

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY	1
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PLANNING & ZONING CASE NO.

P2022-0076

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

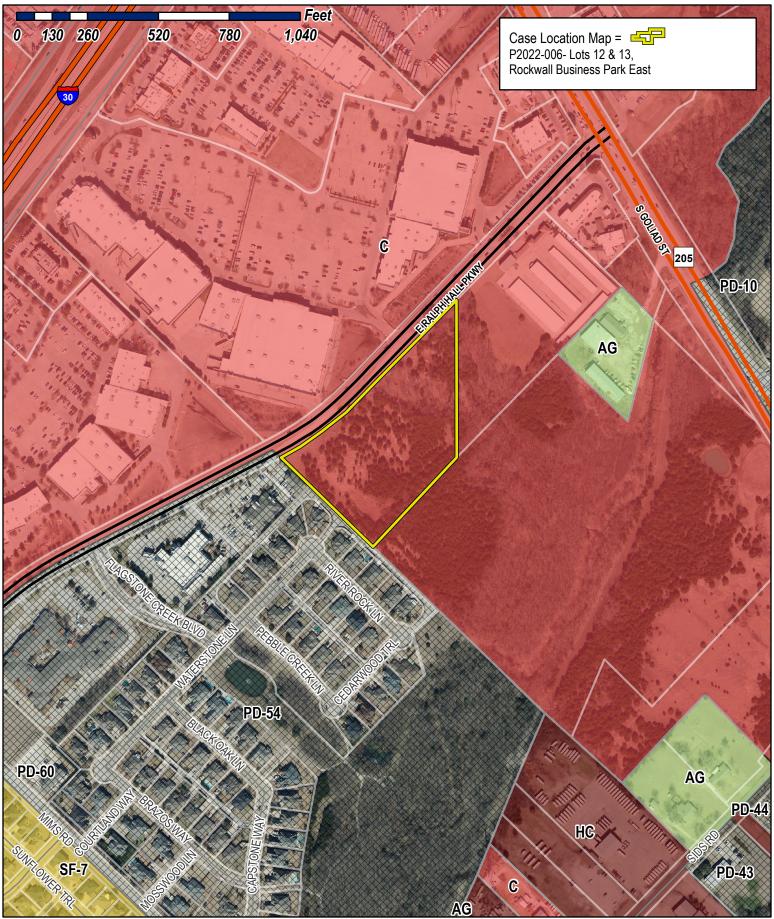
DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE A	APPROPRIATE BOX BELOW TO INDICATE THE	TYPE OF DEVELOPMENT RE	QUEST [SELECT ONLY ONE BOX	(<u>]</u> :
☐ PRELIMINARY F ☐ FINAL PLAT (\$30.0 ☐ AMENDING OR ☐ PLAT REINSTAT SITE PLAN APPLIC ☐ SITE PLAN (\$25	\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 D0.00 + \$20.00 ACRE) 1 0 + \$20.00 ACRE) 1 MINOR PLAT (\$150.00) "EMENT REQUEST (\$100.00)	☐ SPECIFIC US ☐ PD DEVELOI OTHER APPLIC ☐ TREE REMO ☐ VARIANCE F NOTES: 1: IN DETERMINING 1 PER ACRE AMOUNT. 2: A \$1,000.00 FEE	ANGE (\$200.00 + \$15.00 ACRE) ¹ SE PERMIT (\$200.00 + \$15.00 AC PMENT PLANS (\$200.00 + \$15.00 CATION FEES:	ACRE) 1 6 (\$100.00) 2 SE WHEN MULTIPLYING BY THE I., ROUND UP TO ONE (1) ACRE. EE FOR ANY REQUEST THAT
PROPERTY INFO	DRMATION [PLEASE PRINT]			
ADDRESS		wy, Rockwall, TX 75032		
SUBDIVISION			LOT 5A & 5B	BLOCK
GENERAL LOCATION	Rockwall Business Park East, 6.28	O acres situated in J.D. N	лсFarland Survey~ Abstra	ct 145, Rockwall Coun
ZONING SITE PI	_AN AND PLATTING INFORMATION	N (P) FASE PRINT)		
CURRENT ZONING			Commercial	
PROPOSED ZONING	G C	PROPOSED USE	Commercial/ Retail	
		URRENT] 5	LOTS [PROPOSED]	5A & 5B
REGARD TO ITS RESULT IN THE D	D PLATS: BY CHECKING THIS BOX YOU ACKNOW APPROVAL PROCESS, AND FAILURE TO ADDRESS DENIAL OF YOUR CASE. ANT/AGENT INFORMATION [PLEASE	ANY OF STAFF'S COMMENTS B	Y THE DATE PROVIDED ON THE DE	VELOPMENT CALENDAR WILL
☐ OWNER	Buffalo Country Properties LLC	✓ APPLICANT	SRC Land Building and R	Real Estate LLC
CONTACT PERSON	Rajesh Malviya	CONTACT PERSON	Dnyanada Nevgi	
ADDRESS	5909 Beth Dr	ADDRESS	811 S Central Expresswa	ay, Suite 306
CITY, STATE & ZIP	Plano, TX 75093	CITY, STATE & ZIP	Richardson, TX 75080	
PHONE	(214) 454-6944	PHONE	214-396-3737	
E-MAIL	nrmalviya@yahoo.com	E-MAIL	pm@srclandbuilding.co	om
BEFORE ME, THE UNDE STATED THE INFORMAT "I HEREBY CERTIFY THAT \$ 425.6 INFORMATION CONTAIN SUBMITTED IN CONJUNC	ED WITHIN THIS APPLICATION TO THE PUBLIC. THE TION WITH THIS APPLICATION, IF SUCH REPRODUCTION.	IFIED THE FOLLOWING: CATION; ALL INFORMATION SUBMI CATION, HAS BEEN PAID TO THE CI' ON, I AGREE THAT THE CITY OF R HE CITY IS ALSO AUTHORIZED AI ON IS ASSOCIATED OR IN RESPONS	TTED HEREIN IS TRUE AND CORRECT TY OF ROCKWALL ON THIS THE OCKWALL (I.E. THE) IS AUTHORIZE ND PERMITTED TO BE TRUE IN FOR SE TO A REQUEST TO BE TO SERVED.	DAY OF CONTROL OF TEXAS
GIVEN UNDER MY HANL	O AND SEAL OF OFFICE ON THIS THE 16 DAY O		8 COPY	ly Comm. Exp. 09-15-24 Notary ID # 12609564-2

MY COMMISSION EXPIRES

9.15.2024

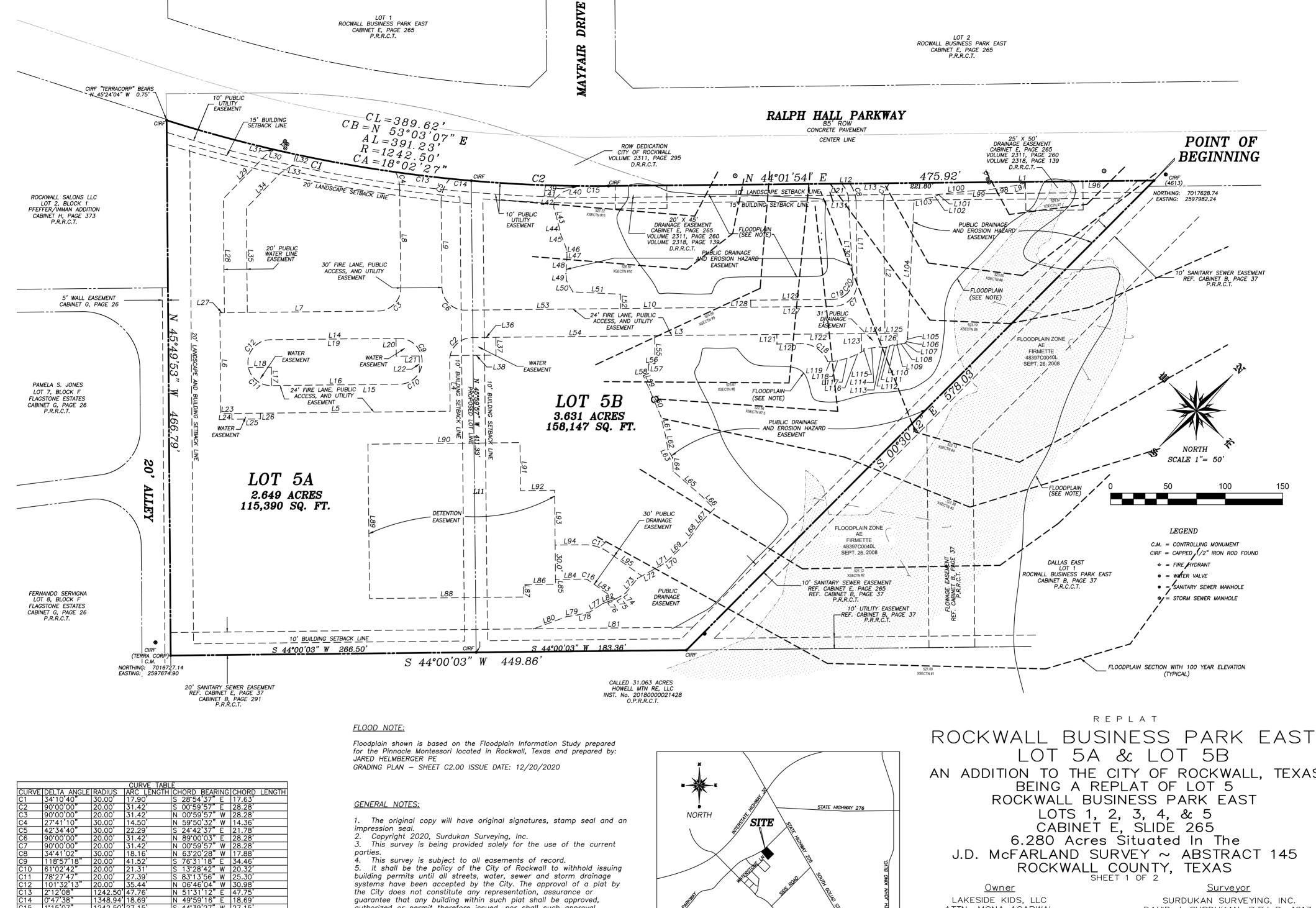




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





N 51°31'12" E 47.7 N 49°59'16" E 18.6

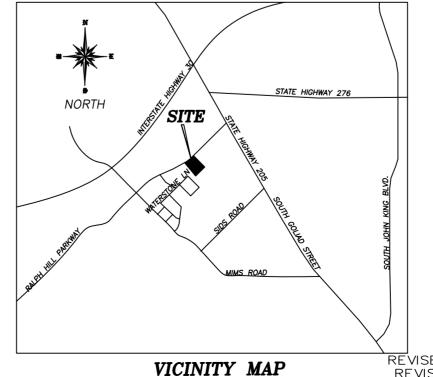
1242.50' 2 5.00' 3.

N 49'59'16" E 18.69 S 44'39'27" W 27.15' S 61'57'51" W 3.08' N 61'57'51" E 21.59' S 77'55'46" W 28.28' N 25'09'13" E 15.58' N 18'04'26" W 11.11' N 70'39'48" W 13.97'

4. This survey is subject to all easements of record.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54. 6. The basis of bearings, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System,

Nad83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, Vertical

position are referenced to NAVD88 using (GEIOD03).



AN ADDITION TO THE CITY OF ROCKWALL, TEXAS

ROCKWALL COUNTY, TEXAS

<u>Owner</u> LAKESIDE KIDS, LLC ATTN: MONA AGARWAL 5909 BETH DRIVE PLANO, TEXAS 75093 TELEPHONE 423 943-1203

<u>Surveyor</u> SURDUKAN SURVEYING, INC. DAVID J. SURDUKAN, R.P.L.S. 4613 P.O. BOX 126 ANNA. TEXAS 75409 TELEPHONE 972 924-8200

REVISED FEBRUARY 14, 2022 REVISED OCTOBER 18, 2021 REVISED AUGUST 17, 2021 JUNE 24, 2020

Job No. 2020-03

CASE NO .:

OWNERS' CERTIFICATE

STATE OF TEXAS) COUNTY OF ROCKWALL)

WHEREAS, Lakeside Kids, LLC being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being all of Lot 5 of ROCKWALL BUSINESS PARK EAST, LOTS 1, 2, 3, 4, & 5, an Addition to the City of Rockwall, Rockwall County, Texas according to the Map or Plat thereof recorded in Cabinet E, Page 265 of the Plat Records of Rockwall County, Texas and more particularly described in metes and bounds as follows;

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner at the north corner of said Lot 5, said corner also being the west corner of Lot 1, Rockwall Business Park East, an addition to the City of Rockwall, as recorded in Cabinet B, Page 37 of the Plat Records of Rockwall County, Texas, said iron rod being in the southeast right-of-way of Ralph Hall Parkway, an 85' right-of-way;

THENCE S 00°30'42" E a distance of 578.03' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner; THENCE S 44°00'03" W a distance of 449.86' to a 1/2" iron rod with plastic cap stamped "TERRA CORP" found for corner in the east line of Block F of the Flagstone Estate an addition to the City of Rockwall and recorded in Cabinet G, Page 26 of the Plat Records of Rockwall County, Texas;

THENCE N 45°49'53" W a distance of 466.79' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for the northeast corner of Lot 2, Block 1 of the Pfeffer/Inman Addition an addition to the City of Rockwall and recorded in Cabinet H, Page 373 of the Plat Records of Rockwall County, Texas, and said iron rod being in the southeast right-of-way of Ralph Hall Parkway at the beginning of a non-tangent curve to the left;

THENCE along said curve to the left following the southeast right—of—way of Ralph Hall Parkway through a central angle of 18°02'27", a radius of 1242.50', an arc length of 391.23', with a chord bearing of N 46°47'39" E, and a chord length of 389.62' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner;

THENCE N 44°01'54" E continuing with the southeast right—of—way of Ralph Hall Parkway a distance of 475.92' to the POINT OF BEGINNING and containing 273,537 Square Feet or 6.280 Acres of land.

OWNERS' DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

| LINE | BEARING | LANGE | LAN

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the replat of ROCKWALL BUSINESS PARK EAST, LOT 5A & LOT 5B to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the ROCKWALL BUSINESS PARK EAST, LOT 5A & LOT 5B subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- 7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention
- I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

LAKESIDE KIDS, LLC

Mona Agarwal Managing Partner

STATE OF TEXAS

Before me, the undersigned Notary Public for the State of Texas, on this day personally appeared Mona Agarwal, a Managing Partner of Lakeside Kids, LLC, known to me to be the person whose name is subscribed to the forgoing instrument and acknowleded to me that Mona Agarwal executed the same for the purpose and considerations therein expressed and in the capacity stated.

Given under my hand and seal of the office this the ___ day of _____, 2021,

Notary Public, State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

CITY OF ROCKWALL'S CERTIFICATE

WITNESS OUR HANDS, this _____ day of ____

Mayor, City of Rockwall

That I, David J. Surdukan, a Registered Professional Land Surveyor, licensed by the State of Texas. affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying.

David J. Surdukan	Date
R.P.L.S. 4613	

		
Planning & Zoning Commission, Chairman	Date	
APPROVED:		
I hereby certify that the above and foregoing pla Council of the City of Rockwall on the day	t of an addition to the City of Rockwall, Texas, was approved by the of, 2021.	Ci
This approval shall be invalid unless the approved Rockwall, County, Texas, within one hundred eight	plat for such addition is recorded in the office of the County Clerk of the County Clerk of (180) days from said date of final approval.	of

City Secretary

REPLAT

City Engineer

ROCKWALL BUSINESS PARK EAST LOT 5A & LOT 5B

AN ADDITION TO THE CITY OF ROCKWALL, TEXAS BEING A REPLAT OF LOT 5 ROCKWALL BUSINESS PARK EAST LOTS 1, 2, 3, 4, & 5

CABINET E, SLIDE 265 6.280 Acres Situated In The J.D. McFARLAND SURVEY ~ ABSTRACT 145 ROCKWALL COUNTY, TEXAS

Surveyor

SURDUKAN SURVEYING, INC. DAVID J. SURDUKAN, R.P.L.S. 4613 P.O. BOX 126 ANNA, TEXAS 75409 TELEPHONE 972 924-8200

REVISED FEBRUARY 14, 2022 REVISED OCTOBER 18, 2021 REVISED AUGUST 17, 2021 JUNE 24, 2020

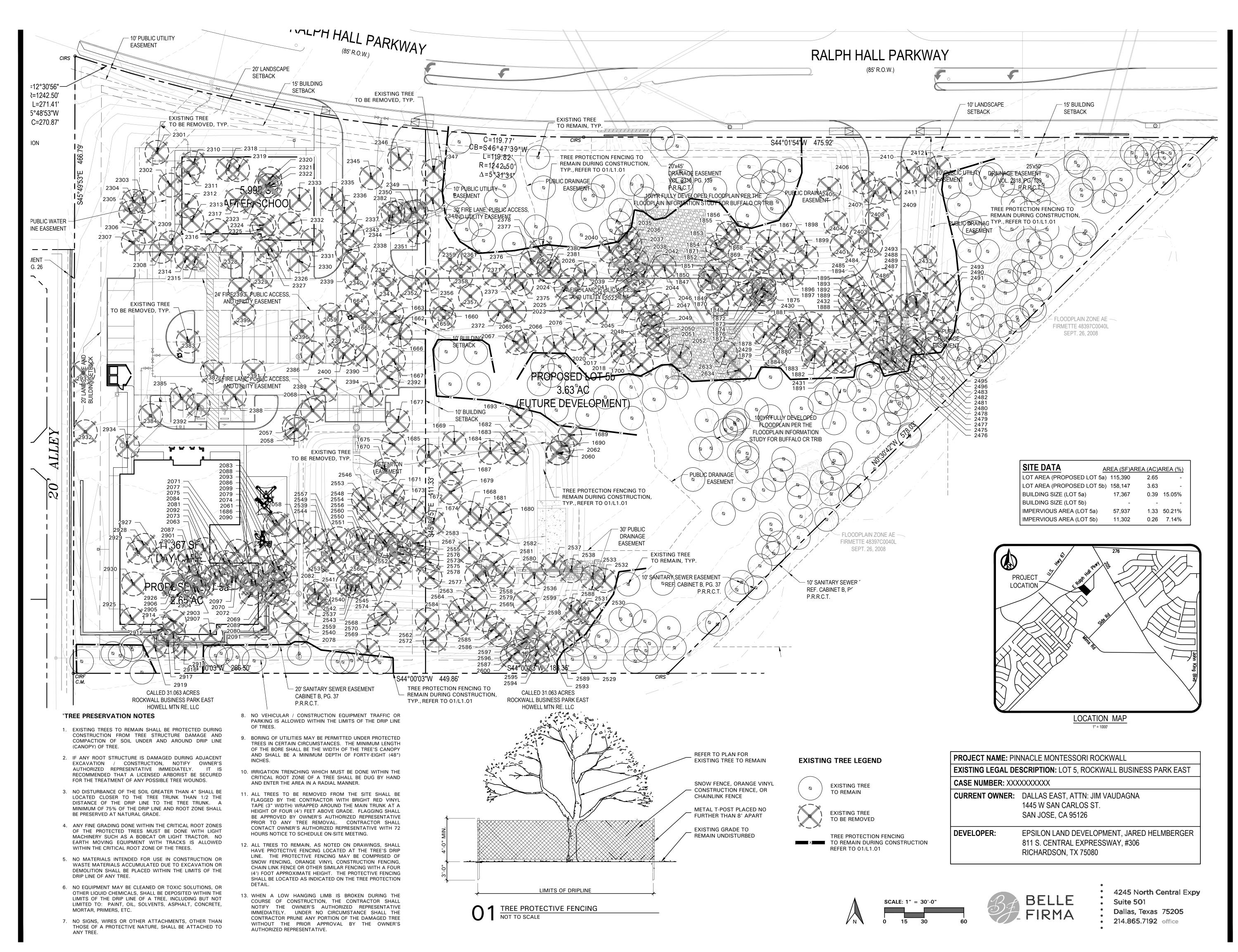
<u>Owner</u>

LAKESIDE KIDS, LLC

ATTN: MONA AGARWAL 5909 BETH DRIVE

PLANO, TEXAS 75093

TELEPHONE 423 943-1203



OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWA SUITE 306

RICHARDSON, TX 75080

TBPE FIRM NO. F-20145 **REVISIONS**

DATE COMMENTS 1 05.06.20 City Comments City Comments 2 10.13.20 City Comments 4 12.06.21 City Comments



OWNER INFORMATION

PROJECT INFORMATION

PRESERVATION PLAN

SHEET NUMBER

No.	Dia.	Species	Status	Mitigation
1659	(inches)	(common name) Cedar	TO BE REMOVED	(inches)
1660	8	Cedar	TO BE REMOVED	
1661 1662	18 6	Cedar Cedar	TO REMAIN TO BE REMOVED	
1663	6	Cedar	TO BE REMOVED	
1664	6	Cedar	TO BE REMOVED	
1665 1666	6	Cedar Cedar	TO BE REMOVED	
1667	6	Cedar	TO BE REMOVED	
1668	6	Cedar	TO BE REMOVED	
1669 1670	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
1671	8	Cedar	TO BE REMOVED	
1672	6	Cedar	TO BE REMOVED	
1673 1674	6	Cedar Cedar	TO BE REMOVED	
1675	12	Cedar	TO BE REMOVED	6
1676	8	Cedar	TO REMAIN	
1677 1678	12 6	Cedar Cedar	TO BE REMOVED TO REMAIN	6
1679	6	Cedar	TO BE REMOVED	
1680	6	Cedar	TO BE REMOVED	
1681 1682	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
1683	6	Cedar	TO BE REMOVED	
1684	6	Cedar	TO BE REMOVED	
1685 1686	12 6	Cedar Cedar	TO BE REMOVED TO REMAIN	6
1687	10	Cedar	TO BE REMOVED	
1688	6	Cedar	TO REMAIN	
1689 1690	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
1691	6	Cedar	TO REMAIN	
1692	6	Cedar	TO REMAIN	_
1693 1694	14 10	Cedar Cedar	TO BE REMOVED TO REMAIN	7
1695	8	Cedar	TO REMAIN	
1695	6	Cedar	TO REMAIN	
1696 1697	6 16	Cedar Cedar	TO REMAIN TO REMAIN	
1698	6	Cedar	TO REMAIN	
1699	6	Cedar	TO REMAIN	^
1700 1838	18 12	Cedar Hackberry	TO BE REMOVED TO REMAIN	9
1839	12	Hackberry	TO REMAIN	
1840	8	Green Ash	TO REMAIN	
1841 1842	10 10	Hackberry Hackberry	TO REMAIN TO REMAIN	
1843	12	Gulf Black Willow	TO REMAIN	
1844 1845	10 10	Gulf Black Willow Cottonwood	TO REMAIN TO REMAIN	
1846	6	Green Ash	TO REMAIN	
1847	6	Cottonwood	TO REMAIN	
1848 1849	6 12	Hackberry Hackberry	TO BE REMOVED TO BE REMOVED	DECLINE 6
1850	8	Hackberry	TO BE REMOVED	DECLINE
1851	6	Green Ash	TO BE REMOVED	6
1852 1853	6	American Elm Hackberry	TO BE REMOVED TO BE REMOVED	6
1854	12	Hackberry	TO BE REMOVED	6
855	8	Hackberry	TO BE REMOVED	DECLINE
1856 1857	6 12	Hackberry Hackberry	TO BE REMOVED TO REMAIN	DECLINE
1858	12	Cedar Elm	TO REMAIN	
1859	6	Hackberry	TO REMAIN	
1860 1861	10	Hackberry American Elm	TO REMAIN TO REMAIN	
1862	8	Cedar Elm	TO REMAIN	
1863	8	Cedar	TO REMAIN	
1864 1865	10 6	American Elm Hackberry	TO REMAIN TO REMAIN	
1866	6	Hackberry	TO REMAIN	
1867 1868	10 8	Cottonwood Hackberry	TO BE REMOVED TO BE REMOVED	DECLINE
1869	6	Hackberry	TO BE REMOVED	DECLINE
1870	6	Hackberry	TO BE REMOVED	
1871 1872	10 6	Hackberry Hackberry	TO BE REMOVED TO BE REMOVED	
1873	10	American Elm	TO BE REMOVED	10
1874	8	Hackberry	TO BE REMOVED	
1875 1876	6 8	Hackberry Cedar	TO BE REMOVED TO BE REMOVED	
1877	6	Hackberry	TO BE REMOVED	
1878	6	Cedar	TO BE REMOVED	
1879 1880	8	Hackberry Hackberry	TO BE REMOVED TO BE REMOVED	
1881	8	Hackberry	TO BE REMOVED	
1882	6	Hackberry	TO BE REMOVED	
1883 1884	6	Hackberry Hackberry	TO BE REMOVED TO BE REMOVED	
1885	12	Cedar	TO REMAIN	
1886	10 12	Cedar	TO REMAIN	
1887 1888	12 8	Cedar American Elm	TO REMAIN TO BE REMOVED	8
1889	8	Cedar	TO BE REMOVED	-
1890 1891	12 6	Cedar Hackberry	TO REMAIN TO BE REMOVED	
1891	8	Hackberry Cedar	TO BE REMOVED	
1893	6	Cedar	TO BE REMOVED	
1894 1895	10 6	Green Ash Cedar	TO BE REMOVED TO BE REMOVED	10
1896	22	Cottonwood	TO BE REMOVED	
1897	8	Hackberry	TO BE REMOVED	
1898 1899	12 10	Cedar Cedar	TO BE REMOVED TO BE REMOVED	6
2017	6	Cedar	TO BE REMOVED	
2018	6	Cedar	TO BE REMOVED	
2020 2022	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	7
2022	10	Cedar	TO BE REMOVED	I.
2024	6	Cedar	TO BE REMOVED	
2025 2026	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2026	24	Cedar	TO REMAIN	
2028	6	Cedar	TO REMAIN	
2029	10 6	Cedar Cedar	TO REMAIN	
2030 2031	6 8	Cedar Cedar	TO REMAIN TO REMAIN	
2032	10	Cedar	TO REMAIN	
2033	20 6	Cedar Cedar	TO REMAIN TO REMAIN	
Σ Π3Λ	O	Cedar		
2034 2035	6	Cedar	TO BE REMOVED	

2038	6	Cedar	TO BE REMOVED	
2038	6	Cedar	TO BE REMOVED	
2040	6	Cedar	TO BE REMOVED	
2041	6	Cedar	TO BE REMOVED	
2042	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2044	6	Cedar	TO BE REMOVED	
2045	6	Cedar	TO BE REMOVED	
2046 2047	10 6	American Elm Cedar	TO BE REMOVED TO BE REMOVED	10
2047	12	Green Ash	TO BE REMOVED	12
2049	8	Cedar	TO BE REMOVED	
2050	10	Green Ash	TO BE REMOVED	10
2051 2052	10 6	Pecan Cedar	TO BE REMOVED TO BE REMOVED	
2053	10	Cedar	TO REMAIN	
2054	6	Cedar	TO REMAIN	
2055 2056	10 6	Cedar Cedar	TO REMAIN TO REMAIN	
2057	6	Cedar	TO BE REMOVED	
2058	6	Cedar	TO BE REMOVED	
2059	6	Cedar	TO BE REMOVED	
2060 2061	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2062	6	Cedar	TO BE REMOVED	
2063	6	Cedar	TO BE REMOVED	
2064 2065	10 6	Cottonwood Cedar	TO REMAIN TO BE REMOVED	
2066	8	Cedar	TO BE REMOVED	
2067	6	Cedar	TO BE REMOVED	
2068	6	Cedar	TO BE REMOVED	
2069 2070	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2071	6	Cedar	TO BE REMOVED	
2072	6	Cedar	TO BE REMOVED	
2073	6	Cedar	TO BE REMOVED	
2074 2075	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2076	10	Cedar	TO BE REMOVED	
2077	6	Cedar	TO BE REMOVED	7
2078 2079	14 6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	7
2079	6	Cedar	TO BE REMOVED	
2081	6	Cedar	TO BE REMOVED	
2082	6	Cedar	TO BE REMOVED	
2083 2084	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2085	8	Cedar	TO REMAIN	
2086	6	Cedar	TO BE REMOVED	
2087 2088	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2089	6	Cedar	TO BE REMOVED	
2090	6	Cedar	TO BE REMOVED	
2091	6	Cedar	TO BE REMOVED	•
2092 2093	16 6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	8
2095	6	Cedar	TO REMAIN	
2096	16	Cedar	TO REMAIN	
2097	6	Cedar	TO BE REMOVED	
2098 2099	6	Cedar Cedar	TO REMAIN TO BE REMOVED	
2301	10	Cedar	TO BE REMOVED	
2302	8	Cedar	TO BE REMOVED	
2303 2304	8	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2305	6	Cedar	TO BE REMOVED	
2306	6	Cedar	TO BE REMOVED	
2307	6	Cedar	TO BE REMOVED	
2308 2309	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2310	10	Cedar	TO BE REMOVED	
2311	6	Cedar	TO BE REMOVED	
2312 2313	8 6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2314	6	Cedar	TO BE REMOVED	
2315	6	Cedar	TO BE REMOVED	
2316	10	Cedar	TO BE REMOVED	
2317 2318	10 6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2319	8	Cedar	TO BE REMOVED	
2320	6	Cedar	TO BE REMOVED	
2321 2322	10 6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2322	10	Cedar	TO BE REMOVED	
2324	12	Cedar	TO BE REMOVED	6
2325	6	Cedar	TO BE REMOVED	
2326 2327	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2328	12	Cedar	TO BE REMOVED	6
2329	6	Cedar	TO BE REMOVED	
2330 2331	8	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2331	22	Cedar	TO BE REMOVED	11
2333	6	Cedar	TO BE REMOVED	
2335	8	Cedar	TO BE REMOVED	
2336 2337	6 8	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2338	6	Cedar	TO BE REMOVED	
2339	12	Cedar	TO BE REMOVED	6
2340 2341	10 6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2342	6	Cedar	TO BE REMOVED	
2343	6	Cedar	TO BE REMOVED	
2344	6	Cedar	TO BE REMOVED	
2345 2346	10 12	Cedar Cedar	TO BE REMOVED TO BE REMOVED	6
2347	14	Cedar	TO BE REMOVED	7
2348	8	Cedar	TO BE REMOVED	-
2349 2350	12 6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	6
2350	12	Cedar Cedar	TO BE REMOVED	6
2352	18	Cedar	TO BE REMOVED	9
2353	14	Cedar	TO BE REMOVED	7
2354 2355	12 14	Cedar Cedar	TO BE REMOVED TO REMAIN	6
2300	14 16	Cedar	TO REMAIN TO REMAIN	
2356	8	Cedar	TO BE REMOVED	
	8	Cedar	TO BE REMOVED	
2356 2357 2358	_		TO BE REMOVED	
2356 2357 2358 2359	8	Cedar Cedar	TO BE REMOVED	
2356 2357 2358	8 8 8	Cedar Cedar Cedar	TO BE REMOVED TO REMAIN	
2356 2357 2358 2359 2360	8	Cedar		
2356 2357 2358 2359 2360 2361 2362 2363	8 8 6 6	Cedar Cedar Cedar Cedar	TO REMAIN TO BE REMOVED TO REMAIN	
2356 2357 2358 2359 2360 2361 2362	8 8 6	Cedar Cedar Cedar	TO REMAIN TO BE REMOVED	

2368	8	Cedar	TO REMAIN	
2369	16	Cedar	TO REMAIN	
2370 2371	8 6	Cedar Cedar	TO REMAIN TO REMAIN	
2372	8	Cedar	TO BE REMOVED	
2373	6	Cedar	TO BE REMOVED	
2375	10	Cedar	TO BE REMOVED	9
2376 2377	18 10	Cedar Cedar	TO BE REMOVED	3
2378	6	Cedar	TO BE REMOVED	
2379	6	Cedar	TO REMAIN	
2380 2381	6	Cedar Cedar	TO BE REMOVED	
2382	6	Cedar	TO BE REMOVED	
2383	6	Cedar	TO BE REMOVED	
2384	6	Cedar	TO BE REMOVED	
2385	6	Cedar	TO BE REMOVED	
2386 2387	6	Cedar Cedar	TO BE REMOVED	
2388	8	Cedar	TO BE REMOVED	
2389	6	Cedar	TO BE REMOVED	
2390	6	Cedar	TO BE REMOVED	
2391 2392	6	Cedar Cedar	TO BE REMOVED	
2393	6	Cedar	TO BE REMOVED	
2394	8	Cedar	TO BE REMOVED	
2396 2397	6	Cedar Cedar	TO BE REMOVED	
2399	6	Cedar	TO BE REMOVED	
2400	6	Cedar	TO BE REMOVED	
2401	12	Cedar	TO BE REMOVED	6
2402	6	Cedar	TO BE REMOVED	
2403 2404	8	Cedar Cedar	TO BE REMOVED	
2404	18	Cedar	TO BE REMOVED	9
2406	6	Cedar	TO BE REMOVED	
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2410	10	Cedar	TO BE REMOVED	
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2412	12	Cedar	TO BE REMOVED	6
2413 2414	8	Cedar Cedar	TO REMAIN TO REMAIN	
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2425	16	Cedar	TO REMAIN	
2426	14	Cedar	TO REMAIN	
2427 2428	8 10	Cedar Cedar	TO REMAIN TO REMAIN	
2428	10	Hackberry	TO REMAIN	
2430	8	Hackberry	TO REMAIN	
2431	10	Hackberry	TO BE REMOVED	
2432	14	American Elm	TO REMAIN TO BE REMOVED	DECLINE
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2436	8	Cedar	TO REMAIN	
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2543	12	Cedar	TO BE REMOVED	6
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2545 2546	10	Cedar Cedar	TO BE REMOVED	
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2558 2559	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED	
2560	8	Cedar	TO BE REMOVED	
2562	12	Cedar	TO BE REMOVED	6
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2567	8	Cedar	TO BE REMOVED	
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2578	6	Cedar	TO BE REMOVED	0
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2584	12	Cedar	TO BE REMOVED	6
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2587	8	Cedar	TO BE REMOVED	
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2562	12	Cedar	TO BE REMOVED	6
2563	14	Cedar	TO BE REMOVED	7
2564	6	Cedar	TO BE REMOVED	
2565	12	Cedar	TO BE REMOVED	6
2566	10	Cedar	TO BE REMOVED	
2567	8	Cedar	TO BE REMOVED	
2568	12	Cedar	TO BE REMOVED	6
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2571	6	Cedar	TO REMAIN	
2572	12	Cedar	TO BE REMOVED	6
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2577	12	Cedar	TO BE REMOVED	6
2578	6	Cedar	TO BE REMOVED	
2579	14	Cedar	TO BE REMOVED	7
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2618	8	Cedar	TO REMAIN	
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	Cedar Cedar	TO REMAIN TO REMAIN		2639	8	Cedar	TO REMAIN
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	Cedar Cedar	TO BE REMOVED TO BE REMOVED		2680	12	Cedar	TO REMAIN
	Cedar	TO BE REMOVED		2681	10	Cedar	TO REMAIN
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i	Cedar	TO BE REMOVED		2695	8	Cedar	TO REMAIN
} }	Cedar Cedar	TO BE REMOVED TO BE REMOVED		2696	6	Cedar	TO REMAIN
) }	Cedar	TO BE REMOVED		2697	6	Cedar	TO REMAIN
2	Cedar	TO BE REMOVED	6	2698 2699	6	Cedar Cedar	TO REMAIN TO REMAIN
4	Cedar Cedar	TO BE REMOVED TO BE REMOVED	7	2700	8	Cedar	TO REMAIN
0	Cedar	TO BE REMOVED		2901	6	Cedar	TO BE REMOVED
6	Cedar	TO BE REMOVED		2902	12	Cedar	TO BE REMOVED
0	Cedar Cedar	TO BE REMOVED TO BE REMOVED		2903 2904	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED
2	Cedar	TO BE REMOVED	6	2904	8	Cedar	TO BE REMOVED
0	Cedar	TO BE REMOVED	6	2906	6	Cedar	TO BE REMOVED
2	Cedar Cedar	TO BE REMOVED TO BE REMOVED	6	2907	8	Cedar	TO BE REMOVED
	Cedar	TO BE REMOVED		2908	10	Cettorwood	TO REMAIN
	Cedar Cedar	TO BE REMOVED TO REMAIN		2909 2910	10 8	Cottonwood Cedar	TO REMAIN TO REMAIN
	Cedar	TO REMAIN		2911	6	Cedar	TO REMAIN
2	Cedar	TO BE REMOVED	6	2913	6	Cedar	TO REMAIN
	Cedar Cedar	TO REMAIN TO REMAIN		2914	8	Cedar	TO BE REMOVED
	Cedar	TO REMAIN		2915 2916	6	Cedar Cedar	TO BE REMOVED TO BE REMOVED
	Cedar	TO REMAIN		2916	6	Cedar	TO BE REMOVED
0	Cedar Cedar	TO BE REMOVED TO BE REMOVED		2918	6	Cedar	TO BE REMOVED
J	Cedar	TO BE REMOVED		2919	8	Cedar	TO BE REMOVED
	Cedar	TO REMAIN		2920	8	Cedar	TO REMAIN
2	Cedar Cedar	TO REMAIN TO REMAIN		2921 2922	6 8	Cedar Cedar	TO REMAIN TO REMAIN
4	Cedar	TO REMAIN		2922	8	Cedar	TO REMAIN
)	Cedar	TO REMAIN		2924	6	Cottonwood	TO REMAIN
)	Cedar Cedar	TO REMAIN TO REMAIN		2925	6	Cedar	TO BE REMOVED
	Cedar	TO REMAIN		2926	6	Cedar	TO BE REMOVED
)	Cedar	TO REMAIN		2927 2928	8	Cedar Cedar	TO BE REMOVED TO BE REMOVED
2	Cedar Cedar	TO REMAIN TO REMAIN		2929	6	Cedar	TO BE REMOVED
2	Cedar	TO REMAIN		2930	6	Cedar	TO BE REMOVED
	Cedar	TO REMAIN		2931	16	Cottonwood	TO REMAIN
2	Cedar Cedar	TO REMAIN TO REMAIN		2932	22	Cedar	TO BE REMOVED
2	Cedar	TO REMAIN		2933 2934	14 14	Cedar Cedar	TO BE REMOVED TO BE REMOVED
	Cedar	TO REMAIN		2934	12	Cedar	TO REMAIN
	Cedar Cedar	TO REMAIN TO REMAIN		Total Calipe			
	Cedar	TO REMAIN		Total Calipe	er Inches	Removed	
	Cedar	TO REMAIN				es Required	and two co
)	Cedar Cedar	TO REMAIN TO REMAIN				es Provided - (57) 4" es Remaining	cai. trees
)	Cedar	TO REMAIN		Total Mitiga		23 Nemaning	
	Cedar	TO REMAIN					
3	Cedar	TO REMAIN	1				



4245 North Central ExpySuite 501 Dallas, Texas 75205 • 214.865.7192 office

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OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWAY SUITE 306

RICHARDSON, TX 75080 TBPE FIRM NO. F-20145

RE	REVISIONS						
#	DATE	COMMENTS					
1	05.06.20	City Comments					
2	10.13.20	City Comments					
3	11.19.21	City Comments					
4	12.06.21	City Comments					

PROFESSIONAL SEAL



OWNER INFORMATION

TLC Lakeside Kids, I 5909 Beth Drive Plano, TX 75093

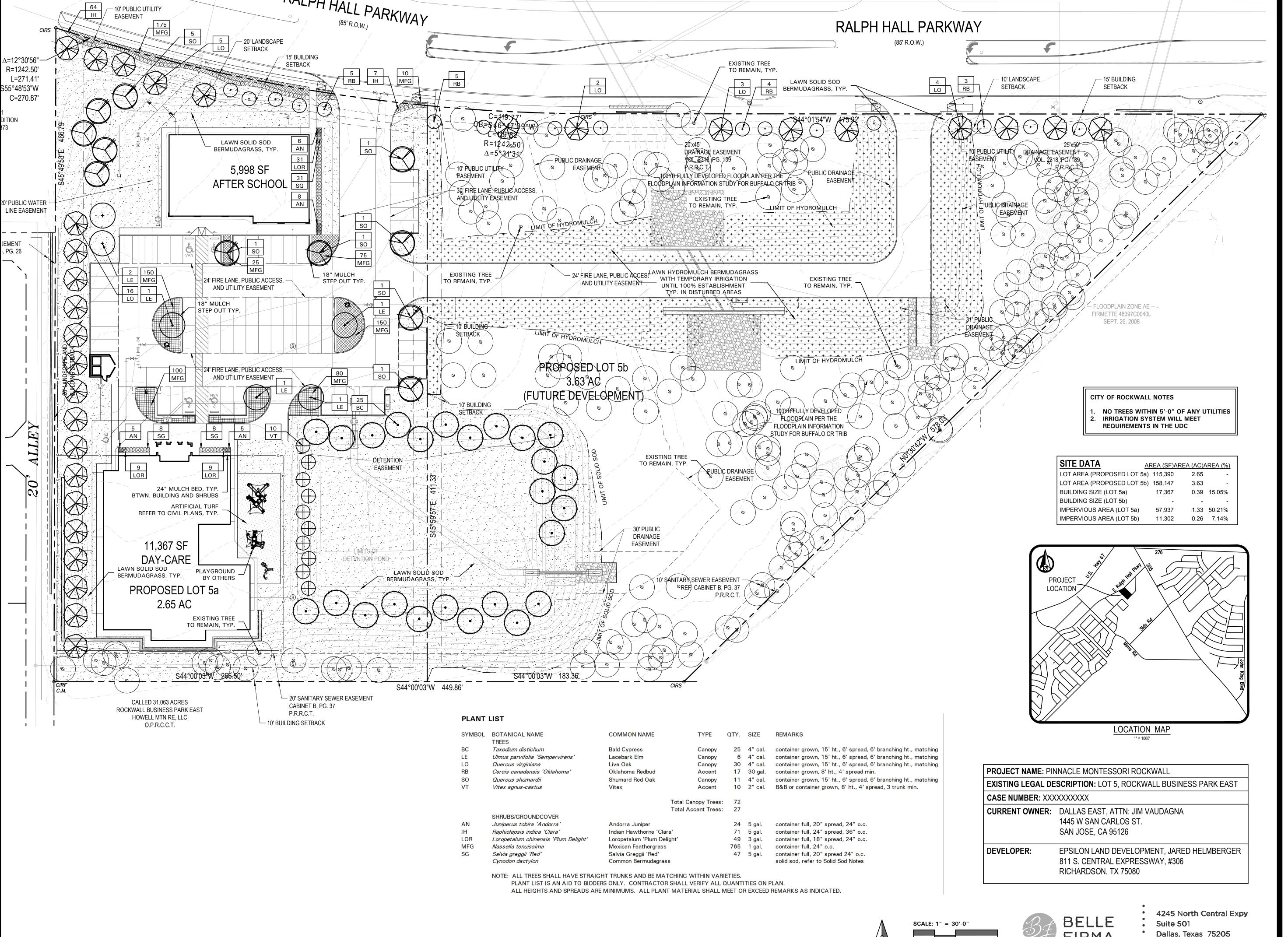
PROJECT INFORMATION

PINNACLE MONTESSORI
ACADEMY ROCKWALL
E. RALPH HALL PARKWAY AND PLAZA DRIV
ROCKWALL, TEXAS

SHEET TITLE

TREE PRESERVATION NOTES

> SHEET NUMBER L1.02



OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWA

SUITE 306 RICHARDSON, TX 75080

TBPE FIRM NO. F-20145

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PROFESSIONAL SEAL



OWNER INFORMATION

ide 309 Be

PROJECT INFORMATION

LANDSCAPE

SHEET NUMBER L2.01

• 214.865.7192 office

LANDSCAPE NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- 3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- 5. CONTRACTOR SHALL CROWN ALL LANDSCAPE ISLANDS TO 6" HEIGHT, TYPICAL AND UNIFORM THROUGHOUT THE SITE.
- 6. CONTRACTOR SHALL OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF FINE GRADING, CROWNS, AND BERMS PRIOR TO INSTALLING LANDSCAPE. NOTIFY LANDSCAPE ARCHITECT 72 HOURS IN ADVANCE TO SCHEDULE A SITE VISIT.
- 7. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- 8. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- 9. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 10. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- 11. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- 2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- 4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- 6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- 3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- 4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- 6. CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE PRICE TO INSTALL (2") TWO INCHES OF IMPORTED TOPSOIL ON ALL LAWN AREAS IN LIEU OF USING EXISTING TOPSOIL ON-SITE. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- 7. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- 8. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- 2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- 3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- 4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

HYDROMULCH NOTES

- CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- 2. BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
- 3. FIBER SHALL BE ONE HUNDRED PERCENT (100%)
 WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN
 ITS ORIGINAL UNOPENED CONTAINER AS
- MANUFACTURED BY 'CONWEB' OR EQUAL.

 4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE

'TERRO-TACK ONE', AS MANUFACTURED BY

- 5. HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- 6. USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.

GROWERS, INC. OR EQUAL.

- 7. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1
 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER
 RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE
 THOUSAND (1000) SQUARE FEET. CONTRACTOR
 SHALL BE REQUIRED TO RE-HYDROMULCH WITH
 BERMUDAGRASS THE FOLLOWING GROWING SEASON
 AS PART OF THIS CONTRACT.
- 8. ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS - Lot 5a THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.W. BUFFERTen (10') foot-wide landscape buffer with one tree per fifty (50) l.f. and one accent tree per (50) l.f., to include

RALPH HALL PARKWAY: 272 I.f.
Required Provided
10' wide buffer 20' wide buffer
(5) trees, 4" cal.
(5) accent trees (5) accent trees

groundcover, berm, and shrubbery

RESIDENTIAL BUFFER

1. Twenty (20') foot-wide landscape buffer with one tree per twenty (20) I.f.

Residential Adjacency: 320 l.f.
Required Provided
20' wide buffer 20' wide buffer
(16) trees, 4" cal. (16) trees, 4" cal.

PARKING LOT LANDSCAPING
 Five (5%) percent of the interior parking lot shall be landscape.
 One tree per ten (10) spaces for lots over 20,000 s.f.

Total interior parking lot area: 23,980 s.f.
Total parking spaces: 64 spaces

Required Provided
1,199 s.f. (5%) 4,288 s.f.
(7) trees, 4" cal. (12) trees, 4" cal.

SITE LANDSCAPING

1. Fifteen (15%) percent of the total site shall be landscaped

for COMMERCIAL.

2. Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 273,538 s.f.

Required Provided 41,031 s.f. (15%) 56,373 s.f. (21%) 20,516 s.f. (50%) 24,603 s.f. (60%)

DETENTION BASIN LANDSCAPING

1. One (1) canopy tree and (1) accent tree per 750 s.f. of

dry area.

Detention Basin Area: 8,051 s.f.

Required Provided
(10) trees, 4" cal.
(10) accent trees (10) accent trees

LANDSCAPE TABULATIONS - Lot 5b THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.W. BUFER

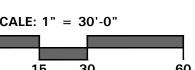
1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) I.f. and one accent tree per (50) I.f.

RALPH HALL PARKWAY: 596 l.f.
Required Provided
10' wide buffer 10' wide buffer
(12) trees, 4" cal.
(12) accent trees (3) existing trees

CITY OF ROCKWALL NOTES

 NO TREES WITHIN 5'-0" OF ANY UTILITIES
 IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC







4245 North Central ExpySuite 501Dallas, Texas 75205

• 214.865.7192 office

OMEGA DESIGN, LLC 811 S. CENTRAL EXPRESSWAY

SUITE 306 RICHARDSON, TX 75080

TBPE FIRM NO. F-20145

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PROFESSIONAL SEAL



OWNER INFORMATION

akeside Kids, LLC 5909 Beth Drive Plano, TX 75093

PROJECT INFORMATION

NACLE MONIESSORI
ADEMY ROCKWALL
HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

JE DATE:

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
- 1. Planting (trees, shrubs and grasses)
- 2. Bed preparation and fertilization
- 3. Notification of sources
- 4. Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. Samples: Provide representative quantities of sandy loam soil mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape 1.7 QUALITY ASSURANCE installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

- 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
- Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.

B. Guarantee:

- 1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials. labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING immediately.
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
- Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
- 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- 5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- 6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and
- 7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

A. Preparation:

- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored
- 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available
- 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24
- 4. Protect plants during delivery to prevent damage to root
- balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- 5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- 6. Remove rejected plant material immediately from job site.
- 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. 2.3 MISCELLANEOUS MATERIALS Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken PART 3 - EXECUTION root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, 3.1 BED PREPARATION & FERTILIZATION measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- Physical properties as follows: a. Clay - between 7-27 percent b. Silt – between 15-25 percent c. Sand – less than 52 percent
- 3. Organic matter shall be 3%-10% of total dry weight.
- 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of 3.2 INSTALLATION course and fine textured material
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

- Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" 4" dia.

F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
- 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- 2. All planting areas shall receive a two (2") inch layer of specified mulch.
- 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final
- C. Position the trees and shrubs in their intended location as per
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter $(\frac{3}{4})$ inch in diameter. Plants should be thoroughly moist before removing 3.3 CLEANUP AND ACCEPTANCE
- height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or

G. Dig a wide, rough sided hole exactly the same depth as the

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another END OF SECTION location or have drainage added. Install a PVC stand pipe per

- tree planting detail as approved by the Landscape Architect if the percolation test fails.
- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top $\frac{1}{2}$ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.
- J. Do not wrap trees.
- K. Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape
- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
 - 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- 2. Pruning shall be done with clean, sharp tools.
- 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

Q. Steel Curbing Installation:

- 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to
- 2. All steel curbing shall be free of kinks and abrupt bends.
- 3. Top of curbing shall be $\frac{1}{2}$ " maximum height above final
- 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- 5. Do not install steel edging along sidewalks or curbs.
- 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each

work day.

1 TREE PLANTING DETAIL NOT TO SCALE

TREE PLANTING DETAIL LEGEND AND NOTES

A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR

NURSERY STOCK. www.anla.org

B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.

C. ROOT BALL: REMOVE TOP $\frac{1}{3}$ BURLAP

AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS. D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH,

AND AT LEAST TWO INCHES ABOVE

GRADE. TREES SHALL BE REJECTED

WHEN GIRDLING ROOTS ARE PRESENT &

ROOT FLARE IS NOT APPARENT. E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE

F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.

G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley

(903) 676-6143

www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.

jeff@treestakesolutions.com

K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY MANUFACTURER'S SPECIFICATIONS INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.

SHRUBS / GROUNDCOVER; REFER TO LANDSCAPE PLAN TOPDRESS MULCH PER SPECIFICATIONS; 2" MINIMUM-SETTLED THICKNESS TOP OF MULCH 1/2" 3/16" X 4" BLACK EDGING, MINIMUM BELOW TOP OF-STAKES ON INSIDE; EDGING SHALL CONCRETE WALK / CURB BE 1/2" MAXIMUM HEIGHT ABOVE FINISH GRADE SCARIFY SIDES--LAWN / FINISH GRADE CONCRETE WALK-POCKET PLANTING NOT ALLOWED PREPARED SOIL MIX PER NO STEEL EDGING SHALL SPECIFICATIONS; TILL 6" MINIMUM BE INSTALLED ALONG OF PREPARED SOIL MIX INTO SIDEWALKS OR CURBS 6" DEPTH OF EXISTING SOIL REFER TO LANDSCAPE PLAN -NATIVE SOIL FOR SPACING

SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE



DO NOT DISTURB

4245 North Central Expy Suite 501 Dallas, Texas 75205 214.865.7192 office

OMEGA DESIGN. LLC 811 S. CENTRAL EXPRESSWAY SUITE 306

TBPE FIRM NO. F-20145

RICHARDSON, TX 75080

REVISIONS				
#	DATE	COMMENTS		
1	05.06.20	City Comments		
2	10.13.20	City Comments		
3	11.19.21	City Comments		
4	12.06.21	City Comments		

PROFESSIONAL SEAL



OWNER INFORMATION

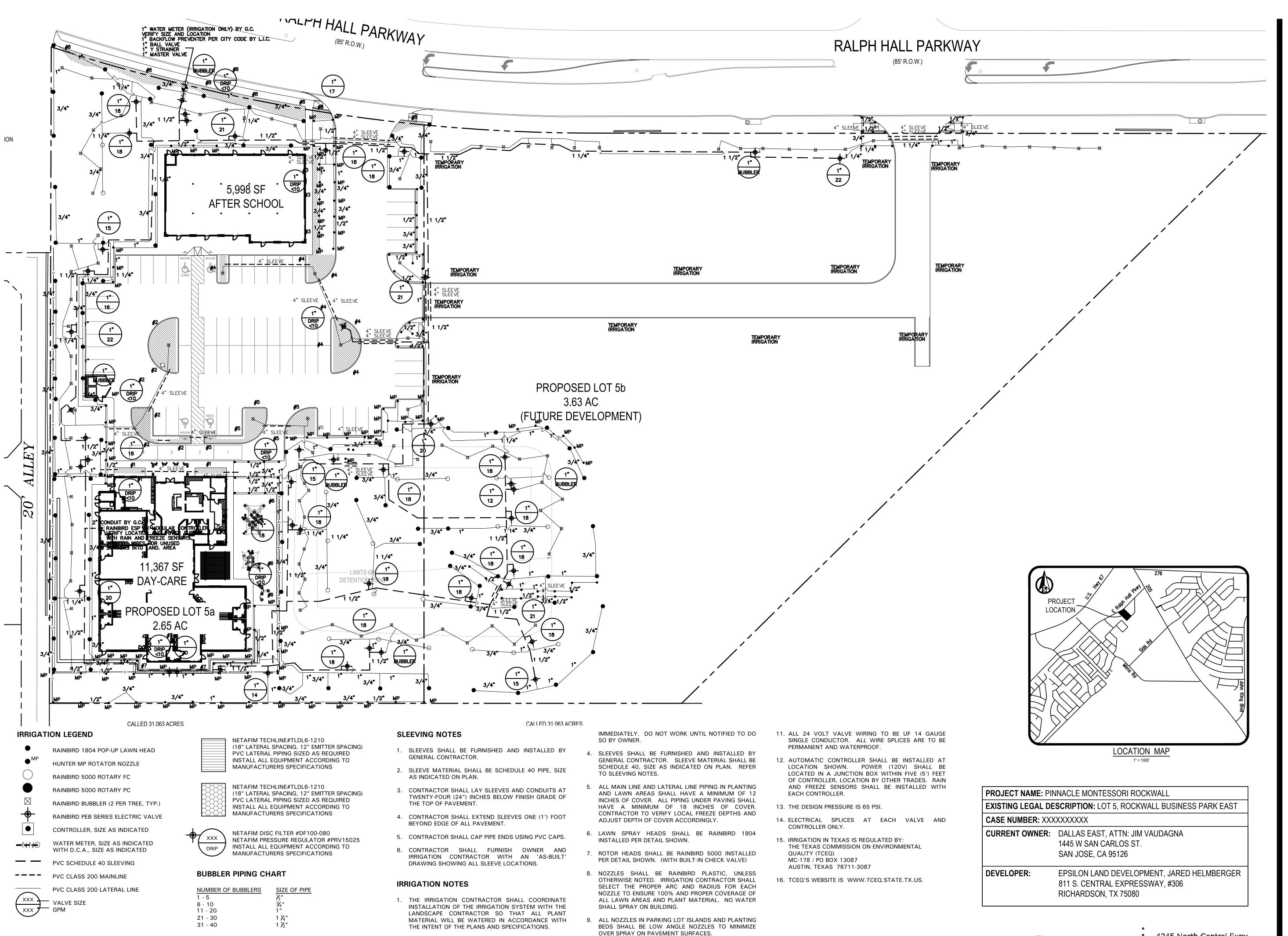
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PROJECT INFORMATION

SHEET TITLE

LANDSCAPE **SPECIFICATIONS** AND DETAILS

> SHEET NUMBER L2.03



10. ELECTRIC CONTROL VALVES SHALL BE RAINBIRD PEB INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS

SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN

VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL

OPERATION, REMOVAL OF SOLENOID AND / OR VALVE

COVER WITHOUT ANY EARTH EXCAVATION.

2. ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE

3. TEN DAYS PRIOR TO START OF CONSTRUCTION,

INDICATED.

RAINBIRD EQUIPMENT CATALOG UNLESS OTHERWISE

IRRIGATION CONTRACTOR SHALL VERIFY STATIC

WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN

65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT

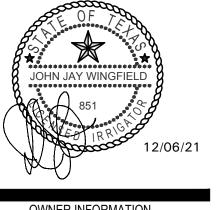
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PROFESSIONAL SEAL



PROJECT INFORMATION

SHEET TITLE

IRRIGATION PLAN

SHEET NUMBER

4245 North Central Expy

Dallas, Texas 75205

• 214.865.7192 office

Suite 501

1.1 DESCRIPTION

- A. Provide underground irrigation sleeves as indicated on the
- 1.2 RELATED WORK SPECIFIED ELSEWHERE
- A. Section 32 8424 Irrigation System

1.3 REFERENCED STANDARDS

A. American Society for Testing and Materials:

- 1. ASTM D2441 Poly (Vinyl Chloride) (PVC) Plastic Pipe
- 2. ASTM D2466 Poly (Vinyl Chloride) (PVC) Plastic Pipe
- Fittings, Socket Type, Schedule 40. 3. ASTM - D2564 Solvent Cements for Poly Vinyl Chloride Plastic Pipe and Fittings.

PART 2 - MATERIALS

2.1 DEFINITIONS

- A. Sleeve A pipe within which another pipe is placed for carrying water or other utilities to be installed.
- B. Wire Sleeves A pipe used to carry low voltage irrigation wires for operation of the electric solenoid valves.

2.2 GENERAL

- A. Polyvinyl Chloride Pipe (PVC) Manufactured in accordance with standards noted herein:
- 1. Marking and Identification Permanently marked with SDR number, ASTM standard number, and the NSF
- (National Sanitation Foundation) seal. 2. Solvent - As recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings before applying solvent.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Coverage Provide twenty-four inches (24") minimum cover over top of sleeve from finish grade.
- B. Sleeve Extensions Extend sleeves one foot (1') past edge of pavement or concrete walls. Install 90 degree elbow on each sleeve end and add additional length of same size pipe to extend above finish grade by twelve inches (12"). Cap pipe ends using duct tape.

3.2 BACKFILL

- A. Compaction Place backfill over sleeves in six (6") inch lifts. Tamp firmly into place taking care not to damage sleeve. Complete backfill and compaction to prevent any future settlement. Compact to 85% Standard Proctor.
- B. Damage Repair any damage resulting from improper compaction including pavement repair and replacement.

END OF SECTION

SECTION 32 8424 - IRRIGATION SYSTEM

1.1 SCOPE

PART 1 - GENERAL

A. Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, material, tools, equipment, and related items for the complete and proper installation of the irrigation system as indicated by the Drawings. All costs associated with this installation, including fees for testing and inspections of the system components are the responsibility of the installer of this irrigation system.

B. Work includes but is not limited to:

- Trenching and backfill.
- Installation of automatic controlled system. 3. Upon completion of installation, supply as-built drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically the exact location of automatic valves.
- C. All sleeves as shown on plans shall be furnished by General Contractor. Meter and power source shall be provided by General Contractor.

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Refer to Irrigation Plans for controller, head, and valve
- B. Section 32 8423 Underground Irrigation Sleeves and Utility Conduits
- C. Section 32 9300 Landscape
- D. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional

- A. America Standard for Testing and Materials (ASTM) Latest
- D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR) 2. D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings,
- Thread, Schedule 80 3. D2455 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings,
- Socket Type, Schedule 80 5. D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC)
- D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer
- 8. D2855 Making Solvent Cemented Joints with Poly (Vinyl Chloride) (PVC) Pipe and Fittings

1.4 MAINTENANCE AND GUARANTEE

- A. The Contractor shall guarantee materials and workmanship for one (1) calendar year after final acceptance by Owner.
- B. Guarantee is limited to repair and replacement of defective
- C. Provide maintenance of system, including raising and lowering of heads to compensate for lawn growth, cleaning and adjustment of heads, and raising and lowering of shrub heads to compensate for shrub growth for one (1) year after completion of installation.

1.5 SUBMITTALS

PAVFMFN⁻

PAVEMENT AND SLEEVE

SIZE AS NOTED ON PLANS

- B. Product Data: The Contractor shall submit five (5) copies of equipment manufacturer's 'cut sheets' and shop drawings for approval by Owner Authorized Representative prior to installation, including, but not limited to the following: sprinkler head, pipe, controller, valves, backflow prevention devices, valve boxes, wire, conduit, fittings, and all other types of fixtures proposed to be installed on the job. The number, equipment capacity, and manufacturer's installation recommendations, if applicable, for each proposed item.
- C. No work covered under this section may begin until the

Contractor has submitted the required information. No partial submittal shall be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed, except by written consent by the Owner Authorized

D. Shop drawings include dimensions, elevations, construction details, arrangements, and capacity equipment, as well as manufacturer's installation recommendations.

E. Operating and Maintenance Manuals:

- 1. Provide three (3) individually bound manuals detailing operating and maintenance requirements for the irrigation
- 2. Manuals shall be delivered to the Owner Authorized Representative no later than ten (10) days prior to
- completion of the irrigation system. 3. Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to
- understand, operate, and maintain the equipment. 4. Provide the following in each manual: a. Index sheet with Contractor's name, address,
- telephone number, and contact name. b. Duration of guarantee period. Include warranties and
- guarantees extended to the Owner by the manufacturer of all equipment. c. Equipment list providing the following for each item:
- Manufacturer's name 2) Make and model number
- 3) Name and address of local part's representative 4) Spare parts list in detail 5) Details operating and maintenance instructions

F. Project Record Documents:

1. Comply with Division I requirements. 2. Locate by written dimension, routing of mainline piping, remote control valves, and quick coupling valves. Locate

for major equipment.

- mainlines by single dimensions from permanent site features provided they run parallel to these elements. Locate valves, intermediate electrical connections, and quick couplers by two dimensions from a permanent site
- feature at approximately 70 degrees to each other. 3. When dimensioning is complete, transpose work to bond
- 4. Submit three (3) copies of the completed as-built drawings, along with a CD with PDF files of the same. to the Owner Authorized Representative prior to final acceptance of the work. Mark drawings "Record Prints Showing Significant Changes". Date and sign drawings.
- G. Quick Coupler Keys: Provide three (3) coupler keys with boiler drains attached using brass reducer.
- H. Controller Keys: Provide three (3) sets of keys to controller enclosure(s).
- Use of materials differing in quality, size, or performance from those specified shall only be allowed upon written approval of the Landscape Architect. The decision shall be based on comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified.
- J. Bidders desiring to make a substitution for specified sprinklers shall submit manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at sprinkler.
- K. Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system.
- L. It is the responsibility of the Irrigation Contractor to demonstrate that final installed sprinkler system shall operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with

LAG BOLTS OR EXPANSION BOLTS AS REQUIRED

work. Irrigation Contractor guarantees 100% coverage of all areas to be irrigated.

1.6 TESTING

- A. Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc., to avoid unnecessary cutting, patching, and boring.
- B. Water Pressure: This irrigation system has been designed to operate with a minimum static water pressure indicated on Drawings. The Contractor shall take a pressure reading at each water meter prior to beginning construction. Confirm findings to Owner Authorized Representative in writing. If static pressure varies from pressure stated on drawings, do not start work until notified to do so by Owner Authorized Representative.

1.7 COORDINATION

- A. Coordinate installation with other trades, including earthwork, paving, and plumbing to avoid unnecessary cutting, patching and boring.
- B. Coordinate to ensure that electrical power source is in place.
- C. Coordinate system installation with work specified in other sections and coordinate with Landscape Contractor to ensure plant material is uniformly watered in accordance with intent shown on drawings.

PART 2 - PRODUCTS

2.1 GENERAL

- A. Mainline: Mainlines are the piping from water source to operating valves. This portion of piping is subject to surges, being a closed portion of sprinkler system. Hydrant lines are considered a part of sprinkler main.
- B. Lateral Piping: Lateral piping is that portion of piping from operating valve to sprinkler heads. This portion of piping is not subject to surges, being an "open end" portion of sprinkler system.

2.2 POLY VINYL CHLORIDE PIPE (PVC PIPE)

- A. PVC pipe shall be manufactured in accordance with commercial standards noted herein.
- B. Marking and Identification: PVC pipe shall be continuously and permanently marked with the following information: manufacturer's name, pipe size, type of pipe, and material, SDR number, product standard number, and the NSF (National Sanitation Foundation) seal.
- C. PVC Pipe Fittings: Shall be of the same material as the PVC pipe specified and shall be compatible with PVC pipe furnished.

2.3 COPPER TUBING

A. Hard, straight lengths of domestic manufacture only. Do not use copper tube of foreign extrusion or any so-called irrigation tubing (thin wall).

2.4 COPPER TUBE FITTINGS

A. Cast brass or wrought copper, sweat - solder type.

- A. Type UF with 4/64" thick waterproof insulation which is Underwriter's Laboratory approved for direct underground burial when used in a National Electric Code Class II Circuit (30 volts AC or less).
- B. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.

2.6 SCHEDULE 80 PVC NIPPLES

A. Composed of Standard Schedule 40 PVC Fittings and PVC

FINISH GRADE · SIDEWALK OR CURB - ROTARY HEAD **SWING JOINT** LATERAL PIPING

ROTARY HEAD NOT TO SCALE

meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch $(\frac{1}{2})$ diameter by eight (8") inches long, where applicable.

B. Polyethylene nipples six (6") inches long shall be used on all pop-up spray heads.

2.7 MATERIALS - SEE IRRIGATION PLAN

- A. Sprinkler heads in lawn area as specified on plan.
- B. PVC Pipe: Class 200, SDR 21
- C. Copper Tubing (City Connection): Type "M"
- D. 24V Wire: Size 14, Type UF
- E. Electric valves: Shall be all plastic construction as indicated on plans.
- F. Backflow Prevention Device: Refer to drawing requirements and flow valve. Coordinate exact location with General Contractor.

PART 3 - EXECUTION

3.1 INSTALLATION - GENERAL

- A. Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Owner Authorized Representative before proceeding with work.
- B. Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material removed, provided that the earth is suitable for compaction and contains no lumps, clods rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.
- C. Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.
- D. Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted trees or shrubs. In areas where existing trees are present, trenches shall be adjusted on-site to provide a minimum clearance of four (4) feet between the drip line of any tree or trench. The Contractor shall notify the Owner Authorized Representative in writing of a planned change in trench routing from that shown on the drawings.

3.2 PIPE INSTALLATION

- A. Sprinkler Mains: Install a four (4") inch wide minimum trench with a minimum of eighteen (18") inches of cover.
- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of cover.
- C. Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe shall not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of

3.3 PVC PIPE AND FITTING ASSEMBLY

- A. Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.

3.4 COPPER TUBING AND FITTING ASSEMBLY

A. Clean pipe and fitting thoroughly and lightly sand pipe connections to remove residue from pipe. Attach fittings to tubing in an approved manner using 50-50 soft solid core

3.5 POP-UP SPRAY HEADS

A. Supply pop-up spray heads in accordance with materials list and plan. Attach sprinkler to lateral piping with a semi-flexible polyethylene nipple not less than three (3") inches or more than six (6") inches long.

3.6 VALVES

A. Supply valves in accordance with materials list and sized according to drawings. Install valves in a level position in accordance with manufacturer's specifications. See plan for typical installation of electric valve and valve box.

3.7 WIRING

- Supply wire from the automatic sprinkler controls to the valves. No conduit will be required for UF wire unless otherwise noted on the plan. Wire shall be tucked under the
- B. A separate wire is required from the control to each electric valve. A common neutral wire is also required from each control to each of the valves served by each particular control.
- C. Bundle multiple wires and tape them together at ten (10') foot intervals. Install ten (10") inch expansion coils at not more than one hundred (100') foot intervals. Make splices waterproof.

3.8 AUTOMATIC SPRINKLER CONTROLS

A. Supply in accordance with Irrigation Plan. Install according to manufacturer's recommendations.

3.9 TESTING

- Sprinkler Mains: Test sprinkler main only for a period of twelve (12) to fourteen (14) hours under normal pressure. If leaks occur, replace joint or joints and repeat test.
- B. Complete tests prior to backfilling. Sufficient backfill material may be placed in trenches between fittings to ensure stability of line under pressure. In each case, leave fittings and couplings open to visual inspection for full period of test.

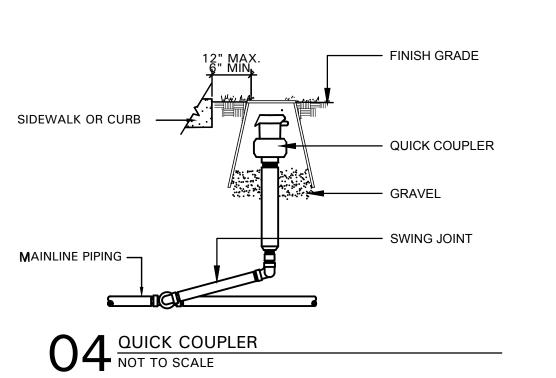
3.10 FINAL ADJUSTMENT

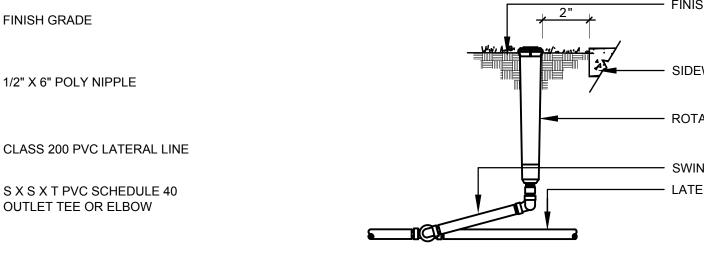
- A. After installation has been completed, make final adjustment of sprinkler system in preparation for Owner Authorized Representative's final inspection.
- B. Completely flush system to remove debris from lines by removing nozzle from heads on end of lines and turning on
- C. Check sprinklers for proper operation and proper alignment for direction of throw.
- D. Check each section of spray heads for operating pressure and balance to other sections by use of flow adjustment on top of each valve.
- E. Check nozzling for proper coverage. Prevailing wind conditions may indicate that arch of angle of spray should be other than shown on drawings. In this case, change nozzles to provide correct coverage and furnish data to Owner Authorized Representative with each change.

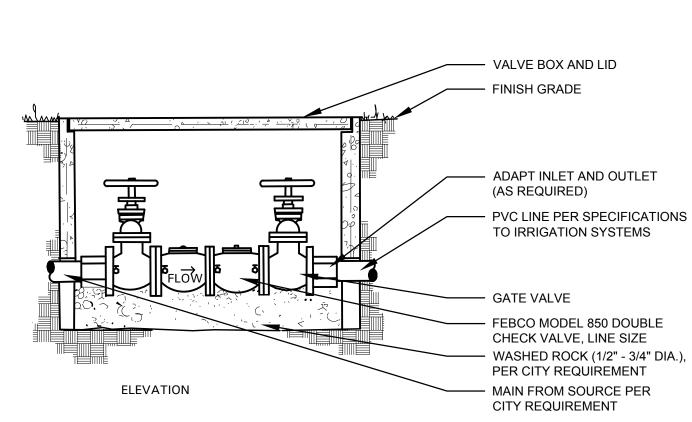
3.11 SYSTEM DEMONSTRATION

Instruct Owner's personnel in operation and maintenance of system including adjusting of sprinkler heads. Use operation and maintenance manual for basis of demonstration.

END OF SECTION







BACKFLOW PREVENTER NOT TO SCALE



Suite 501 Dallas, Texas 75205 214.865.7192 office

4245 North Central Expv

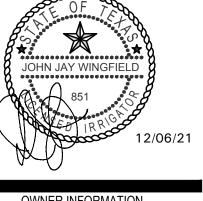
OMEGA DESIGN. LLC 811 S. CENTRAL EXPRESSWAY SUITE 306

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PROFESSIONAL SEAL



OWNER INFORMATION

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PROJECT INFORMATION

IRRIGATION SPECIFICATIONS AND DETAILS

L3.02

SHEET NUMBER

UTILITY CONDUITS **PART 1 - GENERAL**

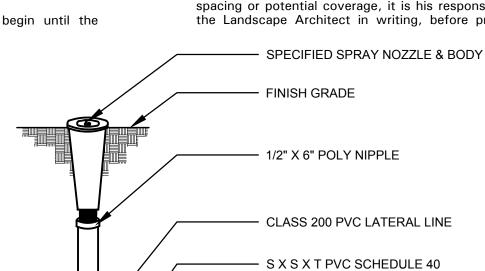
- 1.3 APPLICABLE STANDARDS

 - Schedule 40
 - 4. D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings,
 - Plastic Pipe and Fittings

- materials or workmanship, including repair of backfill settlement.

A. Procedure: Comply with Division I requirements.

submittal shall include the manufacturer's name, model

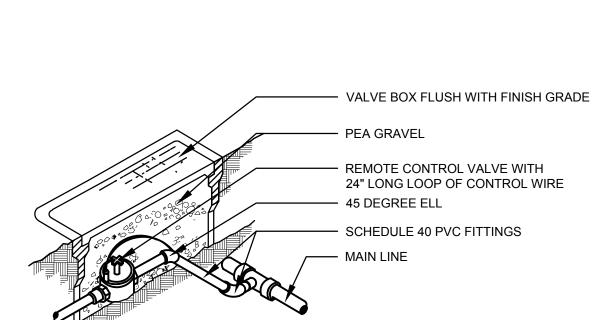


O2 POP-UP LAWN SPRAY ASSEMBLY NOT TO SCALE

06 WALL MOUNTED CONTROLLER NOT TO SCALE

O 1 SLEEVE DETAIL NOT TO SCALE

SCHEDULE 40



05 REMOTE CONTROL VALVE NOT TO SCALE

ISOMETRIC

