05/20/22
SHEET L1



MATCHLINE SEE SHEET L6

MATCHLINE SEE SHEET L5

MATCHLINE SEE SHEET L3

CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
1	05/20/22 PERMIT REVIEW
2	
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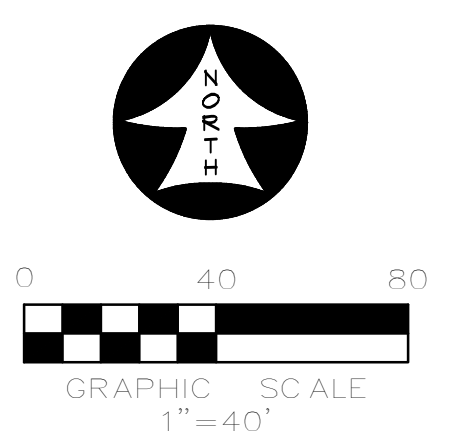
**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

LANDSCAPE PLAN
AREA A

JOB 21572.0000
DATE 05/20/22
SHEET

L 2

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER/DEVELOPER:
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801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: JAMES WATSON

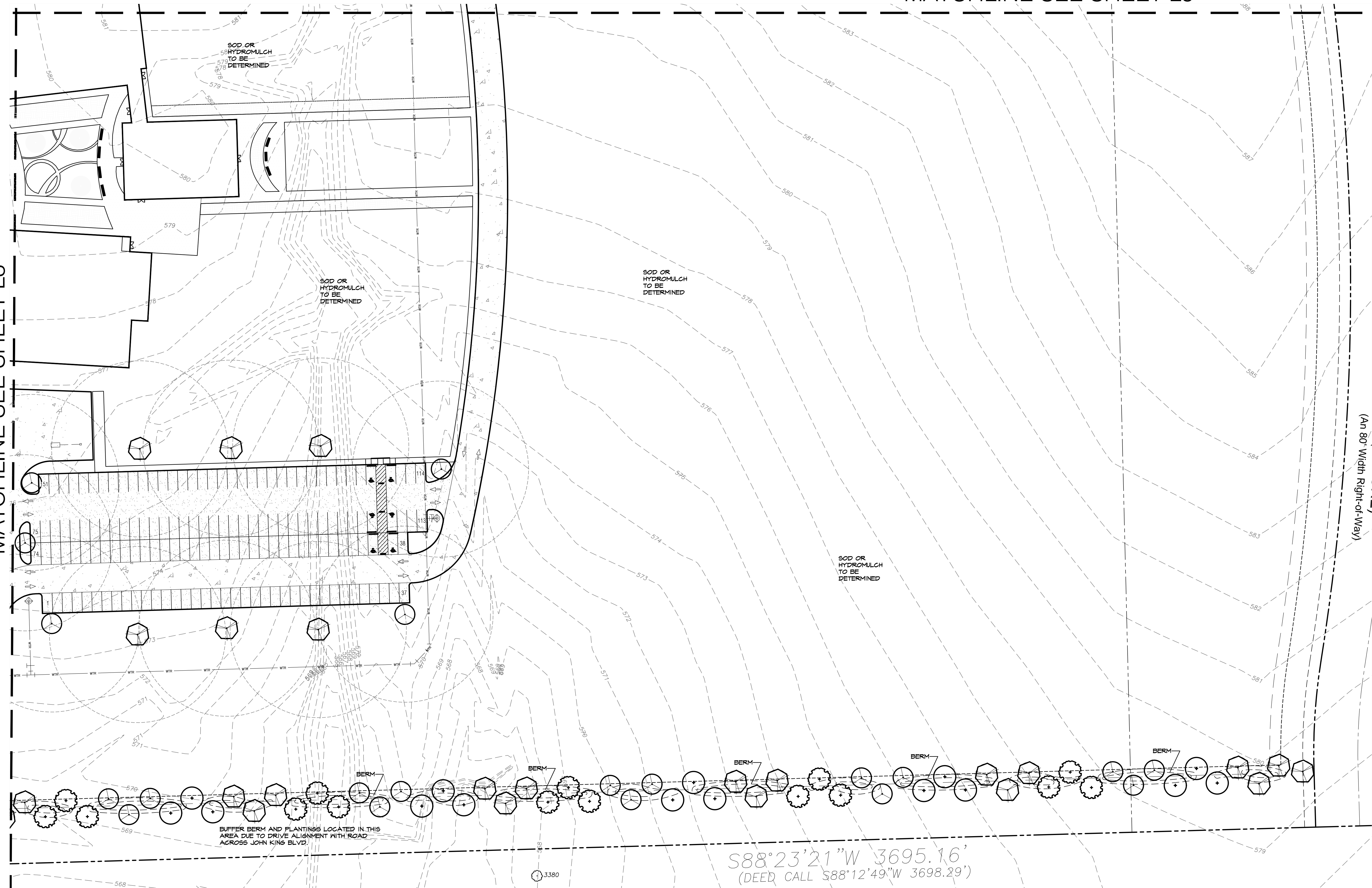
SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-018

MATCHLINE SEE SHEET L5

MATCHLINE SEE SHEET L3



CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
1	05/20/22 PERMIT REVIEW
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REVISIONS	

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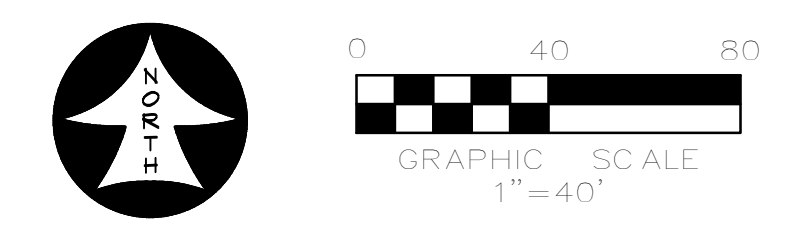
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**ROCKWALL-HEATH
NINTH GRADE CENTER**

S. JOHN KING BOULEVARD
ROCKWALL ISD

LANDSCAPE PLAN
AREA C

S88°23'21"W 3695.16'
(DEED CALL S88°12'49"W 3698.29')



OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
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ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Planning & Zoning Commission, Chairman
Director of Planning and Zoning

JOB 21572.0000
DATE 05/20/22
SHEET

CITY OF ROCKWALL CASE NO. SP2022-018

MATCHLINE SEE SHEET L6

D.R.R.C.T.

ROCKWALL INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 2010-00443616
O.P.R.R.C.T.

CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES

1	05/20/22	PERMIT REVIEW
2		
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**ROCKWALL-HEATH
NINTH GRADE CENTER**

S. JOHN KING BOULEVARD
ROCKWALL ISD

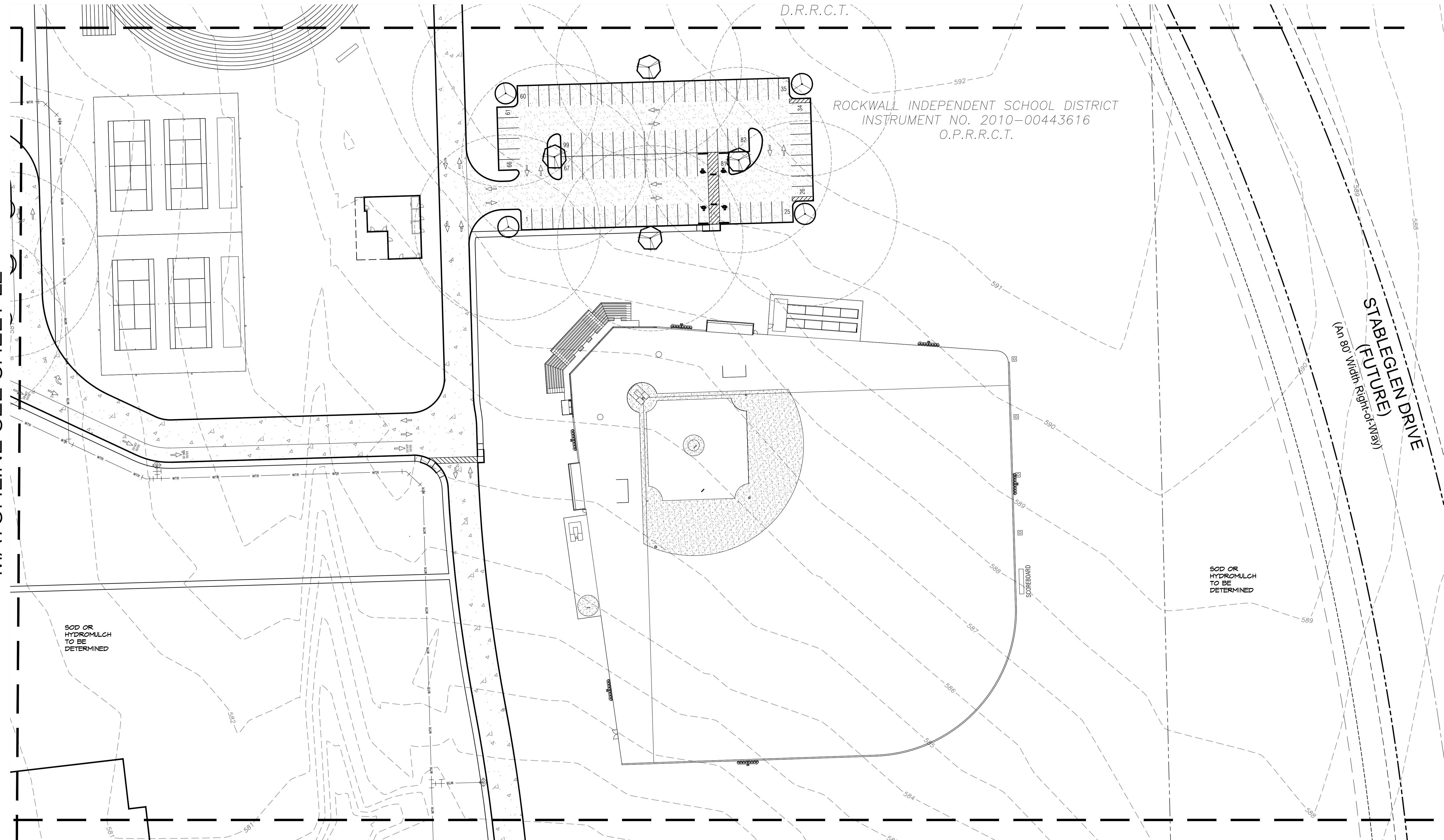
**LANDSCAPE PLAN
AREA D**

JOB 21572.0000
DATE 05/20/22
SHEET

L 5

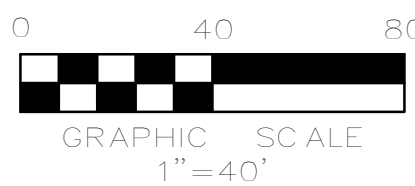
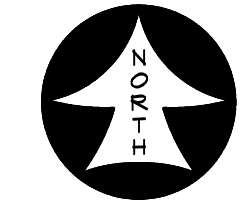
MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L4



SOD OR HYDROMULCH TO BE DETERMINED

SOD OR HYDROMULCH TO BE DETERMINED



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Director of Planning and Zoning

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-018

N89°00'23"E
34.15'
(DEED CALL
N89°49'51"E
36.45')

N88°23'21"E 3926.93'

PART OF 58
N.L. L.
VOL. 38

TS6

TS2

TS5

TS3

TS4

CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES

1	05/20/22	PERMIT REVIEW
2		
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REVISIONS

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ARCHITECT #1901.
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FOR CONSTRUCTION
PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC

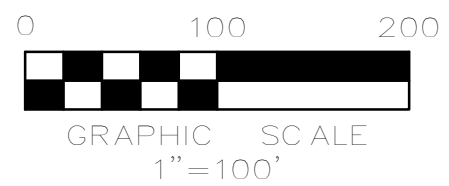
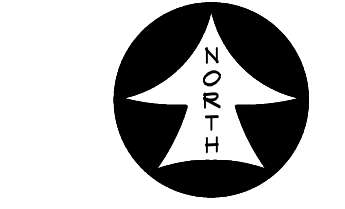
11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

ROCKWALL-HEATH NINTH GRADE CENTER

S. JOHN KING BOULEVARD
ROCKWALL ISD

EXISTING TREE LEGEND	
	EXISTING TREE TO BE SAVED
	EXISTING TREE TO BE REMOVED

SITE DATA SUMMARY	
EXISTING ZONING	AG
PROPOSED ZONING	PD FOR NS USES (2022-015)
USE	PUBLIC SCHOOL
LOT AREA	3,464,762 S.F. OR 79.54 AC.
BUILDING AREA (FLOOR AREA)	
PROPOSED FIRST FLOOR	150,170 S.F.
PROPOSED SECOND FLOOR	41,019 S.F.
TOTAL BUILDING AREA	191,189 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	150,170 S.F.
LOT COVERAGE	150,170 S.F. / 3,464,762 S.F. = 4.33%
FLOOR AREA RATIO	0.051
TOTAL IMPERVIOUS AREA	813,028.31 S.F. OR 18.66 AC.
BUILDING HEIGHT	13'-10" (2 STORY)
TOTAL REQUIRED PARKING (1 PER 5 STUDENTS)	203 SPACES
PARKING PROVIDED	
9.0x18.0'	304 SPACES
9.0x20.0'	208 SPACES
15.0x30.0'	19 SPACES
TOTAL PARKING PROVIDED	532 SPACES



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Planning & Zoning Commission, Chairman Director of Planning and Zoning

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

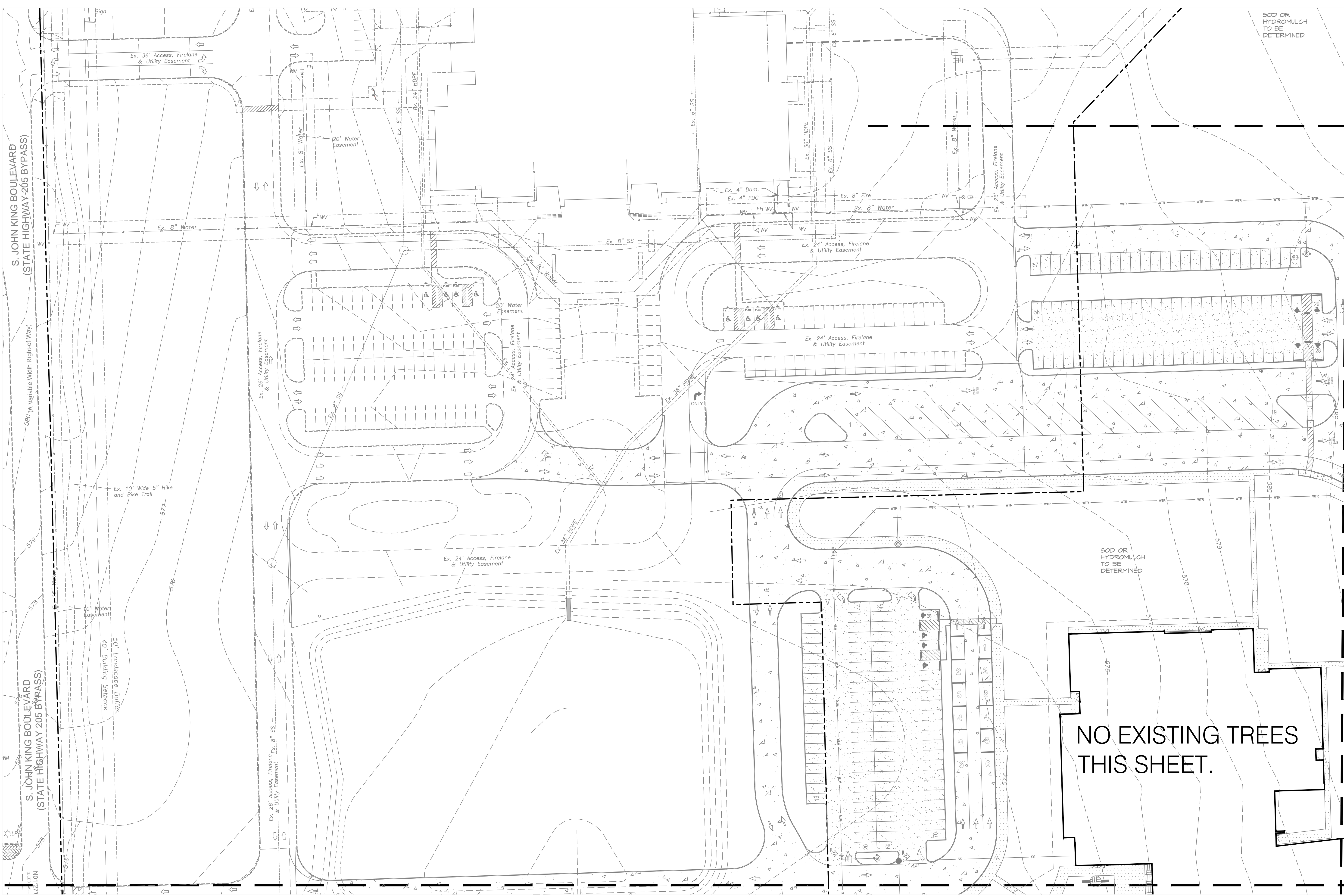
OWNER/DEVELOPER: ROCKWALL ISD 801 E. WASHINGTON ST. ROCKWALL, TEXAS 75087 CONTACT: JAMES WATSON	SURVEYOR: BOWMAN 1200 W. MAGNOLIA BLVD. SUITE 300 FORT WORTH, TEXAS 76104 CONTACT: ROBERT HANSEN	ENGINEER: GLENN ENGINEERING CORP. 4500 FULLER DR. IRVING, TEXAS 75038 (972) 717-5151 CONTACT: CHERALYN M. ARNOLD
---	---	---

CITY OF ROCKWALL CASE NO. SP2022-018

OVERALL TREESCAPE PLAN

JOB 21572.0000
DATE 05/20/22
SHEET

TS 1



CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
1	05/20/22 PERMIT REVIEW
2	
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REVISIONS	

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11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

MATCHLINE SEE SHEET L3

MATCHLINE SEE SHEET L5

NO EXISTING TREES
THIS SHEET.



OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY OF ROCKWALL CASE NO. SP2022-018

JOB 21572.0000
DATE 05/20/22
SHEET

TS 2

TREESCAPE
PLAN AREA A

MATCHLINE SEE SHEET L2

CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES

1	05/20/22	PERMIT REVIEW
2		
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**ROCKWALL-HEATH
NINTH GRADE CENTER**

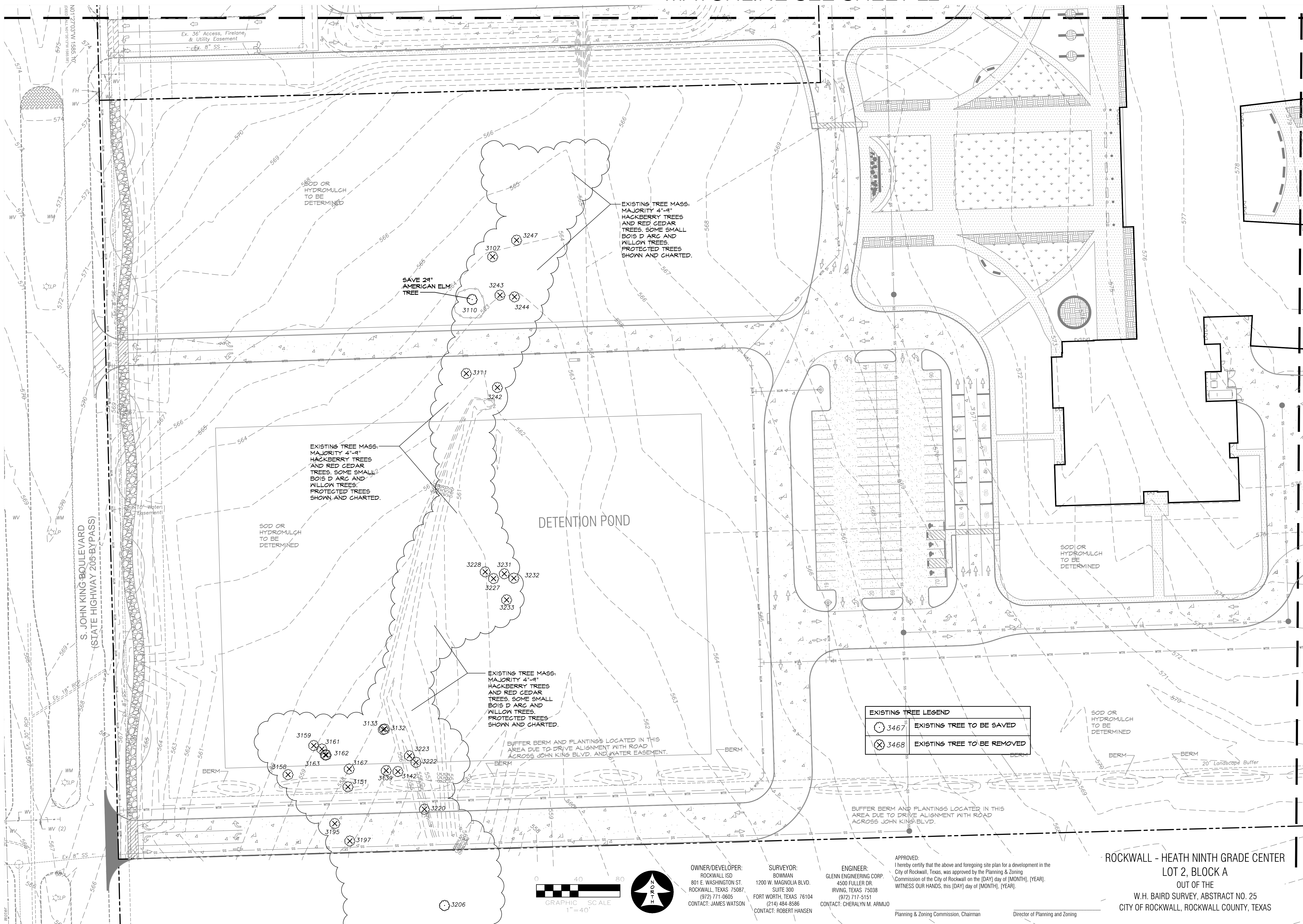
S. JOHN KING BOULEVARD
ROCKWALL ISD

**TREESCAPE
PLAN AREA B**

JOB 21572.0000
DATE 05/20/22
SHEET

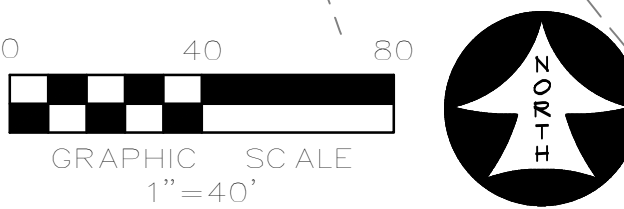
TS 3

MATCHLINE SEE SHEET L4



EXISTING TREE LEGEND

	3467	EXISTING TREE TO BE SAVED
	3468	EXISTING TREE TO BE REMOVED



OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

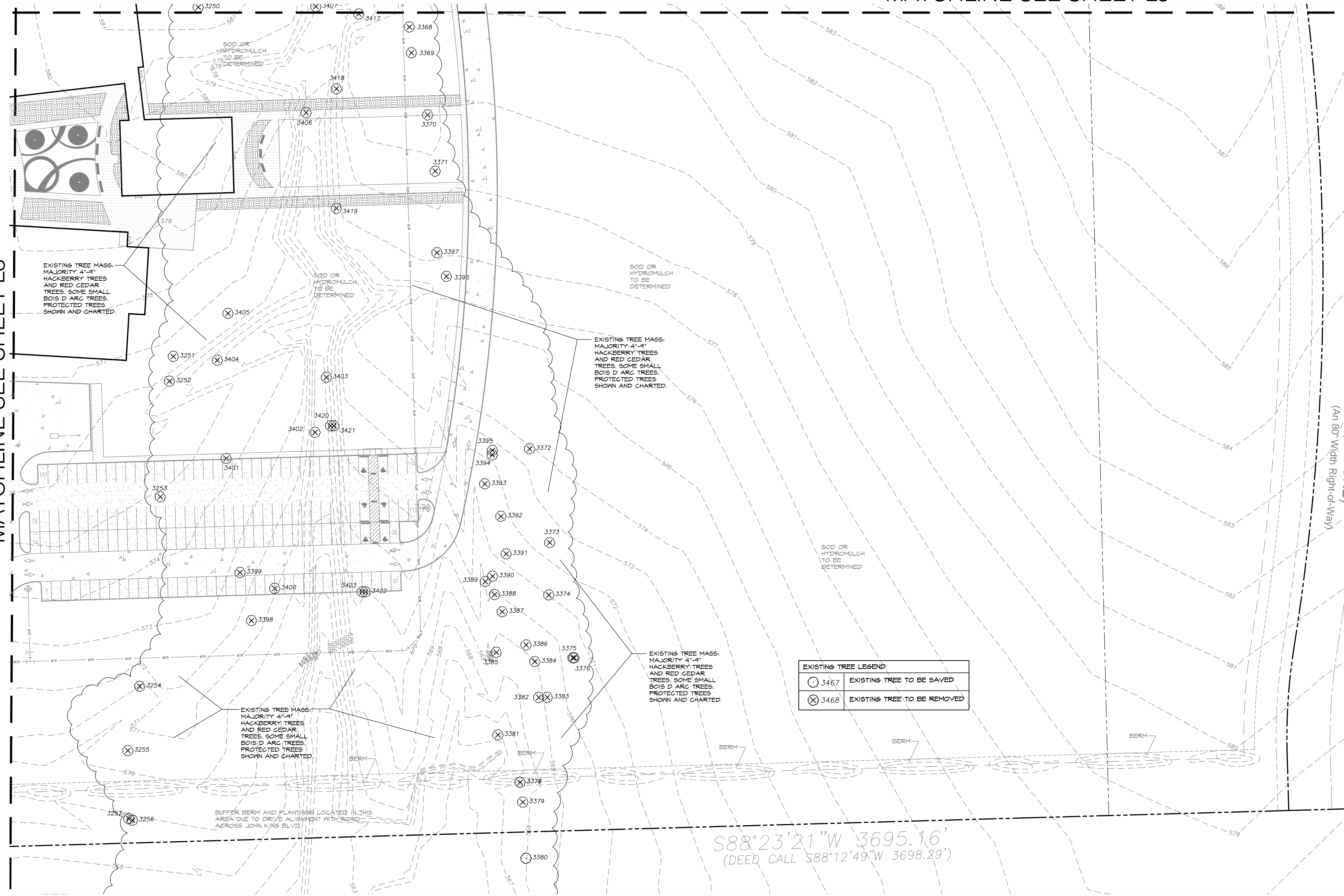
ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMijo

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Planning & Zoning Commission, Chairman
Director of Planning and Zoning

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

MATCHLINE SEE SHEET L3



EXISTING TREE LEGEND	
	EXISTING TREE TO BE SAVED
	EXISTING TREE TO BE REMOVED

$S88^{\circ}23'21''W$ 3695.16'
(DEED CALL $S88^{\circ}12'49''W$ 3698.29')

CORGAN
401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES	
1	05/20/22 PERMIT REVIEW
2	
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REVISIONS	

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RAMSEY LANDSCAPE ARCHITECTS, LLC
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EMAIL: MIKE.RLA@ATT.NET

**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

TREESCAPE
PLAN AREA C

JOB 21572.0000
DATE 05/20/22
SHEET TS 4

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY OF ROCKWALL CASE NO. SP2022-018

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
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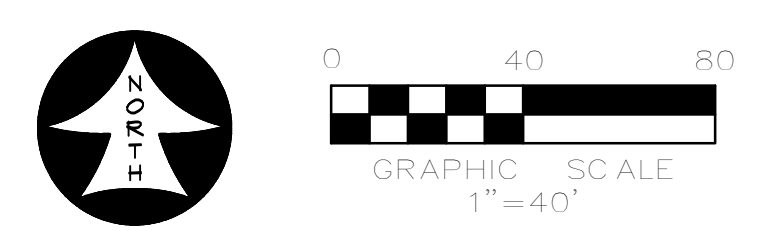
SURVEYOR:
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SUITE 300
FORT WORTH, TEXAS 76104
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CONTACT: ROBERT HANSEN

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning



MATCHLINE SEE SHEET L6

CORGAN

401 N. Houston St
Dallas, TX 75202
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ISSUES

1	05/20/22	PERMIT REVIEW
2		
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**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

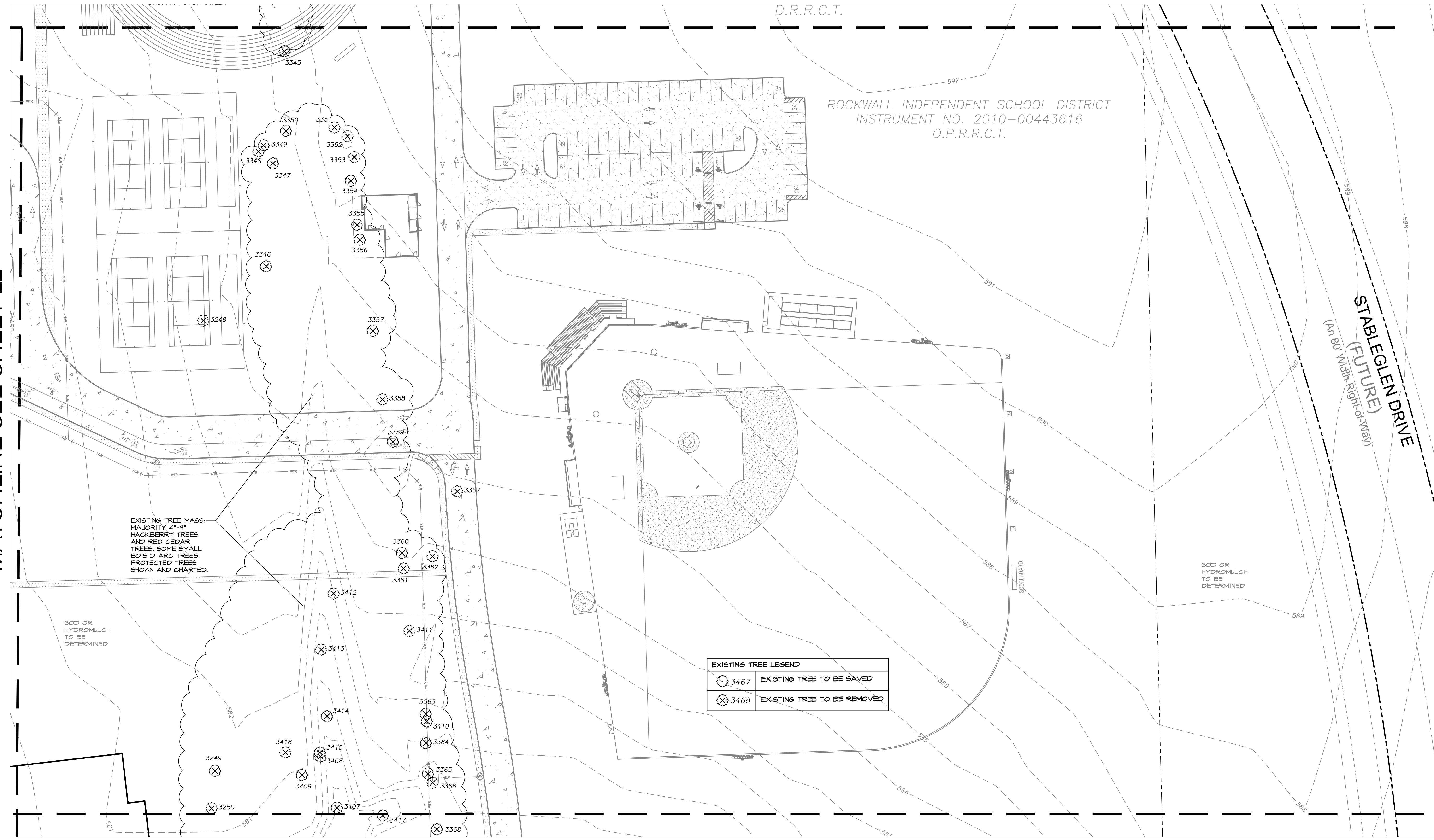
**TREESCAPE
PLAN AREA E**

JOB 21572.0000
DATE 05/20/22
SHEET

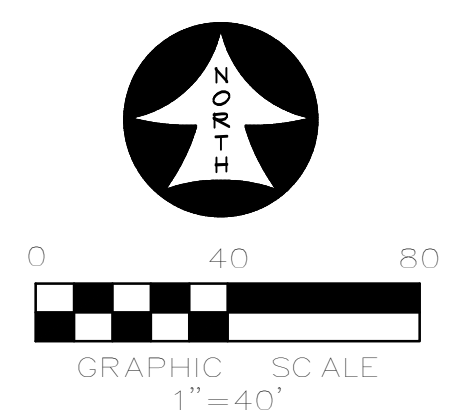
TS 5

MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L4



EXISTING TREE LEGEND	
	EXISTING TREE TO BE SAVED
	EXISTING TREE TO BE REMOVED



OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 771-0605
CONTACT: JAMES WATSON

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ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
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CITY OF ROCKWALL CASE NO. SP2022-018

ISSUES

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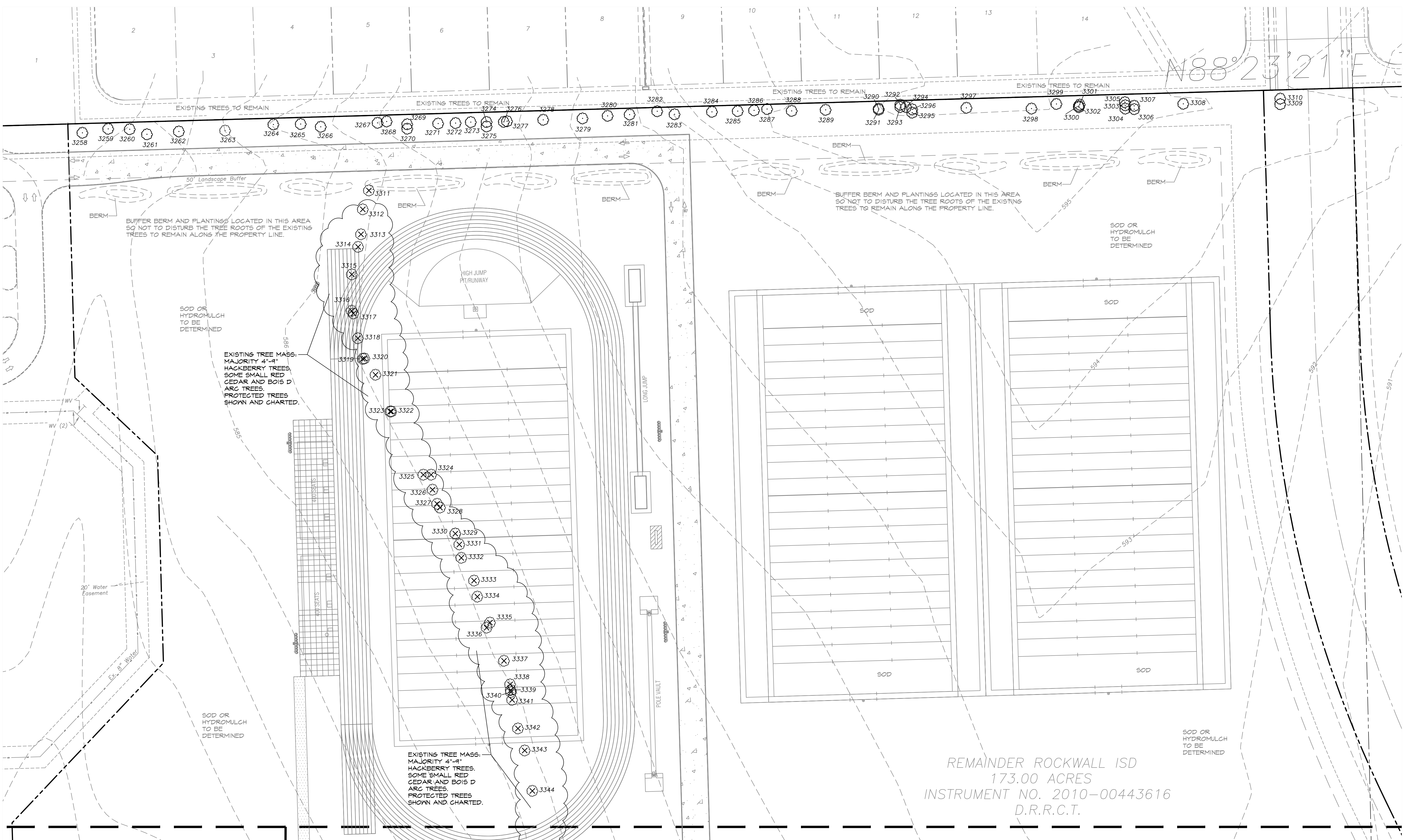
REVISIONS

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RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 362-5433
EMAIL: MIKE.RLA@ATT.NET

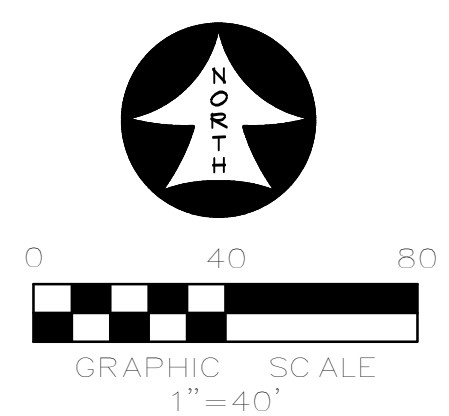
**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD



MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L5

EXISTING TREE LEGEND	
	EXISTING TREE TO BE SAVED
	EXISTING TREE TO BE REMOVED



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR]. WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman
Director of Planning and Zoning

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 717-0605
CONTACT: JAMES WATSON

SURVEYOR:
BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(214) 484-8586
CONTACT: ROBERT HANSEN

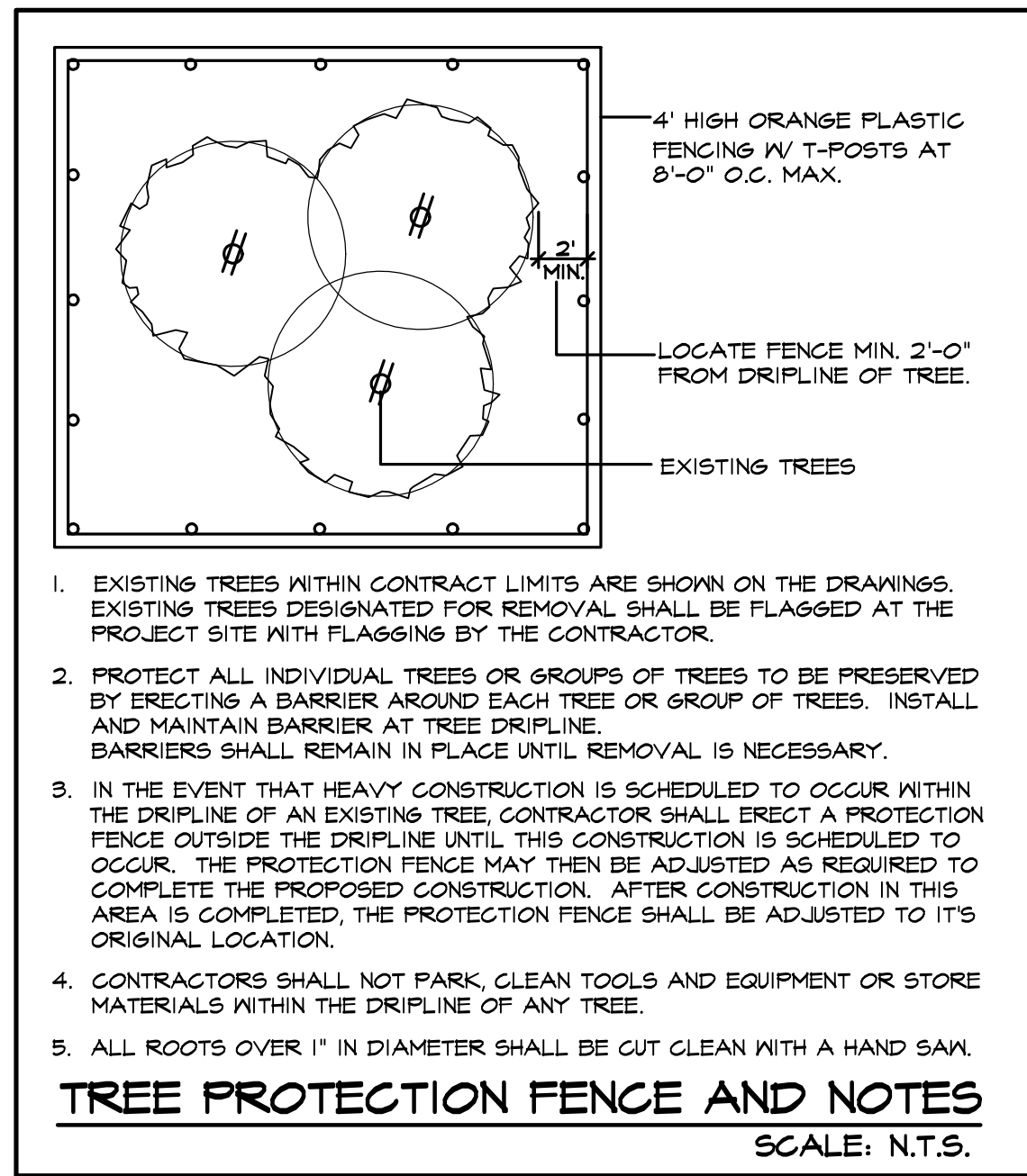
ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-018

TREESCAPE
PLAN AREA E

JOB 21572.0000
DATE 05/20/22
SHEET

TS 6



TREE #	TREE TYPE/COND.	DEMO/SAVE	MITIGATE	CREDIT
3107	TREE 19" HACKBERRY	REMOVE	9.5	
3110	TREE 29" AMERICAN ELM MT	SAVE	0	29
3111	TREE 17" HACKBERRY	REMOVE	8.5	
3132	TREE 12" HACKBERRY	REMOVE	6	
3133	TREE 20" HACKBERRY	REMOVE	10	
3139	TREE 13" HACKBERRY	REMOVE	6.5	
3142	TREE 15" HACKBERRY	REMOVE	7.5	
3151	TREE 13" HACKBERRY	REMOVE	6.5	
3158	TREE 25" HACKBERRY	REMOVE	12.5	
3159	TREE 19" HACKBERRY	REMOVE	9.5	
3161	TREE 12" HACKBERRY	REMOVE	6	
3162	TREE 17" HACKBERRY	REMOVE	8.5	
3163	TREE 13" HACKBERRY	REMOVE	6.5	
3167	TREE 14" HACKBERRY	REMOVE	7	
3195	TREE 13" HACKBERRY	REMOVE	6.5	
3197	TREE 15" HACK. Heartrot & Split	REMOVE	0	SICK/EXEMPT
3206	TREE 15" AM ELM	SAVE	0	OFF-SITE
3220	TREE 11" HACKBERRY	REMOVE	5.5	
3222	TREE 12" RED CEDAR	REMOVE	6	
3223	TREE 15" BOIS D ARC	REMOVE	0	
3227	TREE 13" HACKBERRY	REMOVE	6.5	
3228	TREE 12" HACKBERRY	REMOVE	6	
3231	TREE 13" HACKBERRY	REMOVE	6.5	
3232	TREE 14" HACKBERRY	REMOVE	7	
3233	TREE 12" HACKBERRY	REMOVE	6	
3242	TREE 18" HACKBERRY	REMOVE	9	
3243	TREE 12" HACKBERRY	REMOVE	6	
3244	TREE 18" HACKBERRY	REMOVE	9	
3247	TREE 21" HACK. Heartrot & Split	REMOVE	0	SICK/EXEMPT
3248	TREE 12" RED CEDAR	REMOVE	6	
3249	TREE 15" RED CEDAR	REMOVE	7.5	
3250	TREE 15" RED CEDAR	REMOVE	7.5	
3251	TREE 11" RED CEDAR	REMOVE	5.5	
3252	TREE 18" HACKBERRY	REMOVE	9	
3253	TREE 12" RED CEDAR	REMOVE	6	
3254	TREE 13" RED CEDAR	REMOVE	6.5	
3255	TREE 11" RED CEDAR	REMOVE	5.5	
3256	TREE 13" RED CEDAR	REMOVE	6.5	
3257	TREE 15" RED CEDAR	REMOVE	7.5	
3258	TREE 13" HACKBERRY	SAVE	0	
3259	TREE 13" HACKBERRY	SAVE	0	
3260	TREE 16" HACKBERRY	SAVE	0	
3261	TREE 11" HACKBERRY	SAVE	0	
3262	TREE 17" HACKBERRY	SAVE	0	
3263	TREE 22" HACKBERRY HEARTROT	REMOVE	0	SICK/EXEMPT
3264	TREE 19" HACKBERRY	SAVE	0	
3265	TREE 14" HACKBERRY	SAVE	0	
3266	TREE 15" HACKBERRY	SAVE	0	
3267	TREE 13" HACKBERRY	SAVE	0	
3268	TREE 15" HACKBERRY	SAVE	0	
3269	TREE 12" HACKBERRY	SAVE	0	
3270	TREE 17" HACKBERRY	SAVE	0	
3271	TREE 20" HACKBERRY	SAVE	0	
3272	TREE 14" HACKBERRY	SAVE	0	
3273	TREE 18" HACKBERRY	SAVE	0	
3274	TREE 14" HACKBERRY	SAVE	0	
3275	TREE 15" HACKBERRY	SAVE	0	
3276	TREE 18" HACKBERRY	SAVE	0	
3277	TREE 18" HACKBERRY	SAVE	0	
3278	TREE 23" HACKBERRY	SAVE	0	
3279	TREE 11" HACKBERRY	SAVE	0	
3280	TREE 14" HACKBERRY	SAVE	0	OFF-SITE
3281	TREE 13" HACKBERRY	SAVE	0	
3282	TREE 13" HACKBERRY	SAVE	0	
3283	TREE 25" HACKBERRY	SAVE	0	
3284	TREE 15" HACKBERRY	SAVE	0	
3285	TREE 13" HACKBERRY	SAVE	0	
3286	TREE 20" HACKBERRY HEARTROT	REMOVE	0	SICK/EXEMPT
3287	TREE 13" HACKBERRY	SAVE	0	
3288	TREE 15" HACKBERRY	SAVE	0	
3289	TREE 12" HACKBERRY	SAVE	0	
3290	TREE 18" HACKBERRY	SAVE	0	
3291	TREE 18" HACKBERRY	SAVE	0	
3292	TREE 14" HACKBERRY	SAVE	0	
3293	TREE 11" HACKBERRY	SAVE	0	
3294	TREE 11" HACKBERRY	SAVE	0	
3295	TREE 15" HACKBERRY	SAVE	0	
3296	TREE 18" HACKBERRY MT	SAVE	0	
3297	TREE 25" HACKBERRY	SAVE	0	
3298	TREE 15" HACKBERRY MT	SAVE	0	
3299	TREE 12" HACKBERRY	SAVE	0	
3300	TREE 12" HACKBERRY	SAVE	0	
3301	TREE 12" HACKBERRY	SAVE	0	
3302	TREE 12" HACKBERRY	SAVE	0	
3303	TREE 11" HACKBERRY	SAVE	0	
3304	TREE 13" HACKBERRY	SAVE	0	
3305	TREE 11" HACKBERRY	SAVE	0	
3306	TREE 11" HACKBERRY	SAVE	0	
3307	TREE 18" HACKBERRY	SAVE	0	
3308	TREE 15" HACKBERRY	SAVE	0	
3309	TREE 11" HACKBERRY	SAVE	0	
3310	TREE 11" HACKBERRY	SAVE	0	
3311	TREE 11" HACKBERRY	REMOVE	5.5	
3312	TREE 17" HACKBERRY MT	REMOVE	8.5	
3313	TREE 20" HACKBERRY MT	REMOVE	10	
3314	TREE 20" HACKBERRY MT	REMOVE	10	
3315	TREE 24" HACKBERRY	REMOVE	12	
3316	TREE 12" HACKBERRY	REMOVE	6	
3317	TREE 15" HACKBERRY	REMOVE	7.5	
3318	TREE 21" HACKBERRY MT	REMOVE	10.5	
3319	TREE 16" HACKBERRY	REMOVE	8	
3320	TREE 21" HACKBERRY	REMOVE	10.5	

3321	TREE 12" HACKBERRY	REMOVE	6	
3322	TREE 20" HACKBERRY MT	REMOVE	10	
3323	TREE 11" HACKBERRY MT	REMOVE	5.5	
3324	TREE 16" HACKBERRY MT	REMOVE	8	
3325	TREE 16" HACKBERRY MT	REMOVE	8	
3326	TREE 21" HACKBERRY MT	REMOVE	10.5	
3327	TREE 21" HACKBERRY MT	REMOVE	10.5	
3328	TREE 20" HACKBERRY MT	REMOVE	10	
3329	TREE 16" HACKBERRY	REMOVE	8	
3330	TREE 11" HACKBERRY	REMOVE	5.5	
3331	TREE 18" HACKBERRY MT	REMOVE	9	
3332	TREE 12" HACKBERRY	REMOVE	6	
3333	TREE 17" HACKBERRY MT	REMOVE	8.5	
3334	TREE 22" HACKBERRY MT	REMOVE	11	
3335	TREE 14" HACKBERRY MT	REMOVE	7	
3336	TREE 11" HACKBERRY	REMOVE	5.5	
3337	TREE 20" HACKBERRY MT	REMOVE	10	
3338	TREE 15" HACKBERRY MT	REMOVE	7.5	
3339	TREE 11" HACKBERRY MT	REMOVE	5.5	
3340	TREE 11" HACKBERRY MT	REMOVE	5.5	
3341	TREE 11" HACKBERRY MT	REMOVE	5.5	
3342	TREE 18" HACKBERRY MT	REMOVE	9	
3343	TREE 12" HACKBERRY	REMOVE	6	
3344	TREE 22" HACKBERRY	REMOVE	11	
3345	TREE 17" HACKBERRY MT	REMOVE	8.5	
3346	TREE 14" RED CEDAR	REMOVE	7	
3347	TREE 12" HACKBERRY	REMOVE	6	
3348	TREE 12" HACKBERRY	REMOVE	6	
3349	TREE 12" HACKBERRY	REMOVE	6	
3350	TREE 14" HACKBERRY	REMOVE	7	
3351	TREE 14" HACKBERRY	REMOVE	7	
3352	TREE 11" HACKBERRY	REMOVE	5.5	
3353	TREE 17" HACKBERRY	REMOVE	8.5	
3354	TREE 11" HACKBERRY MT	REMOVE	5.5	
3355	TREE 12" HACKBERRY	REMOVE	6	
3356	TREE 24" HACKBERRY	REMOVE	12	
3357	TREE 20" HACKBERRY MT	REMOVE	10	
3358	TREE 14" RED CEDAR	REMOVE	7	
3359	TREE 19" HACKBERRY	REMOVE	9.5	
3360	TREE 16" RED CEDAR	REMOVE	8	
3361	TREE 11" HACKBERRY	REMOVE	5.5	
3362	TREE 15" HACKBERRY	REMOVE	7.5	
3363	TREE 14" HACKBERRY	REMOVE	7	
3364	TREE 17" HACKBERRY	REMOVE	8.5	
3365	TREE 16" HACKBERRY	REMOVE	8	
3366	TREE 15" HACKBERRY	REMOVE	7.5	
3367	TREE 13" HACKBERRY	REMOVE	6.5	
3368	TREE 11" RED CEDAR	REMOVE	5.5	
3369	TREE 11" RED CEDAR	REMOVE	5.5	
3370	TREE 16" HACKBERRY	REMOVE	8	
3371	TREE 14" HACKBERRY	REMOVE	7	
3372	TREE 13" RED CEDAR	REMOVE	6.5	
3373	TREE 12" RED CEDAR	REMOVE	6	
3374	TREE 18" RED CEDAR	REMOVE	9	
3375	TREE 12" RED CEDAR	REMOVE	6	
3376	TREE 11" RED CEDAR	REMOVE	5.5	
3377	TREE 12" HACKBERRY	REMOVE	6	
3378	TREE 17" HACKBERRY	REMOVE	8.5	
3379	TREE 18" HACKBERRY MT	REMOVE	9	
3380	TREE 13" HACKBERRY	SAVE	0	OFF-SITE
3381	TREE 11" HACKBERRY	REMOVE	5.5	
3382	TREE 12" RED CEDAR	REMOVE	6	
3383	TREE 11" RED CEDAR	REMOVE	5.5	
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3386	TREE 12" RED CEDAR	REMOVE	6	
3387	TREE 11" RED CEDAR	REMOVE	5.5	
3388	TREE 15" RED CEDAR	REMOVE	7.5	
3389	TREE 13" RED CEDAR MT	REMOVE	6.5	
3390	TREE 12" RED CEDAR	REMOVE	6	
3391	TREE 14" RED CEDAR	REMOVE	7	
3392	TREE 12" RED CEDAR	REMOVE	6	
3393	TREE 15" RED CEDAR MT	REMOVE	7.5	
3394	TREE 14" RED CEDAR	REMOVE	7	
3395	TREE 14" RED CEDAR	REMOVE	7	
3396	TREE 14" RED CEDAR MT	REMOVE	7	
3397	TREE 11" RED CEDAR	REMOVE	5.5	
3398	TREE 15" RED CEDAR MT	REMOVE	7.5	
3399	TREE 18" RED CEDAR	REMOVE	9	
3400	TREE 11" RED CEDAR MT	REMOVE	5.5	
3401	TREE 12" RED CEDAR	REMOVE	6	
3402	TREE 14" RED CEDAR	REMOVE	7	
3403	TREE 13" OAK MT	REMOVE	13	
3404	TREE 11" RED CEDAR	REMOVE	5.5	
3405	TREE 18" RED CEDAR	REMOVE	9	
3406	TREE 11" RED CEDAR	REMOVE	5.5	
3407	TREE 11" RED CEDAR	REMOVE	5.5	
3408	TREE 14" RED CEDAR MT	REMOVE	7	
3409	TREE 14" RED CEDAR MT	REMOVE	7	
3410	TREE 14" OAK MT	REMOVE	14	
3411	TREE 12" OAK	REMOVE	12	
3412	TREE 12" RED CEDAR MT	REMOVE	6	
3413	TREE 13" RED CEDAR	REMOVE	6.5	
3414	TREE 11" RED CEDAR	REMOVE	5.5	
3415	TREE 15" RED CEDAR MT	REMOVE	7.5	
3416	TREE 16" RED CEDAR MT	REMOVE	8	
3417	TREE 15" RED CEDAR	REMOVE	7.5	
3418	TREE 12" RED CEDAR	REMOVE	6	
3419	TREE 15" RED CEDAR	REMOVE	7.5	
3420	TREE 13" RED CEDAR	REMOVE	6.5	
3421	TREE 13" RED CEDAR	REMOVE	6.5	
3422	TREE 14" RED CEDAR	REMOVE	7	
3423	TREE 14" RED CEDAR	REMOVE	7	
TOTALS			1079.5	29

MITIGATION 1,079.5 - 29 = 1,050.5 X \$100.00 = \$105,050.00

CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES

1	05/20/22	PERMIT REVIEW
2		
3		
4		
5		
6		

REVISIONS

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**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman
Director of Planning and Zoning

**ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A**
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
(972) 717-0605
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
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(214) 484-8586
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-018

**TREESCAPE
PLAN CHART**

**JOB 21572.0000
DATE 05/20/22
SHEET**

TS 7

ISSUES

1	05/20/22	PERMIT REVIEW
2		
3		
4		
5		
6		

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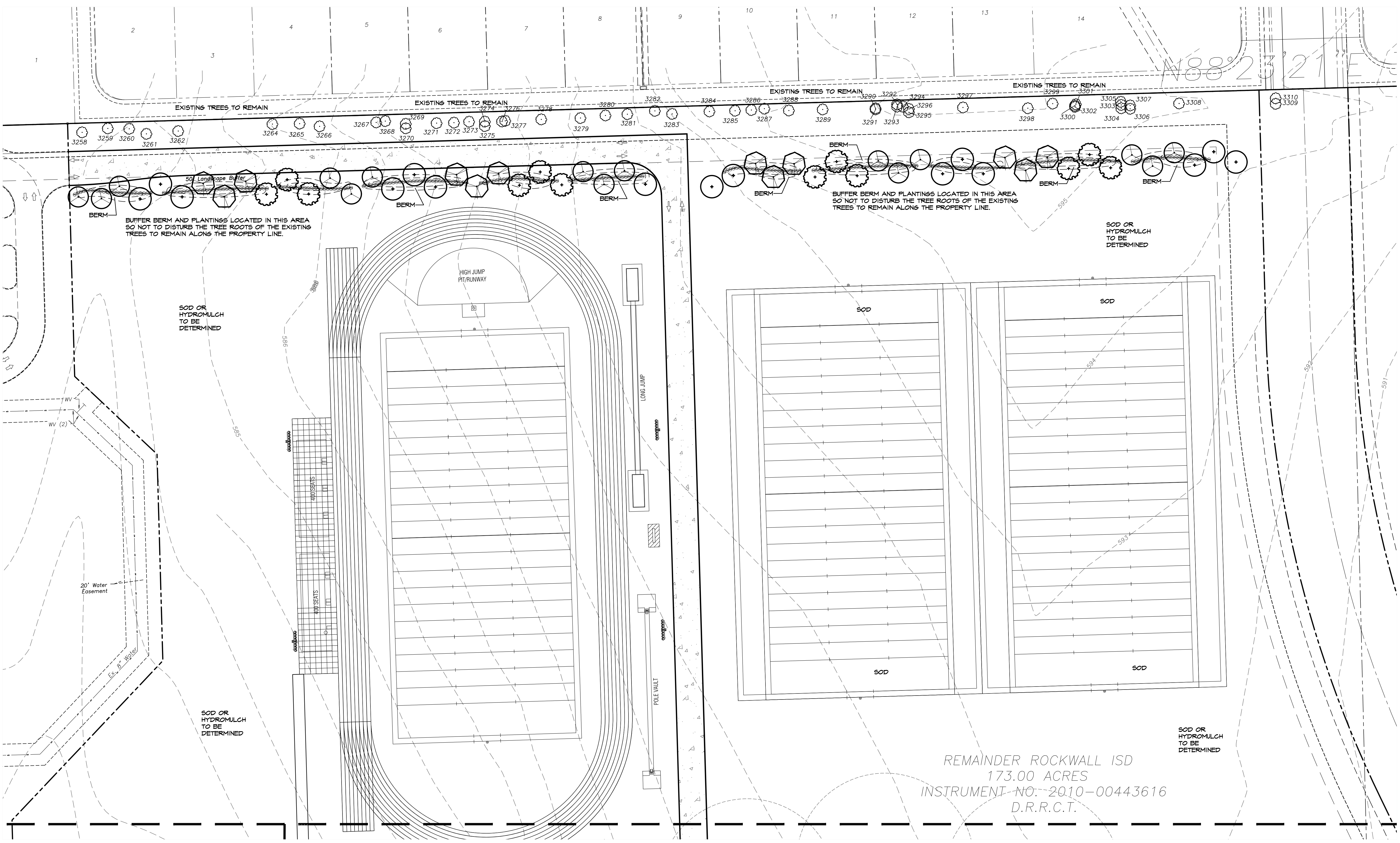
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**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

LANDSCAPE PLAN
AREA E

JOB 21572.0000
DATE 05/20/22
SHEET

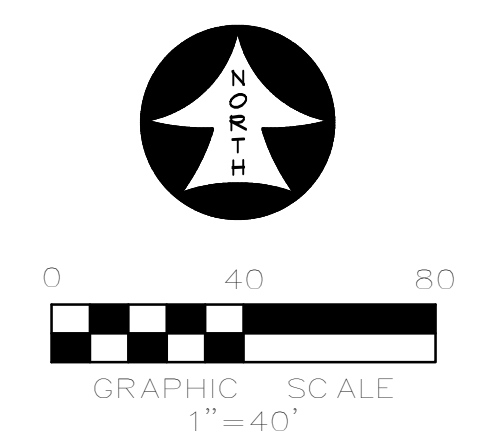
L 6



MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L5

REMAINDER ROCKWALL ISD
173.00 ACRES
INSTRUMENT NO. 2010-00443616
D.R.R.C.T.



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Planning & Zoning Commission, Chairman Director of Planning and Zoning

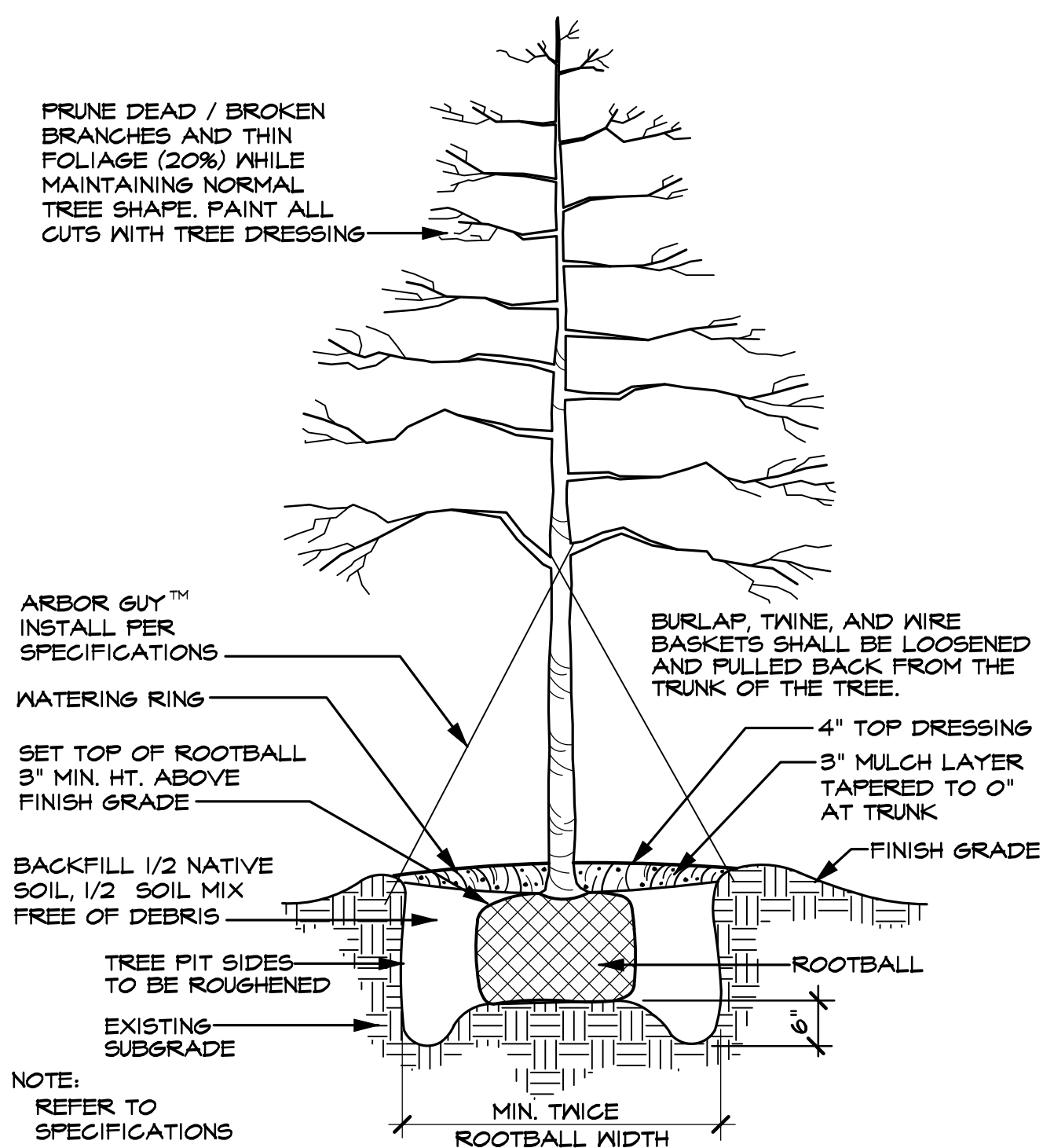
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OUT OF THE
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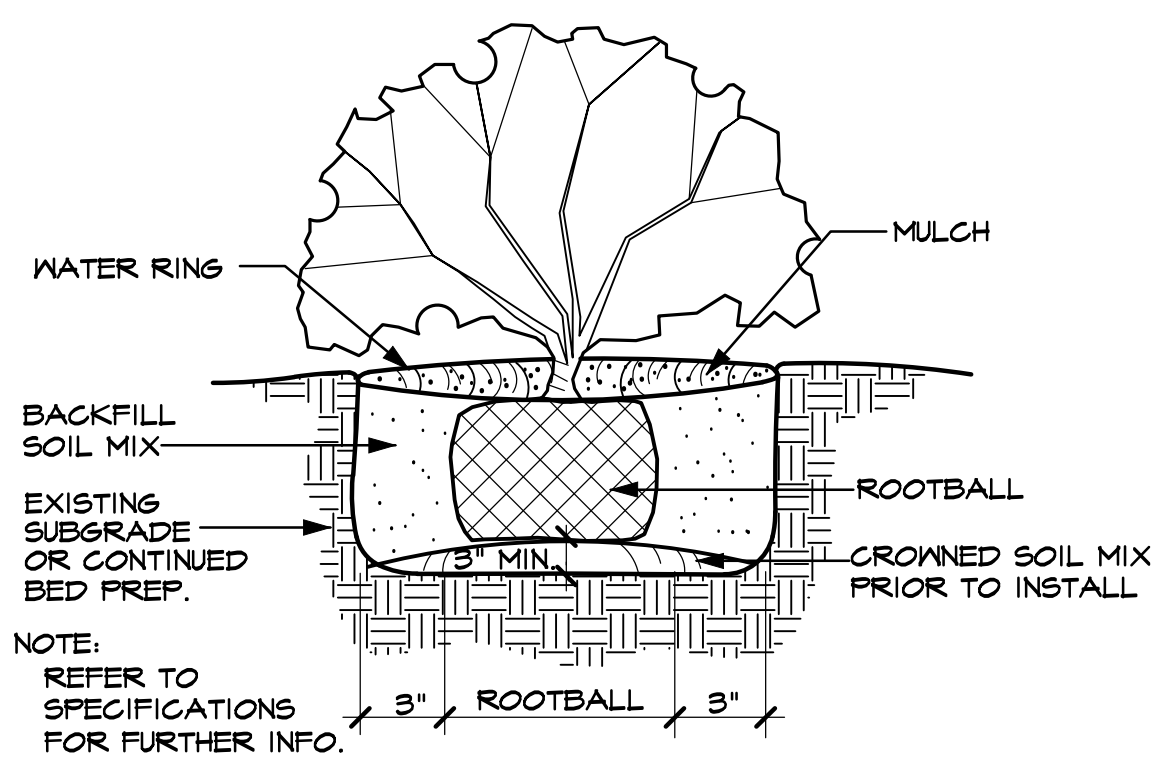
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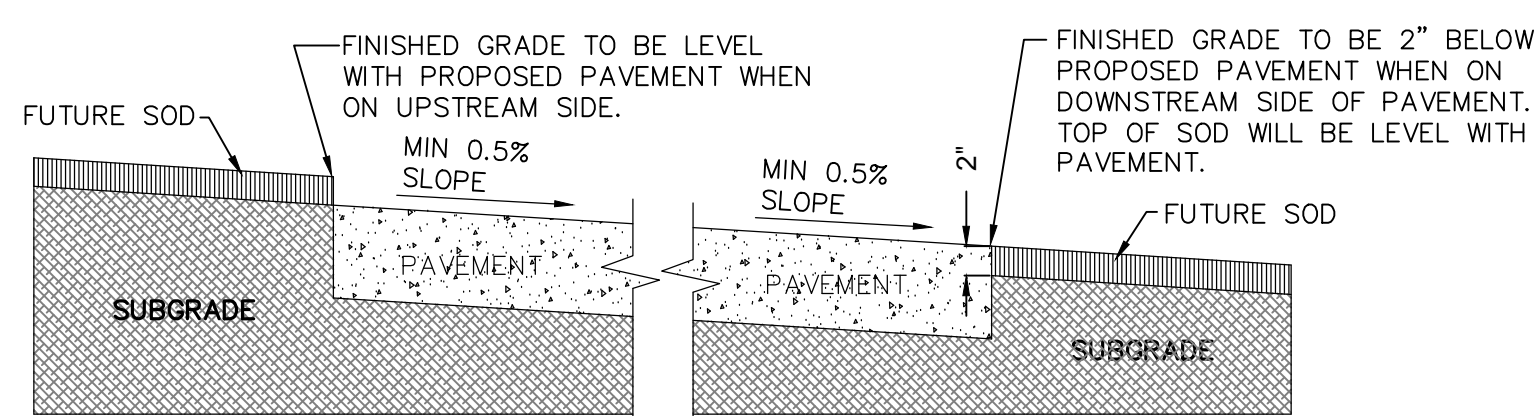
CITY OF ROCKWALL CASE NO. SP2022-018



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



GRADING DETAIL FOR PAVEMENT WITHOUT CURB
SCALE: N.T.S.

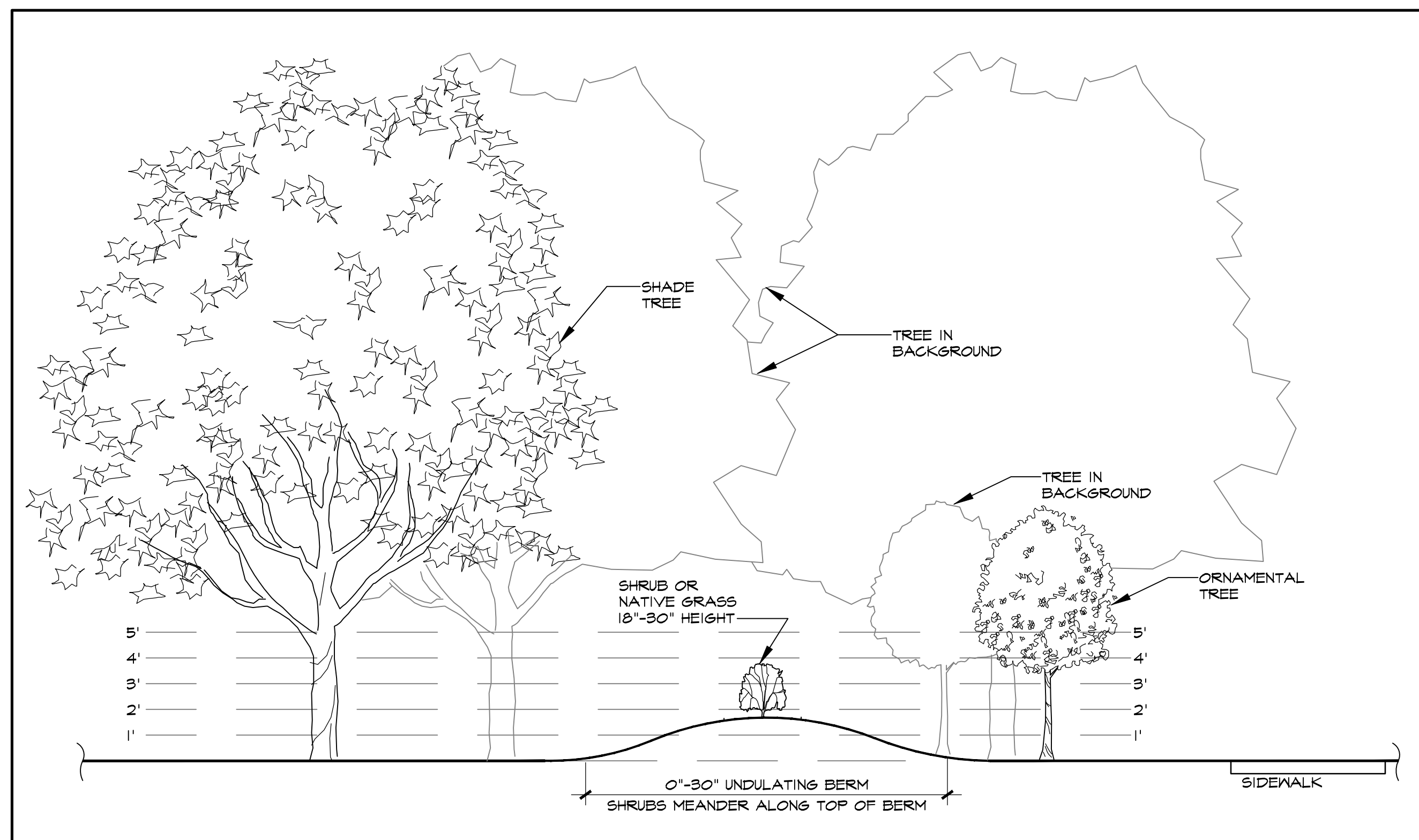
TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
51		LIVE OAK	Live Oak	<i>Quercus virginiana</i>	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
48		RED OAK	Shumard Red Oak	<i>Quercus shumardii</i>	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
65		LACEBARK	Lacebark Elm	<i>Ulmus parvifolia</i>	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
72		PISTACHIO	Chinese Pistachio	<i>Pistacia chinensis</i>	4" caliper, 12'-14' Ht./ 5'-6' spread, B&B straight trunk full rounded canopy
15		T. YAUPON	Yaupon Holly	<i>Ilex vomitoria</i>	3/4" caliper per trunk, 5 trunk min., 6' Ht./4' spread, container, female - heavy berried tree form, limbed to 3'
15		RED BUD	Oklahoma Red Bud	<i>Cercis canadensis 'oklahoma'</i>	5'-6" ht, 3'-4" spread, container

SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
293		P. MUHLY	Pink Muhly Grass	<i>Muhlenbergia capillaris</i>	5 gallon, 18" Ht./18" full
242		D. MAIDEN	Dwarf Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>	5 gallon, 18" Ht./18" full

GROUND COVER					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN		SOD	Common Bermuda Grass	<i>Cynodon dactylon</i>	Sod refer to specifications
AS SHOWN		HYDRO	Common Bermuda Grass	<i>Cynodon dactylon</i>	Hydromulch refer to specifications

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

LANDSCAPE TABULATIONS	
NORTH RESIDENTIAL BUFFER	
20' BUFFER, BERM, 3 TIER SCREENING, 1-SMALL/MID SHRUBS, 2-L6 SHRUBS OR ACCENT TREES, 3-CANOPY MIN. 20' CENTERS, BERM+SHRUB MIN. 48' TOTAL.	
NORTH RESIDENTIAL BUFFER REQUIRED	20' BUFFER
NORTH BUFFER PROVIDED	20' BUFFER
BUFFER TREES REQUIRED (1,073 LF / 20' =)	54 TREES
NORTH BUFFER PROVIDED	54 TREES
SHRUBS PROVIDED	293 SHRUBS
ACCENT TREES PROVIDED (EXIST. HACKBERRY TREES)	40 EX. TREES
SOUTH RESIDENTIAL BUFFER	
20' BUFFER, BERM, CANOPY MIN. 20' CENTERS	
NORTH RESIDENTIAL BUFFER REQUIRED	20' BUFFER
NORTH BUFFER PROVIDED	20' BUFFER
BUFFER TREES REQUIRED (2,312 LF / 20' =)	116 TREES
NORTH BUFFER PROVIDED	116 TREES
JOHN KING STREET BUFFER LANDSCAPING	
JOHN KING - 50' BUFFER, 30' SHRUBBERY, 3 CANOPY/4 ACCENT TREES PER 100LF.	
JOHN KING STREET BUFFER REQUIRED	50' BUFFER
BUFFER PROVIDED	50' BUFFER
JOHN KING BUFFER TREES REQUIRED (126 LF/100 LF =)	73 UNITS
BUFFER TREES REQ. (CAN. 3x7.3=22, ACC. 4x7.3=29)	22 CANOPY/29 ACCENT
BUFFER TREES PROVIDED	22 CANOPY/29 ACCENT
PARKING LOT LANDSCAPING	
LOT WITH 2 ROWS HAVE GREATER OF 5% OR 200 SF LANDSCAPE, IF LOT OVER 20,000 SF 1 LG TREE PER 10 SPACES INTERIOR TO LOT, MAX 80 LF FROM TREE TO SPACE.	
PARKING SPACES	544 SPACES
PARKING LANDSCAPE REQUIRED (50,130 SF X 5% =)	2,507 SF
PARKING LANDSCAPE PROVIDED	12,050 SF
AMOUNT OF LANDSCAPING	
% LANDSCAPE BY ZONING, COMMERCIAL 15%, 50% LOCATED FRONT AND SIDE, DETENTION LANDSCAPED GRASSES, SHRUBS, TREES IN NATURAL MANNER, 1 TREE PER 750 SF OF DRY LAND AREA.	
SITE AREA	3,464,960 SF
SITE LANDSCAPE REQUIRED 3,464,960 SF X 15% =)	519,744 SF
SITE LANDSCAPE PROVIDED	1,927,482 SF
% LANDSCAPE PROVIDED FRONT/SIDE (89%)	463,430 SF
SITE IMPERVIOUS AREA	1,426,672 SF
ALL REQUIRED LANDSCAPE AREAS TO RECEIVE AUTOMATIC UNDERGROUND IRRIGATION WITH RAIN AND FREEZE PROTECTION TO MEET REQUIREMENTS OF UDC.	



LANDSCAPE BUFFER SECTION

SCALE: 1/4" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

ROCKWALL - HEATH NINTH GRADE CENTER
LOT 2, BLOCK A
OUT OF THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: ROCKWALL ISD
801 E. WASHINGTON ST.
ROCKWALL, TEXAS 75087
CONTACT: JAMES WATSON

SURVEYOR: BOWMAN
1200 W. MAGNOLIA BLVD.
SUITE 300
FORT WORTH, TEXAS 76104
(972) 771-0605
CONTACT: ROBERT HANSEN

ENGINEER: GLENN ENGINEERING CORP.
4500 FULLER DR.
IRVING, TEXAS 75038
(972) 717-5151
CONTACT: CHERALYN M. ARMUJO

CITY OF ROCKWALL CASE NO. SP2022-018

CORGAN

401 N. Houston St
Dallas, TX 75202
T: 214-748-2000

ISSUES

1	05/20/22	PERMIT REVIEW
2		
3		
4		
5		
6		

REVISIONS

THIS DOCUMENT IS RELEASED FOR PERMIT REVIEW UNDER THE AUTHORITY OF: MICHAEL RAMSEY REGISTERED LANDSCAPE ARCHITECT #1901. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

RAMSEY LANDSCAPE ARCHITECTS, LLC

11914 WISHING WELL CT.
FRISCO, TEXAS 75035
PHONE (972) 335-0889
FAX (469) 382-5433
EMAIL: MIKE.RLA@ATT.NET

**ROCKWALL-HEATH
NINTH GRADE CENTER**
S. JOHN KING BOULEVARD
ROCKWALL ISD

LANDSCAPE
DETAILS

JOB 21572.0000
DATE 05/20/22
SHEET

L 8

LUMINAIRE SCHEDULE FOR ROCKWALL ISD NINTH GRADE CENTERS				Sheet 7 - 05/11/2022		
General Requirements: (1) All luminaires to have 125 less thickness, 4000K color temp, 10% THD drivers, 80 CRI or better and be dimmable down to 10% unless otherwise stated. (2) See Networked Lighting Control Chart and details for more information regarding controls. (3) Any luminaire that ends in "E" in the drawing set is to be treated as an emergency version of the listed luminaire. (4) All LED luminaires are to have lumen output tolerance of +/- 8% and VA tolerance of +/- 10%. (5) All submitted luminaires shall have an L70 rating of at least 50k hrs and shall have a 5 year system warranty with both listed on the manufacturer cut sheet. (6) For linear luminaires (Lx, Lx, Px, Px, etc.), the number in the Type Mark indicates the linear length in whole feet. For linear luminaires (Lx, Lx, Px, Px, etc.), the numbers in the Type Mark indicates the linear length in feet and inches, unless otherwise noted. (7) Equals allowed ONLY by a manufacturer from an agency with other product lines already listed on this schedule. At least 3 day prior approval from designer required. *Lumen output and VA listed are per luminaire or per head or per head and end down component if listed and indicated on both specified.						
Emergency Lighting Information: Linear Emer Section Layout -> [Diagram]						
Provide battery packs per this list unless otherwise noted on the drawings. (LO = Lumen Output) Tolerance shall be +/- 5%. Troffers - 1400lm, Can Lights - 50%LO, High & Low Bays (round or square) - 20 Watts, Linear recessed & Linear pendants & Surface/Wall mount - 1400lm per 4' emergency section, Exterior (building or canopy mounted) - 50%LO, Everything else - 50%LO.						
Project Specific Comments and Requirements - EMA Project #1082007902 - Controls to be - EIC 2015 with Reduced Lighting Power additional efficiency package.						
Comments Key F- Fused, HSS- House Side Shield, MSPC- Integral Motion Sensor/ Photocell, VD- Vibration Damper, .						
Type	Description	Luminaire Equivalents	Delivered Lumens	Comments	Volts	Watts Max
21	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole 3" shaft, 7' gauge wall thickness with 1' Head, T5 Distribution, Color By Architect	Ultrona D5X1 LED, Beacon VPS, McGraw Edison GLEON, Gaudco P28, L81 MRW LED	16000	F, MSPC, VD	480	150
22	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole 3" shaft, 7' gauge wall thickness with 1' Head, T5 Distribution, Color By Architect	Ultrona D5X1 LED, Beacon VPS, McGraw Edison GLEON, Gaudco P28, L81 MRW LED	16000	F, MSPC, VD	480	150
22a	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole 3" shaft, 7' gauge wall thickness with 1' Head, T5 Distribution, Color By Architect	Ultrona D5X1 LED, Beacon VPS, McGraw Edison GLEON, Gaudco P28, L81 MRW LED	16000	F, HSS, MSPC, VD	480	150
25D	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole 3" shaft, 7' gauge wall thickness with 2' Head @ 180deg, T5 Distribution, Color By Architect	Ultrona D5X1 LED, Beacon VPS, McGraw Edison GLEON, Gaudco P28, L81 MRW LED	16000	F, MSPC, VD	480	150
25F	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole 3" shaft, 7' gauge wall thickness with 1' Head, T5 Distribution, Color By Architect	Ultrona D5X1 LED, Beacon VPS, McGraw Edison GLEON, Gaudco P28, L81 MRW LED	16000	F, MSPC, VD	480	150
27a	LED Pole-Mounted Area Light, 25' Square Straight Steel Pole 3" shaft, 7' gauge wall thickness with 1' Head, T5 Distribution, Color By Architect	Ultrona D5X1 LED, Beacon VPS, McGraw Edison GLEON, Gaudco P28, L81 MRW LED	16000	F, MSPC, VD	480	150
8	LED Pole-Mounted Sports Light, 50' Square Steel Pole, with 6 Heads, Type 4 Long Throw Distribution With Front Side Shield, Color By Architect	NSL SLS / VUE -4,	88810	F, MSPC, VD	480	800
82	LED Pole-Mounted Sports Light, 50' Square Steel Pole, with 3 Heads, Type 4 Long Throw Distribution With Front Side Shield, Color By Architect	NSL SLS / VUE -4,	88810	F, MSPC, VD	480	800
83	LED Pole-Mounted Sports Light, 50' Square Steel Pole, with 6 Heads, Type 4 Long Throw Distribution With Front Side Shield, Double Sided, Color By Architect	NSL SLS / VUE -4,	88810	F, MSPC, VD	480	800
222	END OF SCHEDULE, with Color					

Label	CalcType	Avg	Max	Min
BASEBALL, SOUTH SITE	Illuminance	19.39	66.7	0.7
DRIVEWAY LEFT	Illuminance	1.27	5.3	0.0
DRIVEWAY RIGHT	Illuminance	3.26	26.0	0.2
PRACTICE FIELDS, SOUTH SITE	Illuminance	20.46	68.5	1.3
SOUTH SITE PARKING LOT NORTHEAST	Illuminance	2.11	3.7	0.9
SOUTH SITE PARKING LOT NORTHWEST	Illuminance	1.73	5.0	0.2
SOUTH SITE PARKING LOT SOUTHEAST	Illuminance	1.57	2.9	0.6
SOUTH SITE PARKING LOT SOUTHWEST	Illuminance	1.61	2.8	0.9
SOUTH SITE PARKING LOT WEST	Illuminance	1.62	2.9	0.9
SOUTH SITE PROPERTY LINE	Illuminance	0.02	0.6	0.0
TENNIS COURTS, SOUTH SITE	Illuminance	21.56	34.2	10.5
TRACK AND FIELD, SOUTH SITE	Illuminance	23.67	74.6	2.1

SITE PLAN PHOTOMETRIC CALCULATIONS GENERAL NOTES

- THESE PLANS ARE ACCURATE AND DESIGNED IN COMPLIANCE WITH AND MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL, TX OUTDOOR LIGHTING ORDINANCE IN EFFECT AT THE TIME OF THE SUBMISSION OF PLANS.
- ALL CALCULATION POINTS SHOWN ARE AT THE GROUND LEVEL AND ARE MEASURED HORIZONTALLY.
- LIGHTING CALCULATIONS HAVE BEEN PRODUCED USING AG62 LIGHTING SOFTWARE BY LIGHTING ANALYSTS, INC.

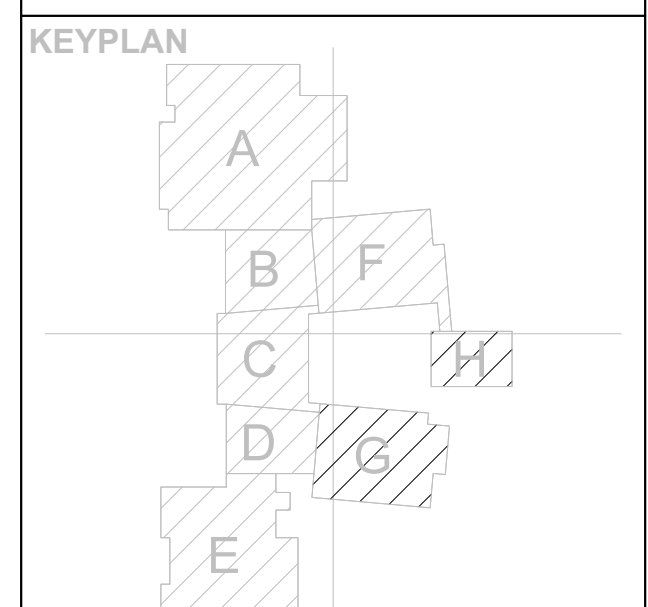
ISSUES	
1	05/11/22 30% PROGRESS SET
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REVISIONS	

This Document was produced by or under the authority of Registered Architect.

REVIEW ONLY
DATE: May 18, 2022

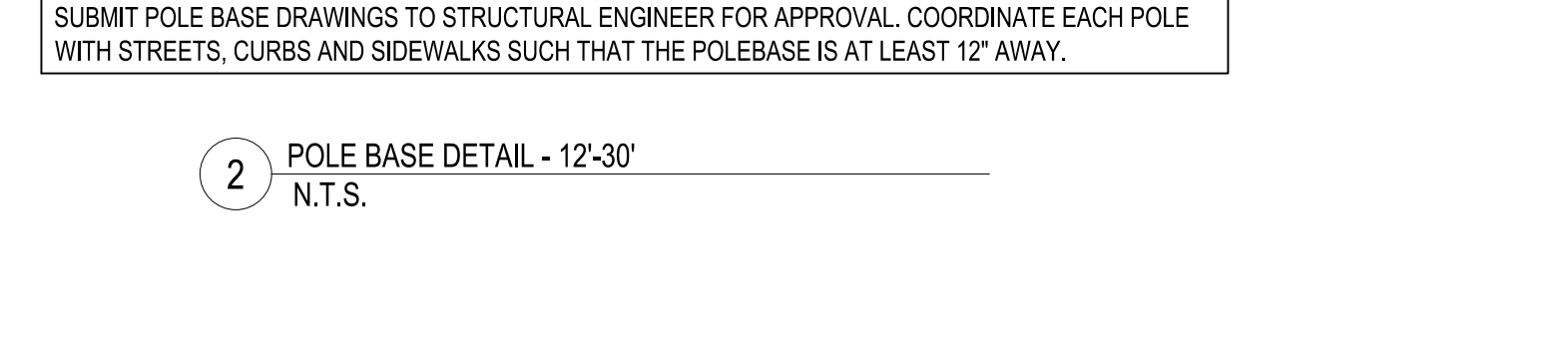
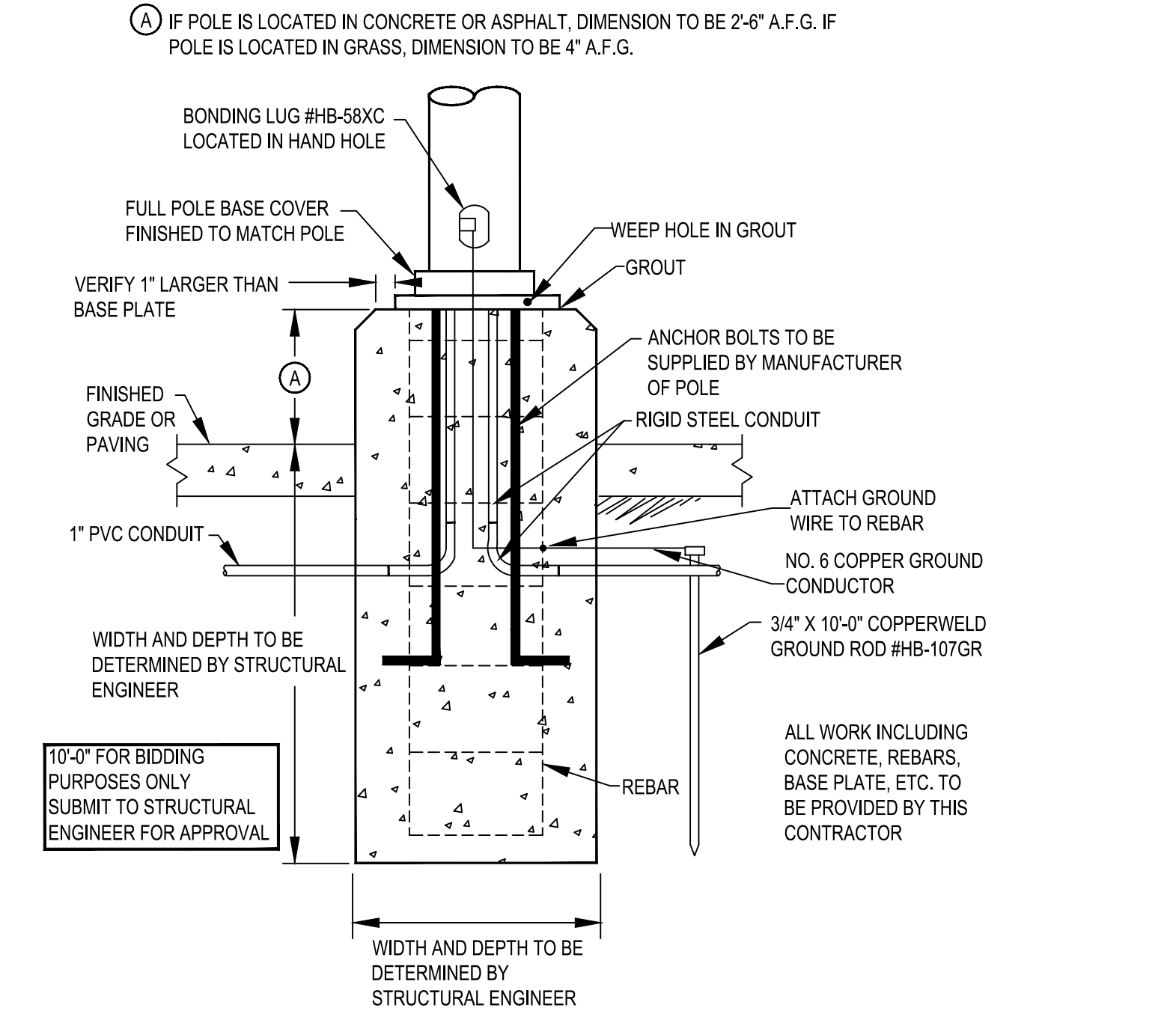
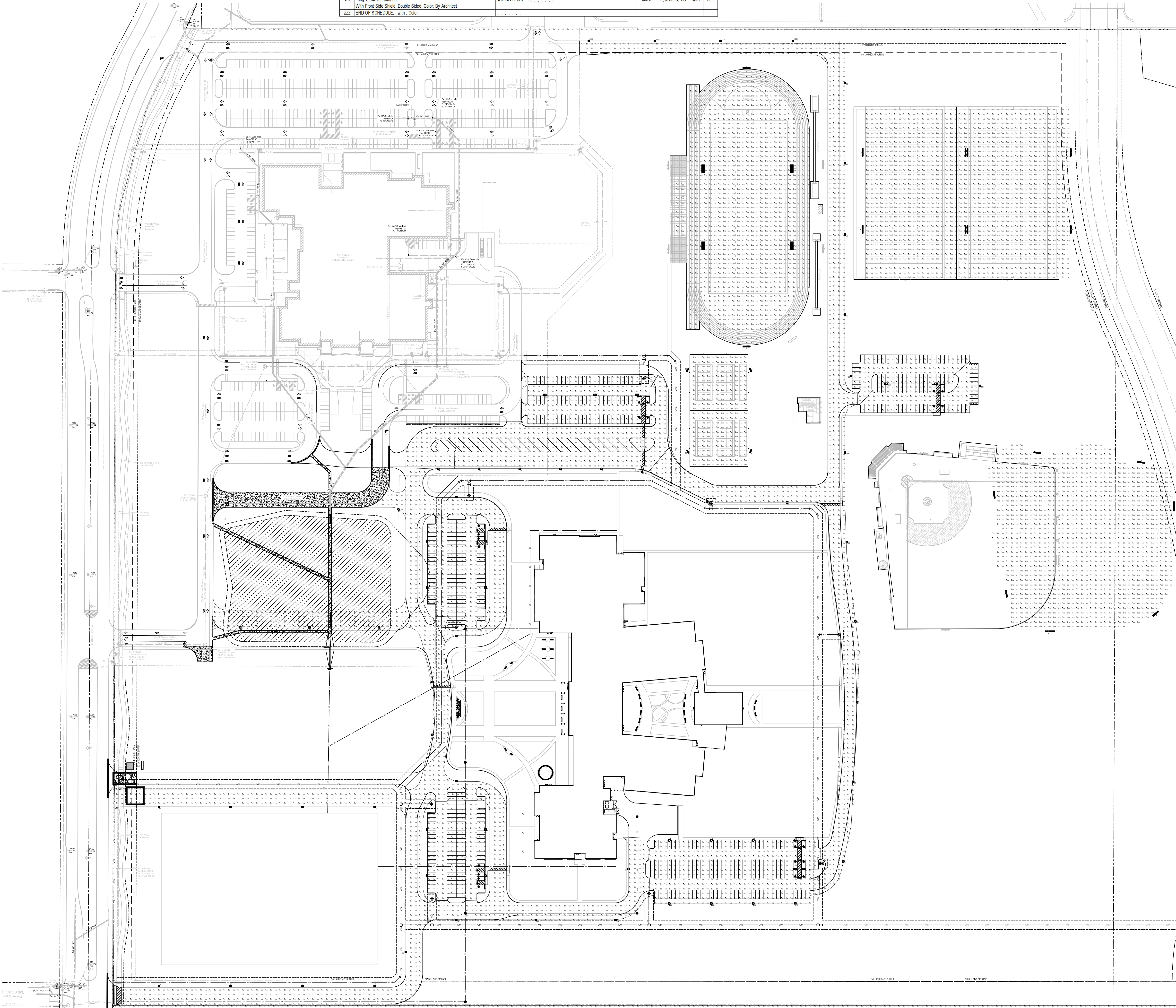
Rockwall ISD Ninth Grade Centers
North Site Dalton Ranch - South Site GBCCA



PHOTOMETRIC SITE PLAN - SOUTH

ES02-03

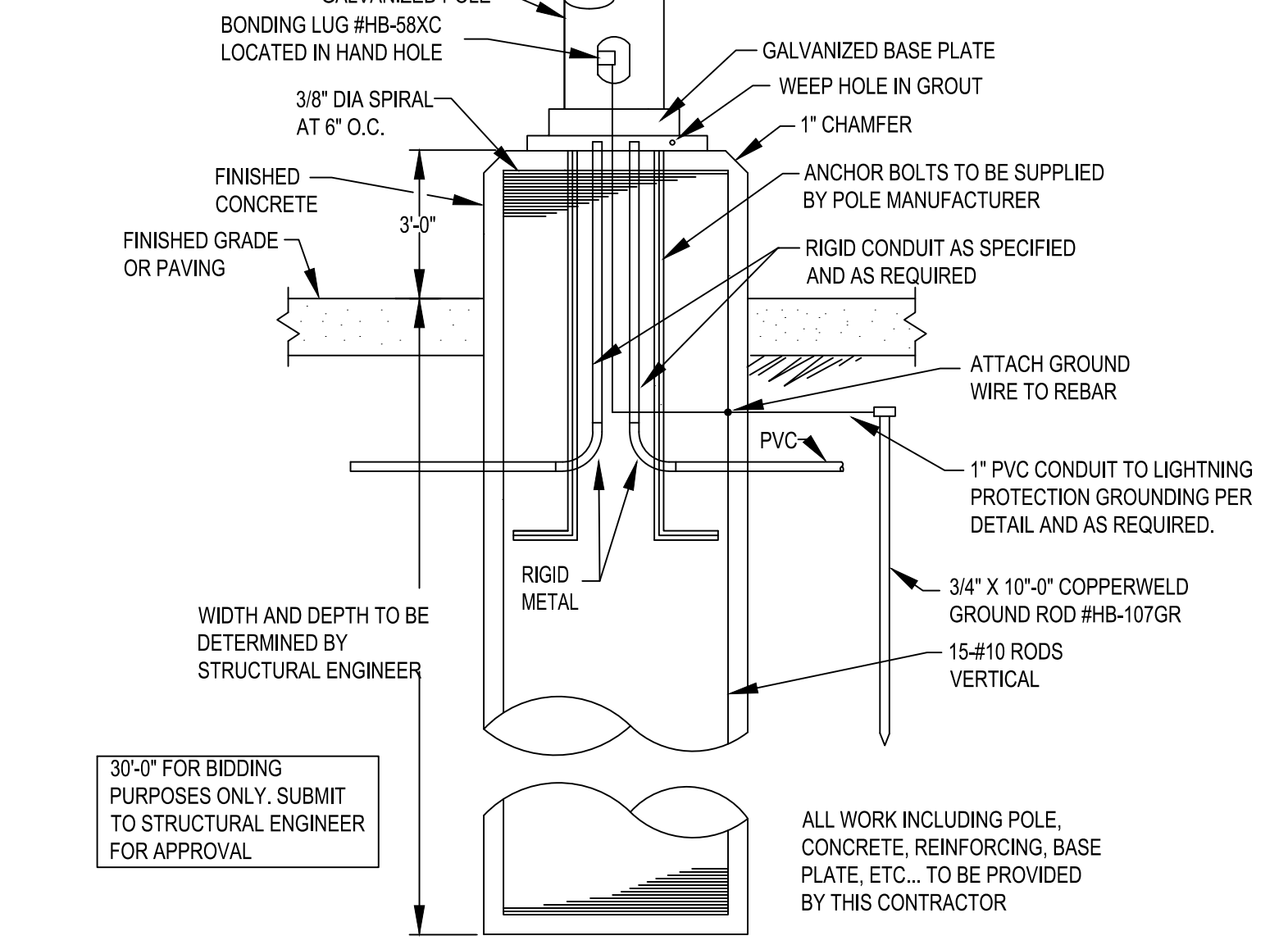
JOB 21572.0000
DATE 05/11/22
SHEET



WHERE AMPACITY OF LIGHT POLE EXCEEDS 50 AMPS, PROVIDE TWO SEPARATE FEEDERS. EACH FEEDER SHALL HAVE A NON-FUSED DISCONNECT AT THE LIGHT POLE AT 48" A.F.G. RATED FOR THE AMPACITY OF THE FEEDER. EACH FEEDER SHALL THEN BE ROUTED TO WITHIN 6 FEET OF EACH LIGHT FIXTURE IT SERVES AT THE TOP OF THE POLE. PROVIDE A FINAL CONNECTION OF 20A, #12 WIRE FROM EACH LUMINAIRE (NOT TO EXCEED 6 FEET) TO LIGHT POLE FEEDER WHERE NO PANELS ARE NEEDED OR ARE SPECIFIED AT POLES.

CONTRACTOR SHALL FURNISH FEEDERS TO SPORTS LIGHT POLES IN COMPLIANCE WITH NEC 210-23(C). PROVIDE FEEDER AS SCHEDULED ON PANELBOARD SCHEDULES OR RISER TO EACH LIGHT POLE.

SPORTS LUMINAIRES, CAGES, CLIMBING STEPS, OSHA REQUIREMENTS, LIGHTING CONTACTORS, PANELS AT TOP OF POLE AS DIRECTED AND AS REQUIRED.



SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL. COORDINATE EACH POLE WITH STREETS, CURBS AND SIDEWALKS SUCH THAT THE POLEBASE IS AT LEAST 12' AWAY.



SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL.

ALL WORK INCLUDING POLE, CONCRETE, REINFORCING BASE PLATE, ETC... TO BE PROVIDED BY THIS CONTRACTOR



D-Series Size 1 LED Area Luminaire

d^{series}

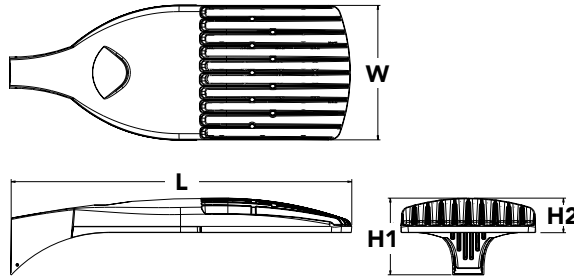


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 ¹ P7 ¹ P2 P5 ¹ P8 P3 P6 ¹ P9 ¹ Rotated optics P10 ² P12 ² P11 ² P13 ^{1,2}	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short ³ T5S Type V short ³ T5M Type V medium ³ T5W Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT ⁵ XVOLT (277V-480V) ^{6,7,8} 120 ⁹ 208 ⁹ 240 ⁹ 277 ⁹ 347 ⁹ 480 ⁹	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ⁹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹³ PIRHN Network, high/low motion/ambient sensor ¹⁴ PER NEMA twist-lock receptacle only (controls ordered separate) ¹⁵ PER5 Five-pin receptacle only (controls ordered separate) ^{15,16} PER7 Seven-pin receptacle only (controls ordered separate) ^{15,16} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷ DS Dual switching ^{18,19,20}	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{20,21} PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{20,21} PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{20,21} PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{20,21} FAO Field adjustable output ^{20,21}	Shipped installed HS House-side shield ²³ SF Single fuse (120, 277, 347V) ⁹ DF Double fuse (208, 240, 480V) ⁹ L90 Left rotated optics ² R90 Right rotated optics ² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²⁴ EGS External glare shield
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁵
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁵
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁵
DSHORT SBK U	Shorting cap ²⁵
DSX1HS 30C U	House-side shield for P1, P2, P3, P4 and P5 ²³
DSX1HS 40C U	House-side shield for P6 and P7 ²³
DSX1HS 60C U	House-side shield for P8, P9, P10, P11 and P12 ²³
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²⁵
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ¹²
DSX1EGS (FINISH) U	External glare shield

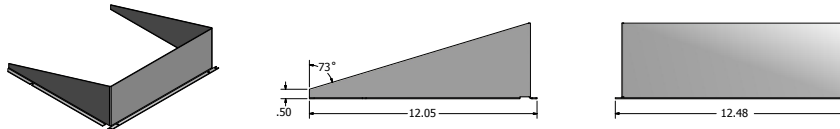
For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1 HA not available with P4, P5, P6, P7, P9 and P13.
- 2 P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- 3 Any Type 5 distribution with photocell, is not available with WBA.
- 4 Not available with HS.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 6 XVOLT only suitable for use with P3, P5, P6, P7, P9 and P13.
- 7 XVOLT works with any voltage between 277V and 480V.
- 8 XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- 9 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- 10 Suitable for mounting to round poles between 3.5" and 12" diameter.
- 11 Universal mounting brackets intended for retrofit on existing, pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- 12 Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- 13 Must be ordered with PIRHN. Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 14 Must be ordered with NLTAR2. For more information on nLight Air 2 visit [this link](#).
- 15 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting cap included.
- 16 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- 17 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- 18 Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- 19 Requires (2) separately switched circuits with isolated neutral.
- 20 Reference Controls Option Default settings table on page 4.
- 21 Reference Motion Sensor table on page 4 to see functionality.
- 22 Not available with other dimming controls options.
- 23 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 24 Must be ordered with fixture for factory pre-drilling.
- 25 Requires luminaire to be specified with PER, PER5 or PER7 option. See Control Option Table on page 4.
- 26 For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

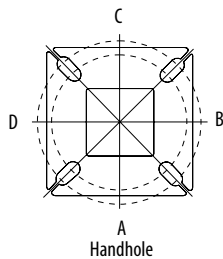
Options

EGS - External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

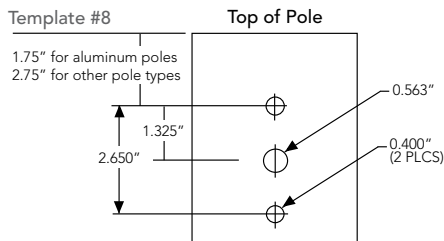
Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

DSX1 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
DSX1 LED	1.013	2.025	1.945	3.038	2.850	3.749

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

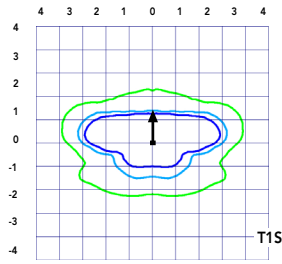
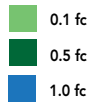


Photometric Diagrams

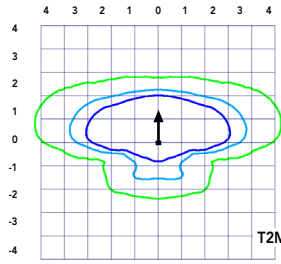
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').

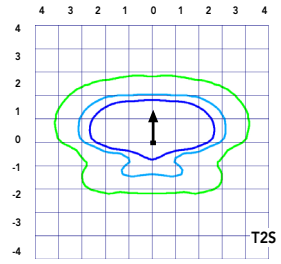
LEGEND



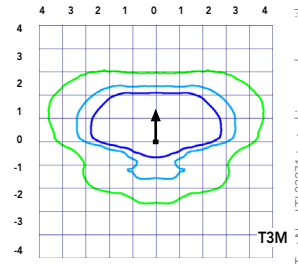
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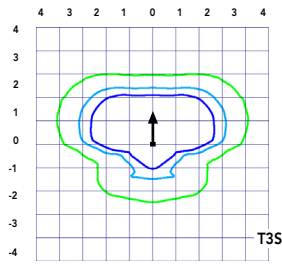
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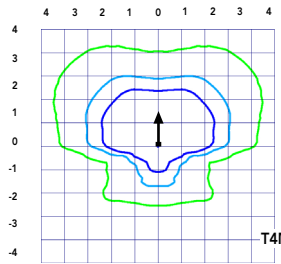
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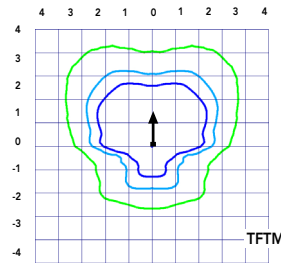
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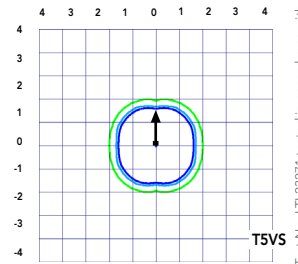
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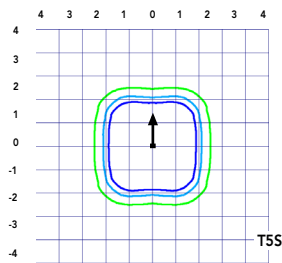
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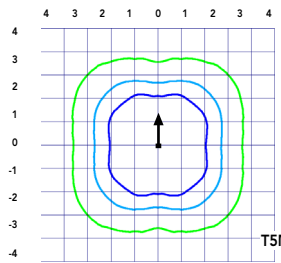
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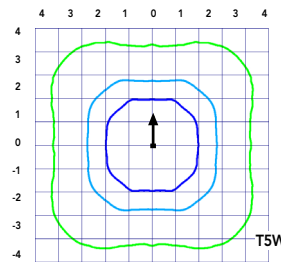
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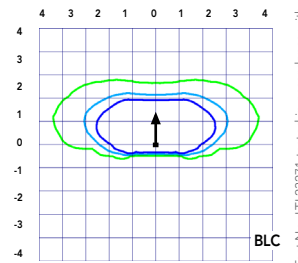
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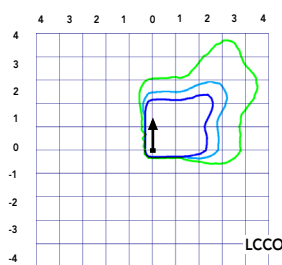
Test No. LTL23164B tested in accordance with IESNA LM-79-08.



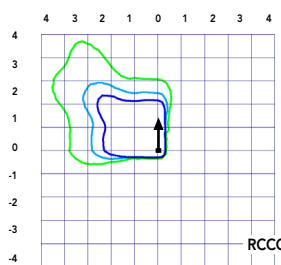
Test No. LTL23222 tested in accordance with IESNA LM-79-08.



Test No. LTL23271 tested in accordance with IESNA LM-79-08.



Test No. LTL23211 tested in accordance with IESNA LM-79-08.



Test No. LTL23164B tested in accordance with IESNA LM-79-08.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FA0	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FA0 device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30	530	P1	54W	T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130
				T2S	6,450	2	0	2	119	6,949	2	0	2	129	7,037	2	0	2	130
				T2M	6,483	1	0	1	120	6,984	2	0	2	129	7,073	2	0	2	131
				T3S	6,279	2	0	2	116	6,764	2	0	2	125	6,850	2	0	2	127
				T3M	6,468	1	0	2	120	6,967	1	0	2	129	7,056	1	0	2	131
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128
				TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131
				TSVS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136
				T5S	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136
				T5M	6,711	3	0	1	124	7,229	3	0	1	134	7,321	3	0	2	136
				TSW	6,667	3	0	2	123	7,182	3	0	2	133	7,273	3	0	2	135
				BLC	5,299	1	0	1	98	5,709	1	0	2	106	5,781	1	0	2	107
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80
30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129
				T2S	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128
				T2M	8,283	2	0	2	118	8,923	2	0	2	127	9,036	2	0	2	129
				T3S	8,021	2	0	2	115	8,641	2	0	2	123	8,751	2	0	2	125
				T3M	8,263	2	0	2	118	8,901	2	0	2	127	9,014	2	0	2	129
				T4M	8,083	2	0	2	115	8,708	2	0	2	124	8,818	2	0	2	126
				TFTM	8,257	2	0	2	118	8,896	2	0	2	127	9,008	2	0	2	129
				TSVS	8,588	3	0	0	123	9,252	3	0	0	132	9,369	3	0	0	134
				T5S	8,595	3	0	1	123	9,259	3	0	1	132	9,376	3	0	1	134
				T5M	8,573	3	0	2	122	9,236	3	0	2	132	9,353	3	0	2	134
				TSW	8,517	3	0	2	122	9,175	4	0	2	131	9,291	4	0	2	133
				BLC	6,770	1	0	2	97	7,293	1	0	2	104	7,386	1	0	2	106
				LCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
				RCCO	5,038	1	0	2	72	5,427	1	0	2	78	5,496	1	0	2	79
30	1050	P3	102W	T1S	11,661	2	0	2	114	12,562	3	0	3	123	12,721	3	0	3	125
				T2S	11,648	2	0	2	114	12,548	3	0	3	123	12,707	3	0	3	125
				T2M	11,708	2	0	2	115	12,613	2	0	2	124	12,773	2	0	2	125
				T3S	11,339	2	0	2	111	12,215	3	0	3	120	12,370	3	0	3	121
				T3M	11,680	2	0	2	115	12,582	2	0	2	123	12,742	2	0	2	125
				T4M	11,426	2	0	3	112	12,309	2	0	3	121	12,465	2	0	3	122
				TFTM	11,673	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125
				TSVS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130
				T5S	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130
				T5M	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130
				TSW	12,040	4	0	3	118	12,970	4	0	3	127	13,134	4	0	3	129
				BLC	9,570	1	0	2	94	10,310	1	0	2	101	10,440	1	0	2	102
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76
30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117
				T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117
				T2M	13,490	2	0	2	108	14,532	3	0	3	116	14,716	3	0	3	118
				T3S	13,064	3	0	3	105	14,074	3	0	3	113	14,252	3	0	3	114
				T3M	13,457	2	0	2	108	14,497	2	0	2	116	14,681	2	0	2	117
				T4M	13,165	2	0	3	105	14,182	2	0	3	113	14,362	2	0	3	115
				TFTM	13,449	2	0	3	108	14,488	2	0	3	116	14,672	2	0	3	117
				TSVS	13,987	4	0	1	112	15,068	4	0	1	121	15,259	4	0	1	122
				T5S	13,999	3	0	1	112	15,080	3	0	1	121	15,271	3	0	1	122
				T5M	13,963	4	0	2	112	15,042	4	0	2	120	15,233	4	0	2	122
				TSW	13,872	4	0	3	111	14,944	4	0	3	120	15,133	4	0	3	121
				BLC	11,027	1	0	2	88	11,879	1	0	2	95	12,029	1	0	2	96
				LCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
				RCCO	8,205	1	0	3	66	8,839	1	0	3	71	8,951	1	0	3	72
30	1400	P5	138W	T1S	14,679	3	0	3	106	15,814	3	0	3	115	16,014	3	0	3	116
				T2S	14,664	3	0	3	106	15,797	3	0	3	114	15,997	3	0	3	116
				T2M	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117
				T3S	14,274	3	0	3	103	15,377	3	0	3	111	15,572	3	0	3	113
				T3M	14,704	2	0	3	107	15,840	3	0	3	115	16,040	3	0	3	116
				T4M	14,384	2	0	3	104	15,496	3	0	3	112	15,692	3	0	3	114
				TFTM	14,695	2	0	3	106	15,830	3	0	3	115	16,030	3	0	3	116
				TSVS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121
				T5S	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121
				T5M	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121
				TSW	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120
				BLC	12,048	1	0	2	87	12,979	1	0	2	94	13,143	1	0	2	95
				LCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71
				RCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71





FORM AND FUNCTION

- Sleek, low profile housing
- Dark Sky Compliant, Full Cutoff
- Engineered for optimum thermal management
- Low depreciation rate: L70 = 360,000 Hours
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed specifically for Sports Field Lighting

RELIABILITY

- 30 Year Solution
- L70 360,000 Hours
- 10KV Surge Protector standard

VUE - 4 SPORTS LIGHTING FIXTURE WITH INTEGRAL DRIVERS

A robust Sports Lighting Fixture designed for Parks and Recreational Facilities. Up to 850 watts, utilizing patented Star Power™ Optical System creating unmatched reliability.

SPECIALIZING IN PARKS AND RECREATIONAL FACILITIES

NLS Sports Lighting Solutions - an elite combination of performance, glare control and reliability. From young children to competitive athletes the NLS SLS is the perfect solution for competitors who strive to perform at their highest level.

PERFORMANCE

The Vue features NLS patented Star Power™ Optical System designed to create high, broad, uniform horizontal foot candle levels and also provide substantial vertical foot candles, so the ball is never lost from player view.

GLARE CONTROL

The Star Power™ Optical System is endorsed by the Founder of the International Dark Sky Association and Illuminating Engineer Society Sports Lighting Committee Associate as one of the best optical systems in glare reduction for dark sky, neighbors, and the sports application itself. Meets IES parks and recreation requirements.

VUE - 4 standard with (FSS) front side shield.



CONSTRUCTION

- Precision Die Formed aluminum housing for durability and consistency
- Stainless Steel corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment

ELECTRICAL

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment

PATENTED OPTICAL SYSTEM

- SLS optical system features a patented soft athlete friendly high wattage low glare linear diffused optic, providing a wide distribution and uniform lighting from every fixture
- SLS optical system significantly reduces disability glare specifically for fifty to eighty feet mounting heights compared to competition

L70 DEPRECIATION

360,000 Hours (@77°F/ 25°C)

KELVIN

5700K

FINISH

3-5 mils electrostatic powder coat.
NLS' standard high-quality finishes prevent corrosion protects against and extreme environmental conditions.
Graphite (GPH) grey as standard finish.

MOUNTING

Stainless Steel Trunion Mount

- Fast accurate installation with Pre-Aimed, Pre-Wired Cross Arm assemblies

OPTIONS

MARINE GRADE FINISH (MGF)—A multi-step process creating protective finishing coat against harsh environments

- Chemically washed in a 5 stage cleaning system.
- Pre-baked
- Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer
- Oven Baked
- Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness

PHOTOCELL + RECEPTACLE (PCR)

NEMA 7 PIN RECEPTACLE (7PIN)—An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.

WIRELESS CONTROL SYSTEM (WCS)—Consult Factory for options

WARRANTY

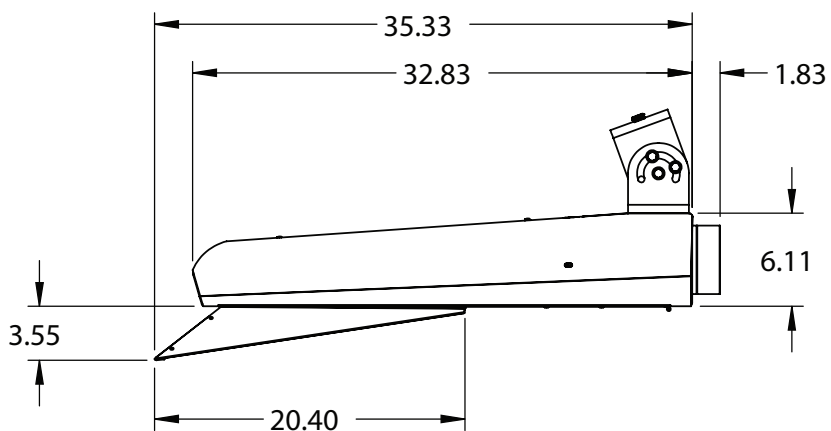
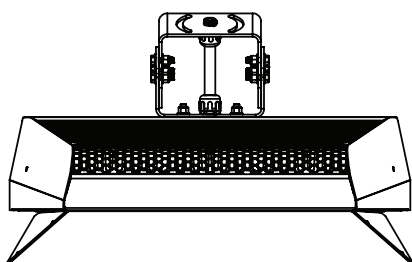
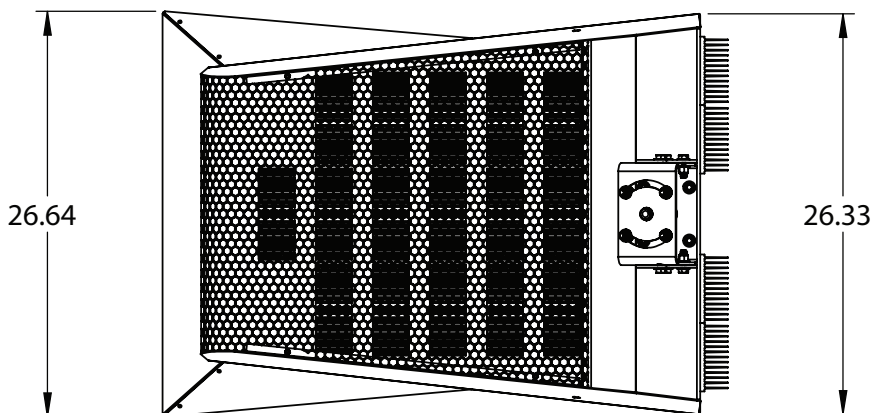
Five-year standard warranty

LISTINGS

Certified to UL 1598
UL 8750
CSA C22.2 No. 250.0
IP67 Rated



SLS / VUE - 4 DIMENSION DRAWING



EPA	VUE-4 with FSS
Single	2.24

	WEIGHT
VUE-4 with Internal Driver	75 lbs

*All dimensions are in inches

Project Name:

Type:

SLS / VUE - 4

Cat#	Distribution	Wattage/Lumens	Kelvin
VUE - 4 (VUE-4)	T4M-FSS (T4M) Type 4 Medium Throw With Front Side Shield	600 Watts 75,011 Lumens (60) 650 Watts 81,253 Lumens (65) 700 Watts 87,502 Lumens (70) 750 Watts 93,756 Lumens (75) 800 Watts 100,017 Lumens (80)	5700K (57)
	<hr/> T4L-FSS (T4L) Type 4 Long Throw With Front Side Shield *N1	600 Watts 66,607 Lumens (60) 650 Watts 72,158 Lumens (65) 700 Watts 77,709 Lumens (70) 750 Watts 83,259 Lumens (75) 800 Watts 88,810 Lumens (80)	

Volts	Mounting	Color	Options
120-277 (UNV) 347-480 (HV)	Trunnion Mount (TM)	Graphite (GPH)	Marine Grade Finish (MGF) Photocell + Receptacle (PCR) NEMA 7 Pin Receptacle + Shorting Cap (7PIN) Wireless Control System (WCS) * Consult Factory

*Notes

1. Front Side Shield (FSS) comes standard.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
40	1250	P6	163W	T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118
				T2S	17,635	3	0	3	108	18,998	3	0	3	117	19,238	3	0	3	118
				T2M	17,726	3	0	3	109	19,096	3	0	3	117	19,337	3	0	3	119
				T3S	17,167	3	0	3	105	18,493	3	0	3	113	18,727	3	0	3	115
				T3M	17,683	3	0	3	108	19,049	3	0	3	117	19,290	3	0	3	118
				T4M	17,299	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118
				TSVS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123
				T5S	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123
				TSW	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97
				LCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72
40	1400	P7	183W	T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115
				T2S	19,206	3	0	3	105	20,690	3	0	3	113	20,952	3	0	3	114
				T2M	19,305	3	0	3	105	20,797	3	0	3	114	21,060	3	0	3	115
				T3S	18,696	3	0	3	102	20,141	3	0	3	110	20,396	3	0	4	111
				T3M	19,258	3	0	3	105	20,746	3	0	3	113	21,009	3	0	3	115
				T4M	18,840	3	0	4	103	20,296	3	0	4	111	20,553	3	0	4	112
				TFTM	19,246	3	0	4	105	20,734	3	0	4	113	20,996	3	0	4	115
				TSVS	20,017	4	0	1	109	21,564	4	0	1	118	21,837	4	0	1	119
				T5S	20,033	4	0	2	109	21,581	4	0	2	118	21,854	4	0	2	119
				T5M	19,983	4	0	2	109	21,527	5	0	3	118	21,799	5	0	3	119
				TSW	19,852	5	0	3	108	21,386	5	0	3	117	21,656	5	0	3	118
				BLC	15,780	2	0	3	86	16,999	2	0	3	93	17,214	2	0	3	94
				LCCO	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
				RCCO	11,742	2	0	3	64	12,649	2	0	3	69	12,809	2	0	3	70
60	1050	P8	207W	T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119
				T2S	22,466	3	0	4	109	24,202	3	0	4	117	24,509	3	0	4	118
				T2M	22,582	3	0	3	109	24,327	3	0	3	118	24,635	3	0	3	119
				T3S	21,870	3	0	4	106	23,560	3	0	4	114	23,858	3	0	4	115
				T3M	22,527	3	0	4	109	24,268	3	0	4	117	24,575	3	0	4	119
				T4M	22,038	3	0	4	106	23,741	3	0	4	115	24,041	3	0	4	116
				TFTM	22,513	3	0	4	109	24,253	3	0	4	117	24,560	3	0	4	119
				TSVS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123
				T5S	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				TSW	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97
				LCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
60	1250	P9	241W	T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116
				T2S	25,548	3	0	4	106	27,522	3	0	4	114	27,871	3	0	4	116
				T2M	25,680	3	0	3	107	27,664	3	0	3	115	28,014	3	0	3	116
				T3S	24,870	3	0	4	103	26,791	3	0	4	111	27,130	3	0	4	113
				T3M	25,617	3	0	4	106	27,597	3	0	4	115	27,946	3	0	4	116
				T4M	25,061	3	0	4	104	26,997	3	0	4	112	27,339	3	0	4	113
				TFTM	25,602	3	0	4	106	27,580	3	0	4	114	27,929	3	0	4	116
				TSVS	26,626	5	0	1	110	28,684	5	0	1	119	29,047	5	0	1	121
				T5S	26,648	4	0	2	111	28,707	5	0	2	119	29,070	5	0	2	121
				T5M	26,581	5	0	3	110	28,635	5	0	3	119	28,997	5	0	3	120
				TSW	26,406	5	0	4	110	28,447	5	0	4	118	28,807	5	0	4	120
				BLC	20,990	2	0	3	87	22,612	2	0	3	94	22,898	2	0	3	95
				LCCO	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71
				RCCO	15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60	530	P10	106W	T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134
				T2S	12,967	4	0	4	122	13,969	4	0	4	132	14,146	4	0	4	133
				T2M	13,201	3	0	3	125	14,221	3	0	3	134	14,401	3	0	3	136
				T3S	12,766	4	0	4	120	13,752	4	0	4	130	13,926	4	0	4	131
				T3M	13,193	4	0	4	124	14,213	4	0	4	134	14,393	4	0	4	136
				T4M	12,944	4	0	4	122	13,945	4	0	4	132	14,121	4	0	4	133
				TFTM	13,279	4	0	4	125	14,305	4	0	4	135	14,486	4	0	4	137
				TSVS	13,372	3	0	1	126	14,405	4	0	1	136	14,588	4	0	1	138
				T5S	13,260	3	0	1	125	14,284	3	0	1	135	14,465	3	0	1	136
				T5M	13,256	4	0	2	125	14,281	4	0	2	135	14,462	4	0	2	136
				TSW	13,137	4	0	3	124	14,153	4	0	3	134	14,332	4	0	3	135
				BLC	10,906	3	0	3	103	11,749	3	0	3	111	11,898	3	0	3	112
				LCCO	7,789	1	0	3	73	8,391	1	0	3	79	8,497	1	0	3	80
				RCCO	7,779	4	0	4	73	8,380	4	0	4	79	8,486	4	0	4	80
60	700	P11	137W	T1S	16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132
				T2S	16,461	4	0	4	120	17,733	4	0	4	129	17,957	4	0	4	131
				T2M	16,758	4	0	4	122	18,053	4	0	4	132	18,281	4	0	4	133
				T3S	16,205	4	0	4	118	17,457	4	0	4	127	17,678	4	0	4	129
				T3M	16,748	4	0	4	122	18,042	4	0	4	132	18,271	4	0	4	133
				T4M	16,432	4	0	4	120	17,702	4	0	4	129	17,926	4	0	4	131
				TFTM	16,857	4	0	4	123	18,159	4	0	4	133	18,389	4	0	4	134
				TSVS	16,975	4	0	1	124	18,287	4	0	1	133	18,518	4	0	1	135
				T5S	16,832	4	0	1	123	18,133	4	0	2	132	18,362	4	0	2	134
				T5M	16,828	4	0	2	123	18,128	4	0	2	132	18,358	4	0	2	134
				TSW	16,677	4	0	3	122	17,966	5	0	3	131	18,193	5	0	3	133
				BLC	13,845	3	0	3	101	14,915	3	0	3	109	15,103	3	0	3	110
				LCCO	9,888	1	0	3	72	10,652	2	0	3	78	10,787	2	0	3	79
				RCCO	9,875	4	0	4	72	10,638	4	0	4	78	10,773	4	0	4	79
60	1050	P12	207W	T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121
				T2S	22,864	4	0	4	110	24,631	5	0	5	119	24,943	5	0	5	120
				T2M	23,277	4	0	4	112	25,075	4	0	4	121	25,393	4	0	4	123
				T3S	22,509	4	0	4	109	24,248	5	0	5	117	24,555	5	0	5	119
				T3M	23,263	4	0	4	112	25,061	4	0	4	121	25,378	4	0	4	123
				T4M	22,824	5	0	5	110	24,588	5	0	5	119	24,899	5	0	5	120
				TFTM	23,414	5	0	5	113	25,223	5	0	5	122	25,543	5	0	5	123
				TSVS	23,579	5	0	1	114	25,401	5	0	1	123	25,722	5	0	1	124
				T5S	23,380	4	0	2	113	25,187	4	0	2	122	25,506	4	0	2	123
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123
				TSW	23,165	5	0	4	112	24,955	5	0	4	121	25,271	5	0	4	122
				BLC	19,231	4	0	4	93	20,717	4	0	4	100	20,979	4	0	4	101
				LCCO	13,734	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72
				RCCO	13,716	4	0	4	66	14,776	4	0	4	71	14,963	4	0	4	72
60	1250	P13	231W	T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120
				T2S	25,254	5	0	5	109	27,205	5	0	5	118	27,550	5	0	5	119
				T2M	25,710	4	0	4	111	27,696	4	0	4	120	28,047	4	0	4	121
				T3S	24,862	5	0	5	108	26,783	5	0	5	116	27,122	5	0	5	117
				T3M	25,695	5	0	5	111	27,680	5	0	5	120	28,031	5	0	5	121
				T4M	25,210	5	0	5	109	27,158	5	0	5	118	27,502	5	0	5	119
				TFTM	25,861	5	0	5	112	27,860	5	0	5	121	28,212	5	0	5	122
				TSVS	26,043	5	0	1	113	28,056	5	0	1	121	28,411	5	0	1	123
				T5S	25,824	4	0	2	112	27,819	5	0	2	120	28,172	5	0	2	122
				T5M	25,818	5	0	3	112	27,813	5	0	3	120	28,165	5	0	3	122
				TSW	25,586	5	0	4	111	27,563	5	0	4	119	27,912	5	0	4	121
				BLC	21,241	4	0	4	92	22,882	4	0	4	99	23,172	4	0	4	100
				LCCO	15,170	2	0	4	66	16,342	2	0	4	71	16,549	2	0	4	72
				RCCO	15,150	5	0	5	66	16,321	5	0	5	71	16,527	5	0	5	72

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found here.

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). NEMA photocontrol receptacle are also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

