



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2022-006 P&Z DATE 03/15/22 CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-006

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **726 E Interstate 30 Rockwall, TX 75087**

SUBDIVISION **Grandy's Addition**

LOT **1** BLOCK **A**

GENERAL LOCATION **IH30 Overlay**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial** CURRENT USE **Fast food restaurant**

PROPOSED ZONING **Commercial** PROPOSED USE **Fast food restaurant**

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Hector Rodriguez**

APPLICANT **Creativo Designs**

CONTACT PERSON **Hector Rodriguez**

CONTACT PERSON **Luis Chico**

ADDRESS **1185 108th St**

ADDRESS **602 SRL Thornton fwy suite B**

CITY, STATE & ZIP **Grand Prairie, Tx 75050**

CITY, STATE & ZIP **Dallas, tx 75203**

PHONE **469-506-0865**

PHONE **214-884-8168**

E-MAIL _____

E-MAIL **cs@creativodesignsusa.com**

NOTARY VERIFICATION [REQUIRED]

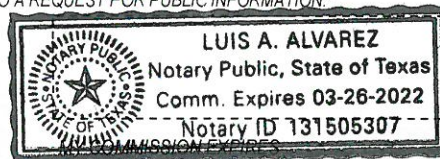
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hector Rodriguez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

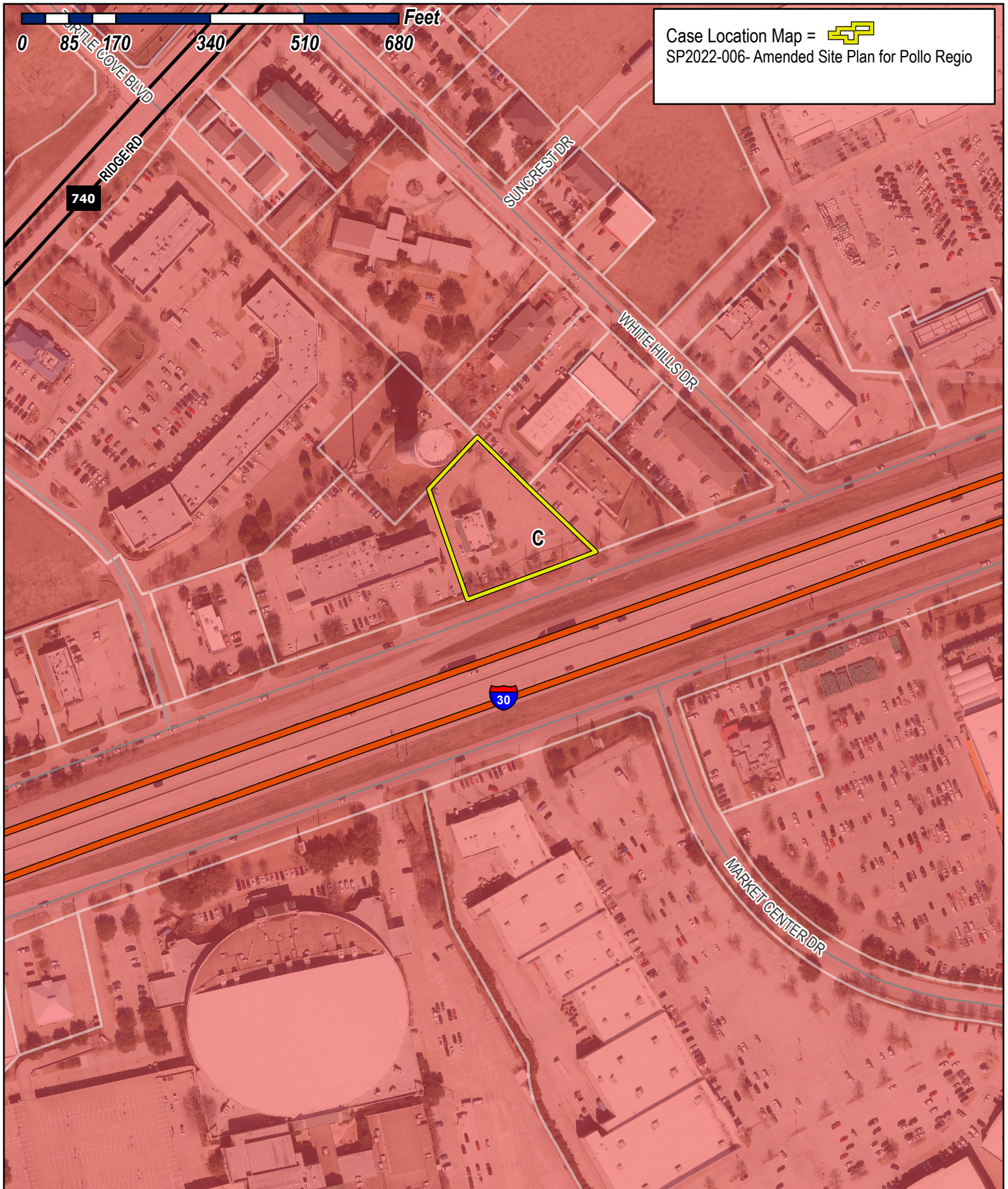
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE Hector Rodriguez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Luis A. Alvarez





Case Location Map = 
 SP2022-006- Amended Site Plan for Pollo Regio

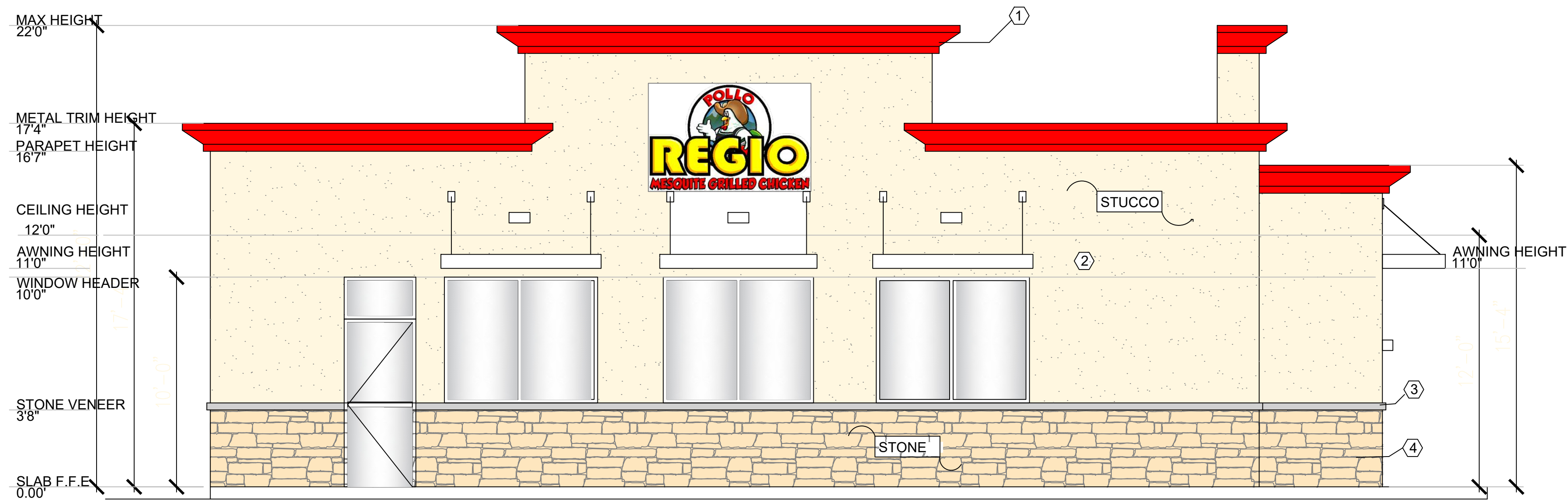


City of Rockwall

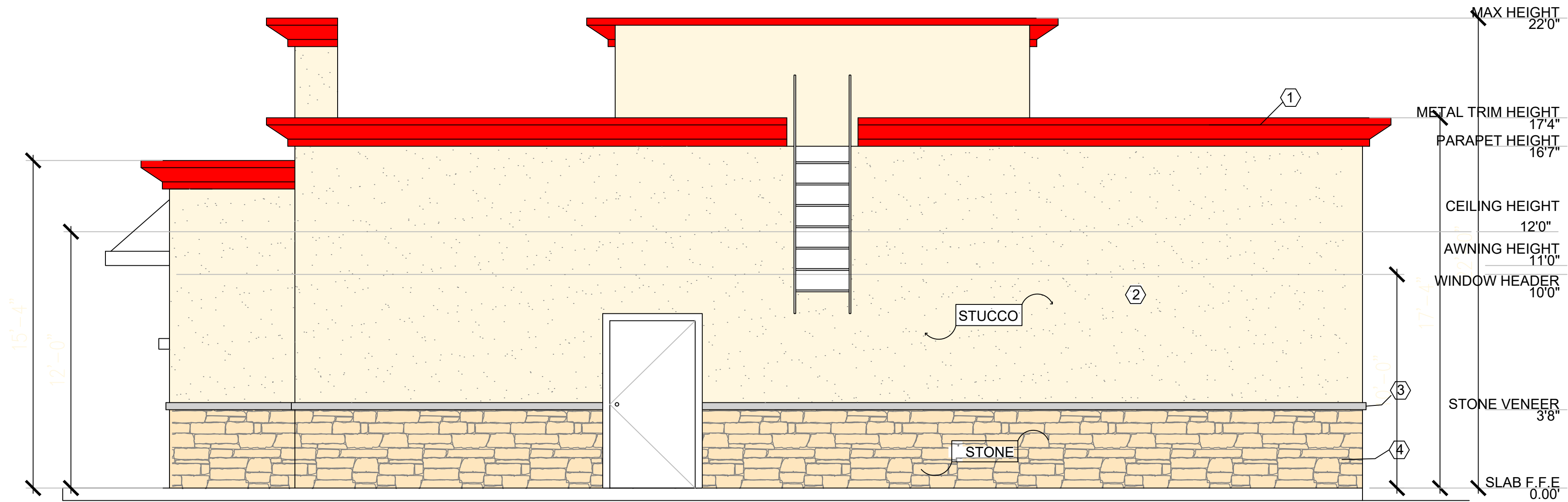
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

① EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

② EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),

③ OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY

④ EXTERIOR STONE

SW 6868 REAL RED
Sherwin-Williams Color

sR = 200.663
sG = 66.999
sB = 73.620

#C9474E

SW 6126 NAVAJO WHITE
Sherwin-Williams Color

sR = 233.166
sG = 222.635
sB = 200.668

#E9DFC9

SW 7017 DORIAN GRAY
Sherwin-Williams Color

sR = 172.588
sG = 169.664
sB = 161.194

#AEABA3



6126 NAVAJO WHITE

PRO-FIT LEDGESTONE



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DALLAS, TEXAS 75203
214.884.8168 214.886.2866
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ADDRESS:
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
SCOPE OF WORK:
REMODEL

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

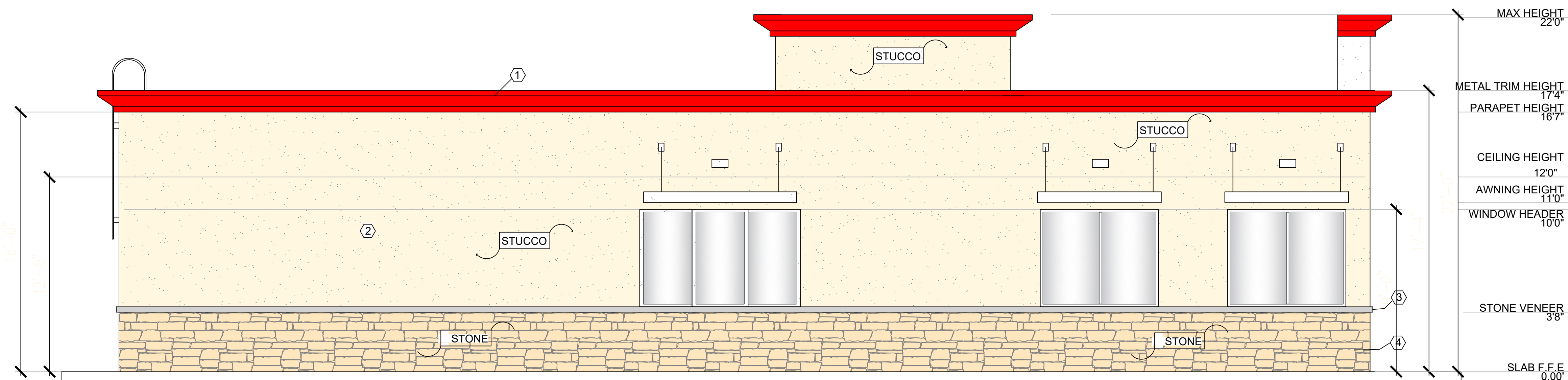
DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

SCALE: N.T.S.
DATE: 02/11/2022
SQ FT: 3,956
TYPE: ADA

DRAWING No.
12 OF 12
DRAWN: EACB



RIGHT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



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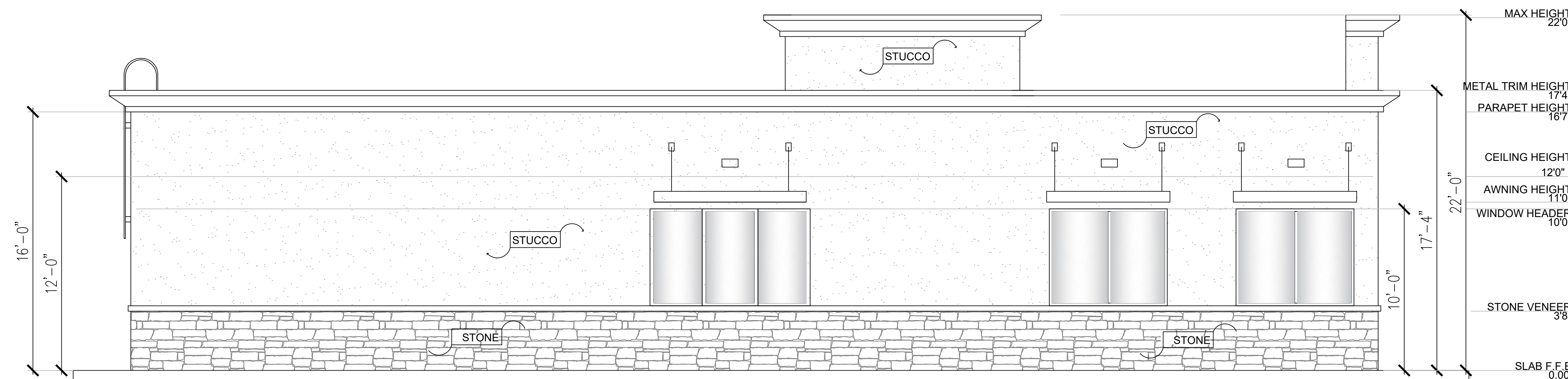
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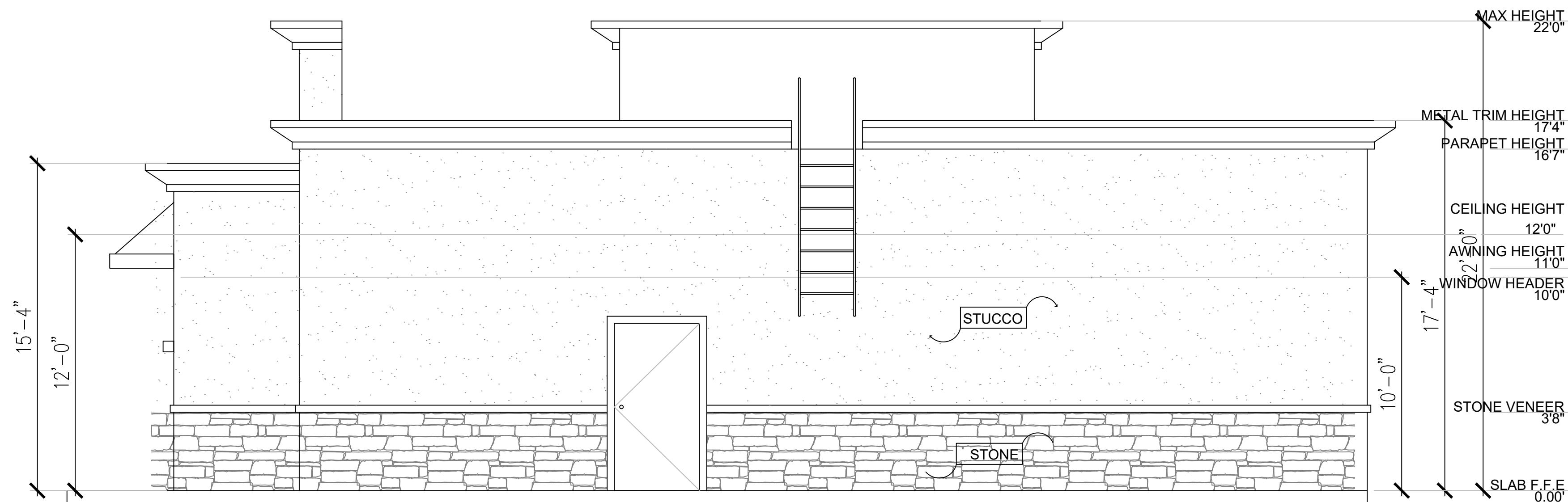
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FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



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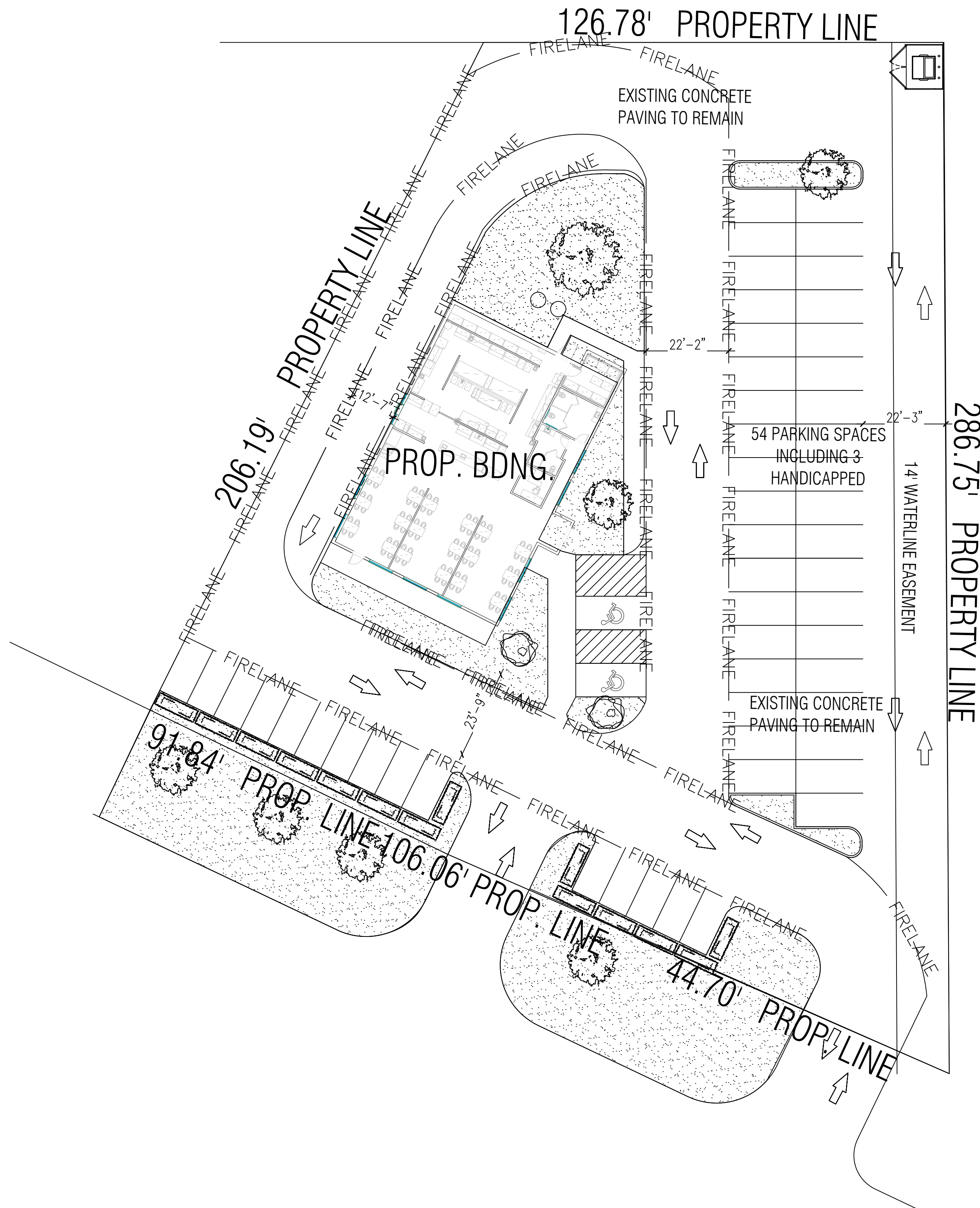
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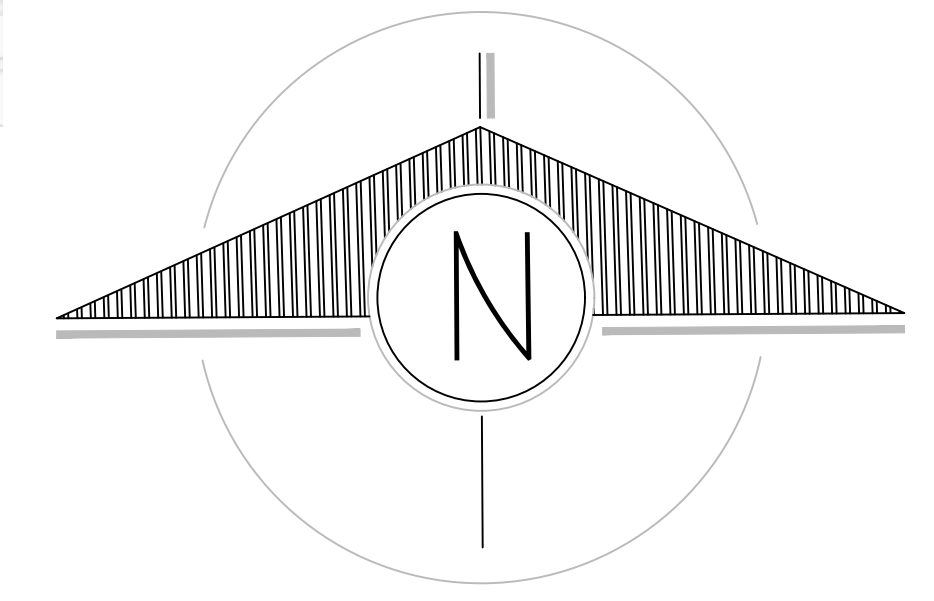
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DATE: 02/11/2022
SQ FT: 3,956
TYPE: ADA

DRAWING No.
12 OF 12
DRAWN: EACB



REFERENCE MAP



LEGAL DESCRIPTION:

TALLEY TOWN REP
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT
EXG.METAL BUILDING 578 SQ FT
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT
LOT SIZE 124.966 SQ FT
TOTAL COVERAGE 05 %

SQUARE FOOTAGE	
RESTAURANT	3,956 S.F.
TOTAL:	3,956 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	09 %

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
WAREHOUSE	3,956	1,000	RESTAURANT	39
PARKING REQUIRED				39
PARKING PROVIDED				54



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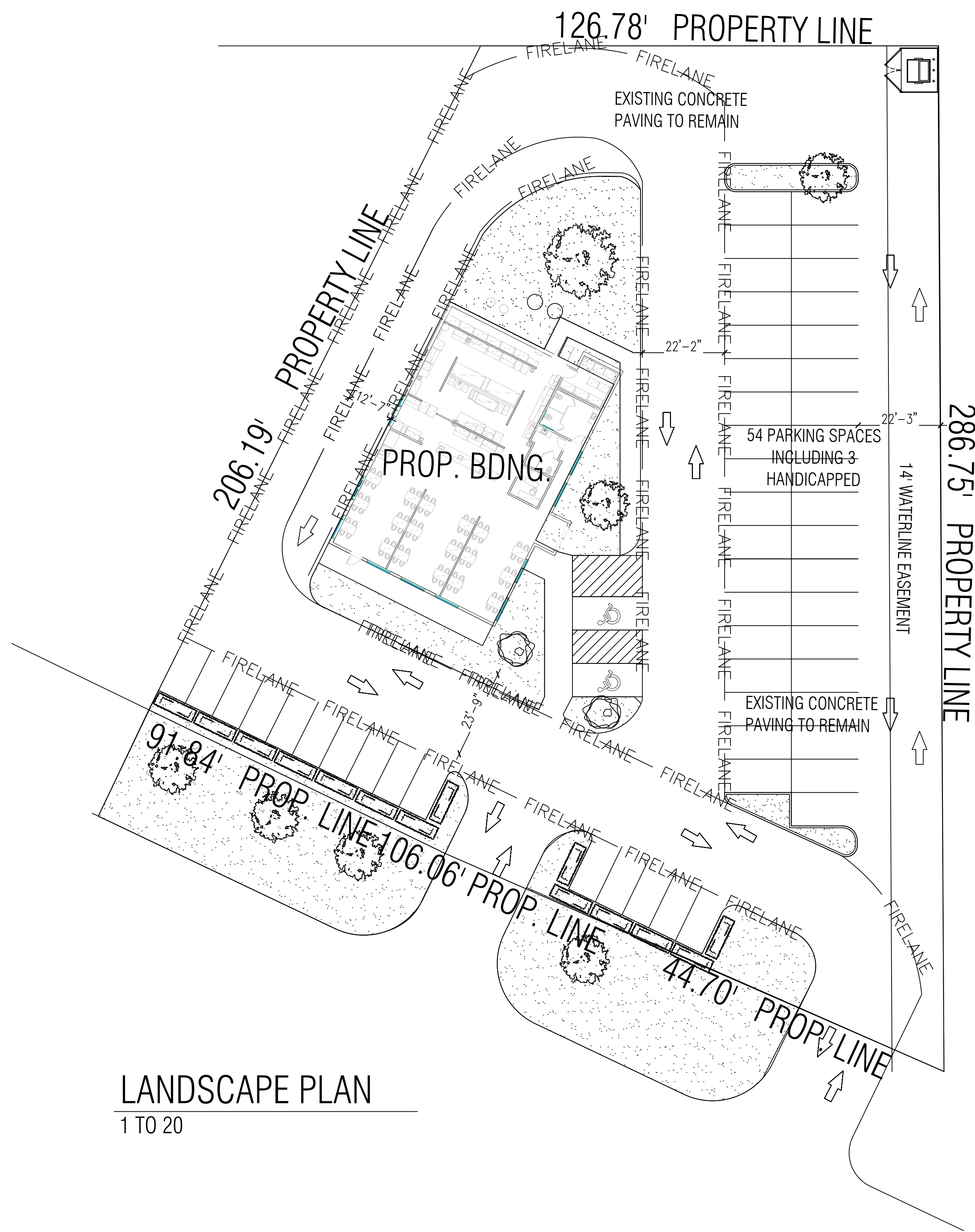
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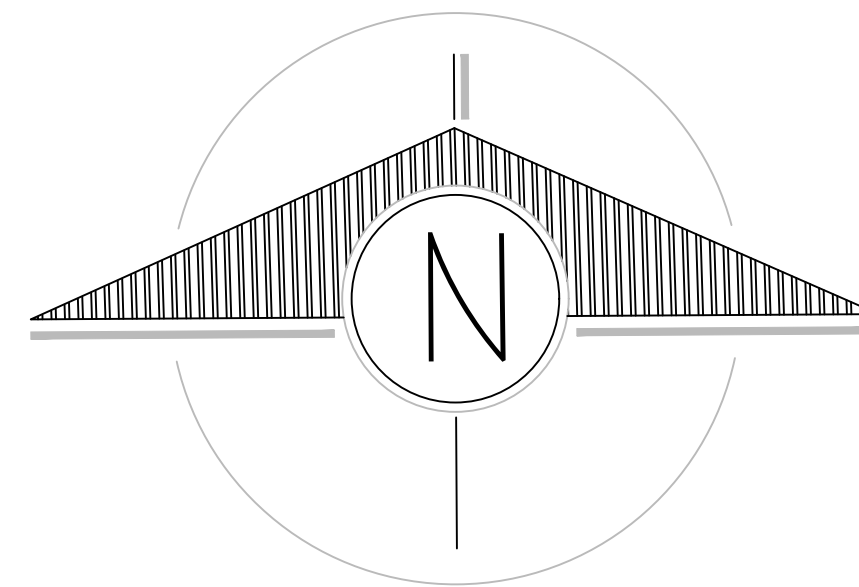
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SCALE: 1 TO 20
DATE: 02/11/2022
SQ FT: 3,956
TYPE: SITE PLAN

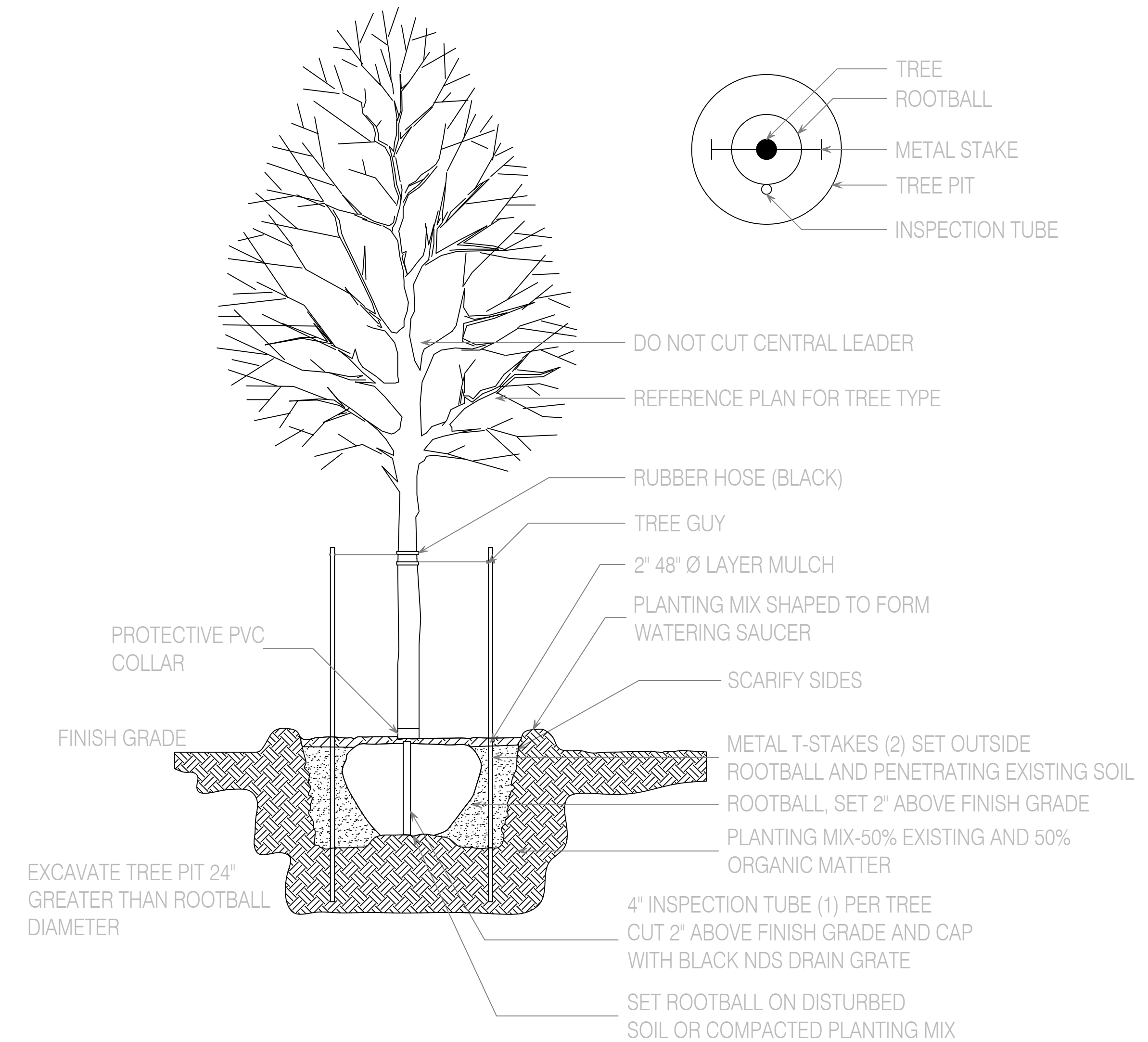
DRAWING No.
1 OF 12
DRAWN: EACB



LANDSCAPE PLAN
1 TO 20



ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



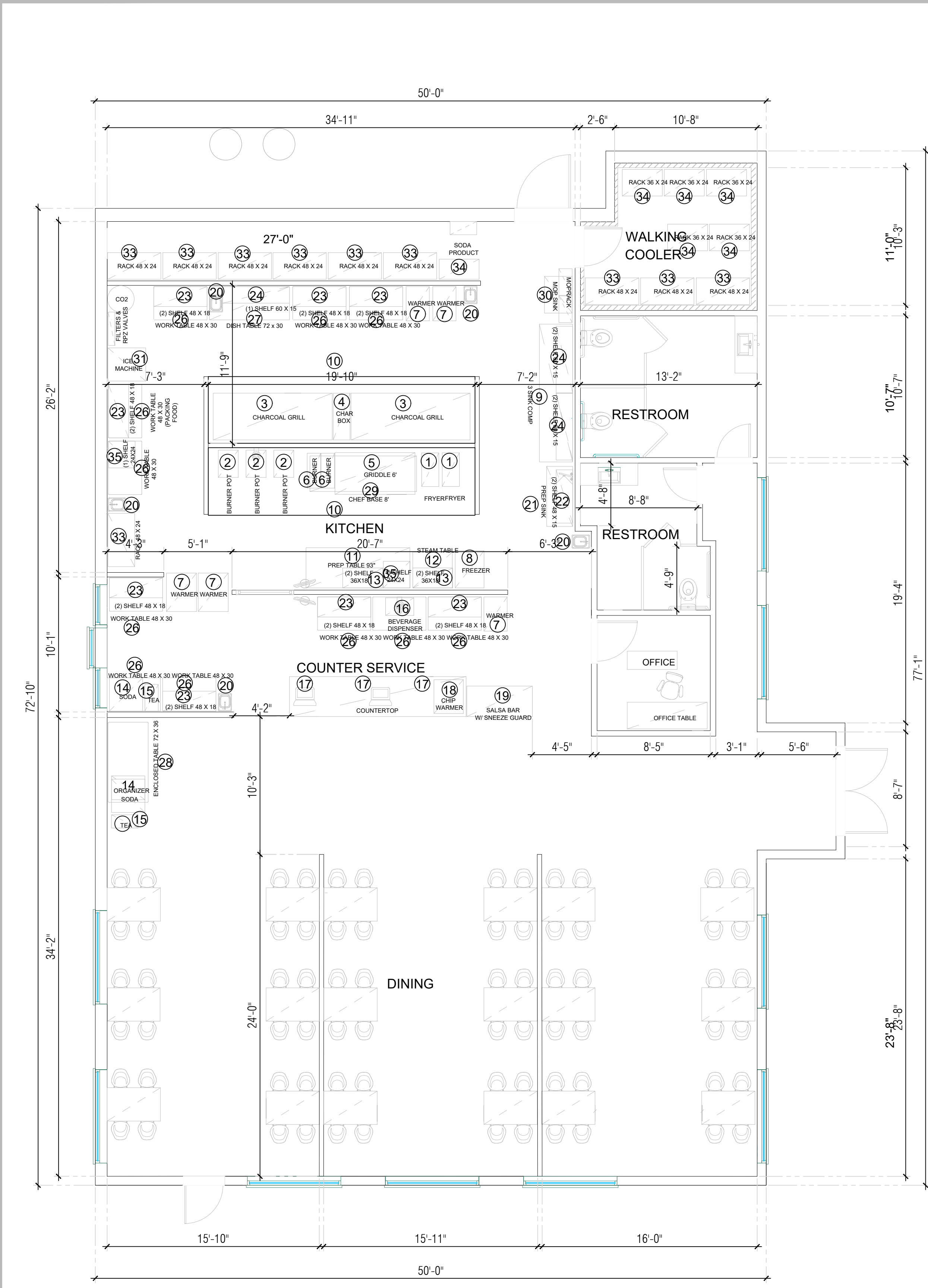
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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
REMODEL

SCALE: 1 TO 20
DATE: 02/11/2022
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TYPE: LANDSCAPE

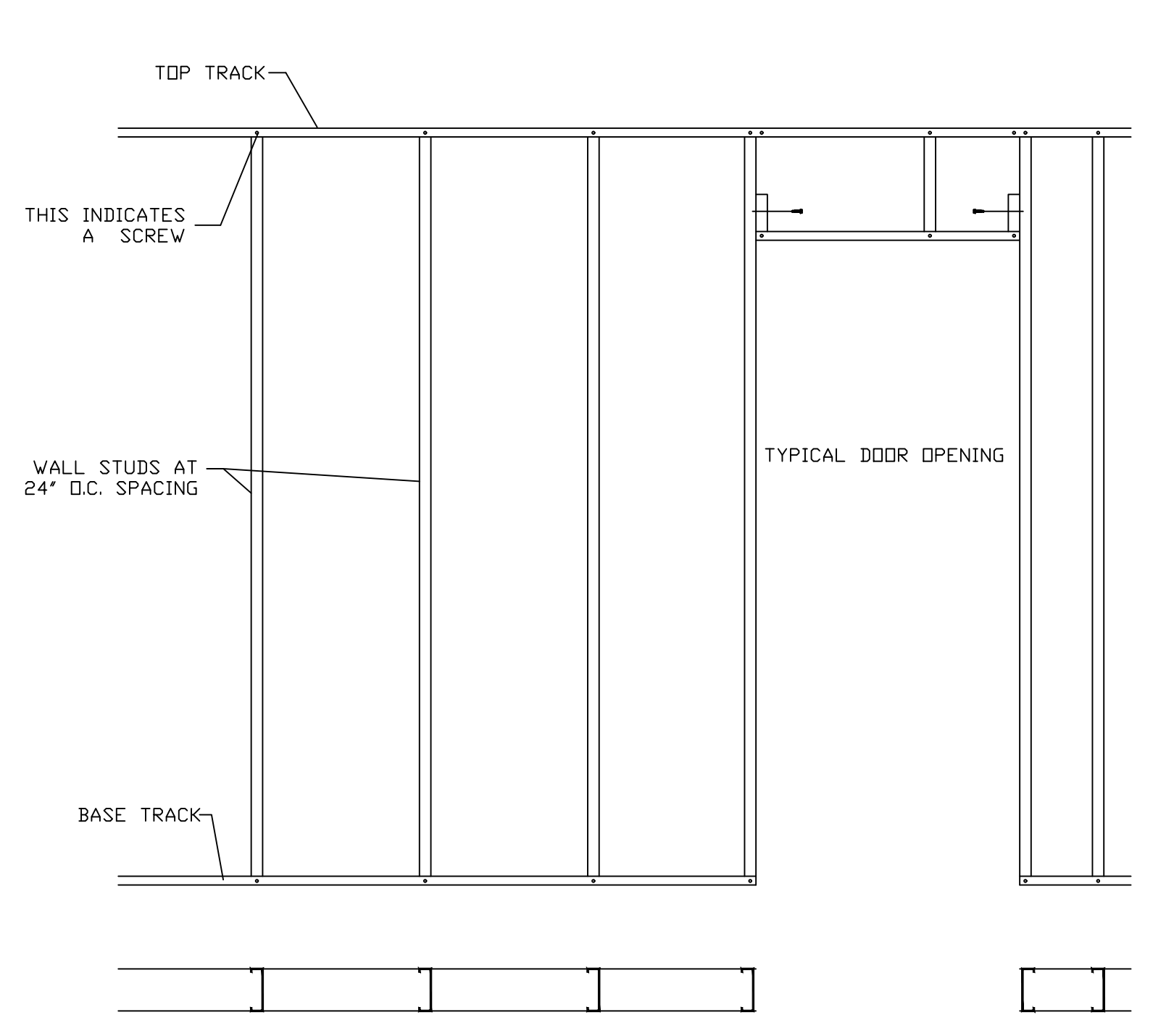
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1A OF 12
DRAWN: EACB



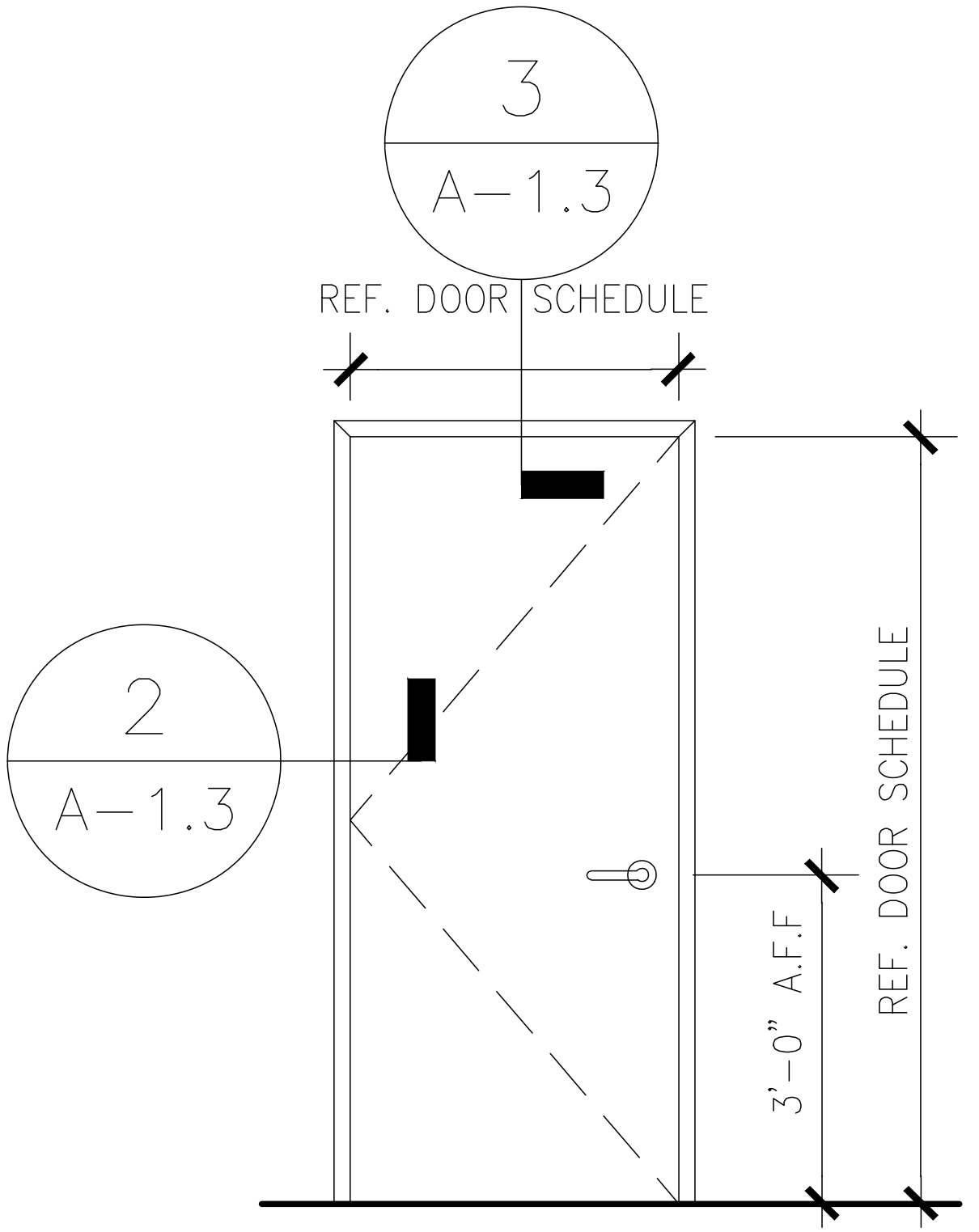
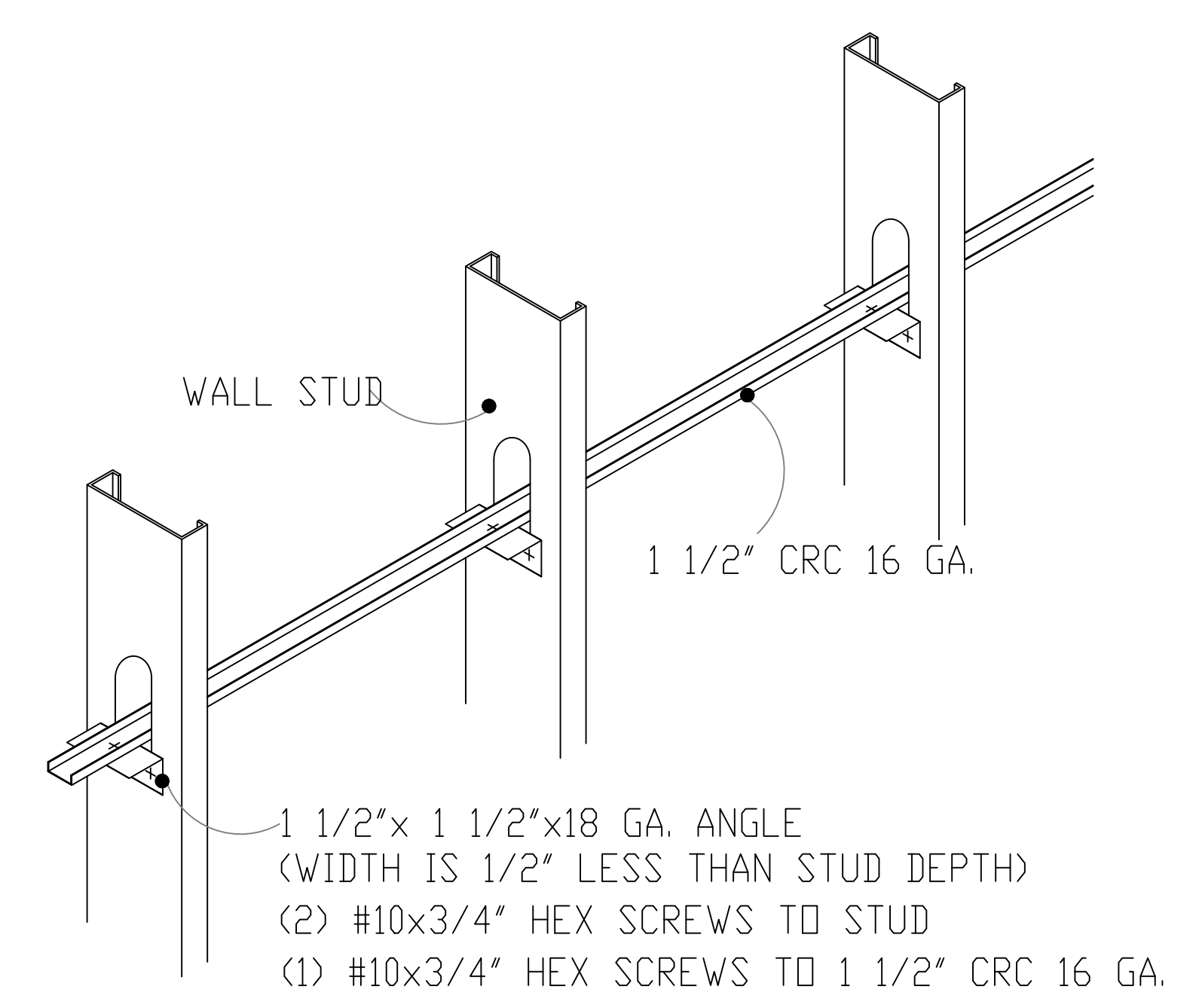
KITCHEN EQUIPEMENT

No.	DESCRIPTION	QTY.
1	LIQUID PROPANE 50 LB STAINLESS FLOOR FRYER	2
2	COOKING, BURNER POT GAS COUNTERTOP RANGE/ HOT PLATE	3
3	CHARCOIL GRILL	2
4	CHARCOIL BOX	1
5	STAINLESS STEEL GRIDDLE 6'	1
6	STAINLESS HOT PLATE BURNER	1
7	FULL HEIGHT NON-INSULATED MOBILE HEATED CABINET W/ (18)	5
8	SOLID DOOR REACH-IN REFRIGERATOR	1
9	STAINLESS STEEL THREE COMPARTMENT COMMERCIAL SINK, NO DRAINBOARDS.	1
10	COMMERCIAL KITCHEN HOOD, 20'X4'10"	2
11	93" PREPARATION STAINLESS STEEL	1
12	STEAM TABLE, TWO OPEN WELLS	1
13	36X18" STAINLESS STEEL WALL MOUNTED SHELVES	2
14	SODA FOUNTAIN	2
15	5 GAL TEA DISPENSER	2
16	3 TANKS COMMERCIAL COOLING BEVERAGE DISPENSER	1
17	POINTS OF SALE	3
18	TOP LOAD CHIP WARMER W/ 26 GALLON CAPACITY - STAINLESS	1
19	STAINLESS STEEL BUFFET REFRIGERATED BUFFET DISPLAY TABLE W/ SNEEZE GUARD.	1
20	HAND STAINLESS STEEL COMMERCIAL SINGLE SINK	5
21	PREPARATION STAINLESS STEEL SINGLE SINK	1
22	48X15" STAINLESS STEEL WALL MOUNTED SHELVES	1
23	48X18" STAINLESS STEEL WALL MOUNTED SHELVES	8
24	60X15" STAINLESS STEEL WALL MOUNTED SHELVES	3
26	48X30" PREPARATION STAINLESS STEEL	8
27	72X30" PREPARATION STAINLESS STEEL	1
28	72X36" PREPARATION STAINLESS STEEL	1
29	STAINLESS STEEL CHEF BASE 8'	1
30	MOP SINK FLOOR MOUNTED	1
31	ICE MAKER	1
32	SODA PRODUCT RACK	1
33	48X24" RACK	9
34	36X24" RACK	5
35	24X24" STAINLESS STEEL WALL MOUNTED SHELVES	2

(NO WASHABLE PLATES WILL BE USE, ONLY DISPOSABLE FOAM PLATES/CONTAINERS).

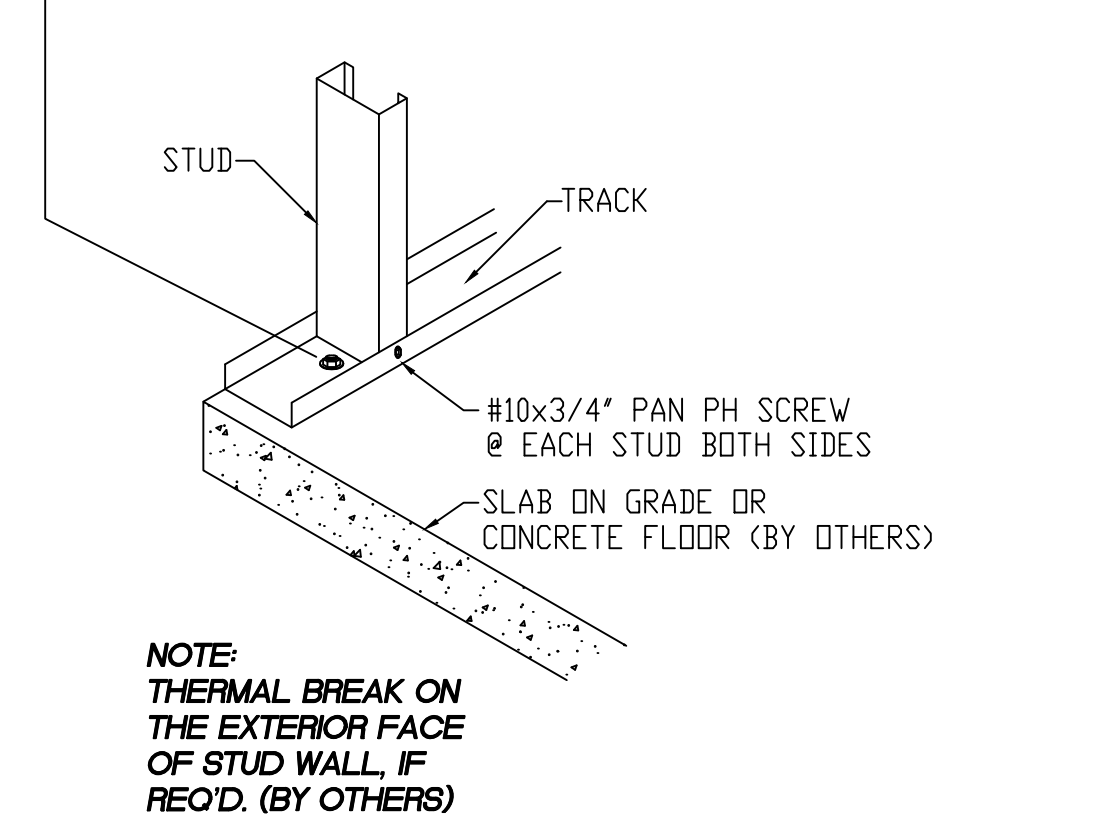


• WALL STUDS SPACING @ 24" O.C.
• USE #6 X 7/16" SHARP POINT SCREWS FOR ALL CONNECTIO



B NEW INTERIOR NON-RATED SOLID WOOD DOOR

- CONCRETE ATTACHMENT
- 1/2" HILTI KWIK BOLT II WITH WASHER (OR APPROVED EQUAL) MINIMUM EMBED DEPTH OF 3 1/2", @ 6'-0" O.C. (BY OTHERS)
- .145" PAF PIN W/WASHER W/ 1" MIN. PENETRATION (BY OTHERS)
 - 1'-0" O.C. LOAD BEARING WALLS
 - 2'-0" O.C. NON-LOAD BEARING WALLS



NOTE: THERMAL BREAK ON THE EXTERIOR FACE OF STUD WALL, IF REQ'D. (BY OTHERS)

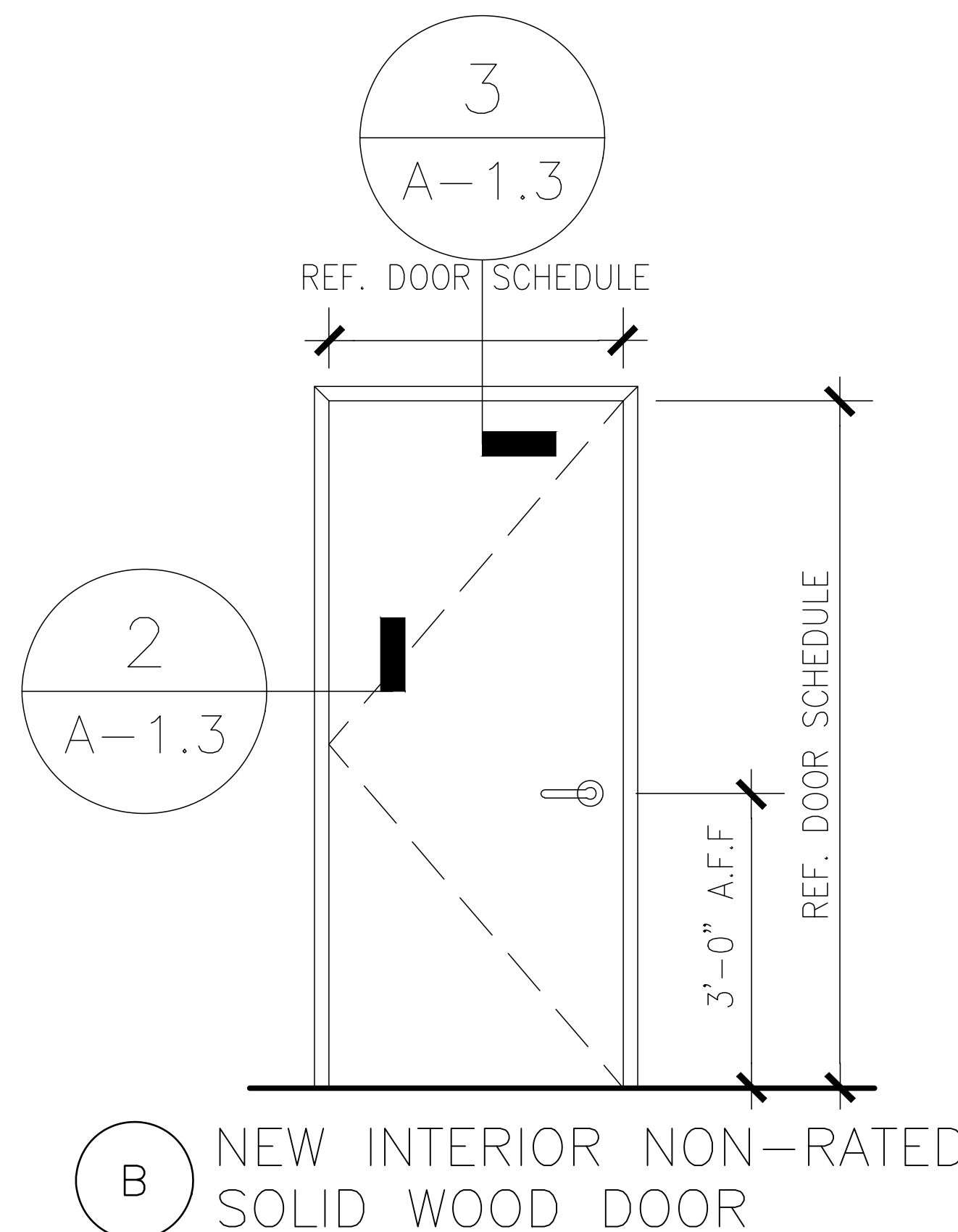
NOTES: FOR STUD HEIGHTS 10'-0" AND LESS, INSTALL CRC AT MID HEIGHT STUD WALL TO CONC. ATTACHMENT FOR STUD HEIGHTS GREATER THAN 10'-0" INSTALL AT THIRD POINT N.T.S.

PROP. FLOOR PLAN
SCALE: 3/16"=1'-0"



PROP. FLOOR PLAN
SCALE: 3/16"=1'-0"

ROOM FINISH LEGEND					
ROOMS	FLOORS	#	BASE	WALLS	CEILING
DINING AREA	CONCRETE (W/SEALANT)	1	RUBBER COVE BASE	PAINTED GYP. BOARD	CEILING TILES
KITCHEN/SERVICE AREA	6X6" QUARRY TILE	2	TILE COVE BASE	STAINLESS STEEL	VINYL CLADDED
RESTROOM	6X6" QUARRY TILE	3	TILE COVE BASE	STAINLESS STEEL	CEILING TILES
WALKING COOLER	CONCRETE	4		CUSTOM WALL PANEL	GYP. CEILING



FINISH LEGEND

	CONC: CONCRETE FLOORING SEALED
	TL-2: QUARRY TILE

PRODUCT DATA SHEET

Product Description: Panic exit device for 20" to 42" wide doors. UL10C fire rated, ANSI A156.3 Grade 1, Non-handed. Rail and push pad are fabricated from heavy gauge stainless steel with a US320 brushed stainless steel finish. Trim available in the following functions: classroom, storeroom, passage and dummy. Device and trim for 161 standard cut out. Mounting hardware and 250 strike included. ADA compliant.

Designed For: 161 Cut Out Door Prep

Door Thickness: Standard Doors 1 3/4" to 2 1/4"
Latch Bolt: Stainless Steel 3/4" Throw
Strike: 250 Standard
ANSI/BHMA: Exit Device A156.3 Grade 1

Overall Size: 33" W X 8 1/8" H X 2 1/2" D

Material: Steel, Cast Iron, Stainless Steel
Finish: US320 Brushed Stainless Steel

Manufacturer	Part Number
CAL-RICHIE	2500
CORBIN/RUSSWIN	ED4200
DOORNA	8200
YALE	25
YALE	2100

TOP JAMB ARM

Mounting holes for closer body are spaced 3-3/8" (86mm) vertically x 6-3/4" (171mm) horizontally.
* Minimum frame face with 7/8" drop plate. 3-1/4" (83mm) required when drop plate is not used.

Maximum Door Width (Inches) (mm)	Reveal Range (Inches)	Maximum Door Opening	Model Number	
			Non-Hold Open	Hold Open
Multi-Sized (517500) 7500M	0" to 3" (0 to 76mm)	180"	7500	7500H
7500	2-3/4" to 7" (70 to 178mm)	150"	7500	7500H
7500	2-3/4" to 7" (70 to 178mm)	180"	7500	7500H
7580 x 7787	0" to 2-3/4" (0 to 70mm)	180"		
Multi-Sized				
(7500) 7500MH	0" to 3" (0 to 76mm)	180"		
7500H	2-3/4" to 6-3/4" (70 to 171mm)	150"		
7500H	2-3/4" to 6-3/4" (70 to 171mm)	180"		

Notes:
 * Door closers are set at midpower range from the factory
 * Measurements are inches/mm unless noted
 * Standard door widths: interior 32"-54" (81-137cm) exterior 30"-48" (76-122cm)
 * Consult factory if door weight exceeds 250 lbs.



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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087
REMODEL

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SCALE: 3/16"=1'-0"
DATE: 02/11/2022
SQ FT: 3,956
TYPE: FINISH FLOOR

DRAWING No.
4 OF 12
DRAWN: EACB