



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 5565 Hwy 549, Rockwall, TX

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION *West of SH 205 & South of FM 549*

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

*Ag*

CURRENT USE

*Ag*

PROPOSED ZONING

*PD*

PROPOSED USE

*Single Family & Commercial*

ACREAGE

*264.5*

LOTS [CURRENT]

*—*

LOTS [PROPOSED]

*476*

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Hlghgate Ltd.

APPLICANT Corson Cramer Development

CONTACT PERSON Scott Asbury

CONTACT PERSON Brian Cramer

ADDRESS 13155 Noel Rd. #900

ADDRESS 4925 Greenville Ave., #604

CITY, STATE & ZIP Dallas, TX 75240

CITY, STATE & ZIP Dallas, TX 75206

PHONE 214-566-8699

PHONE 214-734-5924

E-MAIL SAsbury@3LRealtyGroup.com

E-MAIL bcramer@ccdevtx.com

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Scott Asbury [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 4167.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE December DAY OF 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8<sup>th</sup> DAY OF December 2021.

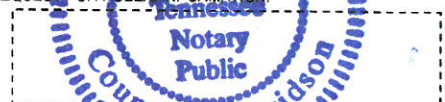
OWNER'S SIGNATURE

*Scott Asbury*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

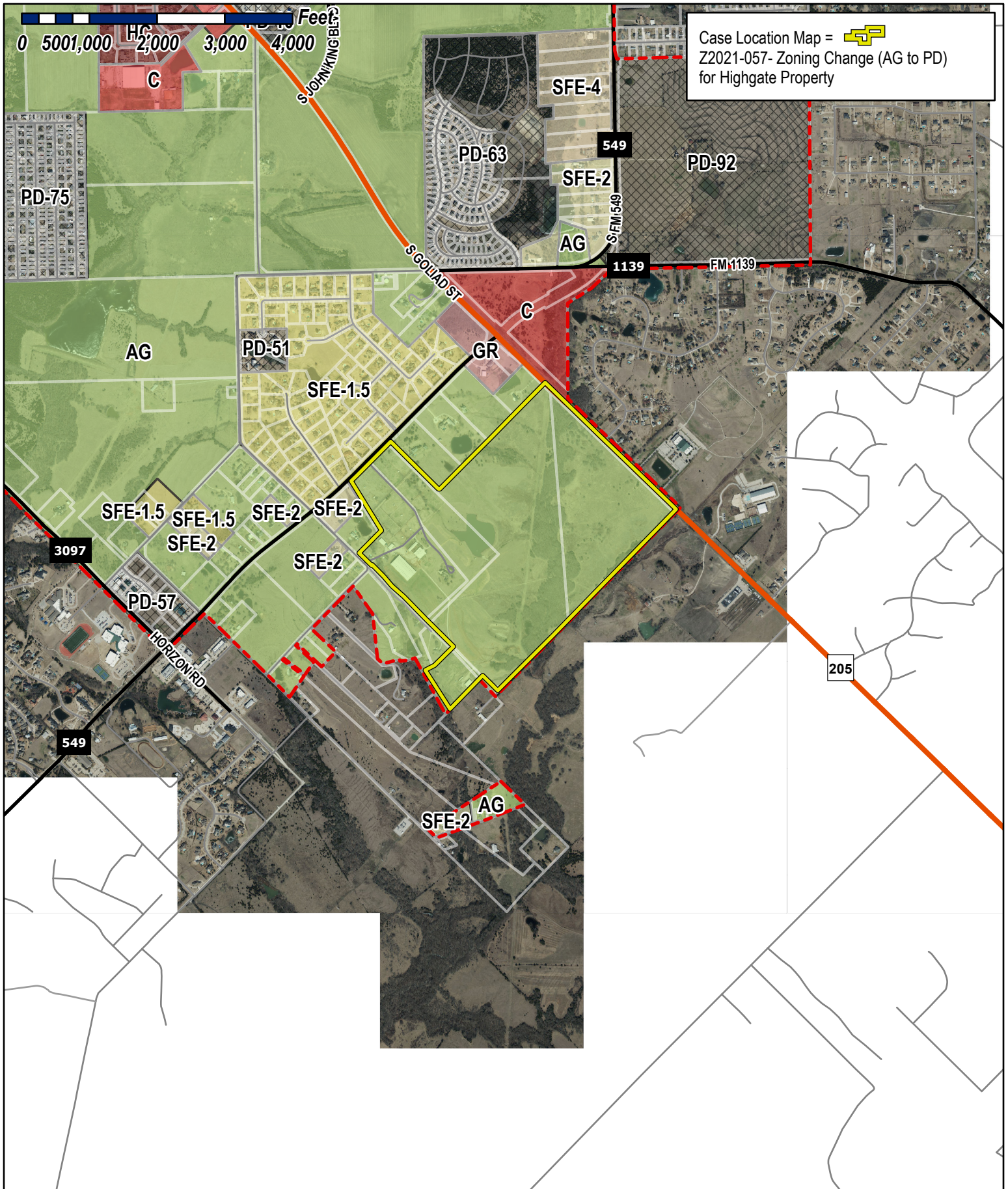
TN


*Diana J. Ransavage*



MY COMMISSION EXPIRES

2 2022



Case Location Map =   
 Z2021-057- Zoning Change (AG to PD)  
 for Highgate Property



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

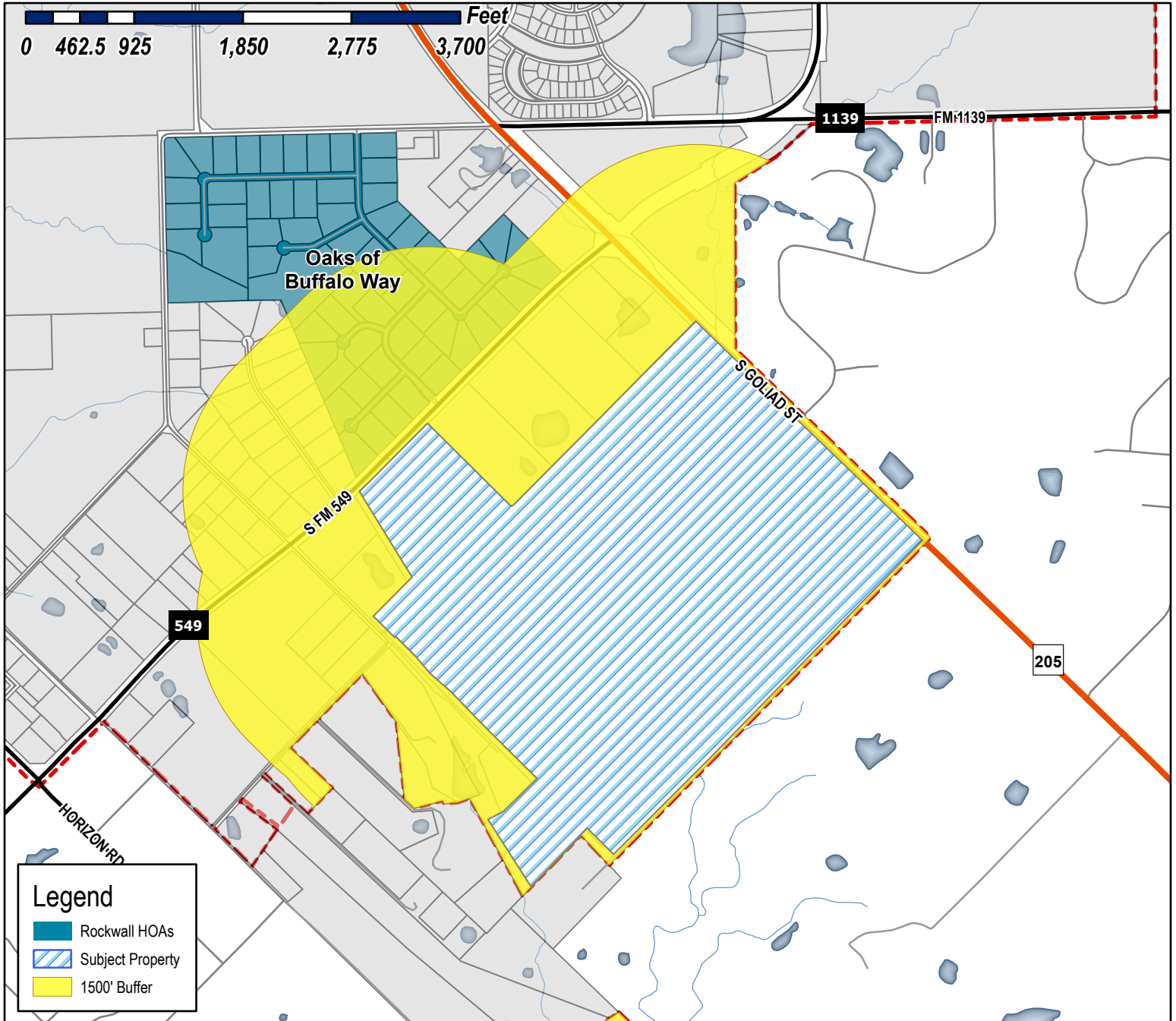




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**Case Number:** Z2021-057  
**Case Name:** Zoning Change (AG to PD) for Highgate Property  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** 5565 Hwy 549

**Date Saved:** 12/17/2021  
 For Questions on this Case Call (972) 771-7745

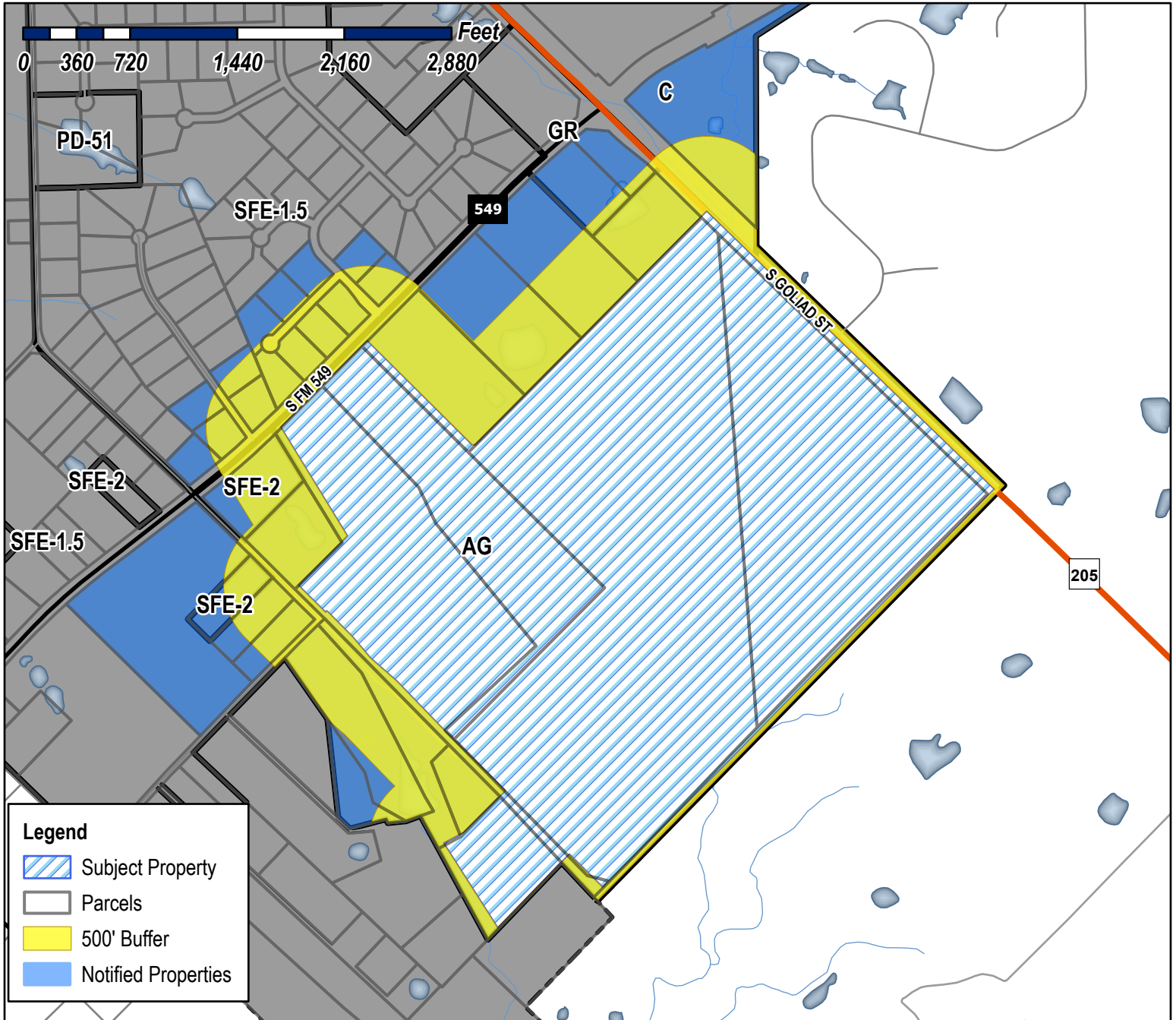




# City of Rockwall

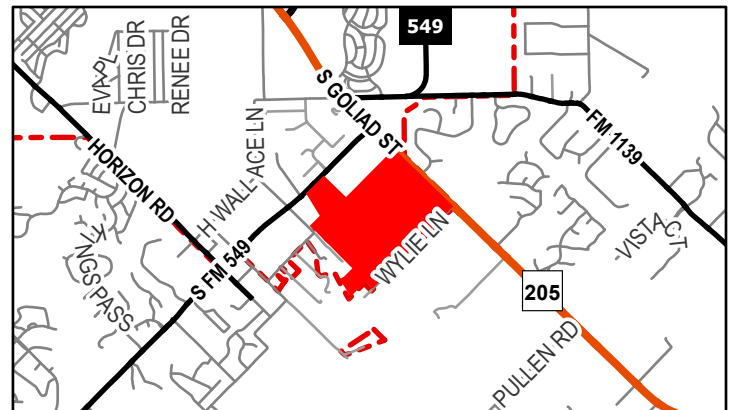
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**J. VOLK** consulting  
Engineering | Planning | Surveying

December 15, 2021

City of Rockwall  
Planning Department  
385 South Goliad  
Rockwall, TX 75087

**RE: Highgate Property – Zoning Application**

Dear Staff,

The purpose of this letter is to formally request a zoning change for the referenced property located at the south corner of FM 549 and SH 205. The subject development will consist of +/-485 single family lots and commercial uses along SH 205 located on a 264.5 acre tract. After meeting with staff at a Development Review Committee Meeting, the Concept Plan included with this submittal is representative of our proposed vision for the property.

Please feel free to contact us if you have any questions regarding this project or application.

Sincerely,

**J. VOLK CONSULTING, INC.**

Tom Dayton, PE

**LEGAL DESCRIPTION**  
**264.5 ACRES**

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found; THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls: North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said

Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

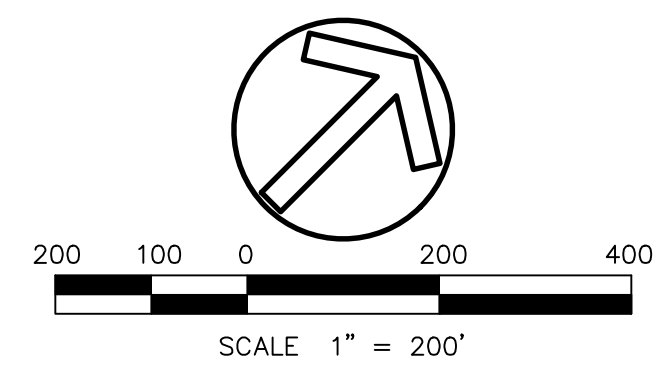
THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner; THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.





**LEGEND**

- TYPE A LOT
- TYPE B LOT
- TYPE C LOT
- TYPE D LOT
- TYPE E LOT
- AMENITY CENTER
- COMMERCIAL

**LAND USE TABLE**

LAND USE	AREA (AC)	PERCENT OF TOTAL
COMMERCIAL	28.4	10.7%
RESIDENTIAL	164.4	62.2%
PERIMETER ROAD ROW	3.2	1.2%
OPEN SPACE		
Public Park	12.6	4.7%
Private Open Space	20.4	7.7%
Amenity Center	1.5	0.6%
Floodplain	34.0	12.9%
<b>OPEN SPACE TOTAL</b>	<b>68.5</b>	<b>25.9%</b>
<b>TOTAL</b>	<b>264.5</b>	<b>100.0%</b>

Open Space Required: 20% (excluding commercial)  
 = 20% x (264.5 - 28.4) = 47.2 acres  
 Open Space Provided (including park and 1/2 of floodplain) = 51.5 Ac.

**LOT DIMENSION STANDARDS**

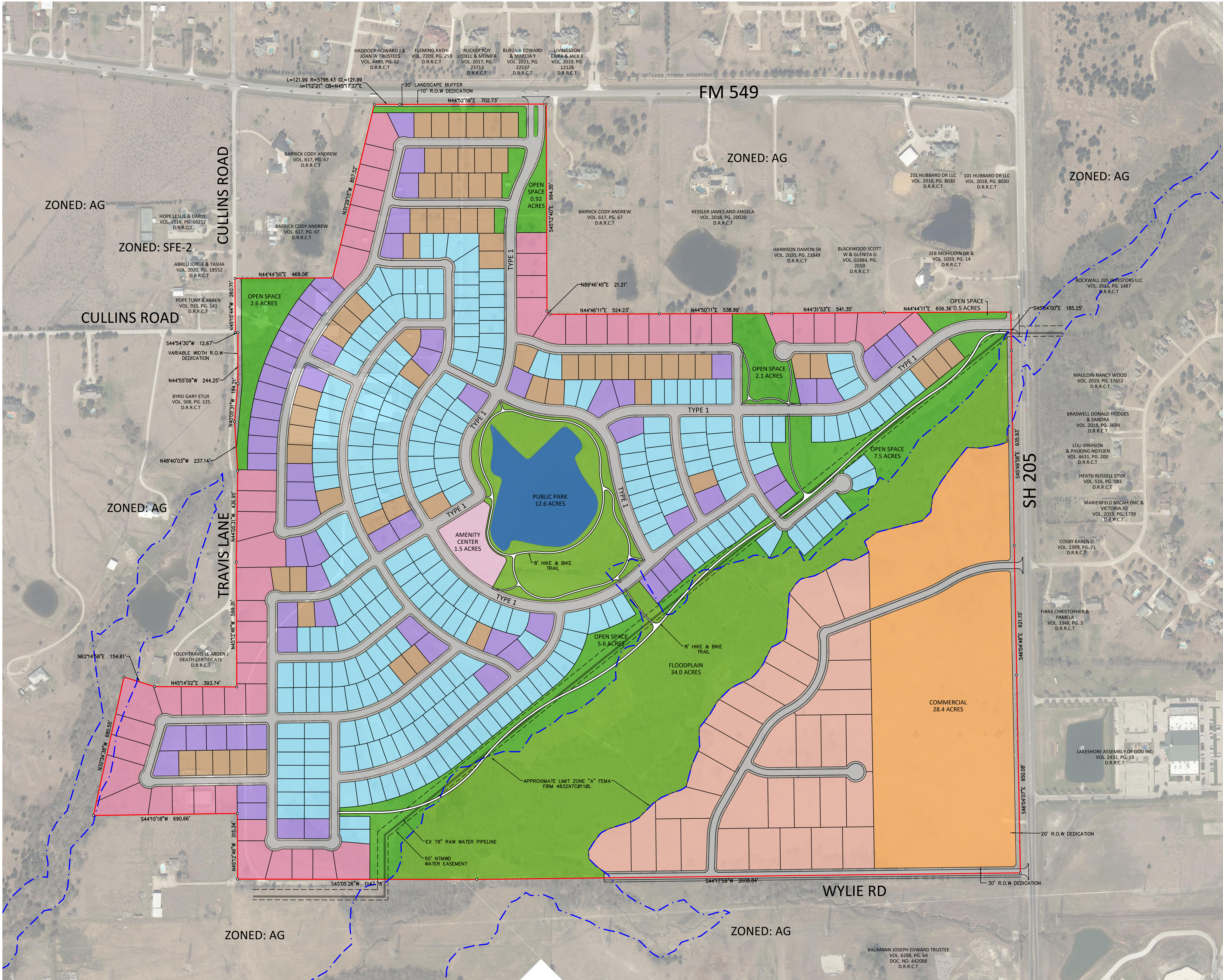
LOT TYPE	A	B	C	D	E
LOT COUNT	31	55	66	67	266
MINIMUM LOT AREA (SF)	30,000	14,000	11,000	9,600	7,200
MINIMUM LOT WIDTH (FT)*	120	90	80	80	62
MINIMUM LOT DEPTH (FT)	200	125	115	110	110
FRONT BUILDING SETBACK (FT)	30	20	20	20	20
REAR BUILDING SETBACK (FT)	30	20	20	20	20
SIDE BUILDING SETBACK - INTERIOR (FT)	15	10	6	6	6
SIDE BUILDING SETBACK - CORNER (FT)	15	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET / 2.5 STORIES				
MAXIMUM LOT COVERAGE (%)	50	65		65	65

\*Measured at front building setback

**STREET DESIGNATIONS**

DESIGNATION	CLASSIFICATION	R.O.W. WIDTH	PAVEMENT WIDTH (B-B)
TYPE 1	MINOR COLLECTOR	60'	41'
TYPE 2	LOCAL RESIDENTIAL	50'	29'

NOTE: ALL INTERNAL STREETS SHALL BE TYPE 2 EXCEPT WHERE INDICATED



**CONCEPT PLAN**  
**HIGH GATE**  
 264.5 Acres  
 Rockwall, Texas

**J. VOLK**  
 consulting

830 Central Parkway East, Suite 300  
 Plano, Texas 75074  
 972.201.3100 Texas Registration No. F-11962

BAUMANN JOSEPH EDWARD TRUSTEE  
 VOL. 6288, PG. 64  
 DOC. NO. 442088  
 D.R.R.C.T.

**Rockwall – Highgate  
Development Standards.**

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District and Commercial (C) District as stipulated by the Permissible Use Charts contained in Article IV, Permissible Uses, of the Unified Development Code (UDC), are allowed on the Subject Property.

2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit B and stated in Table 1 below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below;

Table 1: Lot Composition

LOT TYPE	MINIMUM LOT AREA (SF)	DWELLING UNITS		
		MINIMUM	MAXIMUM	%
A	30,000	30	-	6.1%
B	14,000	53	-	10.7%
C	11,000	65	-	13.1%
D	9,600	65	-	13.1%
E	7,200	-	282	57.0%
		<b>MAX. TOTAL</b>	<b>495</b>	<b>100%</b>

*Residential land area: 236.1 acres (2.1 DU/AC)*

- A maximum of 495 total lots are allowed.
- A maximum of 57% of the total lot count can be Lot Type E.
- A minimum of 43% of the total lot count can be comprised of Lot Types A, B, C and D per their respective minimum percentages in the table above.

3. *Density and Dimensional Requirements.* The maximum permissible density for the Subject Property shall not exceed 2.1 dwelling units per gross acre of land. All lots shall conform to the standards depicted in Table 2 below and generally conform to Exhibit F of this ordinance.

Table 2: Lot Dimension Requirements

LOT TYPE	A	B	C	D	E
LOT COUNT	<b>31</b>	<b>55</b>	<b>66</b>	<b>67</b>	<b>266</b>
MINIMUM LOT AREA (SF)	30,000	14,000	11,000	9,600	7,200
MINIMUM LOT WIDTH (FT) (1)	120	90	80	80	62
MINIMUM LOT DEPTH (FT)	200	125	115	110	110
FRONT BUILDING SETBACK (FT) (2)	30	20	20	20	20
REAR BUILDING SETBACK (FT) (4)	30	20	20	20	20
SIDE BUILDING SETBACK - INTERIOR (FT)	15	10	6	6	6

SIDE BUILDING SETBACK - CORNER (FT)	15	15	15	15	15
MAXIMUM BUILDING HEIGHT (3)	35 FEET / 2.5 STORIES				
MAXIMUM LOT COVERAGE (%)	50	65	65	65	65

General Notes:

- (1) The minimum lot width shall be measured at the Front Yard Building Setback
- (2) The location of the Front Yard Building Setback as measured from the front property line
- (3) The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home.
- (4) As measured from the rear yard property line
- (5) Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks

4. *Building Standard.* All development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior facades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, stucco, cast stone, and cementaceous fiberboard horizontal lap-siding (e.g., HardiBoard or Hardy Plank).
- (b) **Roof Pitch.** A minimum of an 6:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation.** Garages maybe oriented toward the street in a front entry configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure or porch structure. In addition, the following architectural elements must be included on all front entry homes:
  - 1) Divided bay garage doors for 2 stall and 16 foot and 8 foot for dividers for 3 stall
  - 2) Carriage style hardware and lighting
  - 3) Cedar clad trim garage doors
  - 4) Driveways must be constructed with ornamental stamped concrete brick pavers, broom finish or salt finish

5. *Anti-Monotony Restrictions.* The development shall adhere to the following anti-monotony restrictions:

- (A) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - 1) Number of stories
  - 2) Permitted encroachment type and layout
  - 3) Roof type and layout
  - 4) Articulation of the front façade

- (B) Permitted encroachment (Porches) elevations shall not repeat or be the same along any block face without at least four (4) intervening homes of sufficient

dissimilarity on the same side of the street beginning with the home adjacent to the subject property and four (4) intervening homes beginning with the home on the opposite side of the street.

- (C) Each phase of the subdivision will allow for a maximum four (4) compatible roof Colors. All roof shingles shall be an architectural or dimensional shingle.

6. *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials, and colors of the primary structure on the same lot and meet the following standards:

- (A) No front yard fences allowed
- (B) *Corner Lots.* Corner lots shall utilize a wood fence that extends no further than the back (rear) corner of the house. The fence shall be a minimum of six (6) feet tall. The fence shall be located a minimum of five (5) feet from the sidewalk's edge.
- (C) *Rear Yard Fences.* Rear yard fences shall not extend forward, towards the front of the house, beyond the back (rear) corner of the house.
- (D) *Wood Fences.* All wood fences shall be constructed of a standard fencing material (minimum of ½" thickness or better; spruce fencing will not be allowed), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be stained and sealed with all pickets being placed on the "Public side" facing the street. All wood fences shall a maximum of six (6) feet in height.
- (E) *Wrought Iron/Tubular Steel.* Lots located along the perimeter of roadways, abutting open space, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (F) *Solid Fences (including wood fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

7. *Landscape and Hardscape Standards.*

- (A) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All canopy/shade trees planted within this development shall be a minimum of four (4) caliper inches in size and all accent/ornamental/under story trees shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within the subdivision:

- (1) Canopy/shade trees. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
- (2) Accent/ornamental/under story trees. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.

- (B) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

- (1) *Landscape Buffer and Sidewalks (FM 549)*. A minimum of a 30-foot landscape buffer shall be provided along the frontage of FM 549 (outside of the required right-of-way dedication) and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least one canopy tree shall be planted per 50 feet of linear frontage. A minimum of a five (5) foot sidewalk shall be required along FM 549.
  - (2) *Landscape Buffer (SH 205)*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH 205 (outside of the required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100 feet of linear frontage.
- (C) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (D) *Street Trees and Hardscape*. Street tree and hardscape plans indicating the location of all sidewalk and trails shall be reviewed and approved with the PD Site Plan.
- (E) *Lighting*. Light poles shall not exceed 20 feet in total height. All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (F) *Sidewalks*. At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
- (G) *Open Space*. The development shall consist of a minimum of 20% open space (excluding commercial area) and generally conform with the concept plan.
- (H) *Neighborhood signage*. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan.

- (I) *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood open space and common areas, irrigation, landscaping, screening fences associated with this development.
  
- (J) *Variations*. The variance procedures and standards for approval that are set forth in The Unified Development Code shall apply to any application for variations to this ordinance.