



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-006

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 950 E and 962 E Ralph Hall Parkwy, Rockwall, TX 75032

SUBDIVISION _____

LOT 5A & 5B BLOCK _____

GENERAL LOCATION Rockwall Business Park East, 6.280 acres situated in J.D. McFarland Survey~ Abstract 145, Rockwall County

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C

CURRENT USE Commercial

PROPOSED ZONING C

PROPOSED USE Commercial/ Retail

ACREAGE 6.280 Acres

LOTS [CURRENT] 5

LOTS [PROPOSED] 5A & 5B

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Buffalo Country Properties LLC

APPLICANT SRC Land Building and Real Estate LLC

CONTACT PERSON Rajesh Malviya

CONTACT PERSON Dnyanada Nevgi

ADDRESS 5909 Beth Dr

ADDRESS 811 S Central Expressway, Suite 306

CITY, STATE & ZIP Plano, TX 75093

CITY, STATE & ZIP Richardson, TX 75080

PHONE (214) 454-6944

PHONE 214-396-3737

E-MAIL nrmalviya@yahoo.com

E-MAIL pm@srlandbuilding.com

NOTARY VERIFICATION [REQUIRED]

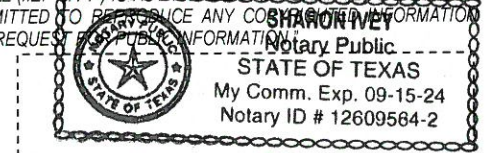
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RAJESH MALVIYA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 425.6 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIES OF THE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

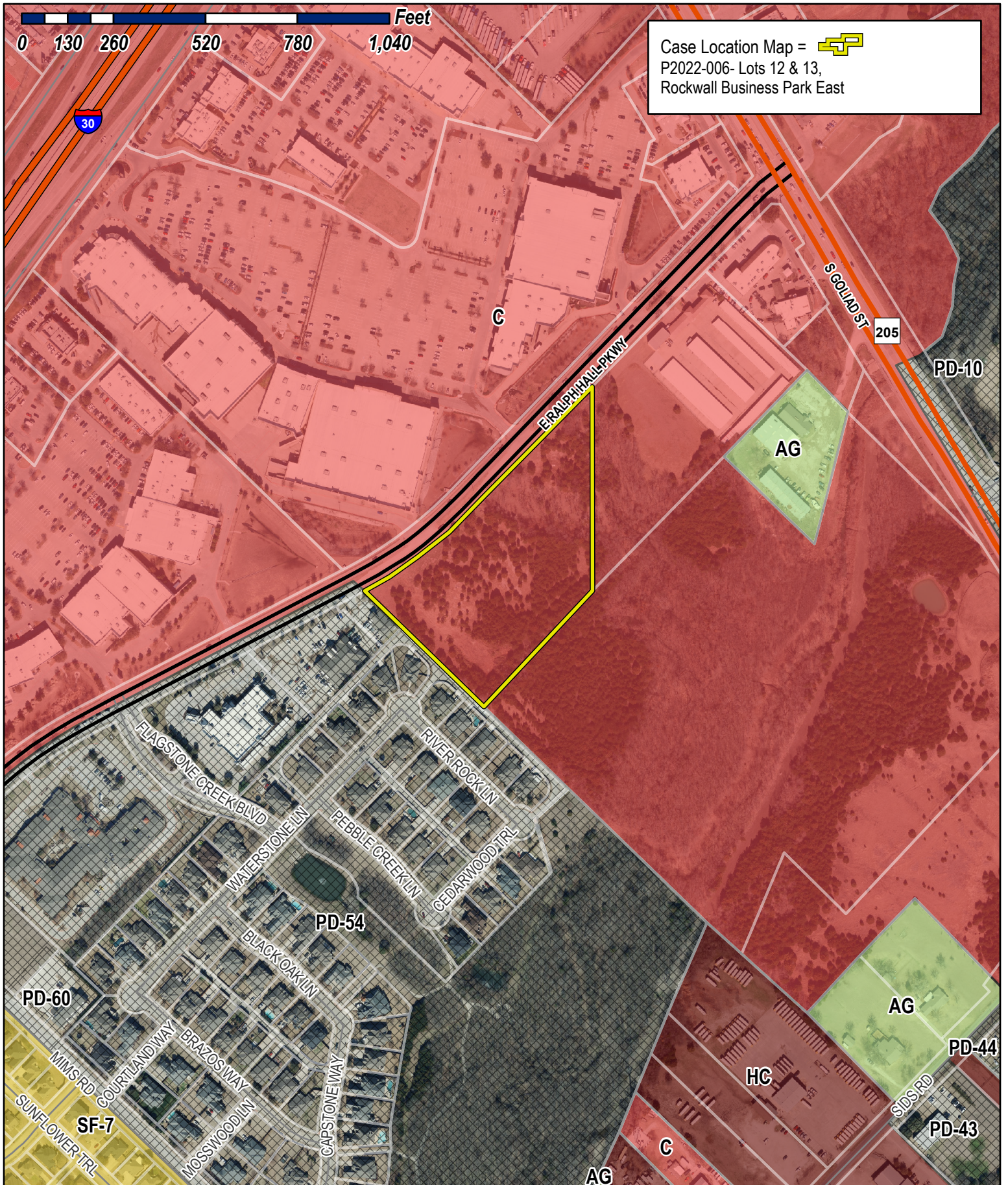
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2023


OWNER'S SIGNATURE Rajesh Malviya

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Sharon Mey



MY COMMISSION EXPIRES 9-15-2024



Case Location Map = 
 P2022-006- Lots 12 & 13,
 Rockwall Business Park East

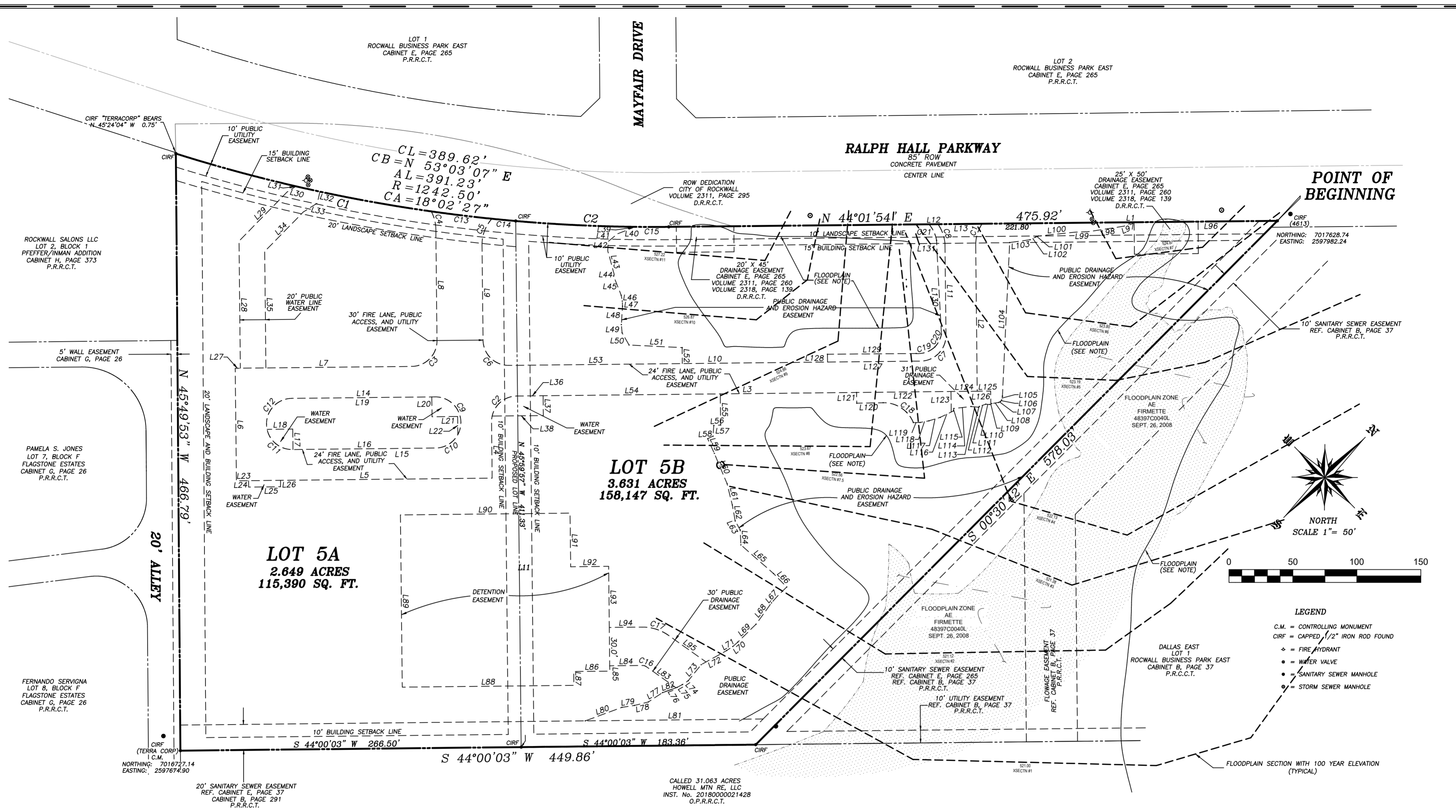


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND**
- C.M. = CONTROLLING MONUMENT
 - CIRF = CAPPED 1/2" IRON ROD FOUND
 - ⋄ = FIRE HYDRANT
 - ⊙ = WATER VALVE
 - ⊙ = SANITARY SEWER MANHOLE
 - ⊙ = STORM SEWER MANHOLE

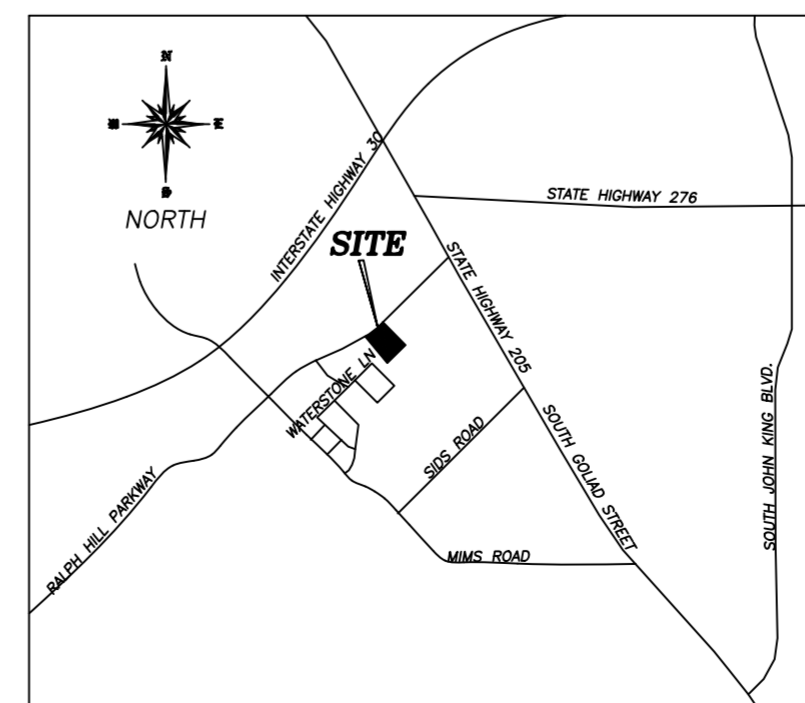
FLOOD NOTE:

Floodplain shown is based on the Floodplain Information Study prepared for the Pinnacle Montessori located in Rockwall, Texas and prepared by: JARED HELMBERGER PE
 GRADING PLAN - SHEET C2.00 ISSUE DATE: 12/20/2020

GENERAL NOTES:

1. The original copy will have original signatures, stamp seal and an impression seal.
2. Copyright 2020, Surdukan Surveying, Inc.
3. This survey is being provided solely for the use of the current parties.
4. This survey is subject to all easements of record.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The basis of bearings, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System, NAD83, North Central Zone, Nad 83 (CORS96) Epoch 2002.0, Vertical position are referenced to NAVD88 using (GEIOD03).

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	34°10'40"	30.00	17.90	S 28°54'37" E	17.63
C2	90°00'00"	20.00	31.42	S 00°59'57" E	28.28
C3	90°00'00"	20.00	31.42	N 00°59'57" W	28.28
C4	27°41'10"	30.00	14.50	N 59°50'32" W	14.36
C5	42°34'40"	30.00	22.29	S 24°42'37" E	21.78
C6	90°00'00"	20.00	31.42	N 89°00'03" E	28.28
C7	90°00'00"	20.00	31.42	N 00°59'57" W	28.28
C8	34°41'02"	30.00	18.16	N 63°20'28" W	17.88
C9	118°57'18"	20.00	41.52	S 76°31'18" E	34.46
C10	61°02'42"	20.00	21.31	S 13°28'42" W	20.32
C11	78°27'47"	20.00	27.39	S 83°13'56" W	25.30
C12	101°32'13"	20.00	35.44	N 06°46'04" W	30.98
C13	2°12'08"	1242.50	47.76	N 51°31'12" E	47.75
C14	0°47'38"	1348.94	18.69	N 49°59'16" E	18.69
C15	1°15'07"	1242.50	27.15	S 44°39'27" W	27.15
C16	35°55'37"	5.00	3.14	S 61°57'51" W	3.08
C17	35°55'37"	35.00	21.95	N 61°57'51" E	21.59
C18	68°53'31"	25.00	30.06	S 77°55'46" W	28.28
C19	48°00'03"	19.15	16.04	N 25°09'13" E	15.58
C20	32°02'49"	20.13	11.26	N 18°04'26" W	11.11
C21	30°59'41"	26.14	14.14	N 70°39'48" W	13.97



REPLAT
**ROCKWALL BUSINESS PARK EAST
 LOT 5A & LOT 5B**
 AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
 BEING A REPLAT OF LOT 5
 ROCKWALL BUSINESS PARK EAST
 LOTS 1, 2, 3, 4, & 5
 CABINET E, SLIDE 265
 6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
 ROCKWALL COUNTY, TEXAS
 SHEET 1 OF 2

Owner
 LAKESIDE KIDS, LLC
 ATTN: MONA AGARWAL
 5909 BETH DRIVE
 PLANO, TEXAS 75093
 TELEPHONE 423 943-1203

Surveyor
 SURDUKAN SURVEYING, INC.
 DAVID J. SURDUKAN, R.P.L.S. 4613
 P.O. BOX 126
 ANNA, TEXAS 75409
 TELEPHONE 972 924-8200

REVISED FEBRUARY 14, 2022
 REVISED OCTOBER 18, 2021
 REVISED AUGUST 17, 2021
 JUNE 24, 2020

OWNERS' CERTIFICATE

STATE OF TEXAS)
COUNTY OF ROCKWALL)

WHEREAS, Lakeside Kids, LLC being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being all of Lot 5 of ROCKWALL BUSINESS PARK EAST, LOTS 1, 2, 3, 4, & 5, an Addition to the City of Rockwall, Rockwall County, Texas according to the Map or Plat thereof recorded in Cabinet E, Page 265 of the Plat Records of Rockwall County, Texas and more particularly described in metes and bounds as follows;

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner at the north corner of said Lot 5, said corner also being the west corner of Lot 1, Rockwall Business Park East, an addition to the City of Rockwall, as recorded in Cabinet B, Page 37 of the Plat Records of Rockwall County, Texas, said iron rod being in the southeast right-of-way of Ralph Hall Parkway, an 85' right-of-way; THENCE S 00°30'42" E a distance of 578.03' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner; THENCE S 44°00'03" W a distance of 449.86' to a 1/2" iron rod with plastic cap stamped "TERRA CORP" found for corner in the east line of Block F of the Flagstone Estate addition to the City of Rockwall and recorded in Cabinet G, Page 26 of the Plat Records of Rockwall County, Texas; THENCE N 45°49'53" W a distance of 466.79' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for the northeast corner of Lot 2, Block 1 of the Pfeffer/Inman Addition addition to the City of Rockwall and recorded in Cabinet H, Page 373 of the Plat Records of Rockwall County, Texas, and said iron rod being in the southeast right-of-way of Ralph Hall Parkway at the beginning of a non-tangent curve to the left; THENCE along said curve to the left following the southeast right-of-way of Ralph Hall Parkway through a central angle of 18°02'27", a radius of 1242.50', an arc length of 391.23', with a chord bearing of N 46°47'39" E, and a chord length of 389.62' to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner; THENCE N 44°01'54" E continuing with the southeast right-of-way of Ralph Hall Parkway a distance of 475.92' to the POINT OF BEGINNING and containing 273,537 Square Feet or 6.280 Acres of land.

OWNERS' DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the replat of ROCKWALL BUSINESS PARK EAST, LOT 5A & LOT 5B to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the ROCKWALL BUSINESS PARK EAST, LOT 5A & LOT 5B subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

LAKESIDE KIDS, LLC

Mona Agarwal
Managing Partner

STATE OF TEXAS

Before me, the undersigned Notary Public for the State of Texas, on this day personally appeared Mona Agarwal, a Managing Partner of Lakeside Kids, LLC, known to me to be the person whose name is subscribed to the forgoing instrument and acknowledged to me that Mona Agarwal executed the same for the purpose and considerations therein expressed and in the capacity stated.

Given under my hand and seal of the office this the ___ day of _____, 2021,

Notary Public, State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdukan, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying.

David J. Surdukan
R.P.L.S. 4613

Date

CITY OF ROCKWALL'S CERTIFICATE

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ___ day of _____, 2021.

Mayor, City of Rockwall

City Secretary

City Engineer

REPLAT
ROCKWALL BUSINESS PARK EAST
LOT 5A & LOT 5B
AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
BEING A REPLAT OF LOT 5
ROCKWALL BUSINESS PARK EAST
LOTS 1, 2, 3, 4, & 5
CABINET E, SLIDE 265
6.280 Acres Situated In The
J.D. McFARLAND SURVEY ~ ABSTRACT 145
ROCKWALL COUNTY, TEXAS
SHEET 2 OF 2

Owner

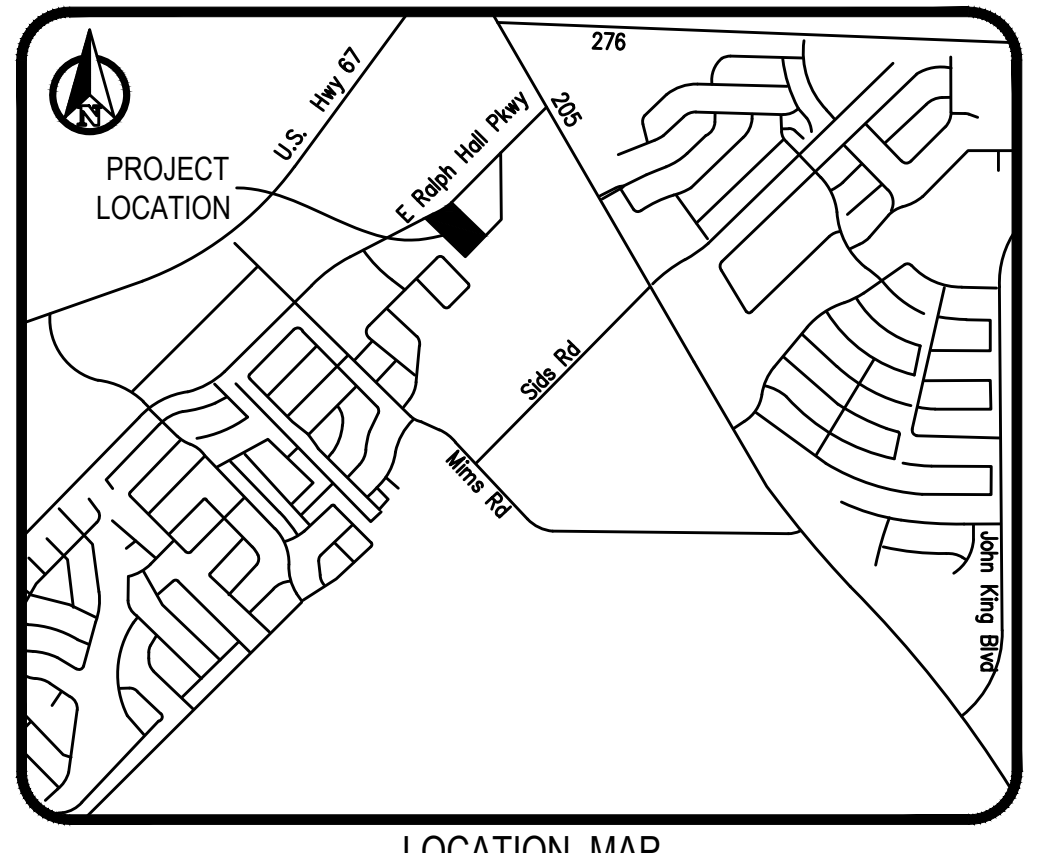
LAKESIDE KIDS, LLC
ATTN: MONA AGARWAL
5909 BETH DRIVE
PLANO, TEXAS 75093
TELEPHONE 423 943-1203

Surveyor

SURDUKAN SURVEYING, INC.
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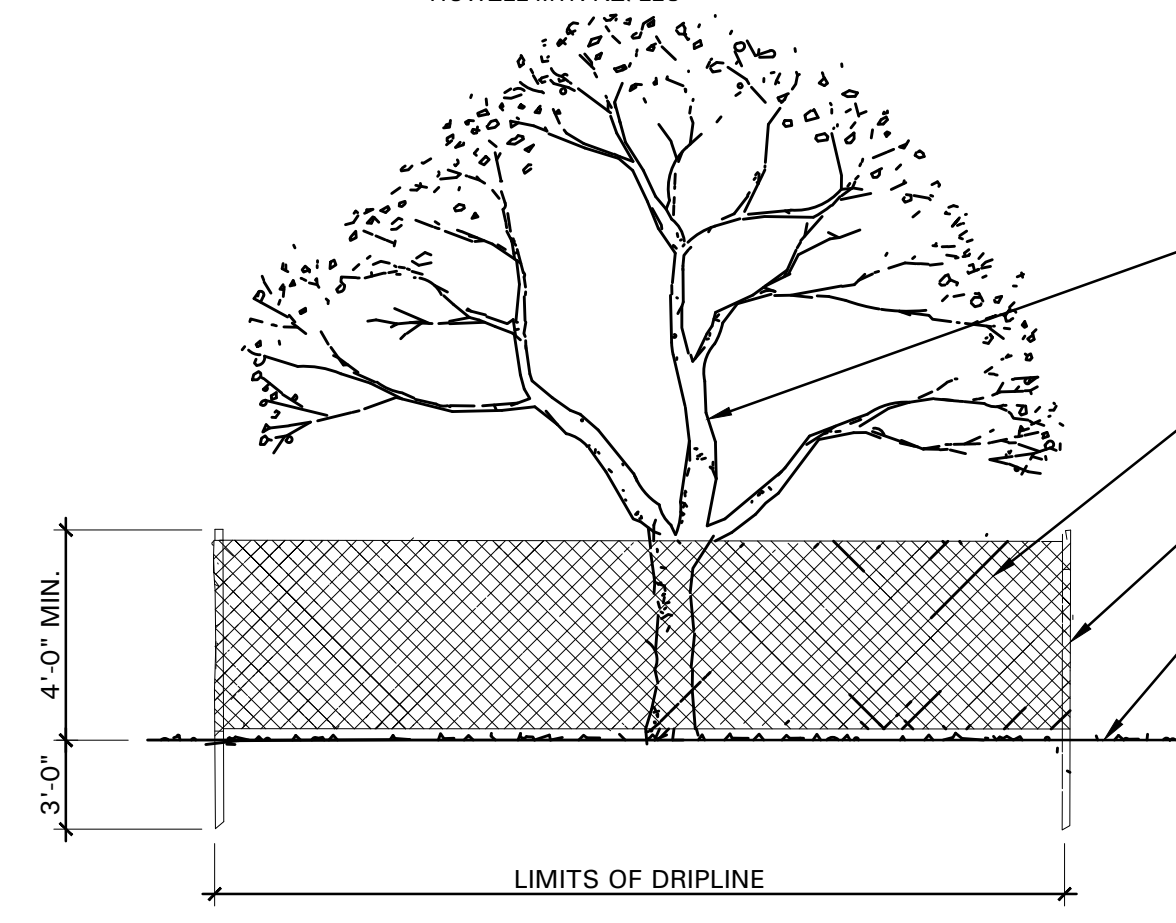


SITE DATA		
	AREA (SFI/AREA (AC))	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65
LOT AREA (PROPOSED LOT 5b)	158,147	3.63
BUILDING SIZE (LOT 5a)	17,367	0.39 15.05%
BUILDING SIZE (LOT 5b)	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33 50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26 7.14%



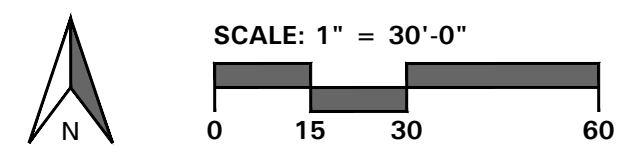
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPOSED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L.01
- REFER TO PLAN FOR EXISTING TREE TO REMAIN
- SNOW FENCE, ORANGE VINYL CONSTRUCTION FENCE, OR CHAINLINK FENCE
- METAL T-POST PLACED NO FURTHER THAN 8' APART
- EXISTING GRADE TO REMAIN UNDISTURBED



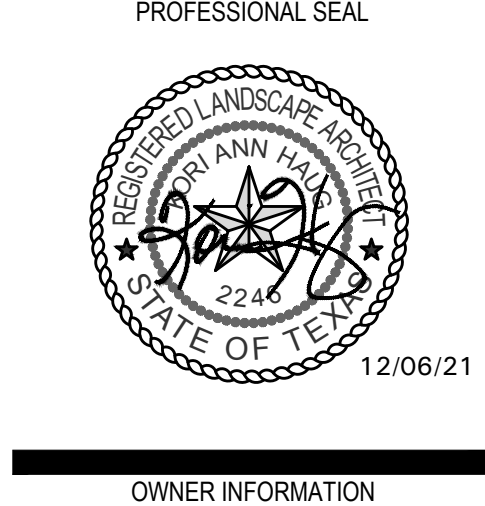
PROJECT NAME:	PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION:	LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER:	XXXXXXXXXX
CURRENT OWNER:	DALLAS EAST, ATTN: JIM VAUDAGNA 1445 W SAN CARLOS ST. SAN JOSE, CA 95126
DEVELOPER:	EPSILON LAND DEVELOPMENT, JARED HELMBERGER 811 S. CENTRAL EXPRESSWAY, #306 RICHARDSON, TX 75080

BELLE FIRMA
 4245 North Central Expy
 Suite 501
 Dallas, Texas 75205
 214.865.7192 office

OMEGA DESIGN, LLC
 811 S. CENTRAL EXPRESSWAY
 SUITE 306
 RICHARDSON, TX 75080

BPFE FIRM NO. F-20145

REVISIONS		
#	DATE	COMMENTS
1	05.06.20	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments



OWNER INFORMATION

Lakeside Kids, LLC
 5909 Beth Drive
 Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI
 ACADEMY ROCKWALL**
 E. RALPH HALL PARKWAY AND PLAZA DRIVE
 ROCKWALL, TEXAS

SHEET TITLE

TREE PRESERVATION PLAN

SHEET NUMBER

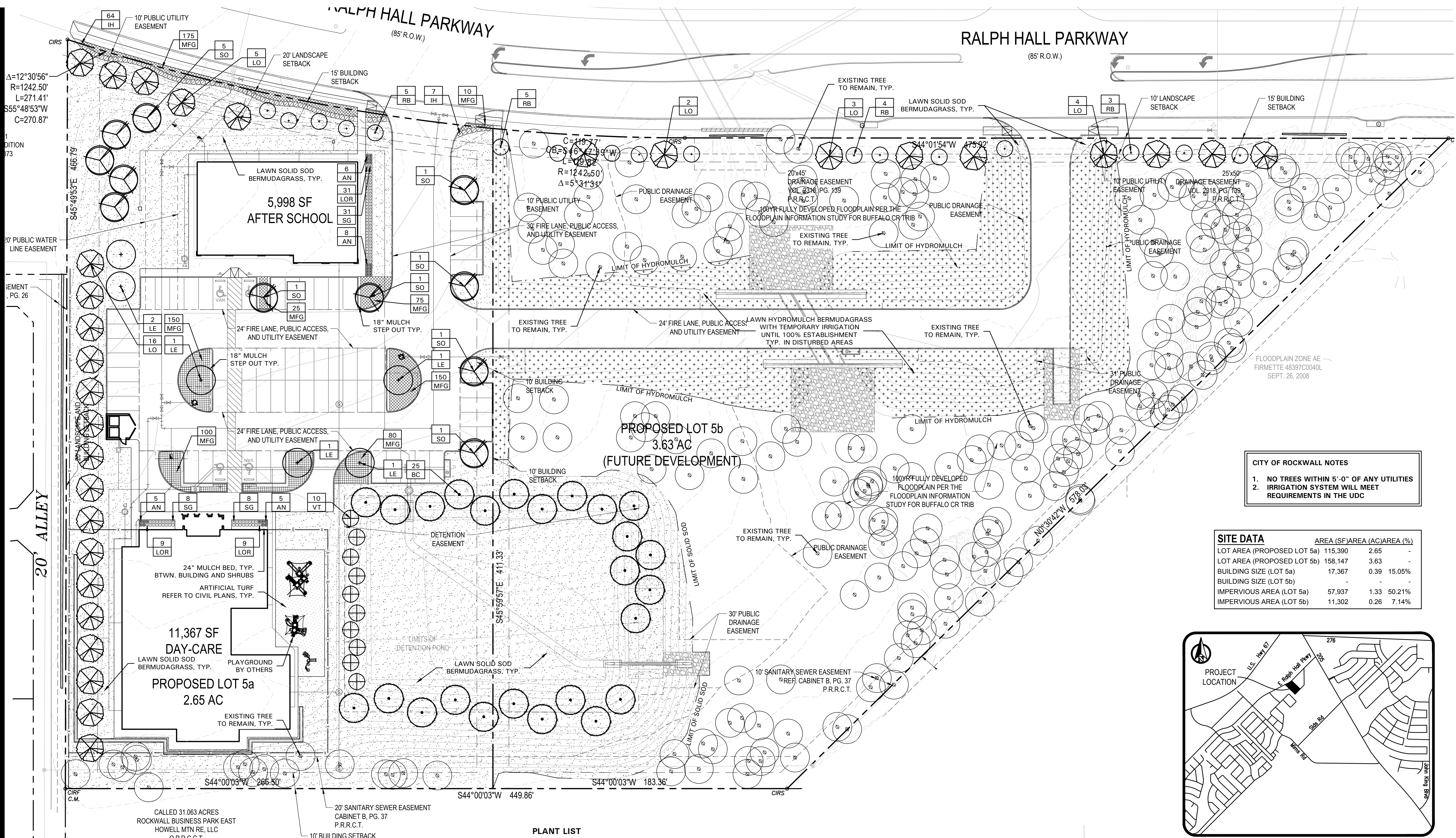
L1.01

ISSUE DATE: 03-20-2020

TREE SURVEY FIELD DATA				
No.	Dia. (Inches)	Species (Common name)	Status	Mitigation (Inches)
1659	6	Cedar	TO BE REMOVED	
1660	8	Cedar	TO BE REMOVED	
1661	18	Cedar	TO REMAIN	
1662	6	Cedar	TO BE REMOVED	
1663	6	Cedar	TO BE REMOVED	
1664	6	Cedar	TO BE REMOVED	
1665	6	Cedar	TO BE REMOVED	
1666	6	Cedar	TO BE REMOVED	
1667	6	Cedar	TO BE REMOVED	
1668	6	Cedar	TO BE REMOVED	
1669	6	Cedar	TO BE REMOVED	
1670	6	Cedar	TO BE REMOVED	
1671	8	Cedar	TO BE REMOVED	
1672	6	Cedar	TO BE REMOVED	
1673	6	Cedar	TO BE REMOVED	
1674	6	Cedar	TO BE REMOVED	
1675	12	Cedar	TO BE REMOVED	6
1676	8	Cedar	TO REMAIN	
1677	12	Cedar	TO BE REMOVED	6
1678	6	Cedar	TO REMAIN	
1679	6	Cedar	TO BE REMOVED	
1680	6	Cedar	TO BE REMOVED	
1681	6	Cedar	TO BE REMOVED	
1682	6	Cedar	TO BE REMOVED	
1683	6	Cedar	TO BE REMOVED	
1684	6	Cedar	TO BE REMOVED	
1685	12	Cedar	TO BE REMOVED	6
1686	6	Cedar	TO REMAIN	
1687	10	Cedar	TO BE REMOVED	
1688	6	Cedar	TO REMAIN	
1689	6	Cedar	TO BE REMOVED	
1690	6	Cedar	TO BE REMOVED	
1691	6	Cedar	TO REMAIN	
1692	6	Cedar	TO REMAIN	
1693	14	Cedar	TO BE REMOVED	7
1694	10	Cedar	TO REMAIN	
1695	8	Cedar	TO REMAIN	
1696	6	Cedar	TO REMAIN	
1697	16	Cedar	TO REMAIN	
1698	6	Cedar	TO REMAIN	
1699	6	Cedar	TO REMAIN	
1700	18	Cedar	TO BE REMOVED	9
1838	12	Hackberry	TO REMAIN	
1839	12	Hackberry	TO REMAIN	
1840	8	Green Ash	TO REMAIN	
1841	10	Hackberry	TO REMAIN	
1842	10	Hackberry	TO REMAIN	
1843	12	Gulf Black Willow	TO REMAIN	
1844	10	Gulf Black Willow	TO REMAIN	
1845	10	Cottonwood	TO REMAIN	
1846	6	Green Ash	TO REMAIN	
1847	6	Cottonwood	TO REMAIN	
1848	6	Hackberry	TO BE REMOVED	DECLINE
1849	12	Hackberry	TO BE REMOVED	6
1850	8	Hackberry	TO BE REMOVED	DECLINE
1851	6	Green Ash	TO BE REMOVED	6
1852	6	American Elm	TO BE REMOVED	6
1853	6	Hackberry	TO BE REMOVED	6
1854	12	Hackberry	TO BE REMOVED	6
1855	8	Hackberry	TO BE REMOVED	DECLINE
1856	6	Hackberry	TO BE REMOVED	DECLINE
1857	12	Hackberry	TO REMAIN	
1858	12	Cedar Elm	TO REMAIN	
1859	6	Hackberry	TO REMAIN	
1860	10	Hackberry	TO REMAIN	
1861	8	American Elm	TO REMAIN	
1862	8	Cedar Elm	TO REMAIN	
1863	8	Cedar	TO REMAIN	
1864	10	American Elm	TO REMAIN	
1865	6	Hackberry	TO REMAIN	
1866	6	Hackberry	TO REMAIN	
1867	10	Cottonwood	TO BE REMOVED	
1868	8	Hackberry	TO BE REMOVED	DECLINE
1869	6	Hackberry	TO BE REMOVED	DECLINE
1870	6	Hackberry	TO BE REMOVED	
1871	10	Hackberry	TO BE REMOVED	
1872	6	Hackberry	TO BE REMOVED	
1873	10	American Elm	TO BE REMOVED	10
1874	8	Hackberry	TO BE REMOVED	
1875	6	Hackberry	TO BE REMOVED	
1876	8	Cedar	TO BE REMOVED	
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1879	8	Hackberry	TO BE REMOVED	
1880	10	Hackberry	TO BE REMOVED	
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1885	12	Cedar	TO REMAIN	
1886	10	Cedar	TO REMAIN	
1887	12	Cedar	TO REMAIN	
1888	8	American Elm	TO BE REMOVED	8
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1892	8	Cedar	TO BE REMOVED	
1893	6	Cedar	TO BE REMOVED	
1894	10	Green Ash	TO BE REMOVED	10
1895	6	Cedar	TO BE REMOVED	
1896	22	Cottonwood	TO BE REMOVED	
1897	8	Hackberry	TO BE REMOVED	
1898	12	Cedar	TO BE REMOVED	6
1899	10	Cedar	TO BE REMOVED	
2017	6	Cedar	TO BE REMOVED	
2018	6	Cedar	TO BE REMOVED	
2020	6	Cedar	TO BE REMOVED	
2022	14	Cedar	TO BE REMOVED	7
2023	10	Cedar	TO BE REMOVED	
2024	6	Cedar	TO BE REMOVED	
2025	6	Cedar	TO BE REMOVED	
2026	6	Cedar	TO BE REMOVED	
2027	24	Cedar	TO REMAIN	
2028	6	Cedar	TO REMAIN	
2029	10	Cedar	TO REMAIN	
2030	6	Cedar	TO REMAIN	
2031	8	Cedar	TO REMAIN	
2032	10	Cedar	TO REMAIN	
2033	20	Cedar	TO REMAIN	
2034	6	Cedar	TO REMAIN	
2035	6	Cedar	TO BE REMOVED	
2036	6	Cedar	TO BE REMOVED	
2037	6	Cedar	TO BE REMOVED	

2038	6	Cedar	TO BE REMOVED	
2039	6	Cedar	TO BE REMOVED	
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2041	6	Cedar	TO BE REMOVED	
2042	6	Cedar	TO BE REMOVED	
2043	6	Cedar	TO BE REMOVED	
2044	6	Cedar	TO BE REMOVED	
2045	6	Cedar	TO BE REMOVED	
2046	10	American Elm	TO BE REMOVED	10
2047	6	Cedar	TO BE REMOVED	
2048	12	Green Ash	TO BE REMOVED	12
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2050	10	Green Ash	TO BE REMOVED	10
2051	10	Pecan	TO BE REMOVED	
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2099	6	Cedar	TO BE REMOVED	
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2303	8	Cedar	TO BE REMOVED	
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2344	6	Cedar	TO BE REMOVED	
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2346	12	Cedar	TO BE REMOVED	6
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2349	12	Cedar	TO BE REMOVED	6
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2352	18	Cedar	TO BE REMOVED	9
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2354	12	Cedar	TO BE REMOVED	6
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2367	14	Cedar	TO REMAIN	

2368	8	Cedar	TO REMAIN	
2369	16	Cedar	TO REMAIN	
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2371	6	Cedar	TO REMAIN	
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2373	6	Cedar	TO BE REMOVED	
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2377	10	Cedar	TO BE REMOVED	
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2407	6	Cedar	TO BE REMOVED	
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2415	6	Cedar	TO REMAIN	
2416	6	Cedar	TO REMAIN	
2417	6	Cedar	TO REMAIN	
2418	8	Cedar	TO REMAIN	
2419	10	Cedar	TO REMAIN	
2420	10	Cedar	TO REMAIN	
2421	6	Cedar	TO REMAIN	
242				



Δ=12°30'56"
R=1242.50'
L=271.41'
S55°48'53"W
C=270.87'

10' PUBLIC WATER LINE EASEMENT
EASEMENT
PG. 26

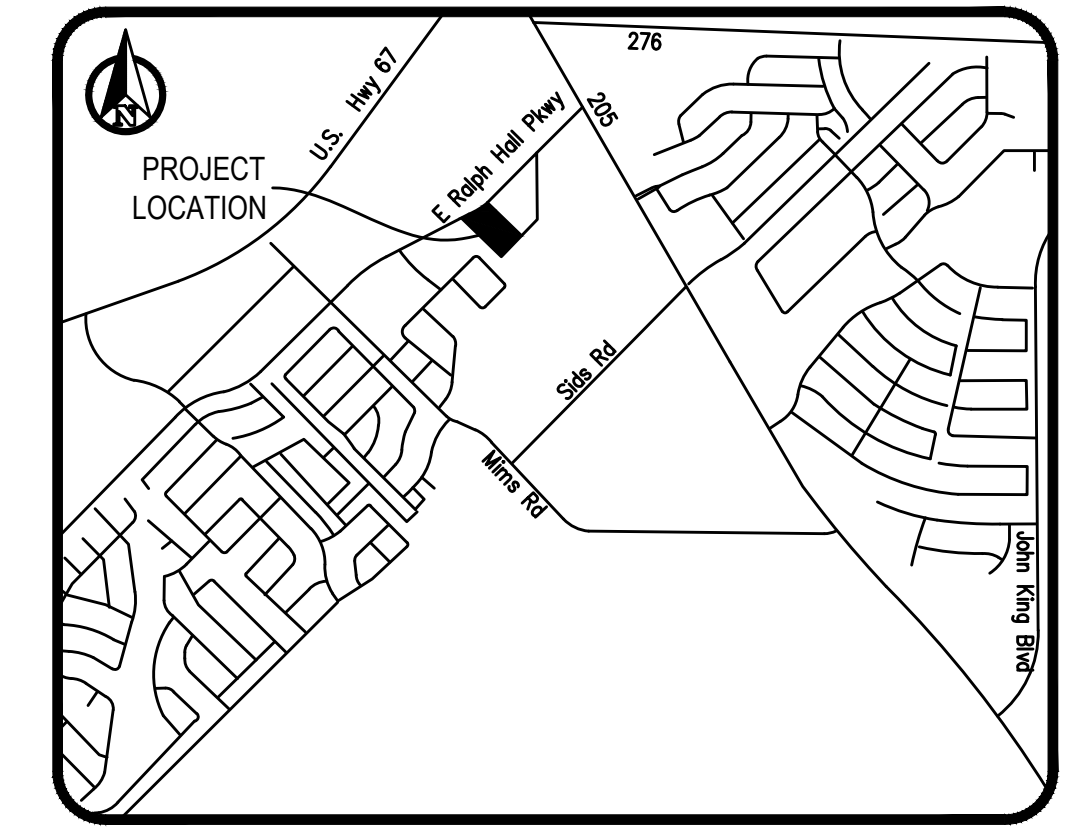
20' ALLEY

CALLLED 31.063 ACRES
ROCKWALL BUSINESS PARK EAST
HOWELL MTN RE, LLC
O.P.R.C.C.T.

CITY OF ROCKWALL NOTES
1. NO TREES WITHIN 5'-0" OF ANY UTILITIES
2. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

SITE DATA

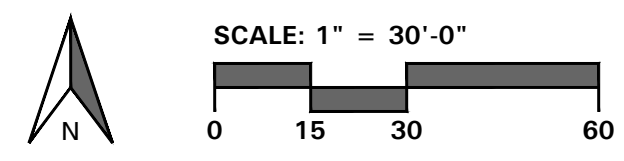
	AREA (S.F.)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)	-	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	TYPE	QTY.	SIZE	REMARKS
TREES						
BC	<i>Taxodium distichum</i>	Bald Cypress	Canopy	25	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
LE	<i>Ulmus parvifolia</i> 'Sempervirens'	Lacebark Elm	Canopy	5	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	Canopy	30	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
RB	<i>Cercis canadensis</i> 'Oklahoma'	Oklahoma Redbud	Accent	17	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	Canopy	11	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	Accent	10	2" cal.	B&B or container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUNDCOVER						
AN	<i>Juniperus tobiro</i> 'Andorra'	Andorra Juniper		24	5 gal.	container full, 20" spread, 24" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'		71	5 gal.	container full, 24" spread, 36" o.c.
LOR	<i>Loropetalum chinensis</i> 'Plum Delight'	Loropetalum 'Plum Delight'		49	3 gal.	container full, 18" spread, 24" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass		765	1 gal.	container full, 24" o.c.
SG	<i>Salvia greggii</i> 'Red'	Salvia Greggii 'Red'		47	5 gal.	container full, 20" spread 24" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass				solid sod, refer to Solid Sod Notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

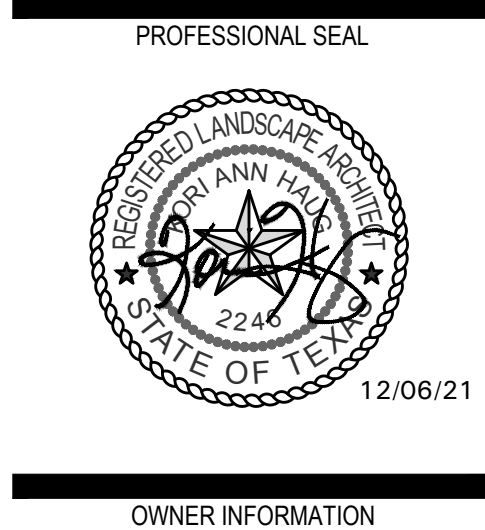


BELLE FIRMA
4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

OMEGA DESIGN, LLC
811 S. CENTRAL EXPRESSWAY
SUITE 306
RICHARDSON, TX 75080

TPBE FIRM NO. F-20145

REVISIONS		
#	DATE	COMMENTS
1	05.06.20	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments



Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI
ACADEMY ROCKWALL**
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L2.01

ISSUE DATE: 03-20-2020

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. CONTRACTOR SHALL CROWN ALL LANDSCAPE ISLANDS TO 6" HEIGHT, TYPICAL AND UNIFORM THROUGHOUT THE SITE.
6. CONTRACTOR SHALL OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF FINE GRADING, CROWNS, AND BERMS PRIOR TO INSTALLING LANDSCAPE. NOTIFY LANDSCAPE ARCHITECT 72 HOURS IN ADVANCE TO SCHEDULE A SITE VISIT.
7. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
8. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
9. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
10. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
11. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE PRICE TO INSTALL (2") TWO INCHES OF IMPORTED TOPSOIL ON ALL LAWN AREAS IN LIEU OF USING EXISTING TOPSOIL ON-SITE. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
7. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
8. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS. AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

HYDROMULCH NOTES

1. CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
2. BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
3. FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
5. HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
6. USE A 4'X8" BATTER BOARD AGAINST ALL BED AREAS.
7. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
8. ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS - Lot 5a
THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.V. BUFFER
 1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) I.F. and one accent tree per (50) I.F., to include groundcover, berm, and shrubbery

RALPH HALL PARKWAY: 272 I.F.
 Required Provided
 10' wide buffer 20' wide buffer
 (5) trees, 4" cal. (5) trees, 4" cal.
 (5) accent trees (5) accent trees

RESIDENTIAL BUFFER
 1. Twenty (20') foot-wide landscape buffer with one tree per twenty (20) I.F.

Residential Adjacency: 320 I.F.
 Required Provided
 20' wide buffer 20' wide buffer
 (16) trees, 4" cal. (16) trees, 4" cal.

PARKING LOT LANDSCAPING
 1. Five (5%) percent of the interior parking lot shall be landscape.
 2. One tree per ten (10) spaces for lots over 20,000 s.f.

Total interior parking lot area: 23,980 s.f.
 Total parking spaces: 64 spaces

Required Provided
 1,199 s.f. (5%) 4,288 s.f.
 (7) trees, 4" cal. (12) trees, 4" cal.

SITE LANDSCAPING
 1. Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.
 2. Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 273,538 s.f.

Required Provided
 41,031 s.f. (15%) 56,373 s.f. (21%)
 20,516 s.f. (50%) 24,603 s.f. (60%)

DETENTION BASIN LANDSCAPING
 1. One (1) canopy tree and (1) accent tree per 750 s.f. of dry area.

Detention Basin Area: 8,051 s.f.

Required Provided
 (10) trees, 4" cal. (10) trees, 4" cal.
 (10) accent trees (10) accent trees

LANDSCAPE TABULATIONS - Lot 5b
THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.V. BUFFER
 1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) I.F. and one accent tree per (50) I.F.

RALPH HALL PARKWAY: 596 I.F.
 Required Provided
 10' wide buffer 10' wide buffer
 (12) trees, 4" cal. (9) trees, 4" cal.
 (12) accent trees (12) accent trees
 (3) existing trees

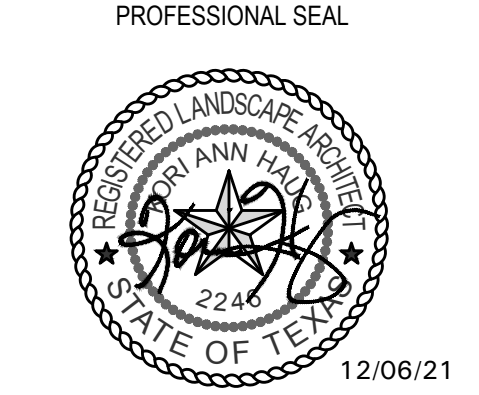
CITY OF ROCKWALL NOTES

1. NO TREES WITHIN 5'-0" OF ANY UTILITIES
2. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

OMEGA DESIGN, LLC
 811 S. CENTRAL EXPRESSWAY
 SUITE 306
 RICHARDSON, TX 75080

TPBE FIRM NO. F-20145

REVISIONS		
#	DATE	COMMENTS
1	05.06.20	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments



OWNER INFORMATION

Lakeside Kids, LLC
 5909 Beth Drive
 Plano, TX 75093

PROJECT INFORMATION

**PINNACLE MONTESSORI
 ACADEMY ROCKWALL**
 E. RALPH HALL PARKWAY AND PLAZA DRIVE
 ROCKWALL, TEXAS

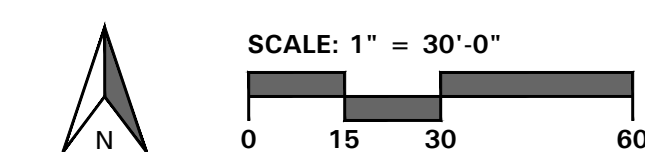
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LANDSCAPE NOTES

SHEET NUMBER

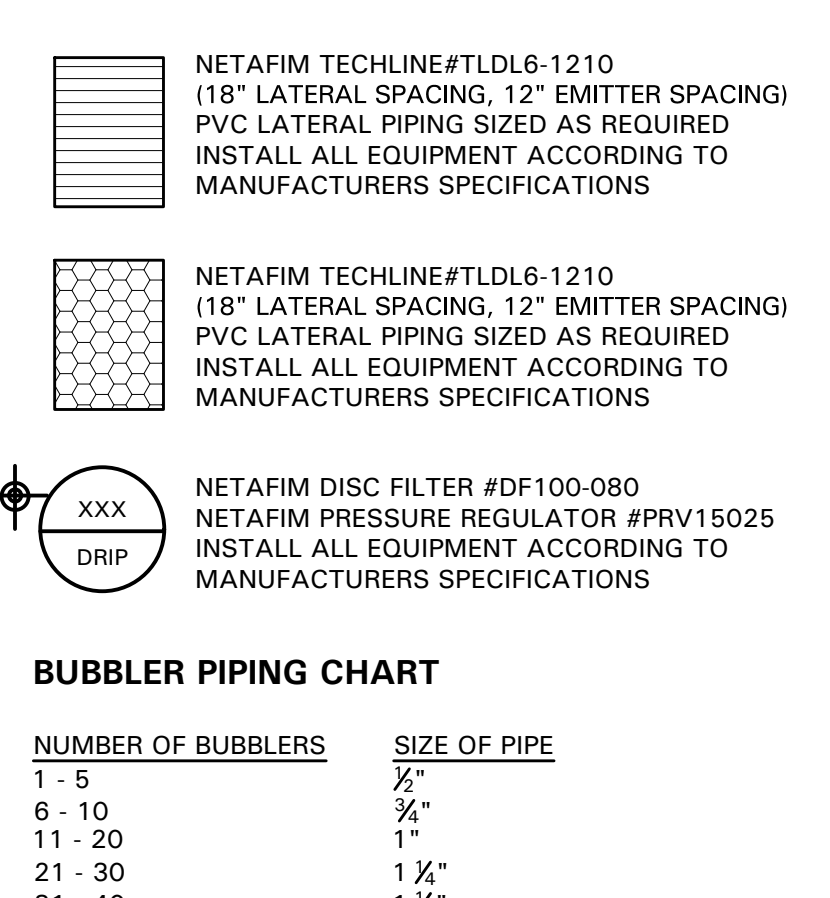
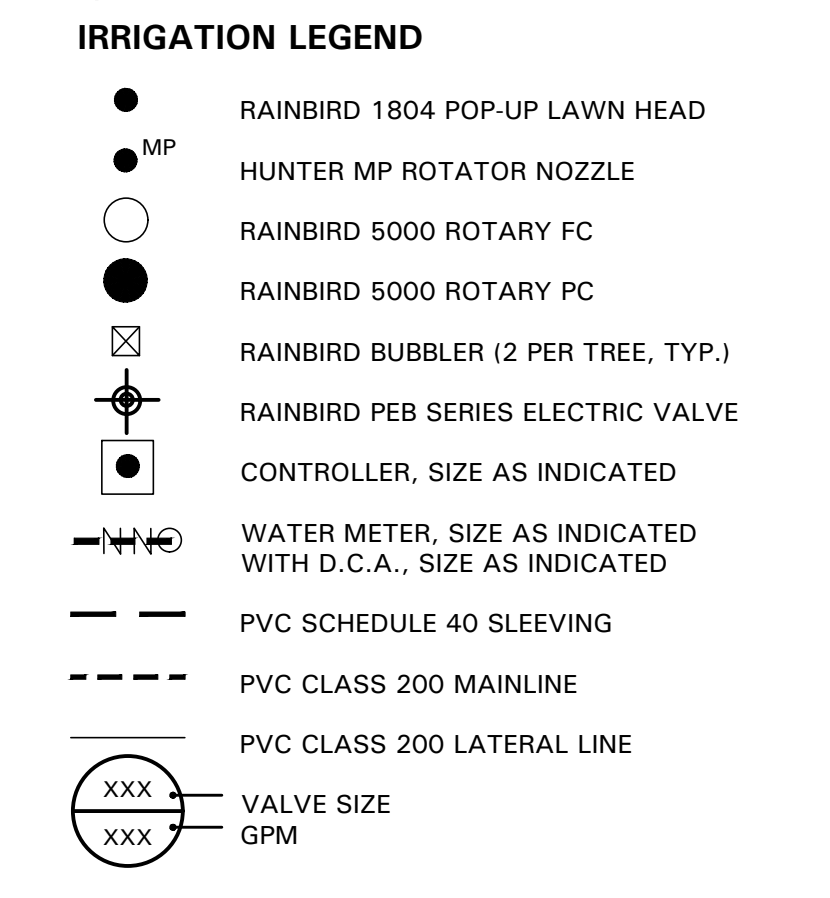
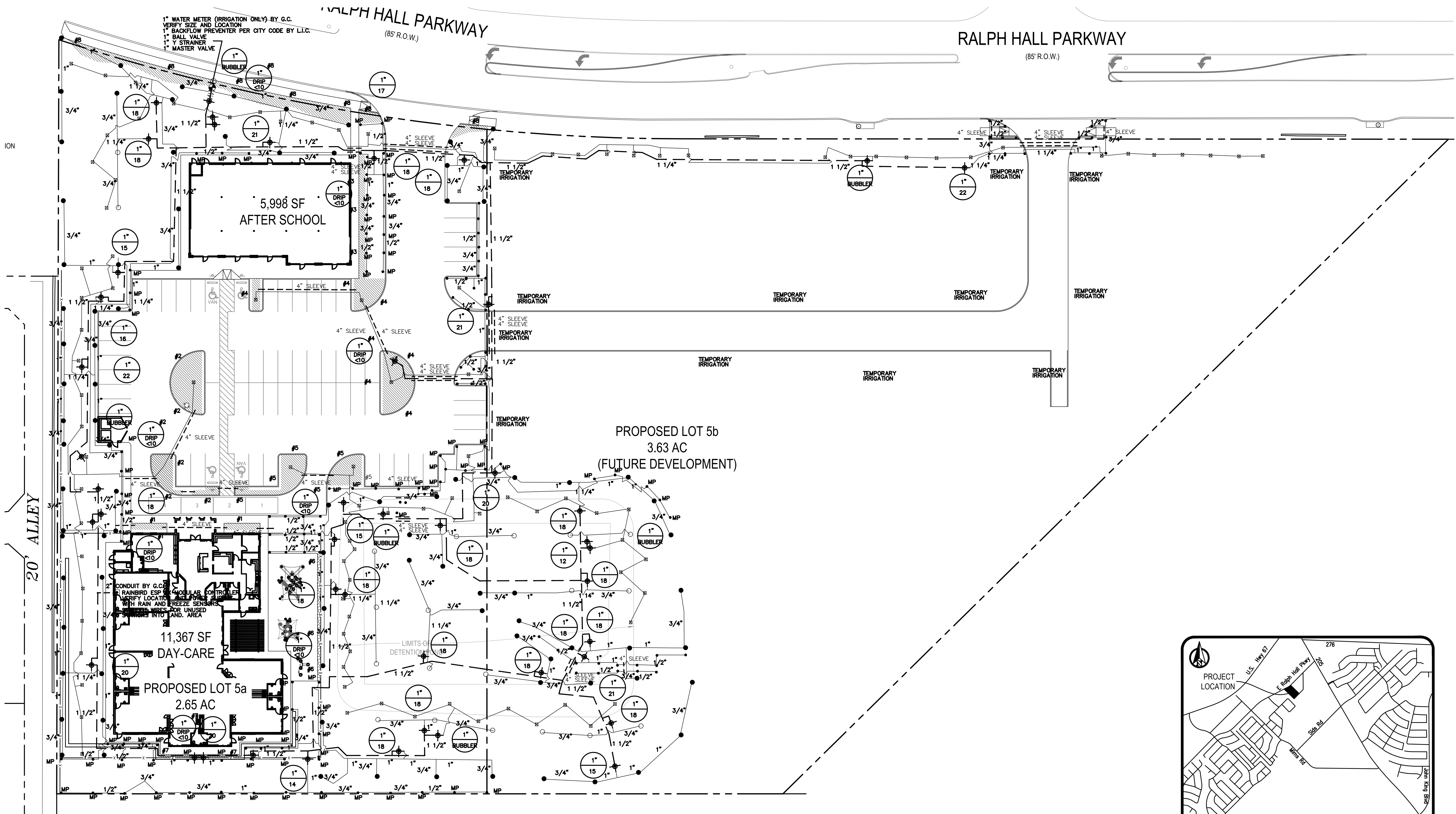
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ISSUE DATE: 03-20-2020



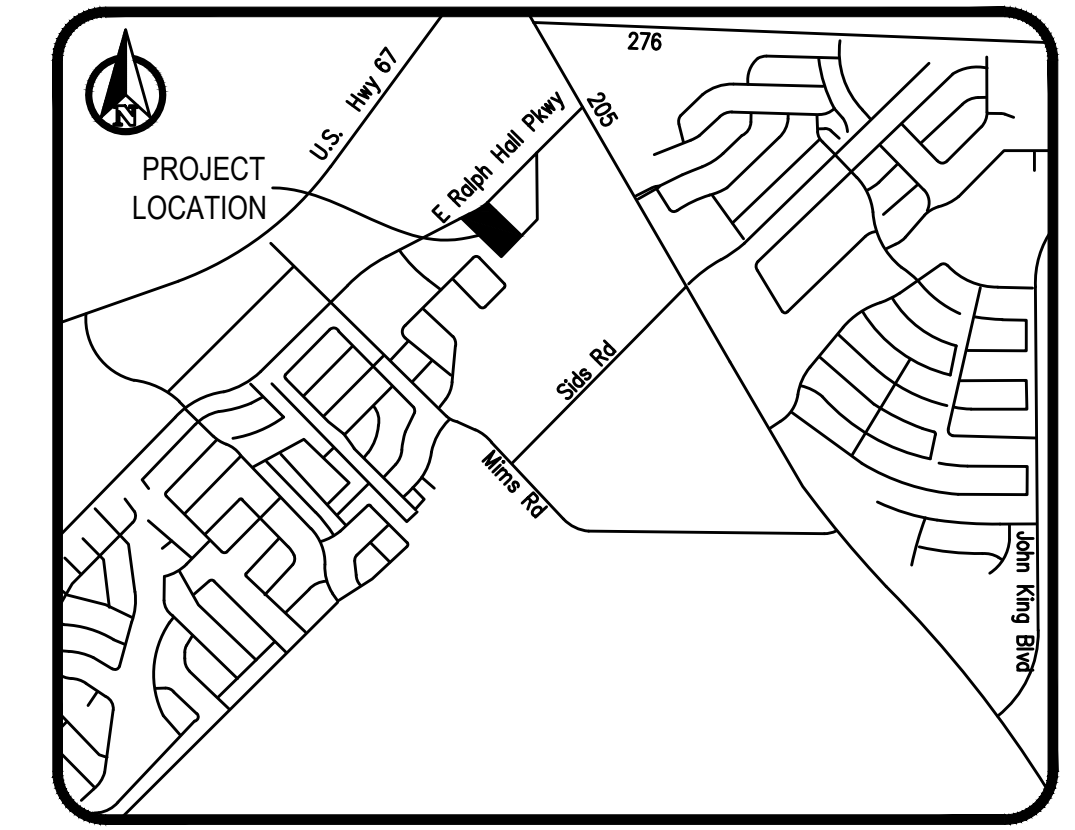
BELLE FIRMA
 4245 North Central Expy
 Suite 501
 Dallas, Texas 75205
 214.865.7192 office

PROJECT NUMBER: PMA032

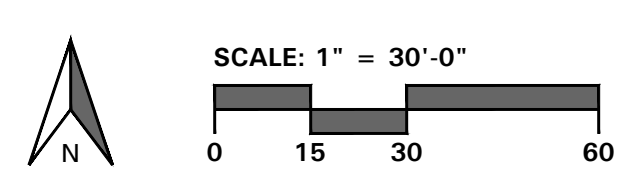


- SLEEVING NOTES**
- SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
 - SLEEVE MATERIAL SHALL BE SCHEDULE 40 PIPE, SIZE AS INDICATED ON PLAN.
 - CONTRACTOR SHALL LAY SLEEVES AND CONDUITS AT TWENTY-FOUR (24") INCHES BELOW FINISH GRADE OF THE TOP OF PAVEMENT.
 - CONTRACTOR SHALL EXTEND SLEEVES ONE (1') FOOT BEYOND EDGE OF ALL PAVEMENT.
 - CONTRACTOR SHALL CAP PIPE ENDS USING PVC CAPS.
 - CONTRACTOR SHALL FURNISH OWNER AND IRRIGATION CONTRACTOR WITH AN 'AS-BUILT' DRAWING SHOWING ALL SLEEVE LOCATIONS.
- IRRIGATION NOTES**
- THE IRRIGATION CONTRACTOR SHALL COORDINATE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR SO THAT ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
 - ALL SPRINKLER EQUIPMENT NUMBERS REFERENCE THE RAINBIRD EQUIPMENT CATALOG UNLESS OTHERWISE INDICATED.
 - TEN DAYS PRIOR TO START OF CONSTRUCTION, IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE. IF STATIC PRESSURE IS LESS THAN 65 P.S.I., NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT WORK UNTIL NOTIFIED TO DO SO BY OWNER.
 - SLEEVES SHALL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE SCHEDULE 40, SIZE AS INDICATED ON PLAN. REFER TO SLEEVING NOTES.
 - ALL MAIN LINE AND LATERAL LINE PIPING IN PLANTING AND LAWN AREAS SHALL HAVE A MINIMUM OF 12 INCHES OF COVER. ALL PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. CONTRACTOR TO VERIFY LOCAL FREEZE DEPTHS AND ADJUST DEPTH OF COVER ACCORDINGLY.
 - LAWN SPRAY HEADS SHALL BE RAINBIRD 1804 INSTALLED PER DETAIL SHOWN.
 - ROTOR HEADS SHALL BE RAINBIRD 5000 INSTALLED PER DETAIL SHOWN. (WITH BUILT-IN CHECK VALVE)
 - NOZZLES SHALL BE RAINBIRD PLASTIC, UNLESS OTHERWISE NOTED. IRRIGATION CONTRACTOR SHALL SELECT THE PROPER ARC AND RADIUS FOR EACH NOZZLE TO ENSURE 100% AND PROPER COVERAGE OF ALL LAWN AREAS AND PLANT MATERIAL. NO WATER SHALL SPRAY ON BUILDING.
 - ALL NOZZLES IN PARKING LOT ISLANDS AND PLANTING BEDS SHALL BE LOW ANGLE NOZZLES TO MINIMIZE OVER SPRAY ON PAVEMENT SURFACES.
 - ELECTRIC CONTROL VALVES SHALL BE RAINBIRD PEB INSTALLED PER DETAIL SHOWN. SIZE OF VALVES AS SHOWN ON PLAN. VALVES SHALL BE INSTALLED IN VALVE BOXES LARGE ENOUGH TO PERMIT MANUAL OPERATION, REMOVAL OF SOLENOID AND / OR VALVE COVER WITHOUT ANY EARTH EXCAVATION.

- ALL 24 VOLT VALVE WIRING TO BE UF 14 GAUGE SINGLE CONDUCTOR. ALL WIRE SPLICES ARE TO BE PERMANENT AND WATERPROOF.
- AUTOMATIC CONTROLLER SHALL BE INSTALLED AT LOCATION SHOWN. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER. LOCATION BY OTHER TRADES. RAIN AND FREEZE SENSORS SHALL BE INSTALLED WITH EACH CONTROLLER.
- THE DESIGN PRESSURE IS 65 PSI.
- ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
- IRRIGATION IN TEXAS IS REGULATED BY: THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC-178 / PO BOX 13087 AUSTIN, TEXAS 78711-3087
- TCEQ'S WEBSITE IS WWW.TCEQ.STATE.TX.US.



PROJECT NAME:	PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION:	LOT 5, ROCKWALL BUSINESS PARK EAST
CASE NUMBER:	XXXXXXXXXX
CURRENT OWNER:	DALLAS EAST, ATTN: JIM VAUDAGNA 1445 W SAN CARLOS ST. SAN JOSE, CA 95126
DEVELOPER:	EPSILON LAND DEVELOPMENT, JARED HELMBERGER 811 S. CENTRAL EXPRESSWAY, #306 RICHARDSON, TX 75080



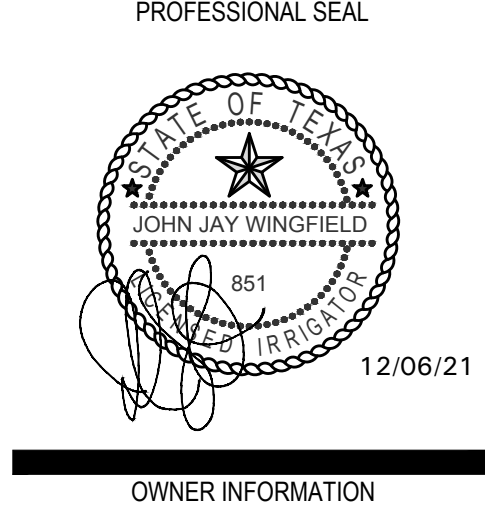
BELLE FIRMA

- 4245 North Central Expy
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**PINNACLE MONTESSORI
ACADEMY ROCKWALL**
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE
IRRIGATION PLAN

SHEET NUMBER
L3.01

ISSUE DATE: 03-20-2020

