



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: AIRPORT RD

SUBDIVISION: LANDING POINT ADDITION LOT 4 BLOCK A

GENERAL LOCATION: ON AIRPORT RD ACROSS FROM INDUSTRIAL BLVD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C - COMMERCIAL CURRENT USE: N/A

PROPOSED ZONING: N/A PROPOSED USE: OFFICE

ACREAGE: 0.47 AC LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Airport Road, LLC.</u>	<input checked="" type="checkbox"/> APPLICANT	<u>CARROLL ARCHITECTS</u>
CONTACT PERSON	<u>Kevin Lefere</u>	CONTACT PERSON	<u>JEFF CARROLL</u>
ADDRESS	<u>202 ENSK ST</u>	ADDRESS	<u>750 E. INTERSTATE 30</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Suite 110</u> <u>Rockwall, TX 75087</u>
PHONE	<u>469.628.9106</u>	PHONE	<u>214.632.1762</u>
E-MAIL	<u>KLefere@zanatas.com</u>	E-MAIL	<u>JC@CARROLLARCH.COM</u>

NOTARY VERIFICATION [REQUIRED]

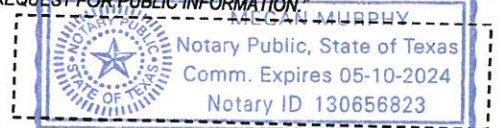
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Lefere [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ FEBRUARY, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF FEBRUARY, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

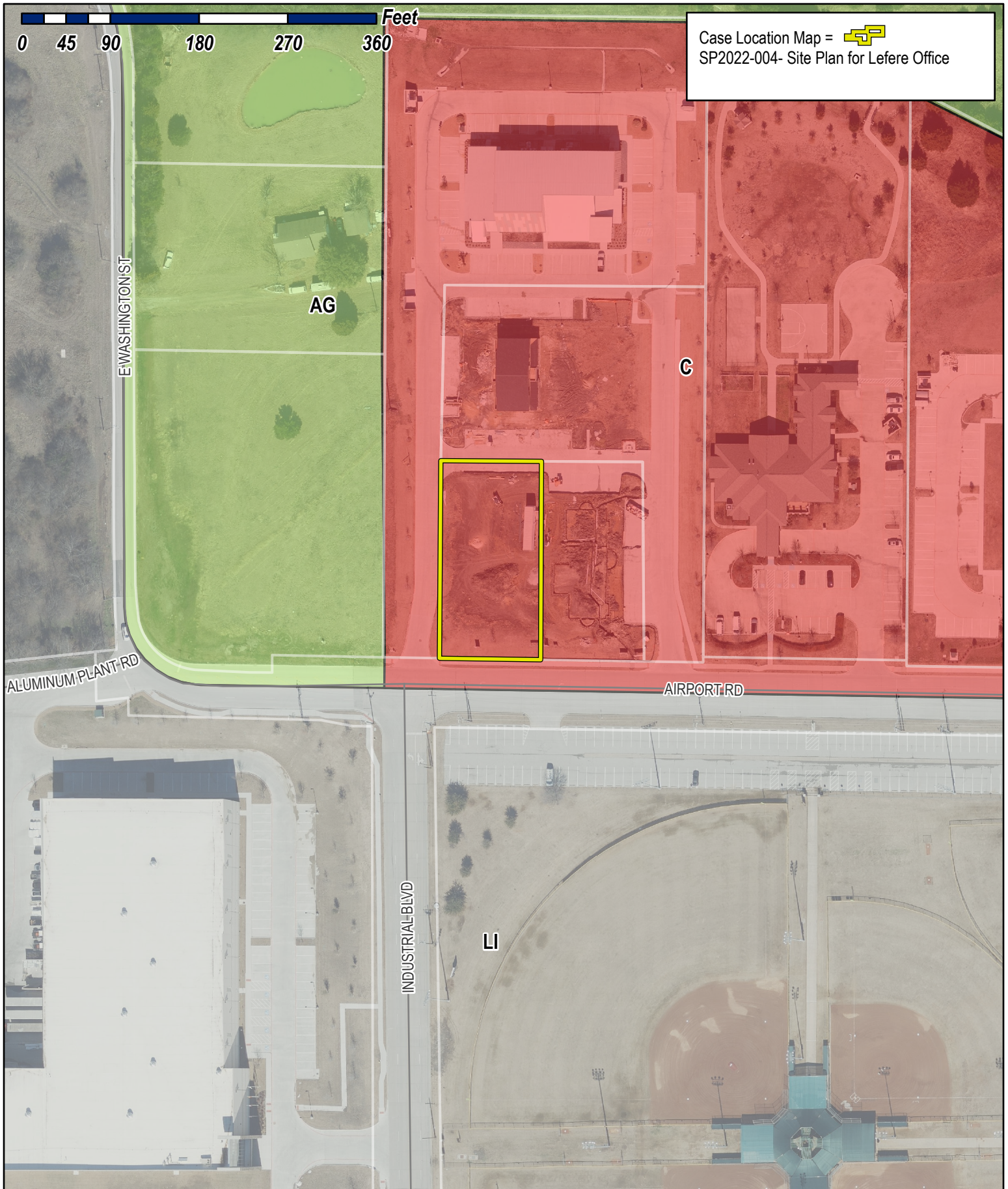
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF FEBRUARY, 2022


OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 5-10-2024



Case Location Map = 
 SP2022-004- Site Plan for Lefere Office

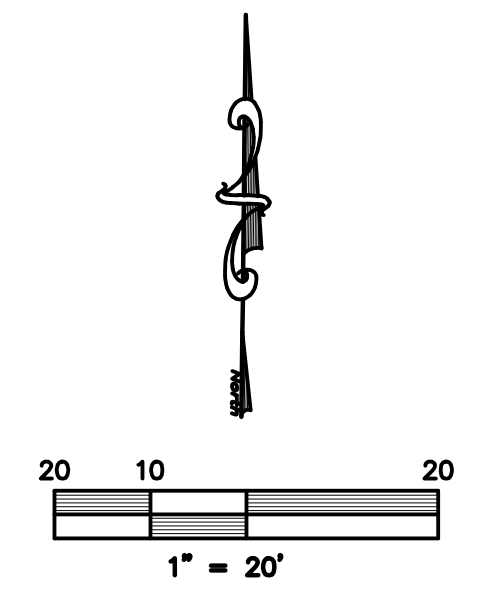
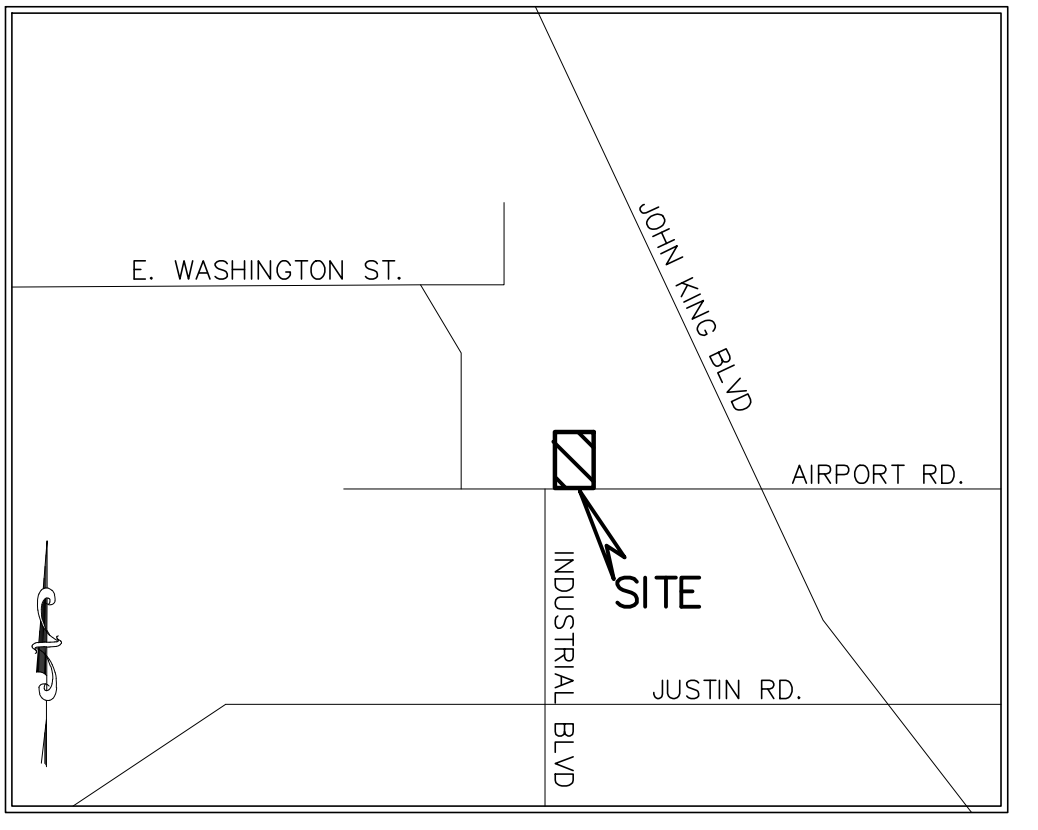


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA:

LOT AREA:
0.47 Acres, 20,655 sq.ft.
LOT COVERAGE:
37.6%
FLOOR TO AREA RATIO:
2.66:1
BUILDING AREA:
General Office: 7,766 sq.ft.
CONSTRUCTION TYPE:
IIB & LV
BUILDING HEIGHT:
1-Story
PROPOSED FUTURE USE:
General Office
IMPERVIOUS AREA
(including buildings):
13,803 sq.ft.
ZONING:
C
SHARED PARKING:
Required:
Office (1/300sf) = 25
Handicap = 1
Provided:
Standard = 19
Handicapped = 1
Total Provided = 20
LANDSCAPE AREA:
Required: (15%) 3,099 sq.ft.
Provided: 6,852 sq.ft.
FIRESPRINKLER:
Yes
* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP
NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊕ WM = EXISTING WATER METER
- ⊕ PP = EXISTING POWER POLE
- ⊕ LP = EXISTING LIGHT POLE
- ⊕ = EXISTING SS MANHOLE
- ⊕ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- Yes = EXIST FIRELANE
- No = PROPOSED PAVING

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- 2) ALL WORK SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:

- 1) FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" ON CENTER (O.C.) OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 2) DUMPSTER PAD TO BE 8" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER (O.C.)
- 3) ALL OTHER (NON-FIRELANE) PAVING CAN BE 5" THICK (SIDEWALK TO BE 4"), 3,600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 24" O.C. OVER 6" PREPARED SUBGRADE TO 95% STD. PROCTOR.
- 4) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF -2% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 5) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
- 6) NO SAND UNDER PAVING.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



REVISIONS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

PROJECT #: SP

SITE PLAN

LEFERE OFFICE

AIRPORT ROAD
LANDING POINT ADDITION
Lot 4, Blk A, 0.47 ACRES
City of Rockwall, Rockwall County, Texas 75087
owner
Kevin Leferé
Contact: 469-628-9106

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 876-8761

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PROJECT NO.: 2022-4 REG. NO.: F-2567

date: 2/9/22 scale: 1"=20' sheet: C101

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

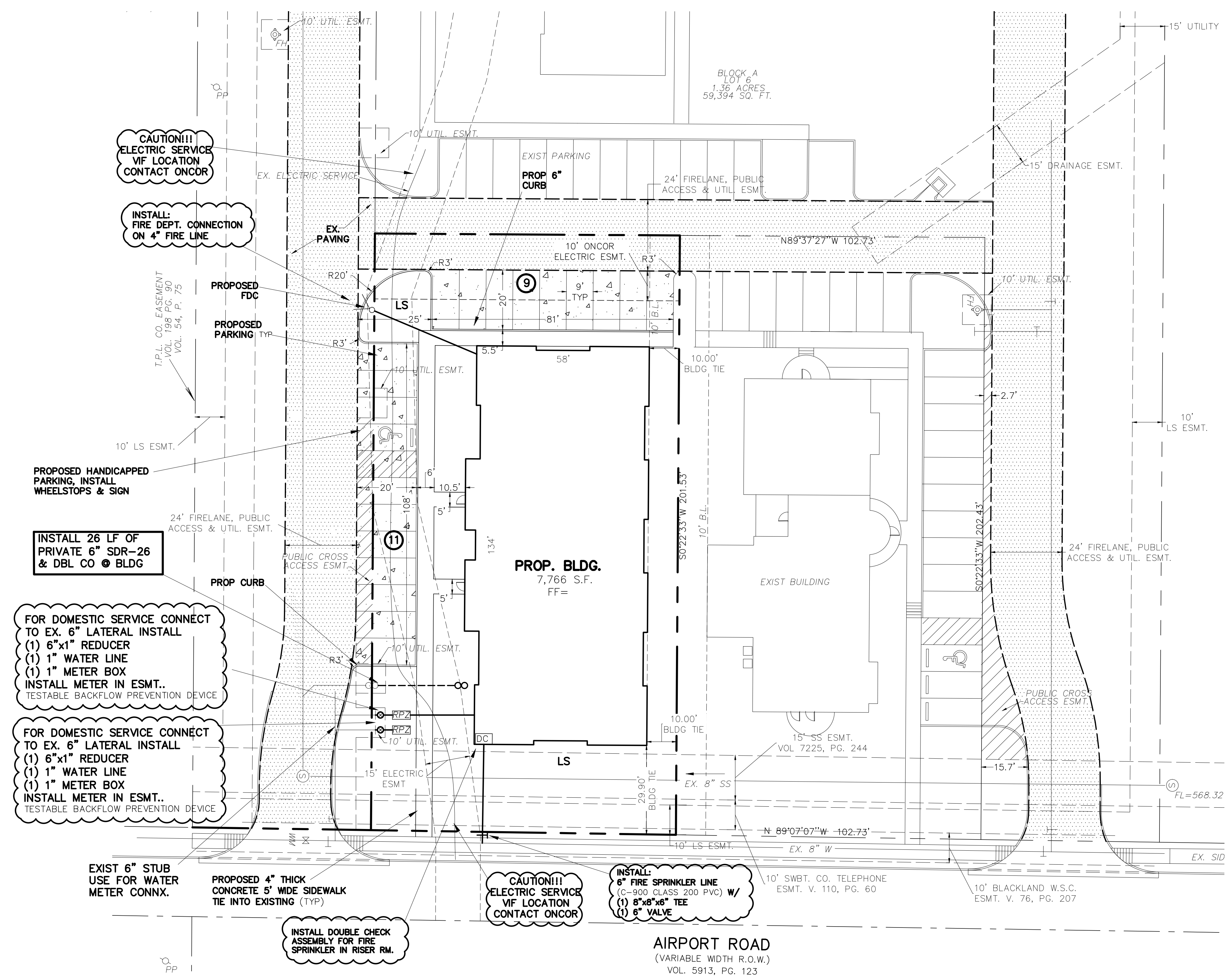
WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.

Offsite BM:
City of Rockwall control monument R016 located in the grass area between the parking lot and northwest corner of the City Services Center building.
Elev=558.72

Onsite BM:
X Cut on sidewalk along Airport Road at the SE corner of property.
Elev=577.17.



CAUTION!!!
ELECTRIC SERVICE
VIF LOCATION
CONTACT ONCOR

INSTALL:
FIRE DEPT. CONNECTION
ON 4" FIRE LINE

INSTALL 26 LF OF
PRIVATE 6" SDR-26
& DBL CO @ BLDG

FOR DOMESTIC SERVICE CONNECT
TO EX. 6" LATERAL INSTALL
(1) 6"x1" REDUCER
(1) 1" WATER LINE
(1) 1" METER BOX
INSTALL METER IN ESMT..
TESTABLE BACKFLOW PREVENTION DEVICE

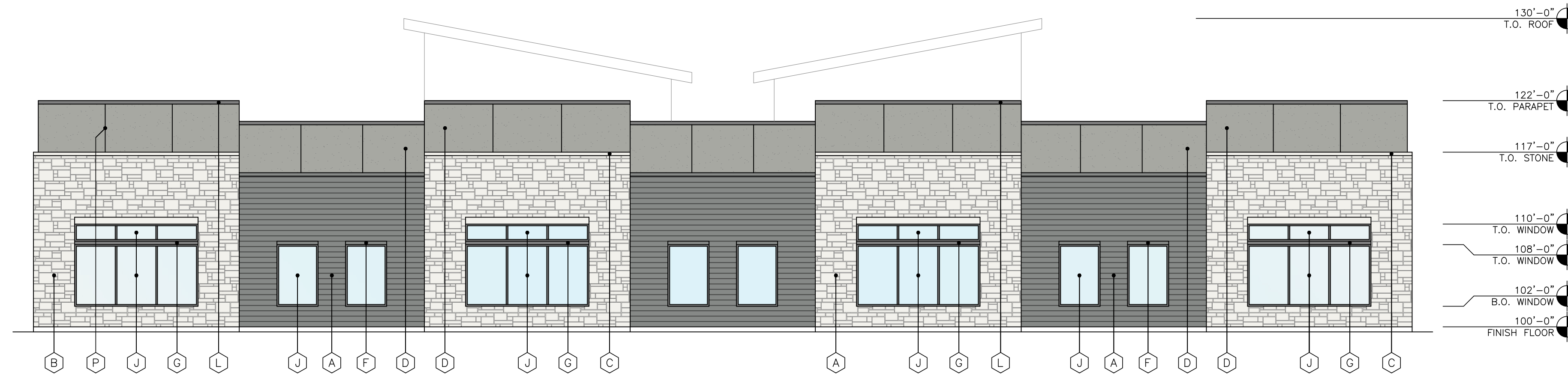
FOR DOMESTIC SERVICE CONNECT
TO EX. 6" LATERAL INSTALL
(1) 6"x1" REDUCER
(1) 1" WATER LINE
(1) 1" METER BOX
INSTALL METER IN ESMT..
TESTABLE BACKFLOW PREVENTION DEVICE

INSTALL DOUBLE CHECK
ASSEMBLY FOR FIRE
SPRINKLER IN RISER RM.

CAUTION!!!
ELECTRIC SERVICE
VIF LOCATION
CONTACT ONCOR

INSTALL:
6" FIRE SPRINKLER LINE
(0-900 CLASS 200 PVC) W/
(1) 8"x8"x6" TEE
(1) 8" VALVE

AIRPORT ROAD
(VARIABLE WIDTH R.O.W.)
VOL. 5913, PG. 123



3 EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



4 EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



1 EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	HARDBOARD SIDING & TRIM, STYLE: SELECT CEDARMILL, PRIME, SIZE: 8.25", COLOR - GRAY SLATE
B	STONE, ROUGH FACE, TUMBLED SQUARE EDGES, COLOR - BLANCO - ASHLER PATTERN
C	PRECAST CONCRETE, COLOR TO MATCH STONE
D	STUCCO W/ EIFS FINISH, TEXTURE - FINE, COLOR - SW 7066 GRAY MATTERS
E	STEEL AWNING, PAINT - SILVER
F	WOOD VENEER CAP, COLOR - GRAY SLATE
G	ALUMINUM AWNING, COLOR - ANODIZED ALUMINUM
H	STOREFRONT & DOORS, COLOR - ANODIZED ALUMINUM
J	EXTERIOR GLASS 1" INSULATED, LOW "E", COLOR - 10% TINTED, GRAY
K	STANDING SEAM METAL, MFG - BERRIDGE; CEE - LOCK, COLOR - CHARCOAL
L	PREFINISHED METAL COPING, COLOR - BLACK
M	EXTERIOR HOLLOW METAL DOOR, PAINTED, COLOR - DARK GREY
N	PREFINISHED ROOF GUTTER & DOWNSPOUT SYSTEM, COLOR - DARK GREY
P	STUCCO CONTROL JOINT/SCORE PATTERN
Q	DECORATIVE LIGHTING - EXTERIOR SCONCE, LIGHTING SELECTED BY OWNER

NOTE: ALL RTU'S ARE SCREENED BY PARAPET
NO VARIANCES/EXCEPTIONS ARE BEING REQUESTED

ISSUE:
CITY SUBMITTAL: 02-18-2022

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OFFICE @ AIRPORT ROAD
Airport Road - Lot 4 Block A
Rockwall, Texas 75087

KEVIN LEFERE
AIRPORT ROAD, LLC.
Rockwall, TX 75087

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

OFFICE @ AIRPORT ROAD
LEGAL DESCRIPTION AND/OR ADDRESS: OFFICE @ AIRPORT ROAD AIRPORT ROAD - LOT 4, BLOCK A CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS
OWNER Kevin Lefere Airport Road, LLC. Rockwall, TX 75087
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
CITY OF ROCKWALL CASE NUMBER: SP2022-XXX
SITE PLAN SIGNATURE BLOCK
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.
WITNESS OUR HANDS, this _____ day of _____.
Director of Planning & Zoning

EXTERIOR ELEVATIONS

DATE: _____ SHEET NO: _____
PROJECT NO: 2021063
DRAWN BY: _____
CHECKED BY: _____

A501



**STONE, ROUGH FACE
COLOR - BLANCO**



**HARDIE BOARD SIDING,
COLOR - GRAY SLATE**



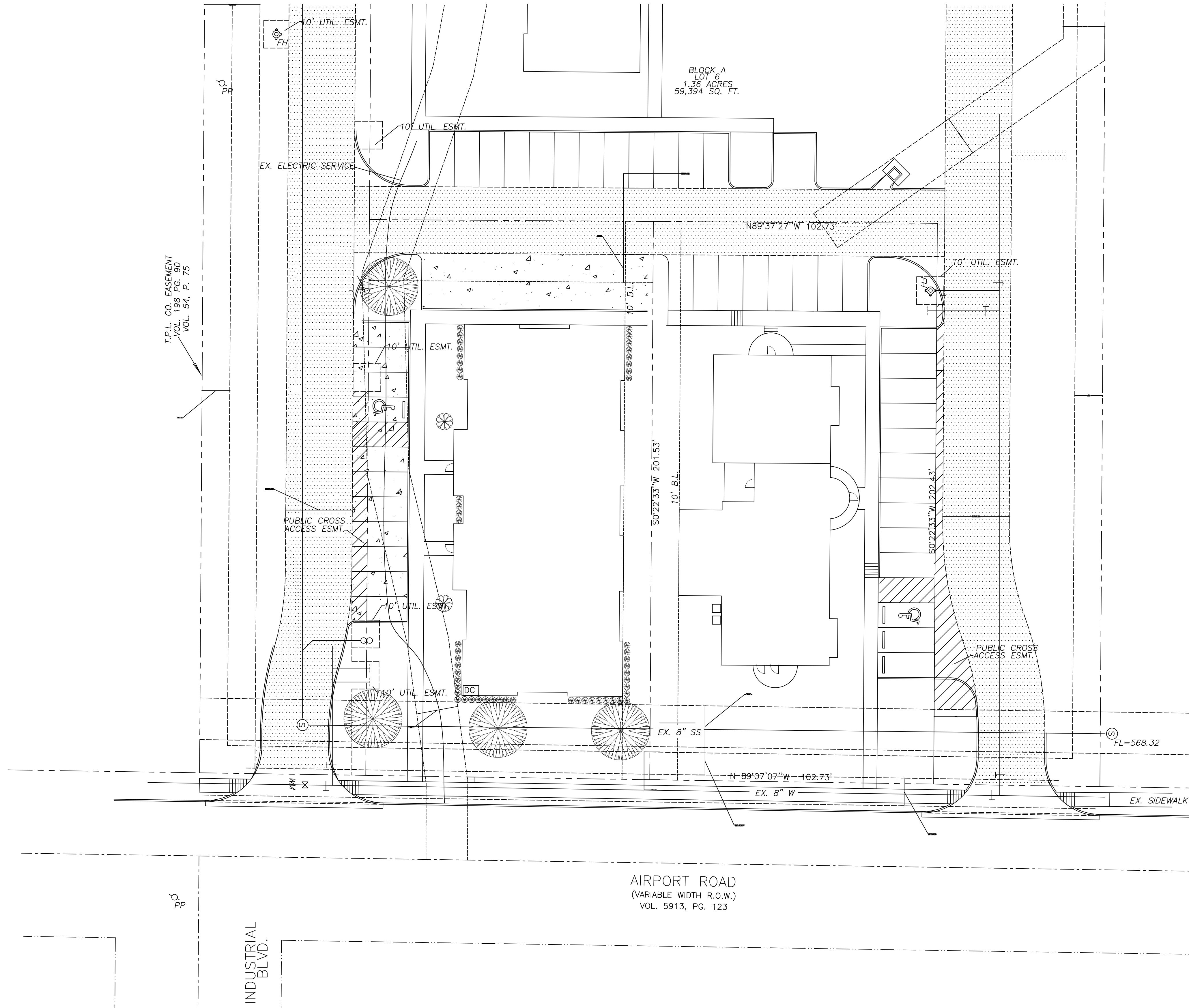
**STANDING SEAM METAL ROOF
COLOR - CHARCOAL**



**STUCCO W/ EIFS FINISH
COLOR - GRAY MATTERS**

**OFFICE @ AIRPORT ROAD
ROCKWALL, TEXAS**





SITE DATA TABLE	
SITE AREA	0.47 ACRES (20,655 S.F.)
ZONING	C
PROPOSED USE	GENERAL OFFICE
PROPOSED BUILDING AREA:	7,766 S.F.
LOT COVERAGE (GROSS AREA)	37.6%
FLOOR TO AREA RATIO	2.66 : 1
BUILDING HEIGHT MAX.	36'-0"

PARKING TABLE	
OFFICE PARKING (1/300)	25 SPACES W/ (1 ADA)
PARKING REQUIRED	25 SPACES W/ (1 ADA)
PARKING PROVIDED	20 SPACES W/ (1 ADA)

LANDSCAPE TABULATION	
NET AREA	0.47 ACRES (20,655 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 20,655 S.F.	3,099 S.F.
PROVIDED LANDSCAPE AREA- 33% OF 20,655 S.F.	6,852 S.F.
IMPERVIOUS COVERAGE- 67% OF 20,655 S.F.	13,803 S.F.

- NOTES:**
- Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.
 - No trees within 5' of public utilities less than 10'.
 - No trees within 10' of public utilities 10" or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	ACCENT TREE
	WINTER BOXWOOD (SHRUB) 5 GALLON • INSTALLATION

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
 - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT.
 - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
 - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
 - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE.

ISSUE: _____
 CITY SUBMITTAL: 02-18-2022

SOFTRIGHT NOTICE:
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OFFICE @ AIRPORT ROAD
 Airport Road - Lot 4 Block A
 Rockwall, Texas 75087

KEVIN LEFERE
 AIRPORT ROAD, LLC.
 Rockwall, TX 75087

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

LANDSCAPE PLAN

DATE: _____ SHEET NO.: _____
 PROJECT NO.: 2021063
 DRAWN BY: _____
 CHECKED BY: _____