



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX)

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1, 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: **East of Dowell Road and 2700' south of Hwy. 276**

SUBDIVISION: **Emerson Farms** LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_

GENERAL LOCATION: \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: \_\_\_\_\_ CURRENT USE: \_\_\_\_\_

PROPOSED ZONING: **145.102** PROPOSED USE: \_\_\_\_\_

ACREAGE: \_\_\_\_\_ LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: **108**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<b>Harlan Properties, Inc.</b>	<input type="checkbox"/> APPLICANT	<b>Corwin Engineering, Inc.</b>
CONTACT PERSON	<b>Suresh Shridharani</b>	CONTACT PERSON	<b>Chase Finch</b>
ADDRESS	<b>2404 Texas Drive, Ste. 103</b>	ADDRESS	<b>200 W. Belmont, Ste. E</b>
CITY, STATE & ZIP	<b>Irving, Texas 75062</b>	CITY, STATE & ZIP	<b>Allen, Tx 75013</b>
PHONE	<b>972-659-0655 ext. 110</b>	PHONE	<b>972-396-1200</b>
E-MAIL	<b>sureshns@aol.com</b>	E-MAIL	<b>cfinch@corwinengineering.com</b>

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **SURESH SHRIDHARANI** [OWNER] THE UNDERSIGNED WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

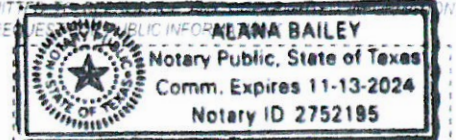
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 3-17-22 DAY OF 20 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE THIS INFORMATION IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March, 2022

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

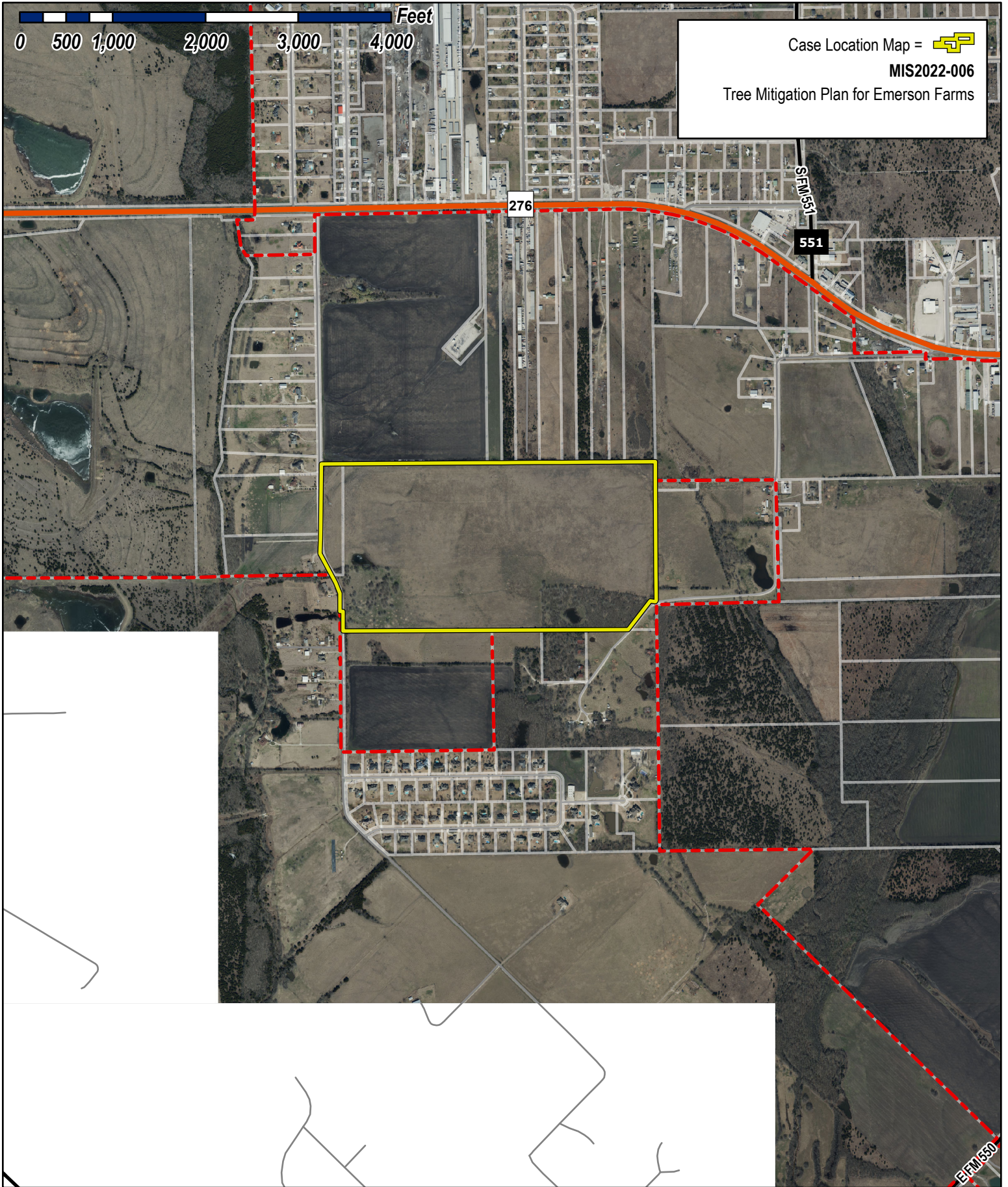
*Suresh Shridharani*  
*Keana Bailey*



MY COMMISSION EXPIRES

0 500 1,000 2,000 3,000 4,000 Feet

Case Location Map =   
MIS2022-006  
Tree Mitigation Plan for Emerson Farms



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







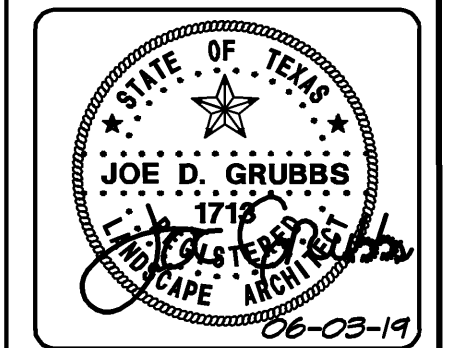
Matchline See Sheet TS1

#	Revisions:	Date:

Issued For:  
**CONSTRUCTION**  
 Job No.  
 19115  
 Scale  
 1" = 100'-0"  
 Drawn By:  
 JDS  
 Date  
 06-03-2019

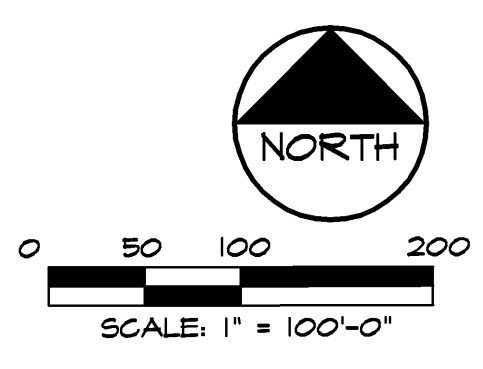
# Emerson Tract

Rockwall Texas



## Tree Survey & Mitigation Plan

Sheet Title:  
**TS2**  
 of TS3 Sheets



TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1501	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1502	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1503	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1504	HACKBERRY	16 M.T.	GOOD	PRESERVED	0%	0	
1505	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1506	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1507	AMERICAN ELM	18 M.T.	GOOD	REMOVED	100%	18.0	
1508	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1509	HACKBERRY	18 M.T.	GOOD	REMOVED	50%	9.0	
1510	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1511	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1512	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1513	HACKBERRY	16 M.T.	GOOD	PRESERVED	0%	0	
1514	HACKBERRY	15 M.T.	GOOD	PRESERVED	0%	0	
1515	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1516	HACKBERRY	15	POOR	REMOVED	0%	0	SLIT TRUNK
1517	HACKBERRY	12	POOR	REMOVED	0%	0	MAJOR DAMAGE
1518	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1519	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1520	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1521	HACKBERRY	16 M.T.	GOOD	REMOVED	50%	8.0	
1522	HACKBERRY	16	GOOD	REMOVED	50%	8.0	
1523	HACKBERRY	17 M.T.	GOOD	PRESERVED	0%	0	
1524	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1525	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1526	HACKBERRY	18 M.T.	GOOD	REMOVED	50%	9.0	
1527	HACKBERRY	26	GOOD	REMOVED	50%	13.0	
1528	HACKBERRY	23 M.T.	GOOD	REMOVED	50%	11.5	
1529	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1530	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1531	HACKBERRY	24 M.T.	GOOD	PRESERVED	0%	0	
1532	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1533	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1534	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1535	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1536	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1537	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1538	CEDAR ELM	14	GOOD	PRESERVED	0%	0	
1539	HACKBERRY	14 M.T.	GOOD	REMOVED	50%	7.0	
1540	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1541	HACKBERRY	18 M.T.	GOOD	REMOVED	50%	9.0	
1542	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1543	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1544	HACKBERRY	16 M.T.	GOOD	REMOVED	50%	8.0	
1545	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1546	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1547	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1548	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1549	HACKBERRY	16 M.T.	GOOD	PRESERVED	0%	0	
1550	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1551	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1552	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1553	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1554	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1555	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1556	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1557	AMERICAN ELM	22 M.T.	GOOD	REMOVED	100%	22.0	
1558	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1559	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1560	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1561	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1562	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1563	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
TOTAL COLUMN MITIGATION REQUIRED						357	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1564	HACKBERRY	23 M.T.	GOOD	REMOVED	50%	11.5	
1565	HAWTHORN	8 M.T.	GOOD	REMOVED	100%	8.0	
1566	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1567	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1568	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1569	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
1570	HACKBERRY	12 M.T.	GOOD	PRESERVED	0%	0	
1571	CEDAR ELM	11	GOOD	PRESERVED	0%	0	
1572	HACKBERRY	12 M.T.	GOOD	PRESERVED	0%	0	
1573	HAWTHORN	5	GOOD	PRESERVED	0%	0	
1574	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1575	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1576	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1577	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1578	HACKBERRY	14 M.T.	GOOD	REMOVED	50%	7.0	
1579	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1580	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1581	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1582	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1583	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
1584	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1585	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1586	HACKBERRY	15 M.T.	POOR	PRESERVED	0%	0	1/2 TOP GONE
1587	HACKBERRY	17	GOOD	PRESERVED	0%	0	
1588	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1589	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1590	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1591	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1592	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1593	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1594	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1595	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1596	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1597	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1598	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1599	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1600	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1601	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1602	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1603	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1604	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1605	HACKBERRY	22 M.T.	POOR	REMOVED	0%	0	MAJOR DAMAGE
1606	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1607	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1608	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1609	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1610	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1611	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1612	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1613	HACKBERRY	11	POOR	REMOVED	0%	0	MAJOR DAMAGE
1614	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1615	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1616	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1617	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1618	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1619	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1620	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1621	HACKBERRY	11	POOR	PRESERVED	0%	0	TRUNK DAMAGE
1622	HACKBERRY	15 M.T.	GOOD	PRESERVED	0%	0	
1623	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1624	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1625	HACKBERRY	13	POOR	PRESERVED	0%	0	TRUNK DAMAGE
1626	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
TOTAL COLUMN MITIGATION REQUIRED						129.5	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1627	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1628	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1629	HACKBERRY	18	GOOD	PRESERVED	0%	0	
1630	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1631	HACKBERRY	21 M.T.	GOOD	PRESERVED	0%	0	
1632	HACKBERRY	23 M.T.	GOOD	PRESERVED	0%	0	
1633	HACKBERRY	16 M.T.	GOOD	REMOVED	50%	8.0	
1634	HACKBERRY	12	POOR	REMOVED	0%	0	TRUNK DAMAGE
1635	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1636	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1637	HACKBERRY	19 M.T.	GOOD	PRESERVED	0%	0	
1638	HACKBERRY	18	POOR	PRESERVED	0%	0	TRUNK DAMAGE
1639	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1640	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1641	HACKBERRY	20	GOOD	REMOVED	50%	10.0	
1642	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1643	HACKBERRY	22	GOOD	PRESERVED	0%	0	
1644	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1645	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1646	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1647	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1648	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1649	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1650	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1651	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1652	HACKBERRY	15	POOR	REMOVED	0%	0	TOP GONE
1653	HACKBERRY	23	GOOD	REMOVED	50%	11.5	
1654	HACKBERRY	19	GOOD	PRESERVED	0%	0	
1655	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1656	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1657	HACKBERRY	21	GOOD	REMOVED	50%	10.5	
1658	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1659	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1660	HACKBERRY	18	POOR	PRESERVED	0%	0	SLIT TRUNK
1661	HACKBERRY	19	GOOD	PRESERVED	0%	0	
1662	HACKBERRY	19	GOOD	PRESERVED	0%	0	
1663	HACKBERRY	20	GOOD	PRESERVED	0%	0	
1664	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1665	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1666	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1667	HACKBERRY	26 M.T.	POOR	REMOVED	0%	0	TRUNK DAMAGE
1668	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1669	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1670	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1671	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1672	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1673	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1674	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1675	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1676	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1677	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1678	HACKBERRY	15 M.T.	GOOD	REMOVED	50%	7.5	
1679	HACKBERRY	12	POOR	REMOVED	0%	0	TRUNK DAMAGE
1680	HACKBERRY	15 M.T.	GOOD	REMOVED	50%	7.5	
1681	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1682	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1683	HACKBERRY	11	POOR	REMOVED	0%	0	TRUNK DAMAGE
1684	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1685	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1686	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1687	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1688	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
TOTAL COLUMN MITIGATION REQUIRED						281.5	
TOTAL MITIGATION INCHES REQUIRED						768.0	

Date:	
Revisions:	
#	

Issued For:  
**CONSTRUCTION**

Job No.  
19115

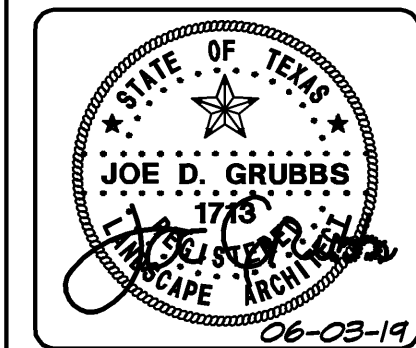
Scale  
N.T.S.

Drawn By:  
JDS

Date  
06-03-2019

# Emerson Tract

Rockwall Texas



## Tree Survey & Mitigation Plan

Sheet Number:  
**TS3**  
of TS3 Sheets

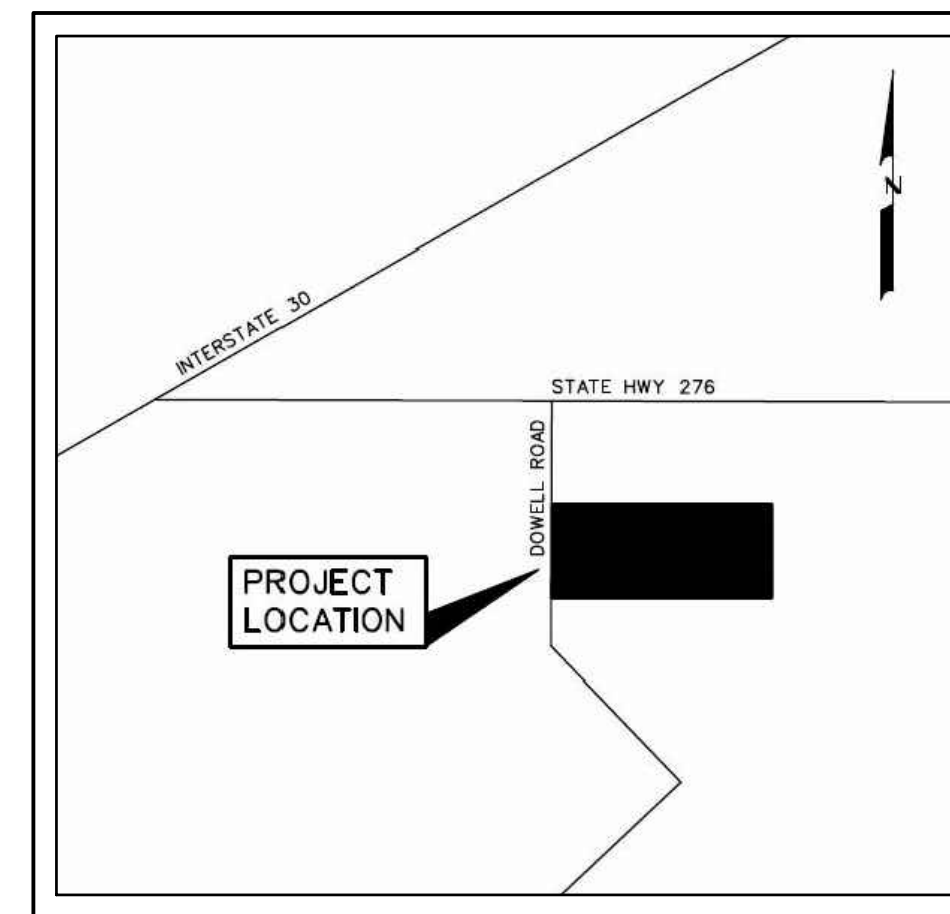
**GENERAL CONSTRUCTION NOTES**

- IT IS NOT THE INTENT OF THESE CONSTRUCTION NOTES TO COVER ALL DETAILS AND/OR SPECIFICATION REQUIREMENTS OF THE CITY OF ROCKWALL. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL'S STANDARD SPECIFICATIONS, GENERAL DESIGN STANDARDS, ORDINANCES, RULES, POLICIES, REQUIREMENTS AND REGULATIONS, AS WELL AS ANY OTHER APPLICABLE STATE AND/OR FEDERAL RULES, REGULATIONS AND/OR REQUIREMENTS, AS THEY EXIST OR MAY BE AMENDED. ENGINEERING DRAWINGS SHALL GOVERN FOR CONSTRUCTION OF ALL CIVIL IMPROVEMENTS.
- THE EXISTENCE AND LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN (MAIN LINES, NO LATERAL OR SERVICES SHOWN) ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO TRENCHING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL FRANCHISE AND CITY OF ROCKWALL UTILITIES PRIOR TO CONSTRUCTION.
- ANY CONTRACTOR / SUBCONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS. SAID EXISTING IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO BERMS, DITCHES, FENCES, AND PLANTS. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND SHALL BE APPROVED BY THE CITY OF ROCKWALL.
- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL MEET OR EXCEED ALL REQUIREMENTS OF THE CITY OF ROCKWALL. ALL SUBMITTALS MUST BE ORIGINALS WITH SIGNATURES WHERE APPLICABLE; FACSIMILES OR EMAILS SHALL BE FOLLOWED UP WITH ORIGINALS.
- ALL TESTING SHALL BE DONE BY AN APPROVED LABORATORY AT THE EXPENSE OF THE CONTRACTOR. THE CITY OF ROCKWALL WILL ONLY ACCEPT SIGNED ORIGINAL COPIES OF ALL TESTING REPORTS FOR REVIEW.
- THE DEVELOPER OR HIS/HER DESIGNEE SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL HANDBOOK. ALL REFERENCE FOR USING TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) STANDARDS AND CONSTRUCTION DETAILS SHALL BE THE LATEST REVISIONS AND/OR AMENDMENTS THEREOF. THE CITY OF ROCKWALL USES RAISED PAVEMENT MARKINGS (BUTTONS) FOR STRIPING AND THERMOPLASTIC MARKINGS IN LIEU OF PAINT. THE MINIMUM SIGN SIZE SHALL BE THE STANDARD SIZE IN THE MANUAL. DETAILS ARE AVAILABLE UPON REQUEST FOR THE TYPE OF BUTTON PATTERNS AND POSTS AND CONNECTIONS REQUIRED FOR THE SIGNS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT NOT TO IMPEDE TRAFFIC ON EXISTING STREETS, ALLEYS, OR FIRELANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRELANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY OF ROCKWALL. IF THE CLOSURE ELIMINATES THE SECOND POINT OF ACCESS TO EXISTING BUILDINGS WITH A CERTIFICATE OF OCCUPANCY, THEN THE ACCESS MAY NOT BE CLOSED FOR MORE THAN FORTY-EIGHT (48) HOURS AND WILL REQUIRE FIRE MARSHAL APPROVAL IN EITHER CASE. UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCKWALL, ALL OTHER STREETS OR ALLEYS MAY NOT BE CLOSED FOR MORE THAN SEVENTY-TWO (72) HOURS.

# CONSTRUCTION PLANS

## LANDSCAPE & SCREENING

~Emerson Farms~  
 City of Rockwall  
 Rockwall County, Texas



LOCATION MAP  
NOT TO SCALE

**SHEET INDEX**

L1-L4	LANDSCAPE PLANS
L5	LANDSCAPE DETAILS

**LANDSCAPE NOTES:**

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- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
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- ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
- CONTACT CITY OF ROCKWALL'S PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE CITY OF ROCKWALL AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
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- PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

**OWNER / DEVELOPER:** HARLAN PROPERTIES, INC  
 2404 TEXAS DRIVE  
 ST. 103  
 IRVING, TEXAS 75062

**CIVIL ENGINEER:** CORWIN ENGINEERING, INC  
 200 W. BELMONT DRIVE  
 ALLEN, TEXAS 75013  
 PH. (972) 396-1200  
 CONTACT: WARREN CORWIN, P.E.

**LANDSCAPE ARCHITECT:** STUDIO 13 DESIGN GROUP, PLLC.  
 386 WEST MAIN STREET  
 LEWISVILLE, TEXAS 75057  
 PH. (469) 635-1900  
 CONTACT: LEONARD REEVES, ASLA, LI

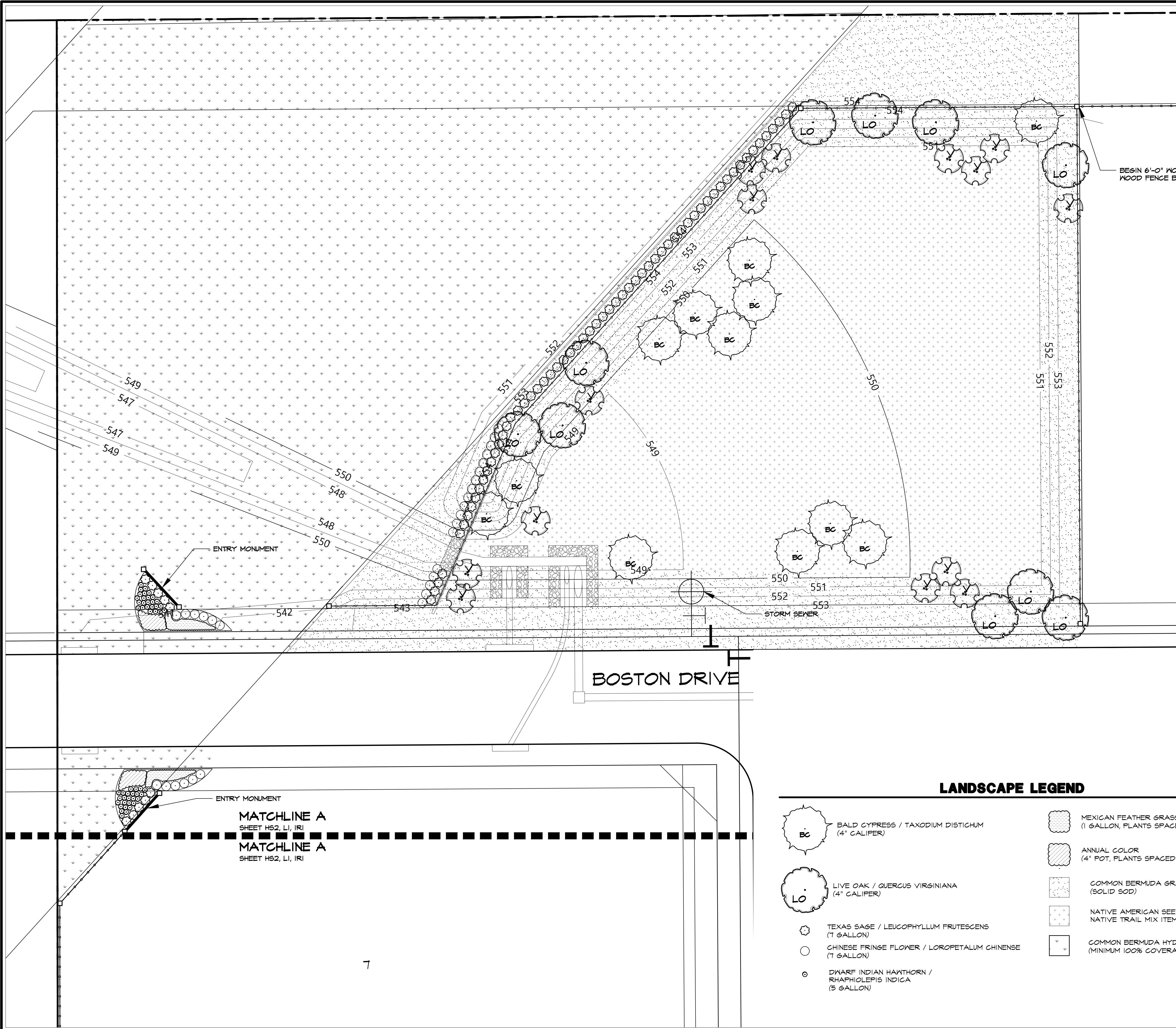
Submission May 8, 2020



Studio 13 Design Group, PLLC.  
 386 W. Main Street  
 Lewisville, Texas 75057  
 469-635-1900

TBAE Firm #BR643

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Note: Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.

Detention area: 27,763 sqft./750= 37 Required plantings Provided:  
 Total: 12 Texas Sage  
 18 Loropetalum  
 90

BEGIN 6'-0" WOOD FENCE  
 WOOD FENCE BY BUILDER

**STUDIO 13 DESIGN GROUP**  
 Studio 13 Design Group, PLLC  
 386 W. Main Street  
 Lewisville, Texas 75057  
 469-635-1900  
 TBAE Firm #BR643

Signature: *Demetrius W. News*  
 May 8, 2020

NORTH

1" = 20' - 0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

**LANDSCAPE AND SCREENING**  
 Landscape Plans  
 Emerson Farms  
 City of Rockwall, Rockwall County, Texas

PLAN REVIEW REVISIONS	BY	DATE
1 Revised Per Owner Comments	LWR	9-4-2019

PROJECT  
**HAR002**  
 SHEET  
**L1 of 5**

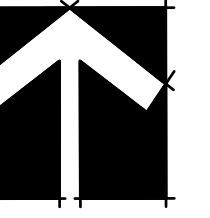
**LANDSCAPE LEGEND**

- BALD CYPRESS / TAXODIUM DISTICHUM (4" GALIPER)
- LIVE OAK / QUERCUS VIRGINIANA (4" GALIPER)
- DWARF INDIAN HAWTHORN / RHAPHIOLEPIS INDICA (5 GALLON)
- MEXICAN FEATHER GRASS / STIPA TENNUISSIMA (1 GALLON, PLANTS SPACED 12" O.C.)
- ANNUAL COLOR (4" POT, PLANTS SPACED 12" O.C.)
- COMMON BERMUDA GRASS (SOLID SOD)
- NATIVE AMERICAN SEEN NATIVE TRAIL MIX ITEM NUMBER #1811
- COMMON BERMUDA HYDROMULCH (MINIMUM 100% COVERAGE @ 70% DENSITY)

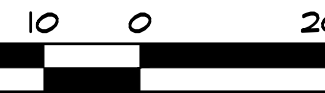
**MATCHLINE A**  
 SHEET H52, LI, IRI  
**MATCHLINE A**  
 SHEET H52, LI, IRI



Leonard W. Reeves  
May 8, 2020



NORTH



1" = 20' - 0"

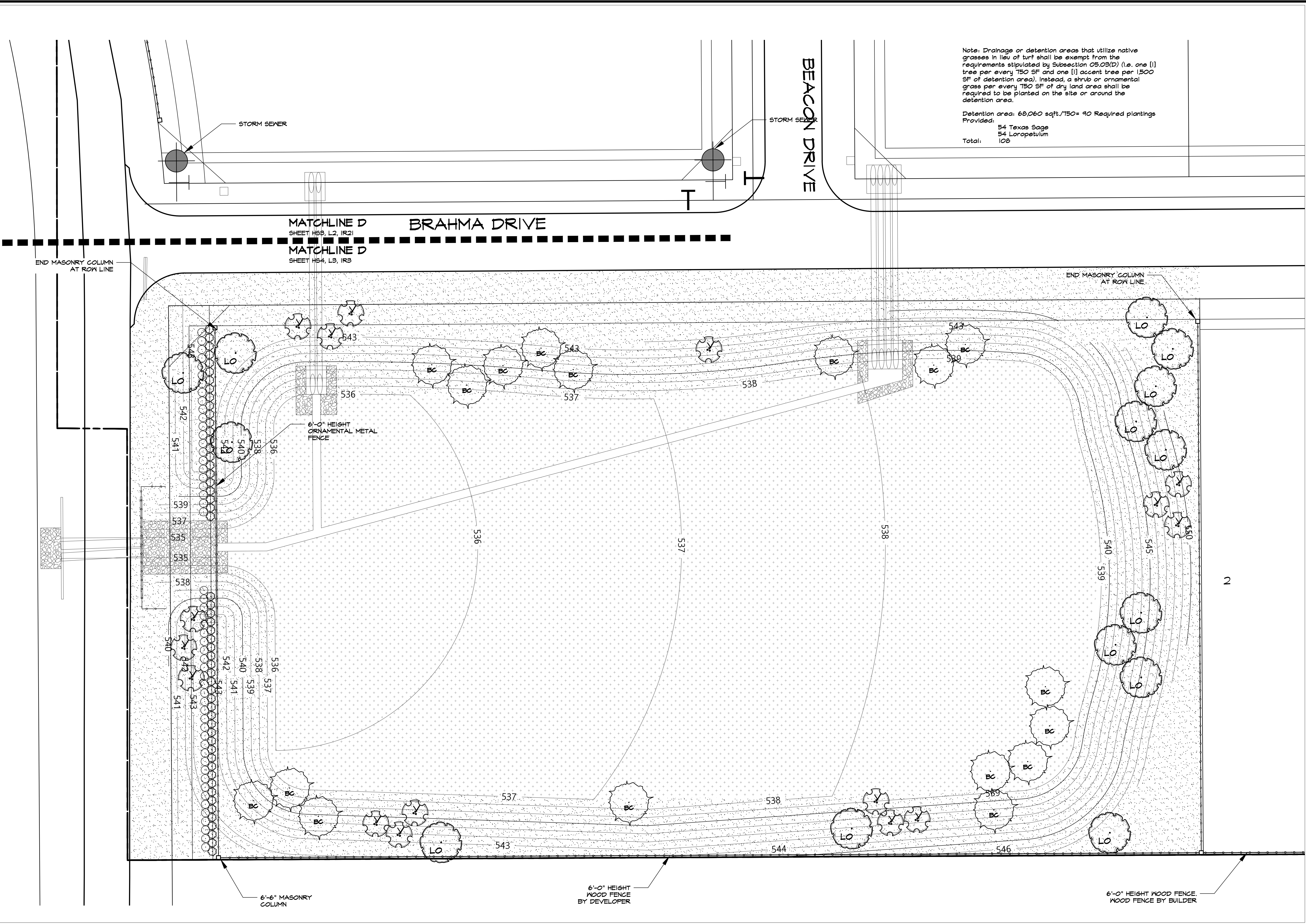
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One Inch

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Detention area: 68,060 sqft./750 = 90 Required plantings  
Provided:  
54 Texas Sage  
54 Loropetalum  
108  
Total:

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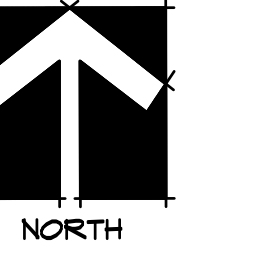
**LANDSCAPE AND SCREENING**

Landscape Plans  
Emerson Farms  
City of Rockwall, Rockwall County, Texas

PLAN REVIEW REVISIONS	BY	DATE
# 0		

PROJECT  
**HAR002**  
SHEET  
L2 of 5





Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

**LANDSCAPE AND SCREENING**

Landscape Plans  
Emerson Farms  
City of Rockwall, Rockwall County, Texas

BY	DATE
LWR	9-4-2019

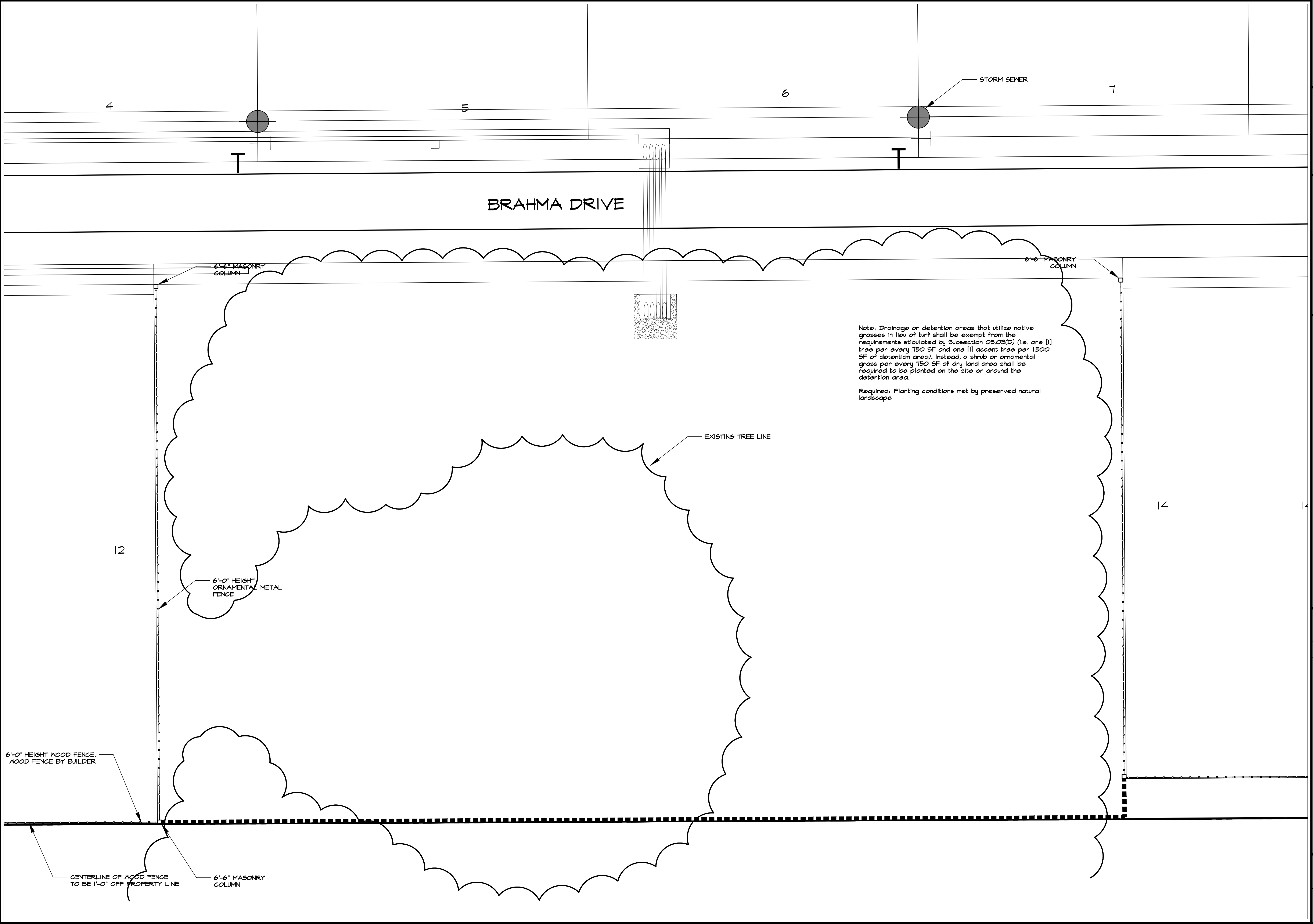
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1	Revised Per Owner Comments

PROJECT  
**HAR002**

SHEET  
**L3 of 5**

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**BRAHMA DRIVE**

STORM SEWER

6'-6" MASONRY COLUMN

6'-6" MASONRY COLUMN

6'-0" HEIGHT ORNAMENTAL METAL FENCE

EXISTING TREE LINE

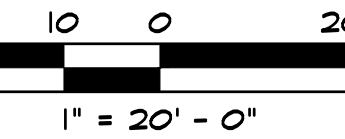
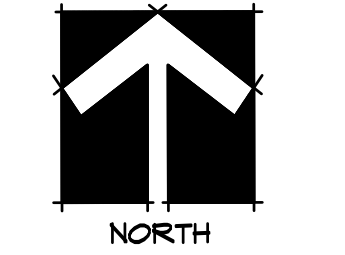
6'-0" HEIGHT WOOD FENCE. WOOD FENCE BY BUILDER

CENTERLINE OF WOOD FENCE TO BE 1'-0" OFF PROPERTY LINE

6'-6" MASONRY COLUMN

Note: Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.

Required: Planting conditions met by preserved natural landscape



1" = 20' - 0"  
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.  
One Inch

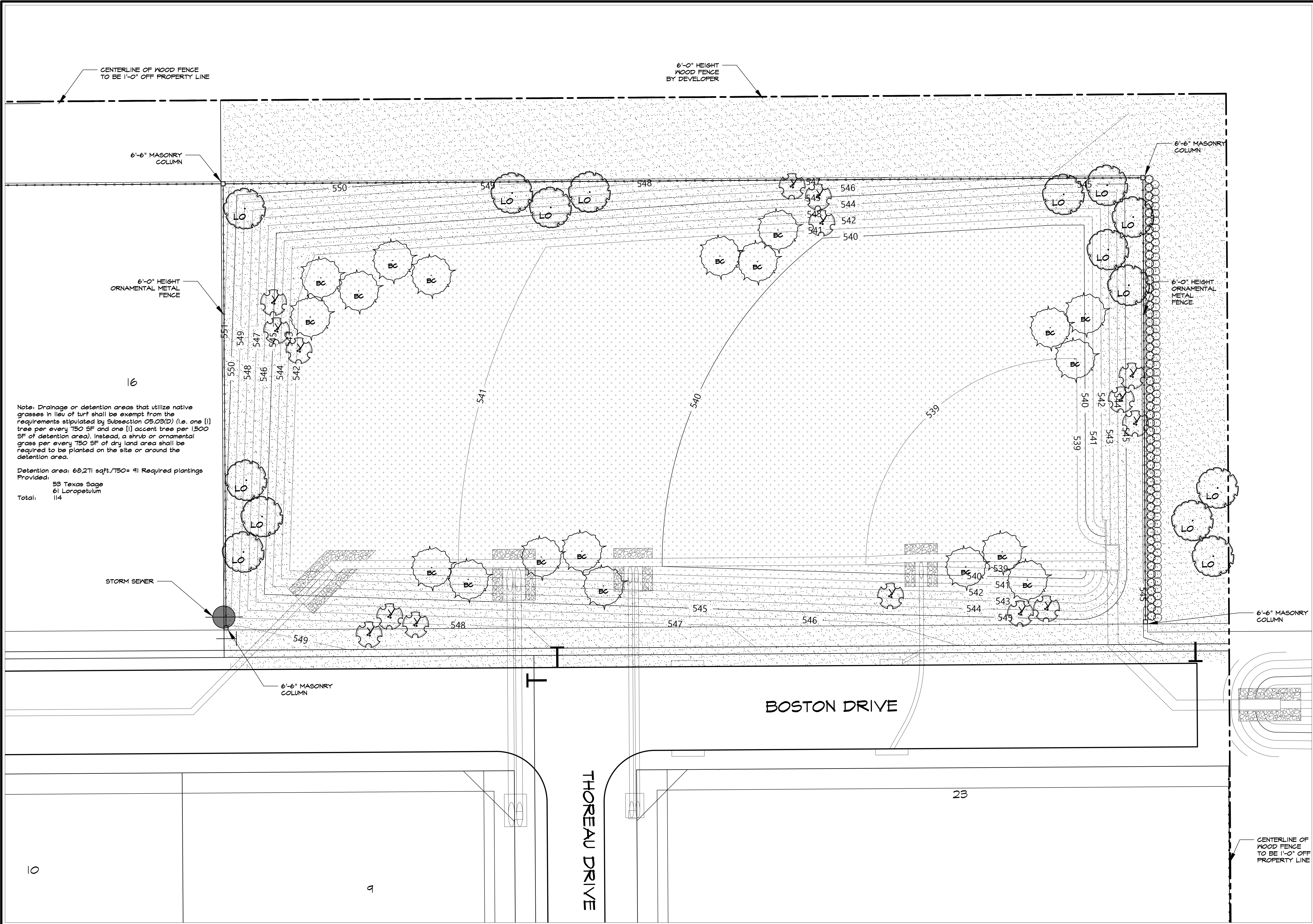
**LANDSCAPE AND SCREENING**  
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Emerson Farms  
City of Rockwall, Rockwall County, Texas

BY	DATE
LMR	9-4-2019

#	PLAN REVIEW REVISIONS
1	Revised Per Owner Comments

PROJECT	HAR002
SHEET	L4 of 5

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Detention area: 69,271 sqft./750= 91 Required plantings Provided:

53 Texas Sage  
61 Loropetalum

Total: 114

10

9

THOREAU DRIVE

BOSTON DRIVE

23

CENTERLINE OF WOOD FENCE TO BE 1'-0" OFF PROPERTY LINE

CENTERLINE OF WOOD FENCE TO BE 1'-0" OFF PROPERTY LINE

6'-0" HEIGHT WOOD FENCE BY DEVELOPER

6'-6" MASONRY COLUMN

6'-6" MASONRY COLUMN

6'-0" HEIGHT ORNAMENTAL METAL FENCE

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**PLANT LIST**

SYMBOL	COMMON/BOTANICAL NAME	SIZE	SPACING	QUANTITY	REMARKS
LO	LIVE OAK / QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	6	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN,
BC	BALD CYPRESS / TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	43	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN,
V	CHASTE TREE / VITEX AGNUS-CASTUS	2" CALIPER	AS SHOWN	43	5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; FULL ROUNDED HEAD 3 CANE MINIMUM, NURSERY GROWN,
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	7 GALLON	AS SHOWN	141	FULL PLANTS
	CHINESE FRINGE FLOWER / LOROPETALUM CHINENSE	7 GALLON	AS SHOWN	145	FULL PLANTS
	DWARF INDIAN HAWTHORN / RAPHIOLEPIS INDICA	7 GALLON	AS SHOWN	94	FULL PLANTS
	MEXICAN FEATHER GRASS / STIPA TENNUSSIMA	1 GALLON	12" O.C.	184	FULL PLANTS
	ANNUAL COLOR - TBD	4" FLATS	12" O.C.	150	FULL PLANTS



Studio 13 Design Group, P.L.L.C.  
386 W. Main Street  
Lewisville, Texas 75057  
469-655-1900

TBAE Firm #BR643



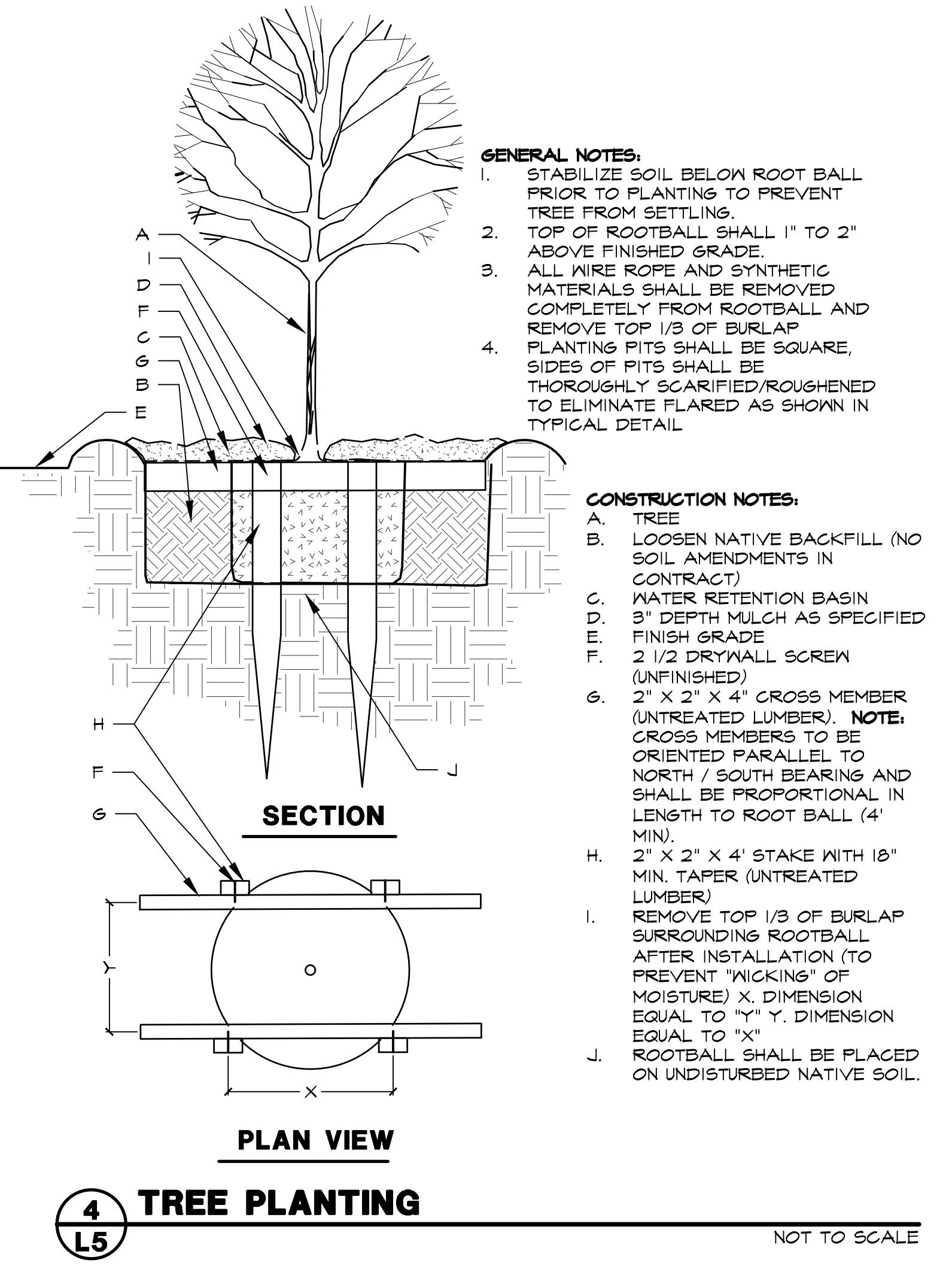
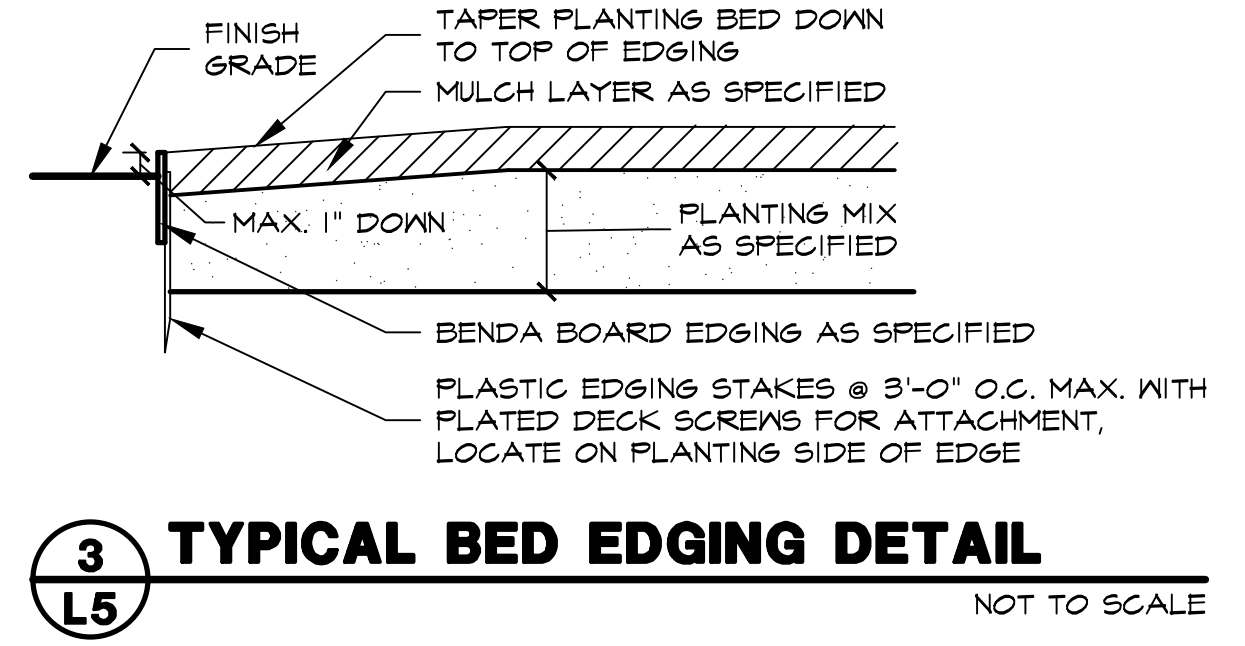
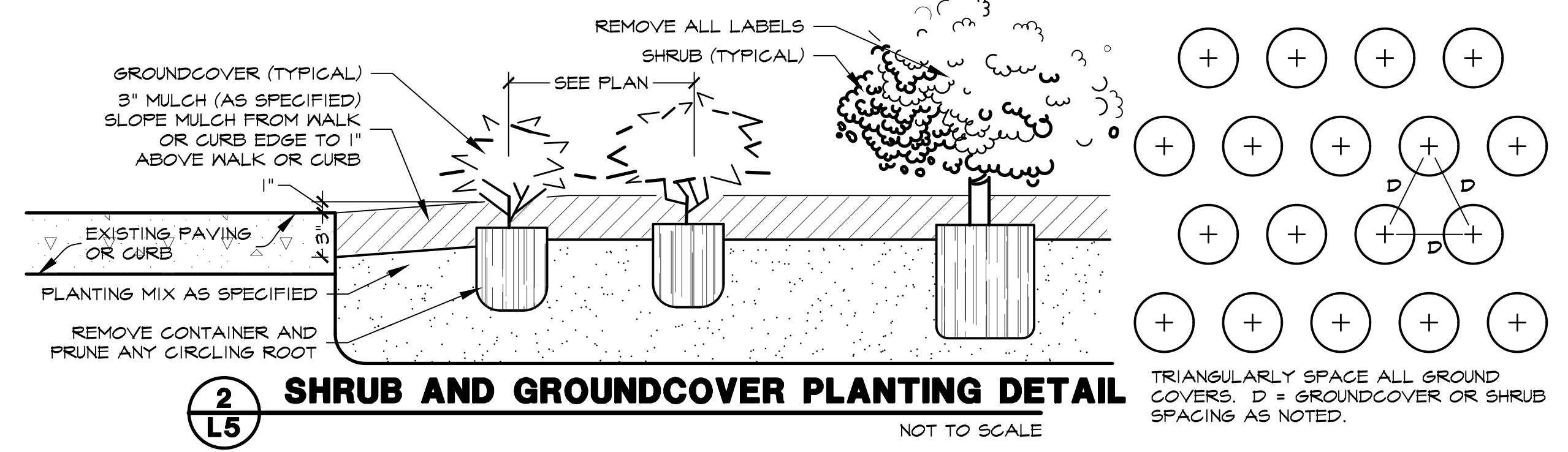
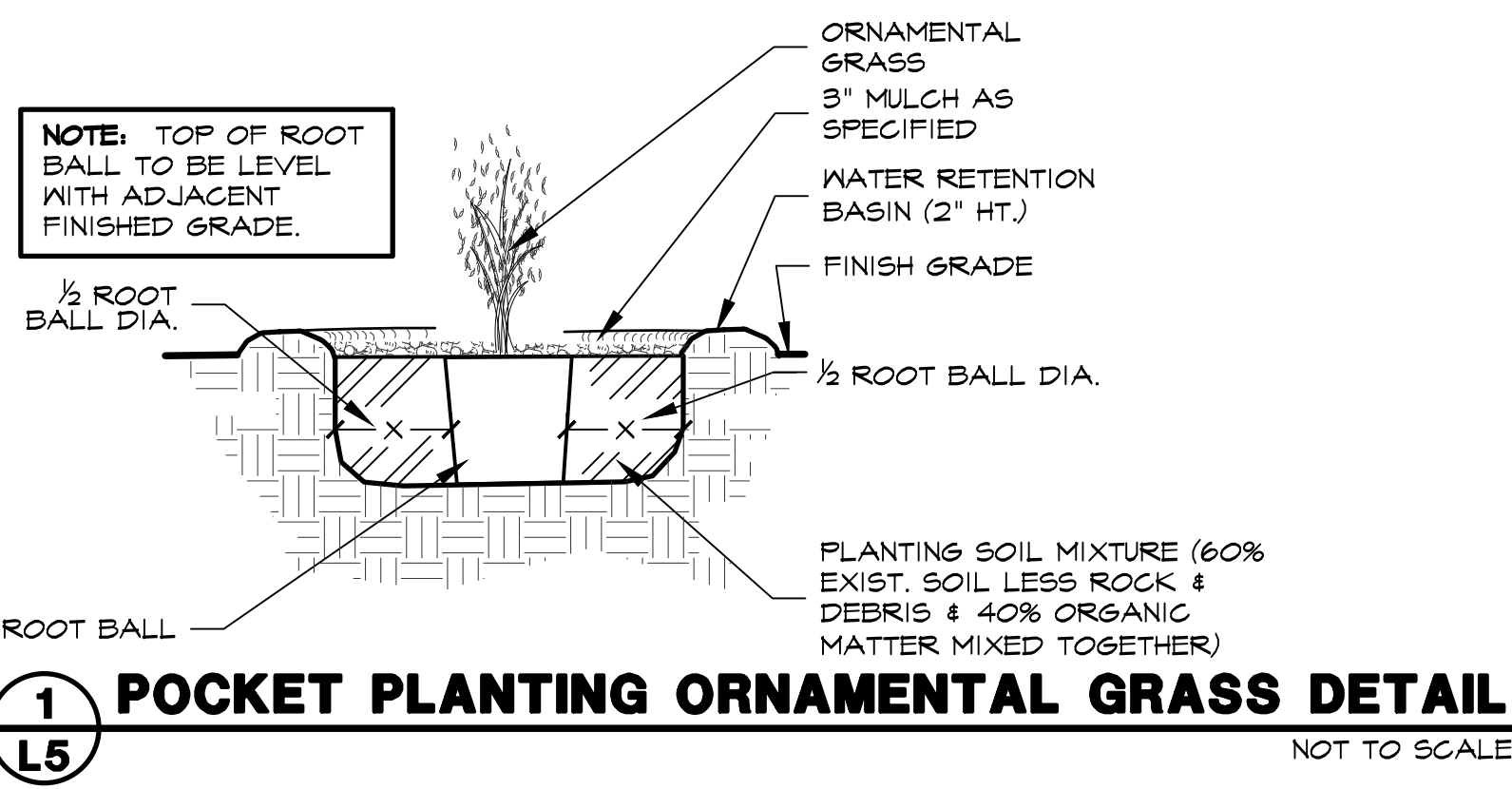
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

**LANDSCAPE AND SCREENING**  
Landscape Details  
Emerson Farms  
City of Rockwall, Rockwall County, Texas

PLAN REVIEW REVISIONS	BY	DATE
1	LMR	9-4-2019

PROJECT  
**HAR002**  
SHEET  
**L5 of 5**

Plotted by: ##### Plot Date: 9/22/2021 3:11 PM  
Drawing: W:\Shared With Me\shared\Projects\HAR002 - Emerson\DWG\HAR002-L5.dwg Saved By: Station13 Save Time: 9/22/2021 3:08 PM



- GENERAL NOTES:**
- STABILIZE SOIL BELOW ROOT BALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTBALL SHALL 1" TO 2" ABOVE FINISHED GRADE.
  - ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED COMPLETELY FROM ROOTBALL AND REMOVE TOP 1/3 OF BURLAP.
  - PLANTING PITS SHALL BE SQUARE, SIDES OF PITS SHALL BE THOROUGHLY SCARIFIED/ROUGHENED TO ELIMINATE FLARED AS SHOWN IN TYPICAL DETAIL.

- CONSTRUCTION NOTES:**
- TREE
  - LOOSEN NATIVE BACKFILL (NO SOIL AMENDMENTS IN CONTRACT)
  - WATER RETENTION BASIN
  - 3" DEPTH MULCH AS SPECIFIED
  - FINISH GRADE
  - 1/2 DRYWALL SCREW (UNFINISHED)
  - 2" X 2" X 4" CROSS MEMBER (UNTREATED LUMBER). NOTE: CROSS MEMBERS TO BE ORIENTED PARALLEL TO NORTH / SOUTH BEARING AND SHALL BE PROPORTIONAL IN LENGTH TO ROOT BALL (4' MIN).
  - 2" X 2" X 4" STAKE WITH 18" MIN. TAPER (UNTREATED LUMBER)
  - REMOVE TOP 1/3 OF BURLAP SURROUNDING ROOTBALL AFTER INSTALLATION (TO PREVENT 'WICKING' OF MOISTURE) X DIMENSION EQUAL TO 'Y' Y. DIMENSION EQUAL TO 'X'
  - ROOTBALL SHALL BE PLACED ON UNDISTURBED NATIVE SOIL.