



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Intersection of SH-276 & Innovation Drive

SUBDIVISION Rockwall Technology Park

LOT 4,5 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Technology/Light Industrial

PROPOSED ZONING Light Industrial

PROPOSED USE Office/Warehouse/Manufacturing

ACREAGE 3.81

LOTS [CURRENT] 1

LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Technology Park

APPLICANT Kirkman Engineering

CONTACT PERSON Phil Wagner

CONTACT PERSON Jeremy Nelson, P.E.

ADDRESS PO Box 968

ADDRESS 5200 State Highway 121

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Colleyville, TX 76034

PHONE (972) 772-0025

PHONE (817) 488-4960

E-MAIL pwagner@rockwalledec.com

E-MAIL jeremy.nelson@trustke.com

NOTARY VERIFICATION [REQUIRED]

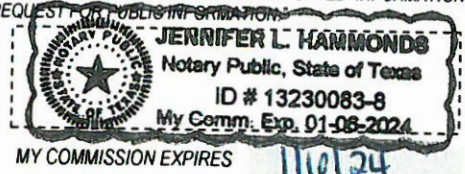
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

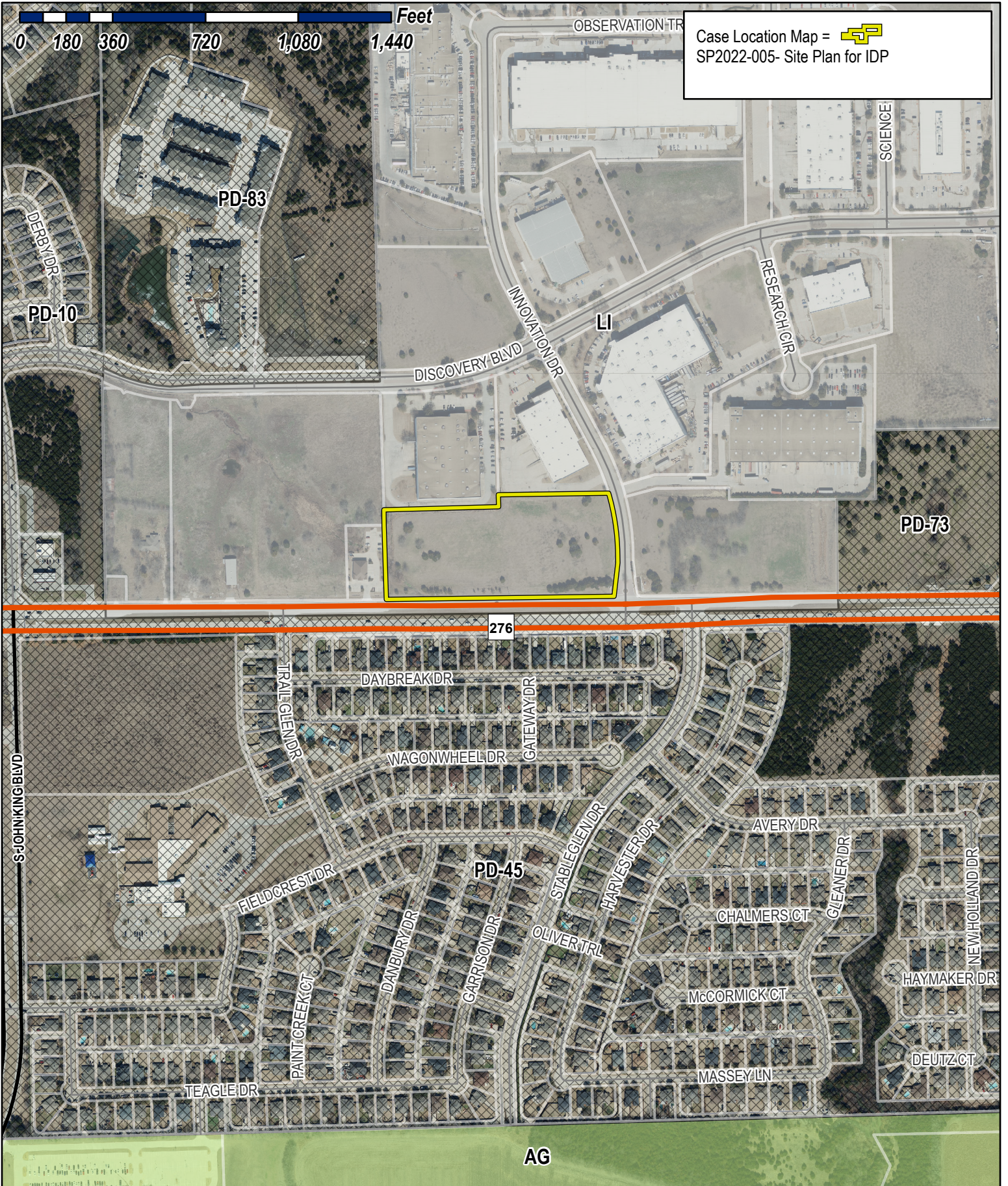
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 326.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE Phil Wagner

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS J. Hammond





Case Location Map = 
 SP2022-005- Site Plan for IDP

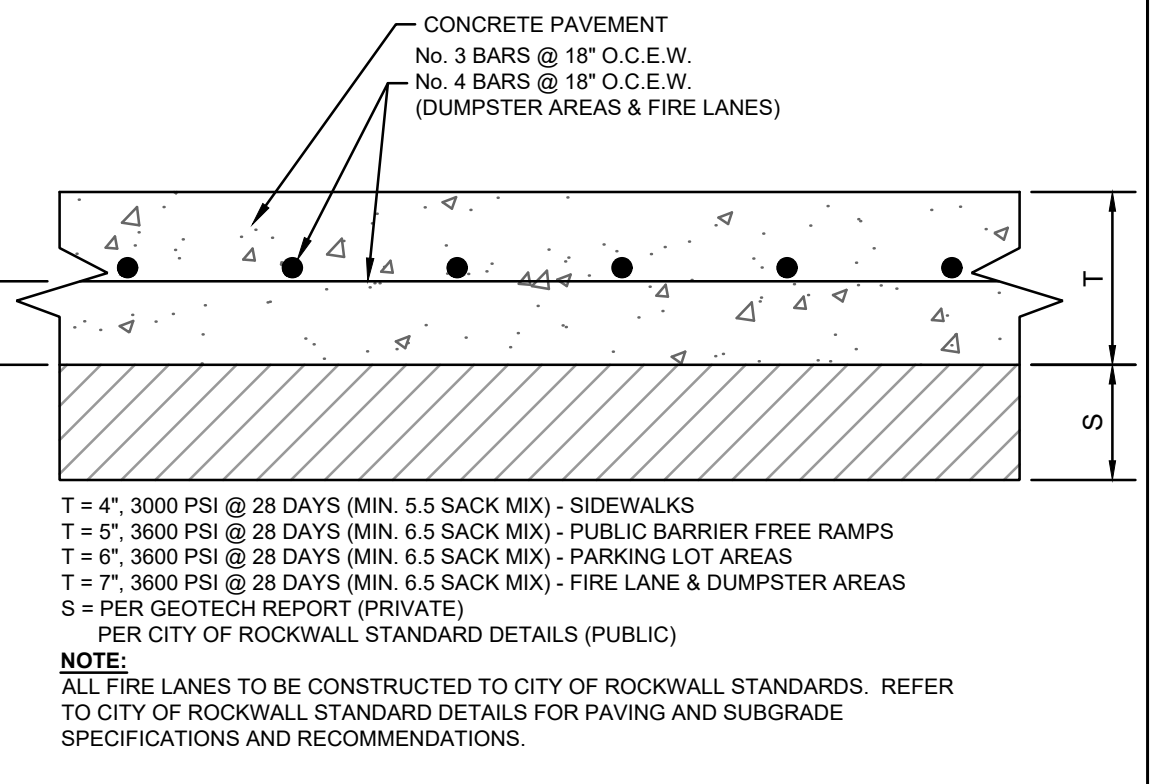


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

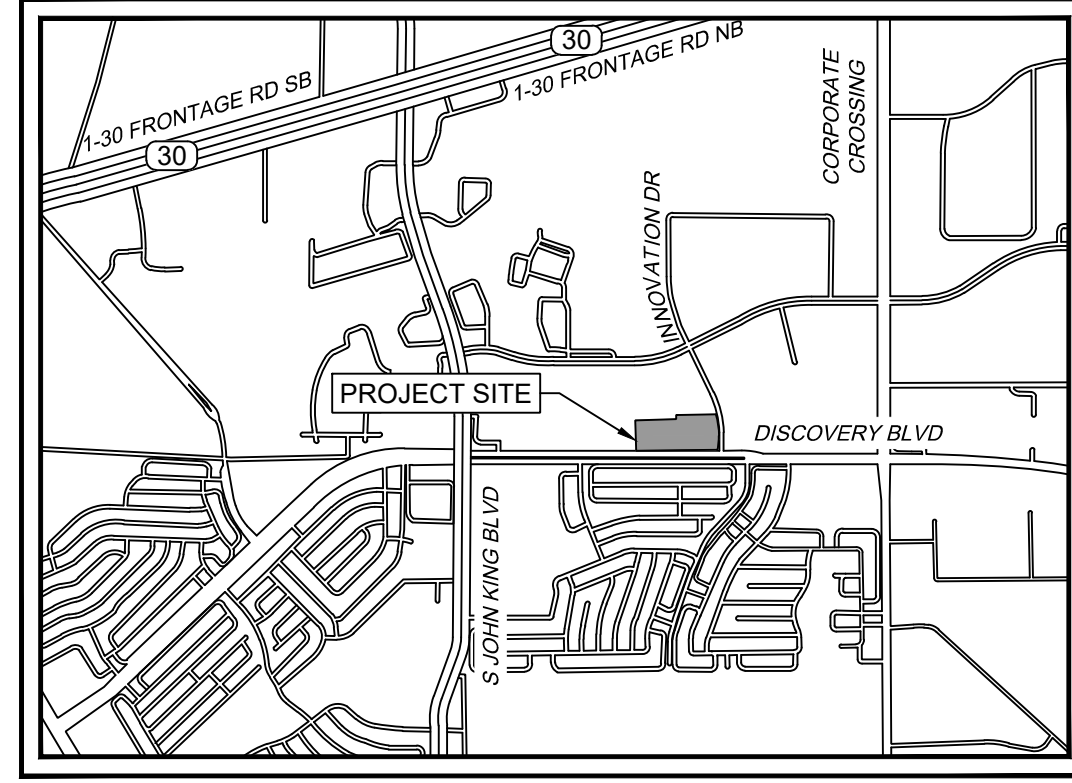
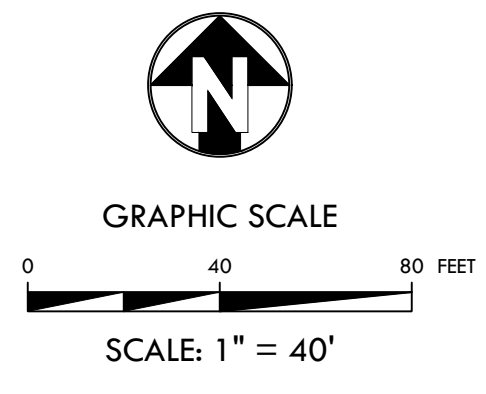
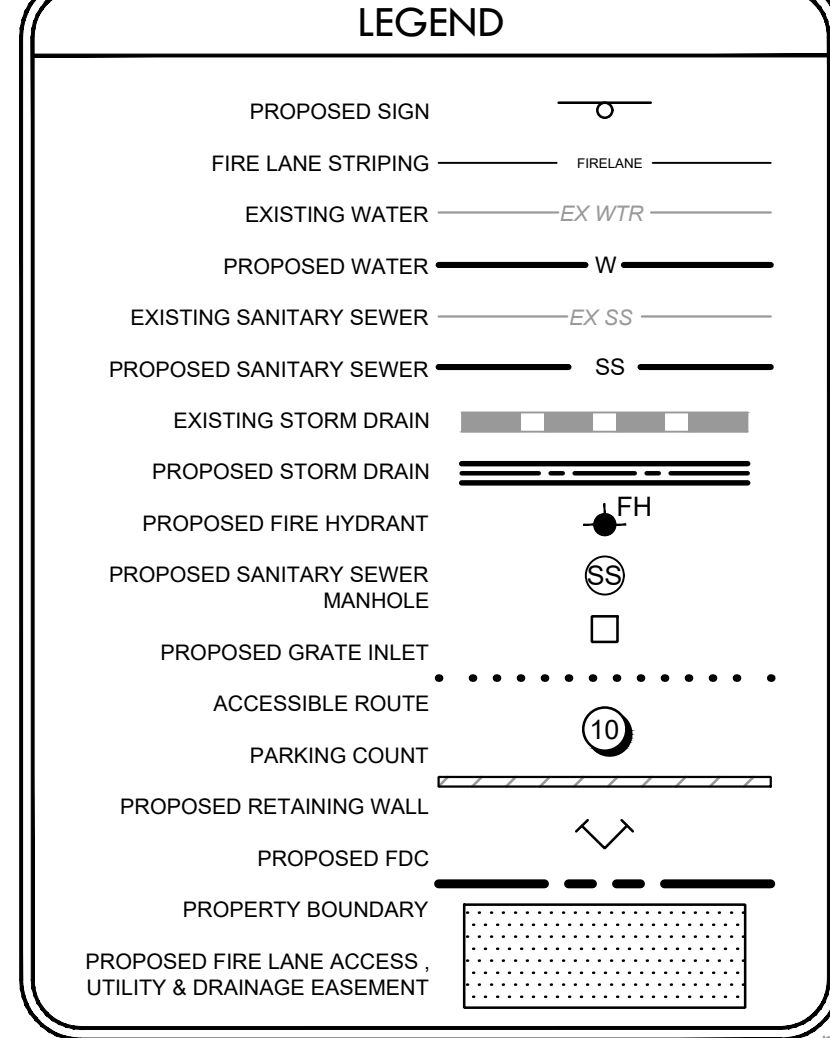
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 TYPICAL PAVEMENT SECTION

SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	LOT 4
ZONING	LI - LIGHT INDUSTRIAL
LAND USE	OFFICE/WAREHOUSE/MANUFACTURING
LOT AREA	109,258 SF/2.50 AC
BUILDING FOOTPRINT AREA	20,929 SF
TOTAL BUILDING AREA	20,929 SF
BUILDING HEIGHT (# STORIES)	1
BUILDING HEIGHT	29'-8"
LOT COVERAGE	12.59%
FLOOR AREA RATIO	0.13
PARKING	
PARKING RATIO	OFFICE: ONE SPACE PER 300 SF WAREHOUSE: ONE SPACE PER 1000 SF MANUFACTURING: ONE SPACE PER 500 SF
REQUIRED PARKING (# SPACES)	31
PROVIDED PARKING (# SPACES)	50
ACCESSIBLE PARKING REQUIRED (# SPACES)	2
ACCESSIBLE PARKING PROVIDED (# SPACES)	2

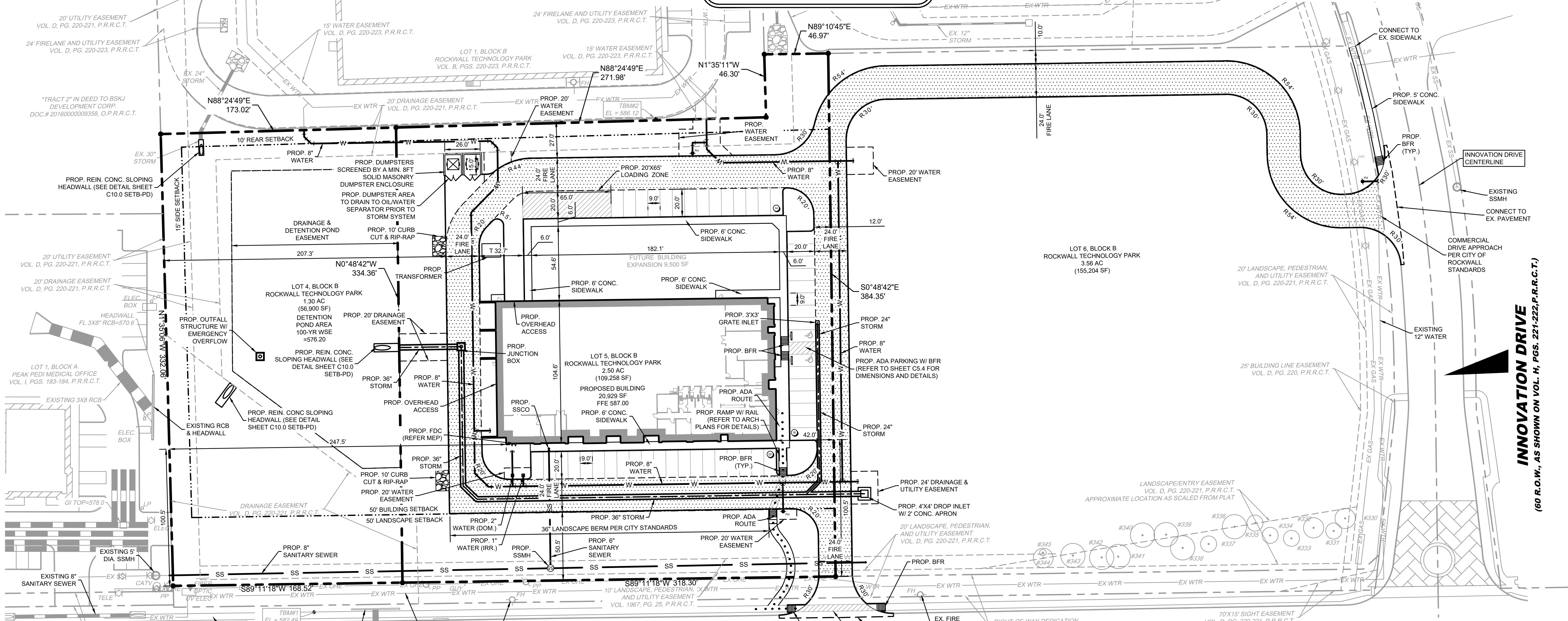


PRELIMINARY FOR REVIEW ONLY. THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR THE PURPOSES OF CONSTRUCTION, BIDDING OR PERMIT. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF: JEREMY B. NELSON, P.E. #138740. DATE: February 18, 2022



525 S. LOOP 288, SUITE 105, DENTON, TX 76205 (940) 566-5465

INTEGRATED DEFENSE PRODUCTS TM
LOT 4.5, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
(2.50 ACRES) J.M. ALLEN SURVEY A-2



STATE HIGHWAY 276
(R.O.W. VARIES, AS SHOWN ON VOL. H, PGS. 221-222, P.R.R.C.T.)

INNOVATION DRIVE
(60 R.O.W., AS SHOWN ON VOL. H, PGS. 221-222, P.R.R.C.T.)

SITE PLAN
CITY PROJECT CASE NO. SPXX-XXXX
INTEGRATED DEFENSE PRODUCTS TM
2.50 ACRES
LOT 4.5, BLOCK B
ROCKWALL TECHNOLOGY PARK,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARATION DATE: 01/20/2022

APPLICANT
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-488-4980
CONTACT: JEREMY NELSON, PE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR. STE. 110
ALLEN, TX 75013
PH: 480-309-4448
CONTACT: CHRIS TRONZANO, RLA

ENGINEER
KIRKMAN ENGINEERING, LLC
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1057
CONTACT: JEREMY NELSON, PE

SURVEYOR
BARTON CHAPA SURVEYING
5200 STATE HIGHWAY 121
COLLEYVILLE, TX 76034
PH: 817-864-1057
CONTACT: JACK BARTON, RPLS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].
WITNESS OUR HANDS, THIS [DAY] day of [MONTH], [YEAR]

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER
ROCKWALL TECHNOLOGY PARK
PO BOX 969
ROCKWALL, TX 75087
PH: (972) 772-0025
CONTACT: PHIL WAGNER

NOTE TO CONTRACTOR
THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (WHETHER SHOWN ON PLANS OR NOT) PRIOR TO COMMENCING CONSTRUCTION. IF FIELD CONDITIONS DIFFER FROM LOCATIONS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

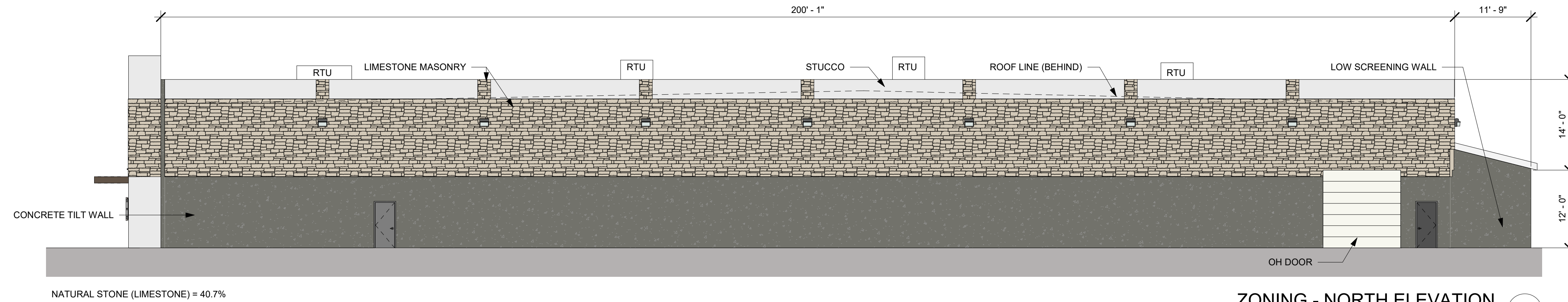
- LAYOUT & DIMENSIONAL CONTROL NOTES:**
- BOUNDARY LINES AND EASEMENT: REFER TO THE FINAL PLAT TO VERIFY PROPERTY LINES AND EXISTING EASEMENT LOCATIONS.
 - DIMENSION CONTROL: UNLESS NOTED OTHERWISE, ALL PAVING DIMENSIONS SHOWN ARE TO FACE OF CURB.
 - CURB RADI: UNLESS NOTED OTHERWISE, ALL CURB RADI SHALL BE 3' AT FACE OF CURB.
 - BUILDING DIMENSIONS: REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES PRIOR TO CONSTRUCTION.
 - ALL COORDINATES ARE U.S. SURVEY FEET, NAD '83 SURFACE.



JOB NUMBER: LNK21005
ISSUE DATE: 01/20/2022

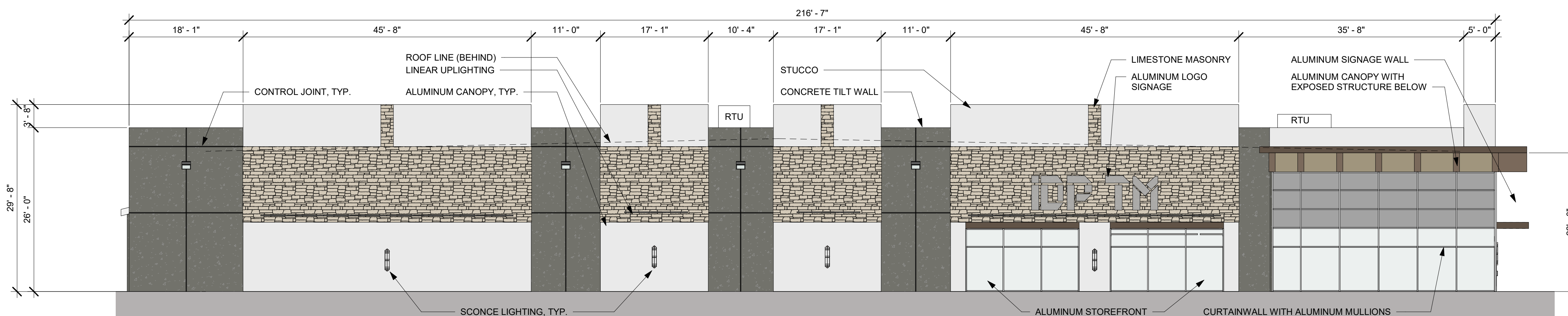
SITE PLAN
SHEET:
C3.0

CASE NUMBER: SP2022-XX



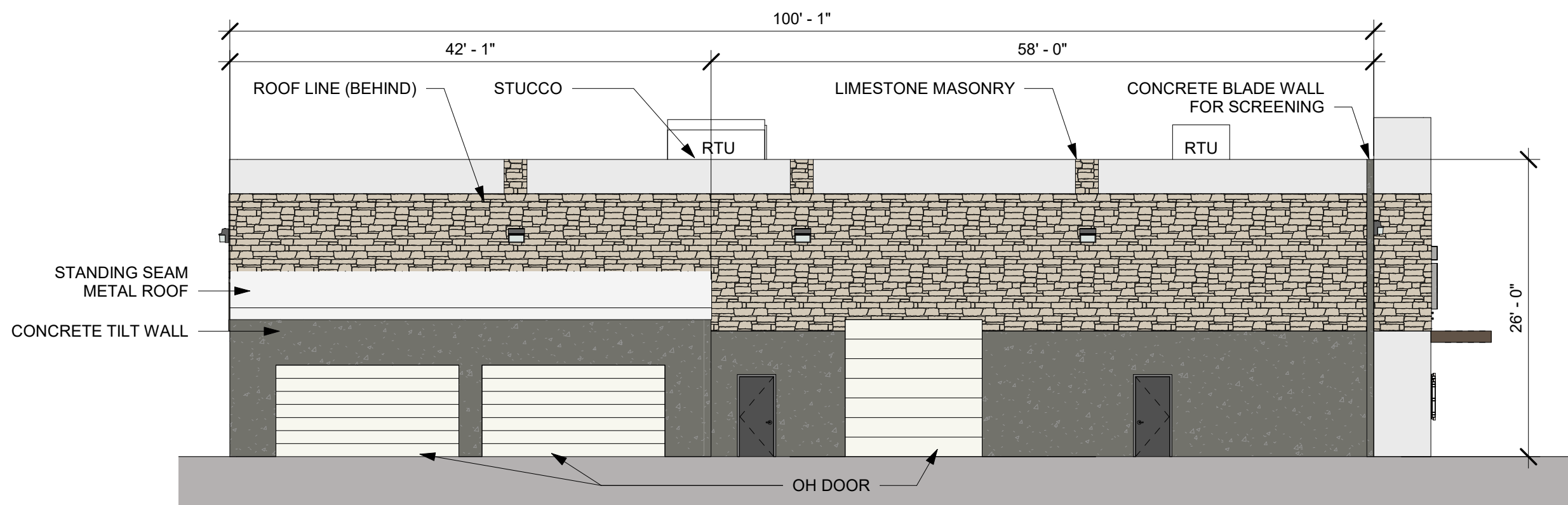
NATURAL STONE (LIMESTONE) = 40.7%

ZONING - NORTH ELEVATION 4
3/32" = 1'-0"



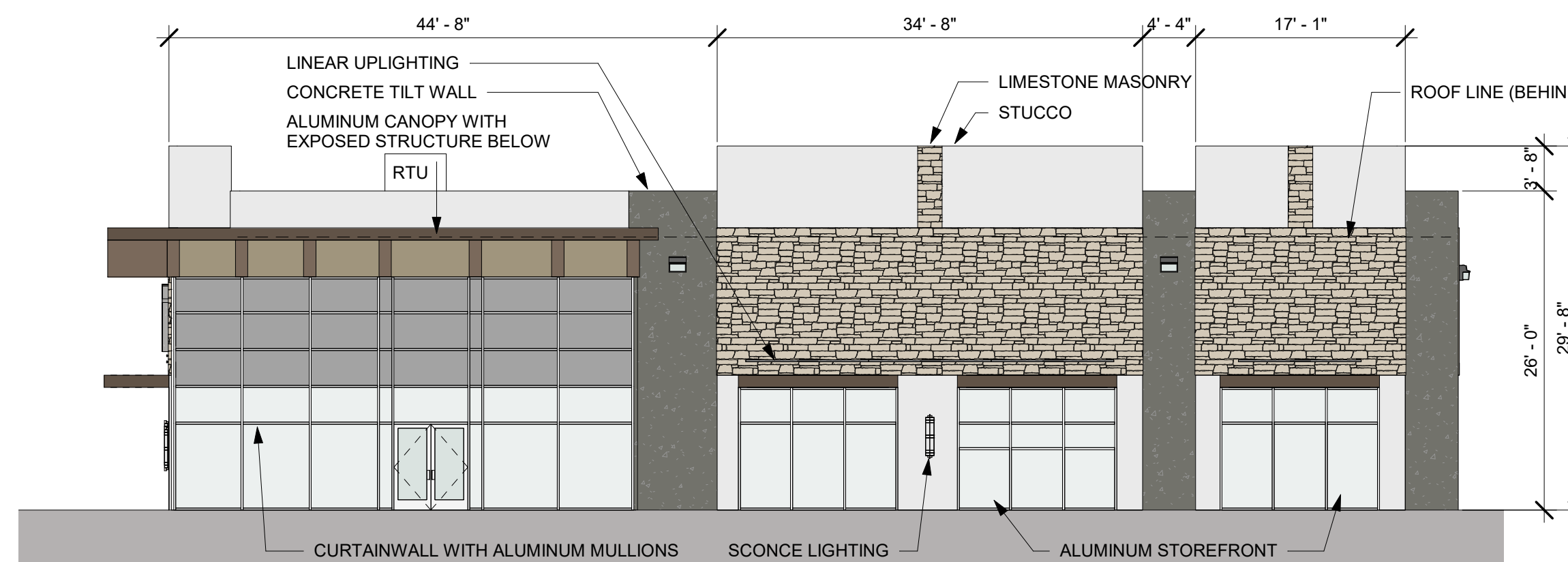
NATURAL STONE (LIMESTONE) = 25.6%

ZONING - SOUTH ELEVATION 3
3/32" = 1'-0"



NATURAL STONE (LIMESTONE) = 41.2%

ZONING - WEST ELEVATION 2
3/32" = 1'-0"



NATURAL STONE (LIMESTONE) = 22.2%

ZONING - EAST ELEVATION 1
3/32" = 1'-0"

PER ROCKWALL TECHNOLOGY PARK COVENANTS, CONDITIONS & RESTRICTIONS:

Windows, doors, eaves, parapets, soffits, overhangs, canopies, etc. should be used to provide Interest and variety to the building facade.

Entrances to buildings should be articulated with appropriate architectural features so as to distinguish them from the remainder of the building.

The use of decorative pilasters, moldings, cornices, and other façade treatments is encouraged to enrich the building appearance. Where appropriate, details such as canopies and columns should be used to create shade, cast shadows, and provide visual relief.

Canopies and awnings are encouraged, and when used, should be treated as architectural elements and be incorporated into the design of a building by producing a consistent pattern through their size, color, and shape.

One (1) and two (2) story buildings shall be designed in such a manner so as to provide for visual interest. To accomplish this, walls that face a public street or dedicated access easement shall have offsets to break up long expanses. (For purposes of this section, "facing a street or easement" shall mean that the angle between the building facade and the front property line, street, or easement is less than 45 degrees.) If a building's facade is less than 80 feet wide, the facade shall be broken up into at least two (2) different planes. For facades at least 80 feet wide but less than 250 feet wide, at least three (3) planes shall be designed. At least four (4) planes shall be designed for when the facade is greater than 250 feet wide. The cumulative total of these offset surfaces when viewed in plan shall equal a minimum of 40% of the width of the facade. When viewed in elevation the cumulative total of these offset surfaces shall equal a minimum of 10' or 1/3 of the height of the facade, whichever is greater. (Note: The required offsets are not required to be as tall as the primary facade.) The minimum depth of the offset between adjacent planes shall be at least 15% of the wall's height. (See Exhibits B, Figure 1-3.4/5)

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS**
Refer to bidding requirements, special provisions, and schedules for additional requirements.

- 1.2 DESCRIPTION OF WORK**
Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
 - Bed preparation and fertilization
 - Notification of sources
 - Water and Maintenance until final acceptance
 - Guarantee
- 1.3 REFERENCE STANDARDS**
- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition, by American National Standards Institute, Inc. (Z60.1) – plant material.
 - American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
 - Texas Association of Nurserymen, Grades and Standards.
 - Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustans or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydrotouch Common Bermudagrass: Hydrotouch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation. General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

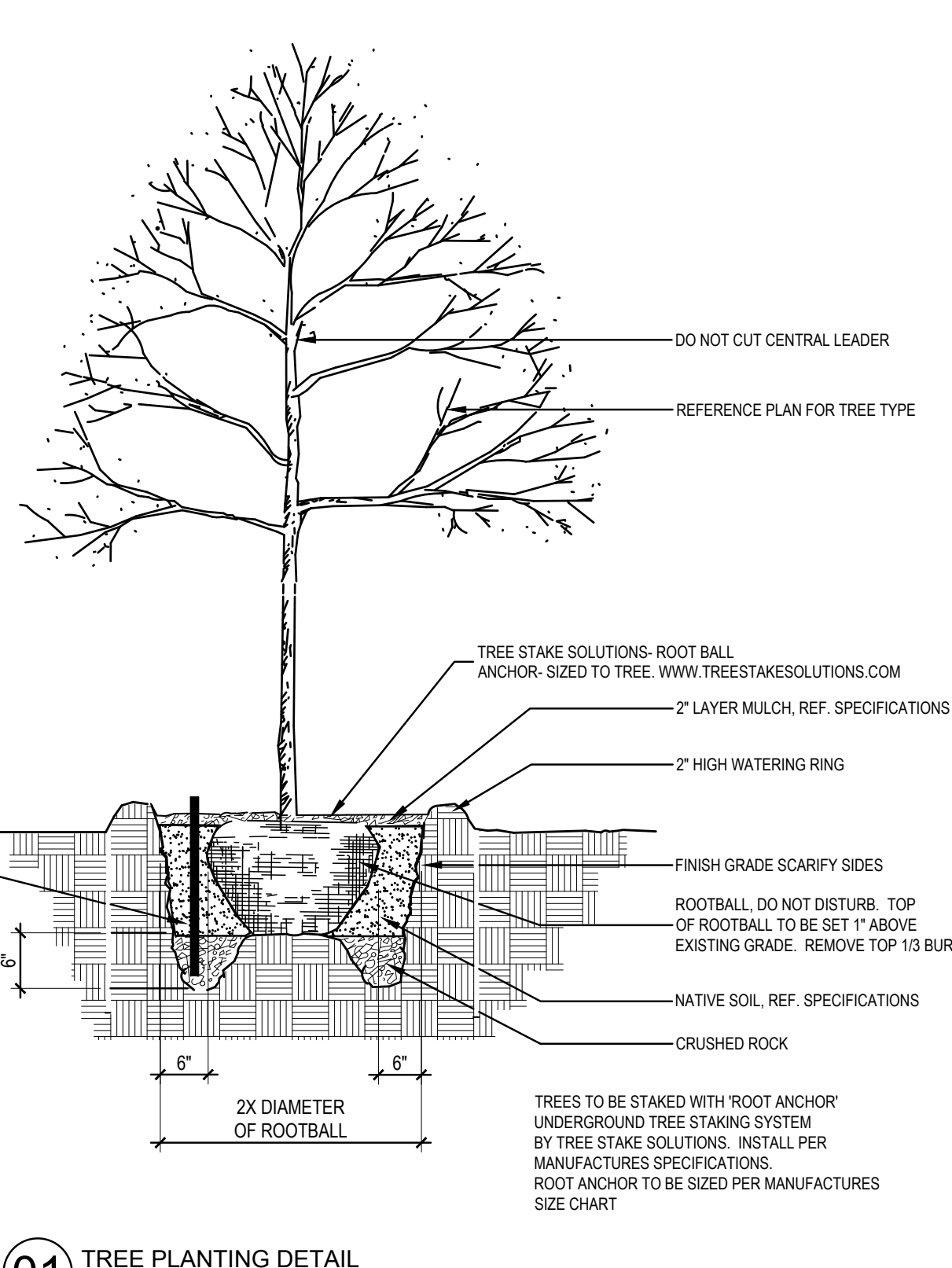
2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

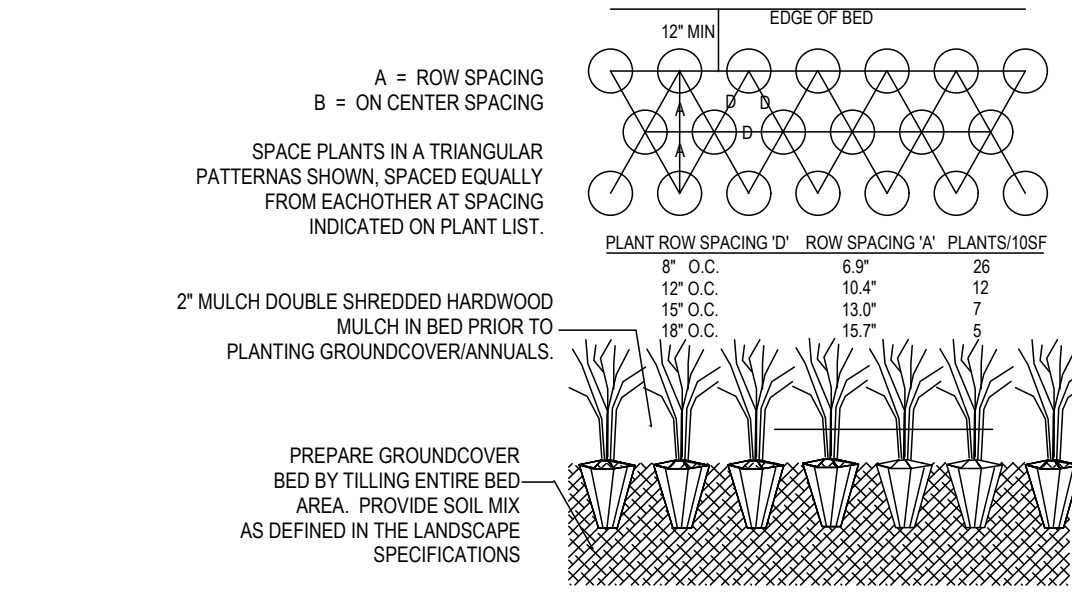
2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armo with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co. (214) 631-5250 or approved equal.

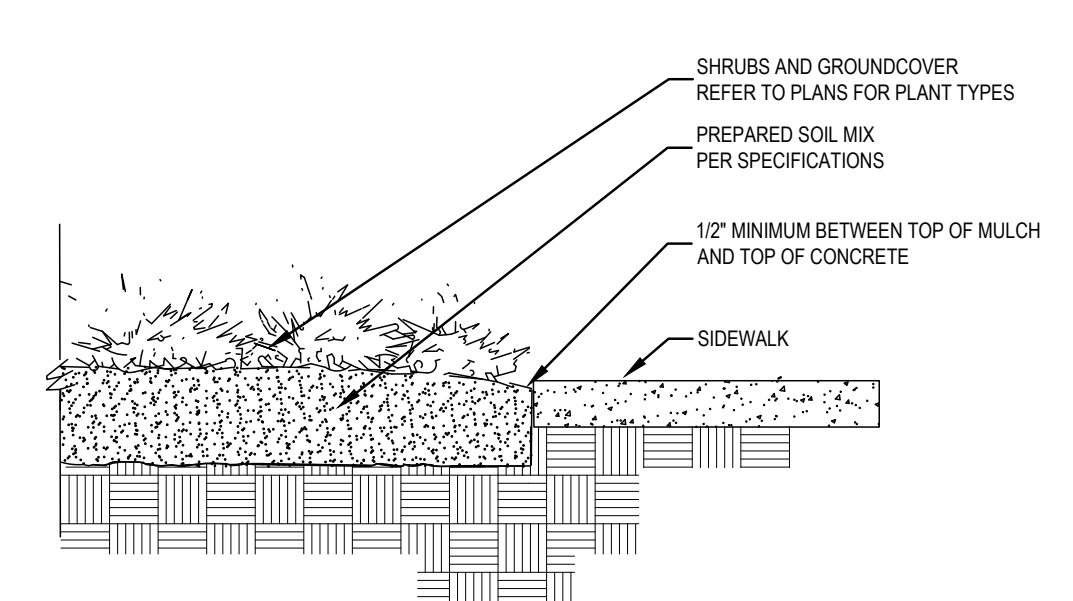
LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



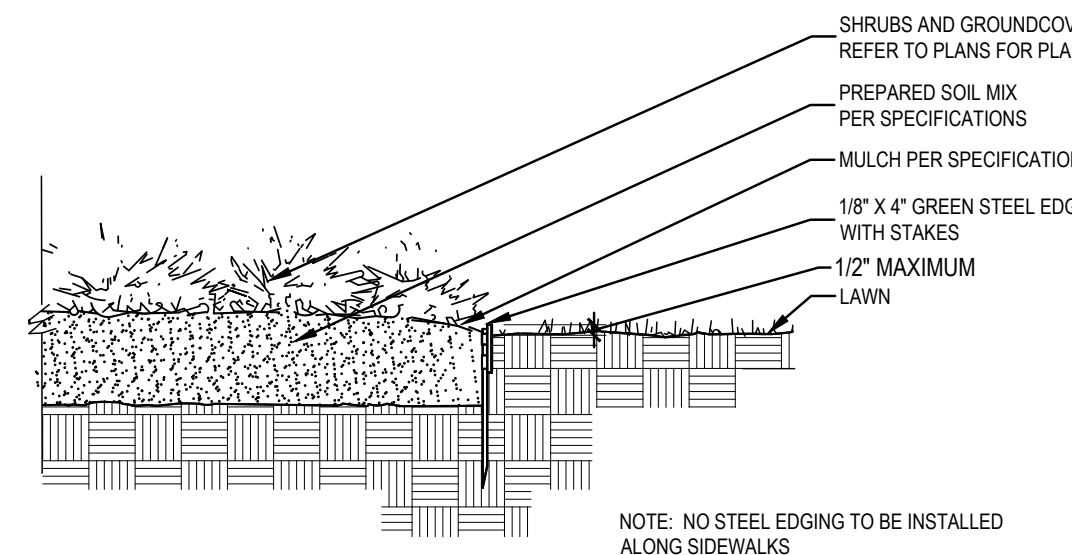
01 TREE PLANTING DETAIL
NOT TO SCALE



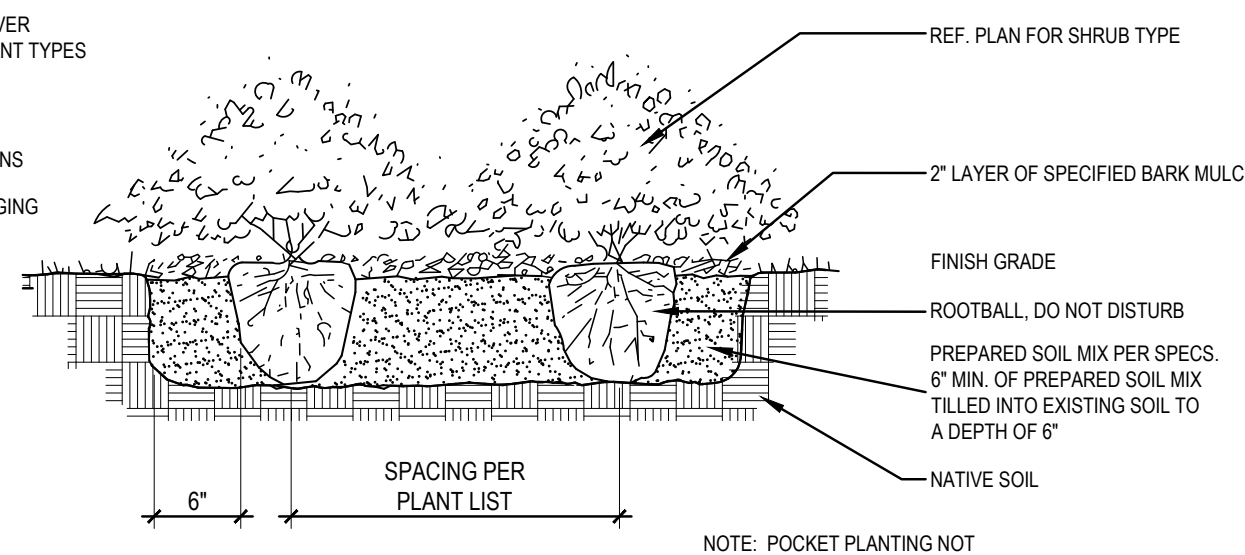
02 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



03 SIDEWALK / MULCH DETAIL
no steel along sidewalks
NOT TO SCALE



04 STEEL EDGING DETAIL
NOT TO SCALE



05 SHRUB PLANTING DETAIL
NOT TO SCALE

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION

INTEGRATED DEFENSE PRODUCT TM
LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR APPROVAL 02.04.2022

DATE:
02.04.2022

SHEET NAME:
LANDSCAPE SPECIFICATION

SHEET NUMBER:

L.3



02.18.2022

INTEGRATED DEFENSE PRODUCT TM

**LOT 4, BLOCK B
ROCKWALL TECHNOLOGY PARK
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**

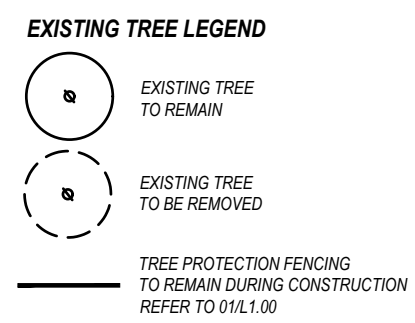
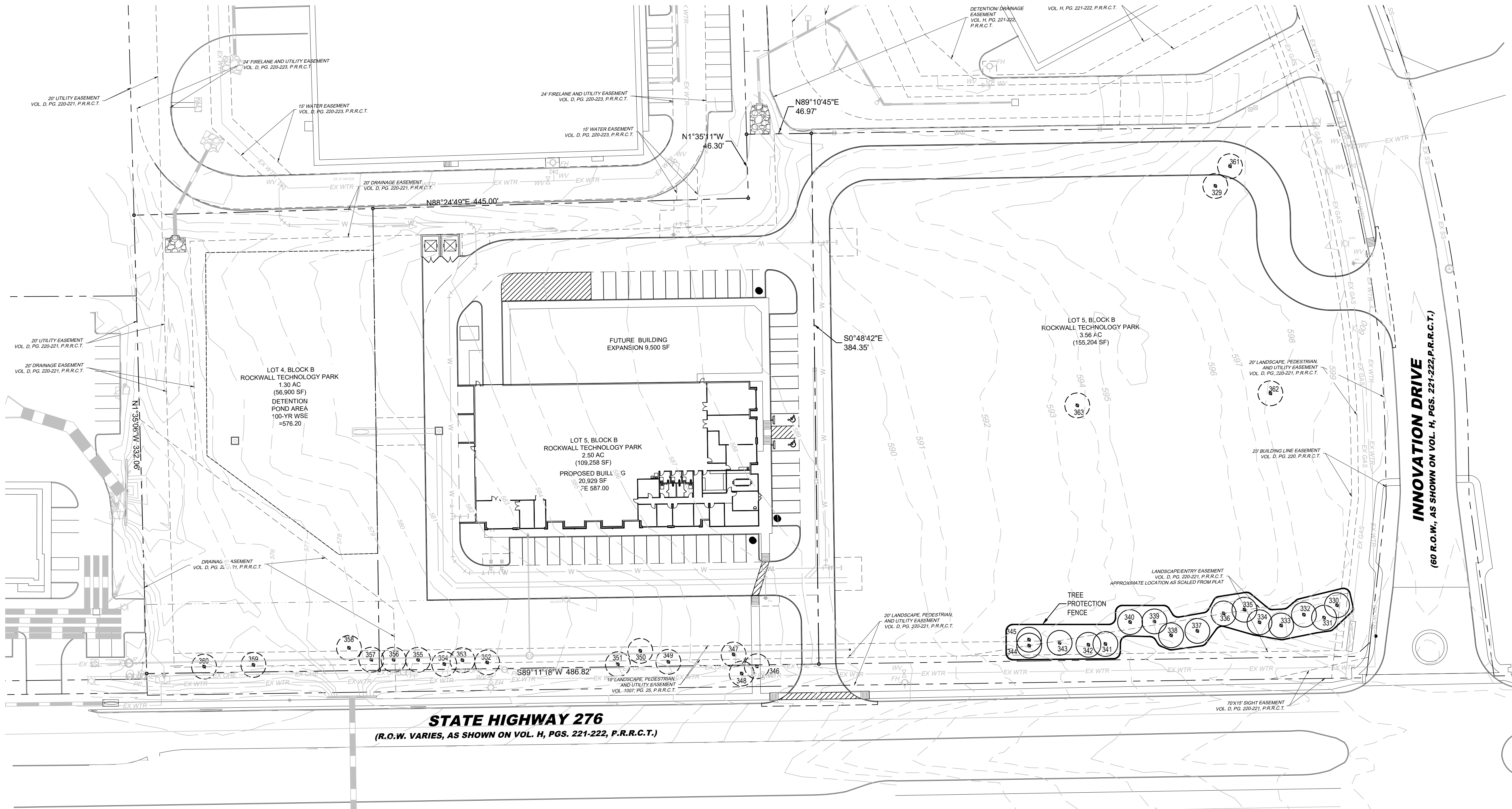
ISSUE:
FOR APPROVAL 02.04.2022
CITY COMMENTS 02.18.2022

DATE:
02.18.2022

SHEET NAME:
TREE PRESERVATION PLAN

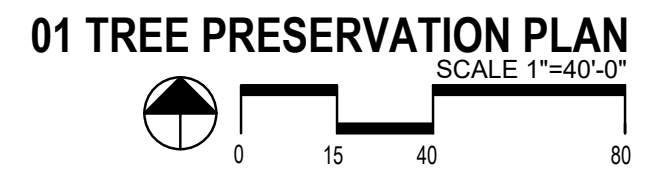
SHEET NUMBER:

L.1



EXISTING TREE NOTES

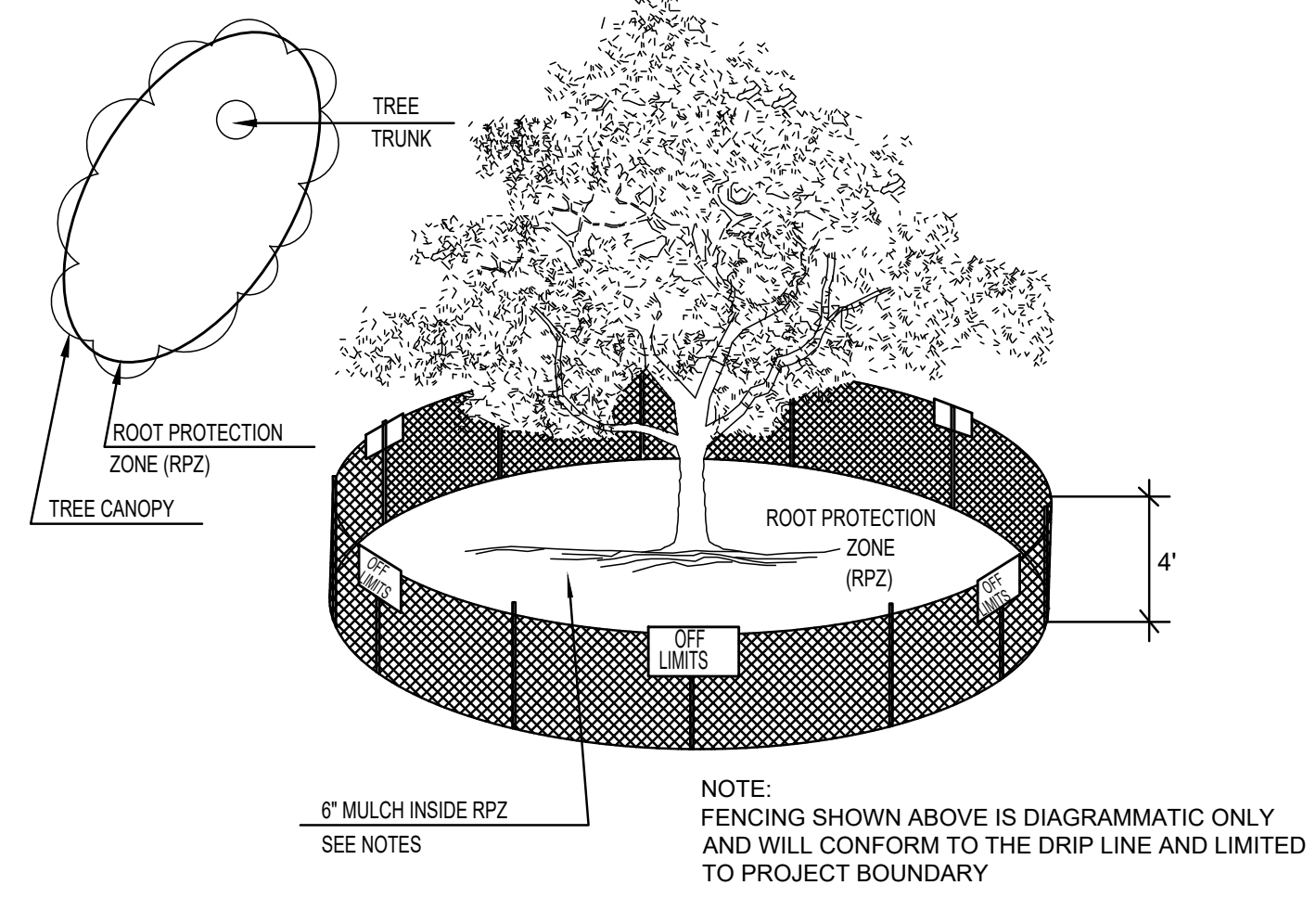
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be disposed within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



EXISTING TREES PREVIOUS BUILDING DEVELOPMENT

NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS	MITIGATION REQUIRED
329	11	CEDAR	TO BE REMOVED	11
330	15	CEDAR	TO REMAIN	
331	11	CEDAR	TO REMAIN	
332	14	CEDAR	TO REMAIN	
333	12	CEDAR	TO REMAIN	
334	13	CEDAR	TO REMAIN	
335	12	CEDAR	TO REMAIN	
336	15	CEDAR	TO REMAIN	
337	12	CEDAR	TO REMAIN	
338	14	CEDAR	TO REMAIN	
339	15	CEDAR	TO REMAIN	
340	15	CEDAR	TO REMAIN	
341	22	CEDAR MULTI-TRUCK	TO REMAIN	
342	15	CEDAR	TO REMAIN	
343	18	CEDAR	TO REMAIN	
344	14	CEDAR	TO REMAIN	
345	5	HERCULES CLUB	TO REMAIN	
346	7	OAK	TO BE REMOVED	7
347	6	OAK	TO BE REMOVED	6
348	7	OAK	TO BE REMOVED	7
349	6	OAK	TO BE REMOVED	6
350	5	OAK	TO BE REMOVED	5
351	5	OAK	TO BE REMOVED	5
352	7	OAK	TO BE REMOVED	7
353	8	OAK	TO BE REMOVED	8
354	5	OAK	TO BE REMOVED	5
355	11	OAK	TO BE REMOVED	11
356	9	OAK	TO BE REMOVED	9
357	10	OAK	TO BE REMOVED	10
358	8	OAK	TO BE REMOVED	8
359	9	OAK	TO BE REMOVED	9
360	7	OAK	TO BE REMOVED	7
361	17	CEDAR MULTI-TRUCK	TO BE REMOVED	17
362	13	CEDAR	TO BE REMOVED	13
363	15	CEDAR MULTI-TRUCK	TO BE REMOVED	15

TOTAL MITIGATION REQUIRED: 166 CAL. INCHES
MITIGATION PROVIDED: (42) 4" CALIPER TREES



01 TREE PROTECTION FENCE A
NOT TO SCALE



PROJECT NAME:
ROCKWALL IDP MANUFACTURING

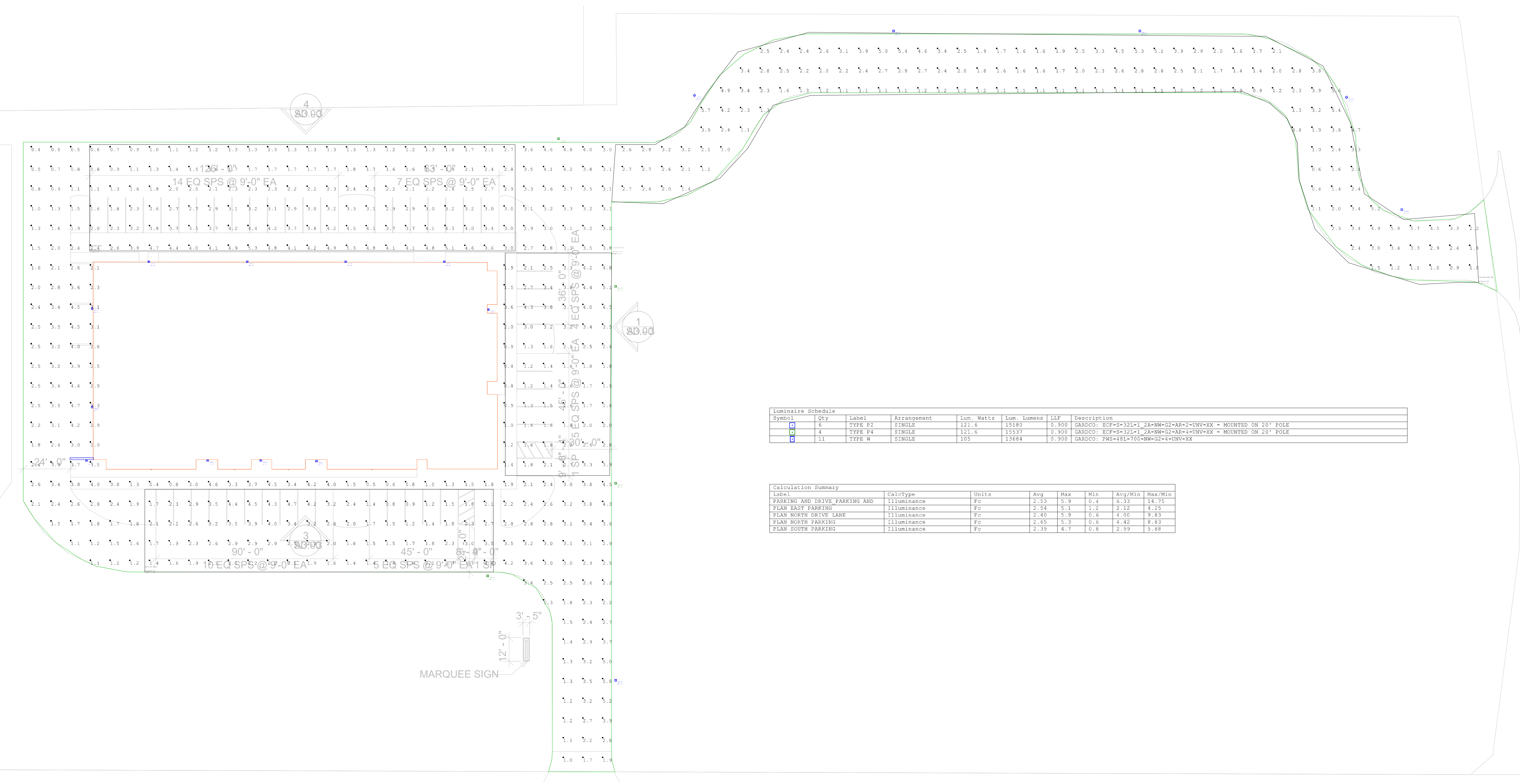
ADDRESS:

NOTES:

ISSUE NAME:

CW1.00

SITE PHOTOMETRICS



Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	Description
■	6	TYPE P2	SINGLE	121.6	15180	0.900	GARDCO: BCF-S-32L-1-2A-NW-G2-AR-2-UNW-XX - MOUNTED ON 20' POLE
■	4	TYPE P4	SINGLE	121.6	15537	0.900	GARDCO: BCF-S-32L-1-2A-NW-G2-AR-4-UNW-XX - MOUNTED ON 20' POLE
■	11	TYPE W	SINGLE	105	13684	0.900	GARDCO: PWS-48L-700-NW-G2-4-UNW-XX

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AND DRIVE PARKING AND	Illuminance	Fc	2.33	5.9	0.4	6.33	14.75
PLAN EAST PARKING	Illuminance	Fc	2.34	5.1	1.2	2.12	4.25
PLAN NORTH DRIVE LANE	Illuminance	Fc	2.40	5.9	0.6	4.00	9.83
PLAN NORTH PARKING	Illuminance	Fc	2.65	5.3	0.6	4.42	8.83
PLAN SOUTH PARKING	Illuminance	Fc	2.39	4.7	0.8	2.93	5.88



Links Construction, LLC | 525 S. Loop 288 Ste. #105 | Denton, TX 76205 | 940-566-5465

February 3, 2022

RE: Site Plan Application Submittal – Variance Request Letter

Per Site Plan Application Submittal Requirements, please see the list below of the architectural variances we are requesting for the Integrated Defense Products TM Project in Rockwall, TX approximately location at HWY 276 and Innovation Drive.

Variances:

1. Tilt Wall Building Type
 - a. Compensatory Measures:
 - i. Compensate Item F) Above and beyond 90% Masonry
 - ii. Compensate Item G) Above and beyond 20% Stone

Thank you for your time and consideration,

Thank you,

Alison Wuget

Design Build Project Manager

Links Construction, LLC

Phone (Office) 940-783-0920

Phone (Direct) 214-680-0583