



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22021-055

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 2325 S Goliad Street

SUBDIVISION Meadowcreek Business Park Center LOT 2 BLOCK 1

GENERAL LOCATION The intersection of S Goliad Street and Ralph Hall Parkway

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING C-Commercial CURRENT USE Undeveloped

PROPOSED ZONING C-Commercial - SUP PROPOSED USE Multi Tenant Retail / Restaurant with DT

ACREAGE 0.799ac LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

<input type="checkbox"/> OWNER	Marlyn Roberts	<input checked="" type="checkbox"/> APPLICANT	Kirkman Engineering
CONTACT PERSON		CONTACT PERSON	Patrick Filson
ADDRESS	323 Julian Drive	ADDRESS	5200 State Highway 121
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Colleyville, TX 76034
PHONE		PHONE	817-488-4960
E-MAIL		E-MAIL	patrick.filson@trustke.com

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Marlyn Roberts [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

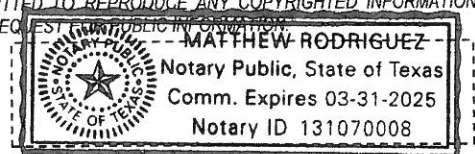
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200 + 15.00 Acre TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF November, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF November, 2021.

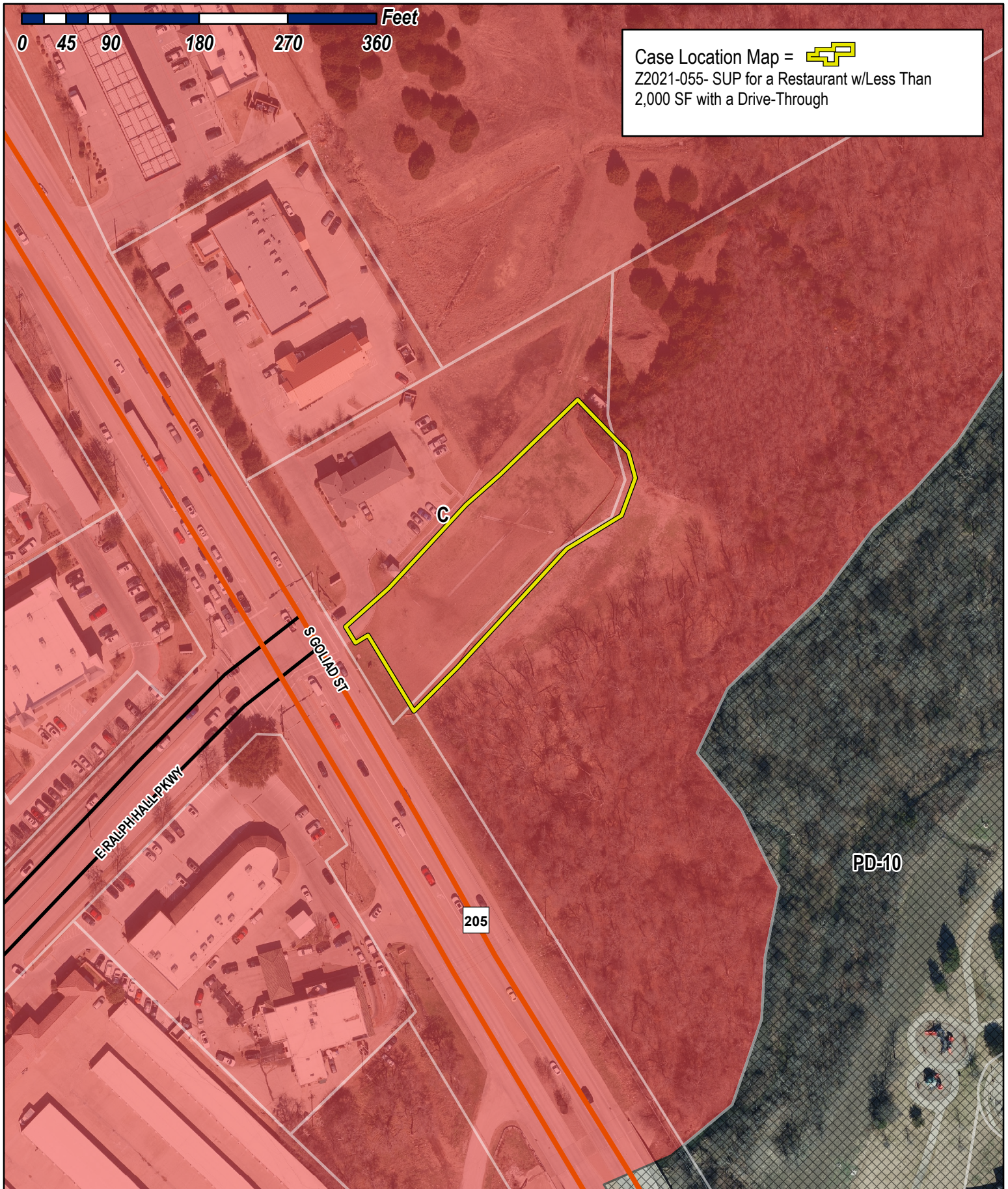
OWNER'S SIGNATURE


Marlyn R. Roberts  
Rockwall, Texas Matthew

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 3-31-25



Case Location Map =   
 Z2021-055- SUP for a Restaurant w/Less Than  
 2,000 SF with a Drive-Through



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

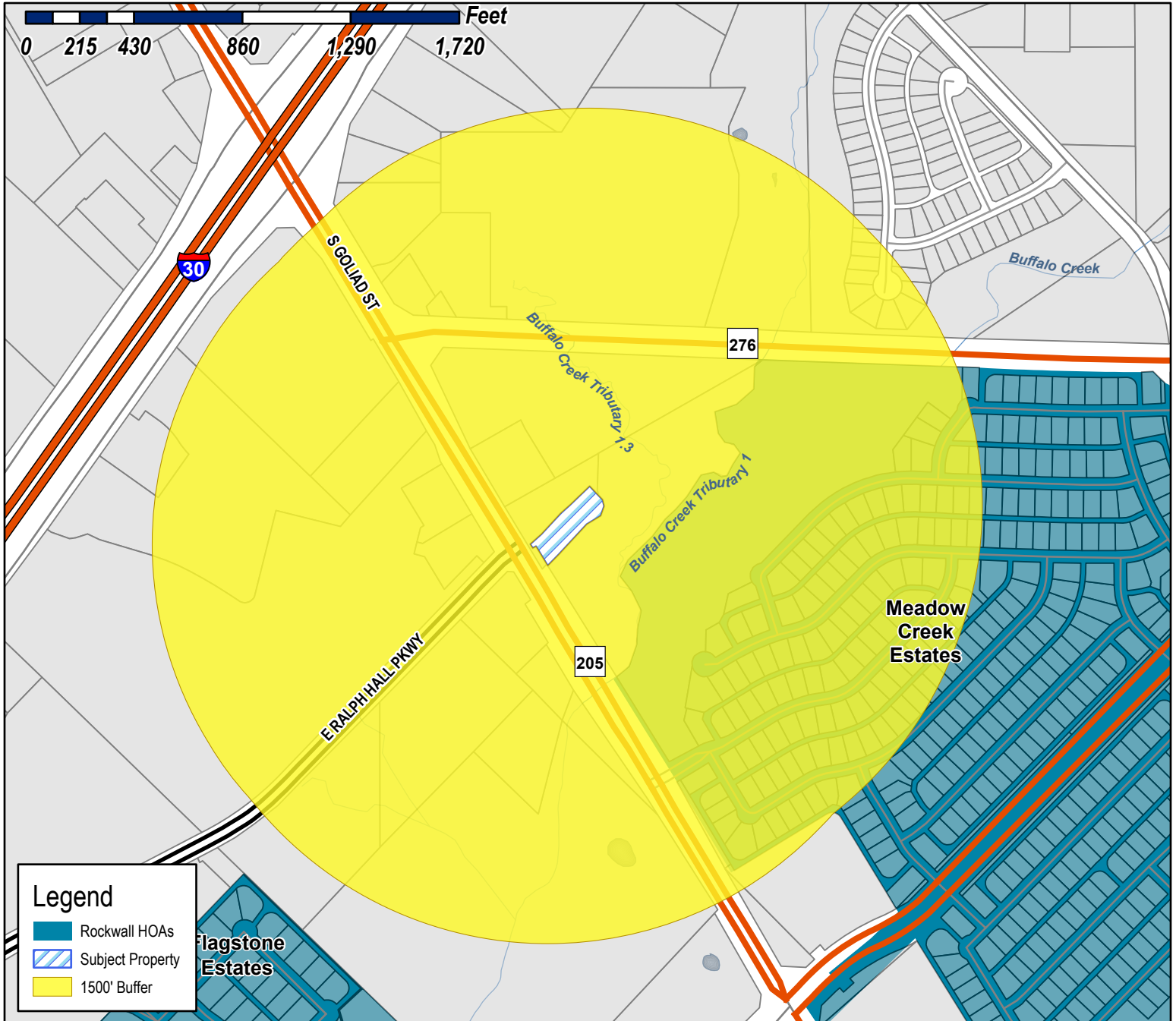




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**Case Number:** Z2021-05  
**Case Name:** SUP for Restaurant w/Less Than 2,000 SF w/Drive Through  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 2325 S. Goliad Street

**Date Saved:** 12/17/2021  
 For Questions on this Case Call (972) 771-7745

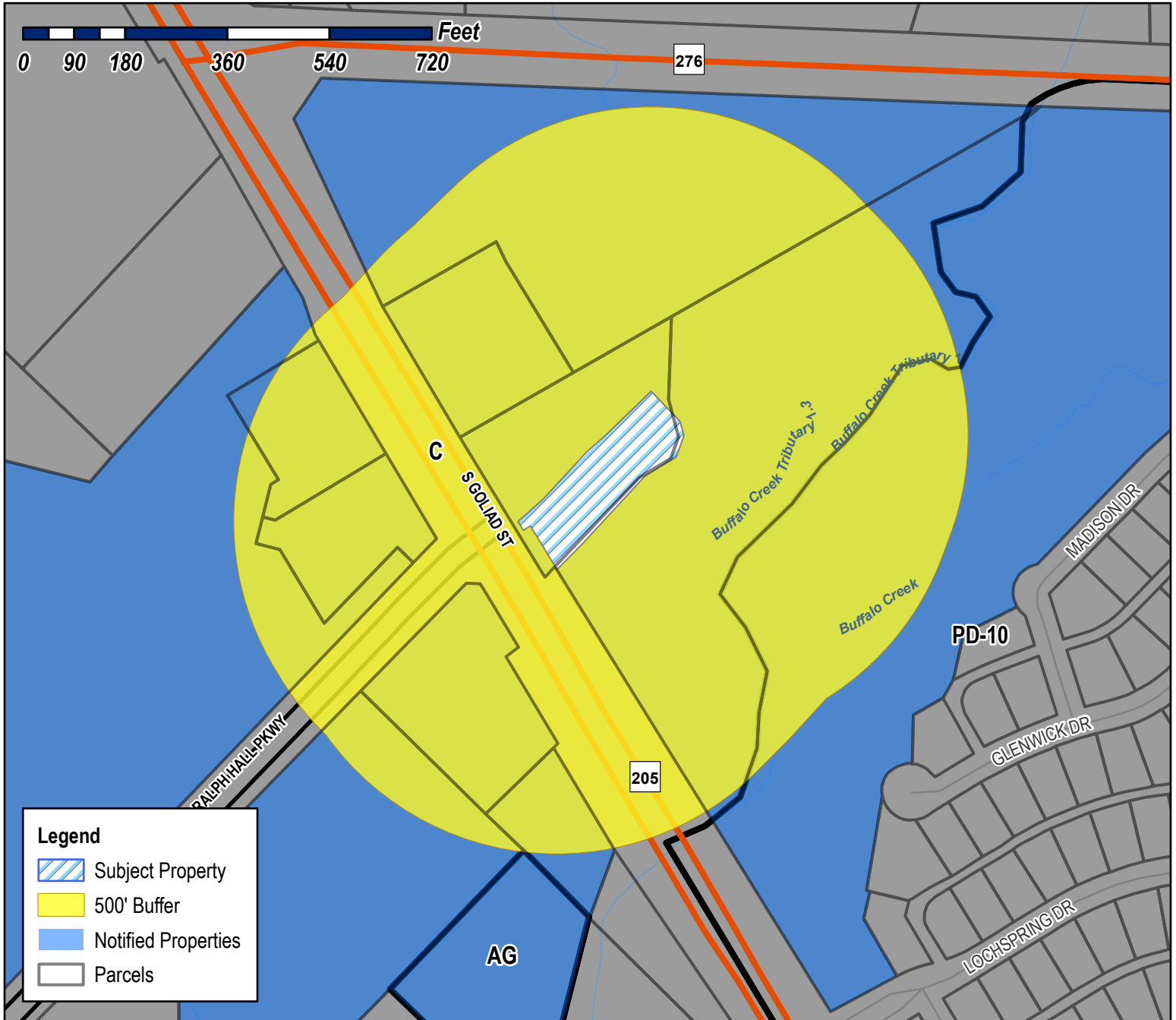




# City of Rockwall

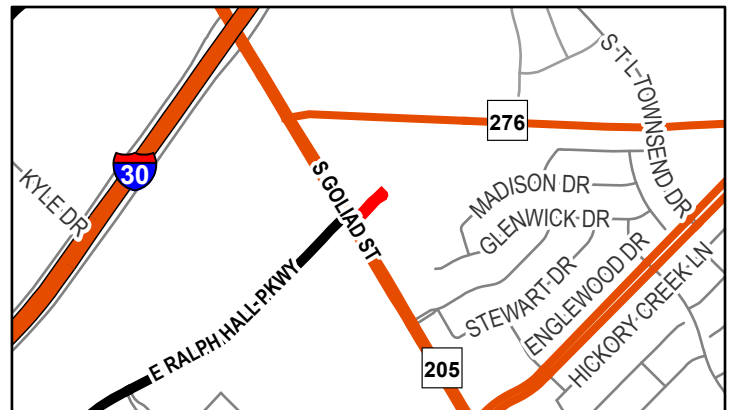
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**Case Number:** Z2021-055  
**Case Name:** SUP for a Restaurant w/Less Than 2,000 SF w/Drive Through  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 2325 S. Goliad Street

**Date Saved:** 12/17/2021  
 For Questions on this Case Call (972) 771-7745



Kirkman Engineering  
5200 State Highway 121  
Colleyville, TX 76034  
817.488.4960



11/17/2021

City of Rockwall  
385 S Goliad Street

Dear to whom this may concern,

Please accept this as a Letter of Intent for the first formal SUP submittal for the project Victory at Rockwall. This lot is a total of 0.7992 acres. This development's proposed land use will be for restaurant and retail. The building is 5,130 square feet total. Retail will be 2,600 square feet and restaurant will be 2,200 square feet in floor space. There will be a total of 25 parking spaces provided for this development. Please feel free to reach out to me by phone or email if you have any questions.

Sincerely, *Patrick Filson*

Patrick Filson  
O: (817) 488-4960

**BEING** a portion of Lot 2 in Block 1 of Meadowcreek Business Park Center, Phase 1, an addition in the City of Rockwall, Rockwall County, Texas, according to the plat recorded under Cabinet F, Slide 329, Plat Records, Rockwall County, Texas, (P.R.R.C.T.), said portion being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83)):

**BEGINNING** at a 1/2 inch rebar with pink cap stamped "BARTON CHAPA" set (hereinafter called "capped rebar set") for the northeast corner of "Parcel 101 – Part 1" described by deed to the State of Texas as recorded under Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.), said point being in the northwest line of said Lot 2 and being the southwest corner of the herein described tract, from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found for the southwest corner of said Lot 2 bears South 60 degrees 17 minutes 53 seconds West, a distance of 15.01 feet;

**THENCE** with the perimeter and to the corners of said Lot 2, the following calls:

1. North 60 degrees 17 minutes 53 seconds East, a distance of 413.92 feet to a 1/2 inch rebar with cap stamped, "RPLS 5034" found;
2. South 01 degrees 59 minutes 13 seconds West, a distance of 145.94 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears South 85 degrees West, a distance of 0.64 feet;
3. South 15 degrees 01 minutes 18 seconds East, a distance of 68.17 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears North 75 degrees West, a distance of 0.50 feet;
4. South 20 degrees 11 minutes 31 seconds West, a distance of 40.59 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears South 83 degrees West, a distance of 0.70 feet;
5. South 58 degrees 44 minutes 21 seconds West, a distance of 64.97 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears North 19 degrees West, a distance of 0.59 feet;
6. South 42 degrees 40 minutes 30 seconds West, a distance of 164.60 feet to a capped rebar set;
7. South 44 degrees 53 minutes 06 seconds West, a distance of 61.67 feet to a capped rebar set in the north line of "Parcel 101 – Part 1" of said State of Texas tract;

**THENCE** North 31 degrees 14 minutes 48 seconds West, with the east line of said "Parcel 101 – Part 2", a distance of 90.03 feet to a capped rebar set at the northeast corner thereof;

**THENCE** South 58 degrees 45 minutes 12 seconds West, with the west line of said "Parcel 101 – Part 2", a distance of 15.00 feet to a capped rebar set for the northwest corner thereof, same being in the west line of said Lot 2;

**THENCE** North 31 degrees 14 minutes 48 seconds West, with the west line of said Lot 2, a distance of 39.91 feet to a capped rebar set for the southwest corner of said "Parcel 101 – Part 1";

**THENCE** North 58 degrees 45 minutes 12 seconds East, with the south line of said "Parcel 101 – Part 1", a distance of 15.00 feet to an "X" cut set for the southeast corner thereof;

**THENCE** North 31 degrees 14 minutes 48 seconds West, with the east line of said "Parcel 101 – Part 1", a distance of 154.43 feet to the **POINT OF BEGINNING** and enclosing 1.931 acres (84, 103 square feet) of land, more or less.

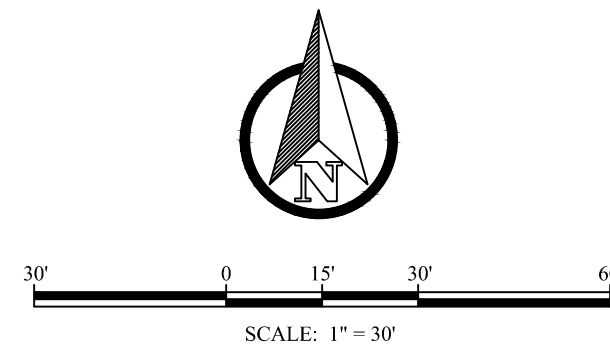
SURVEYOR'S NOTES:

- 1. Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.000146135.
2. This property lies within Zone "X" & Zone "AE" of the Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, map no. 48397C0040L, with an effective date of September 26, 2008, via scaled map location and graphic plotting.
3. Monuments are found unless specifically designated as set.
4. Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).

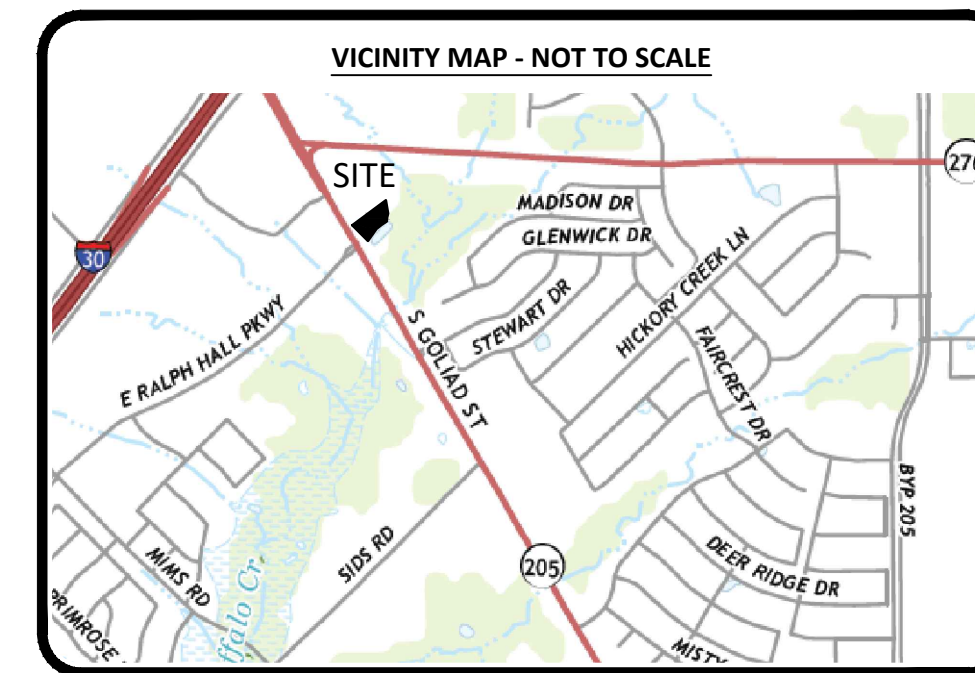
NOTE REGARDING UTILITIES

Source information from plans and markings will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

Utility locations are per observed evidence and the below sources
Maps/Plans: Utility Maps provided by the City of Rockwall

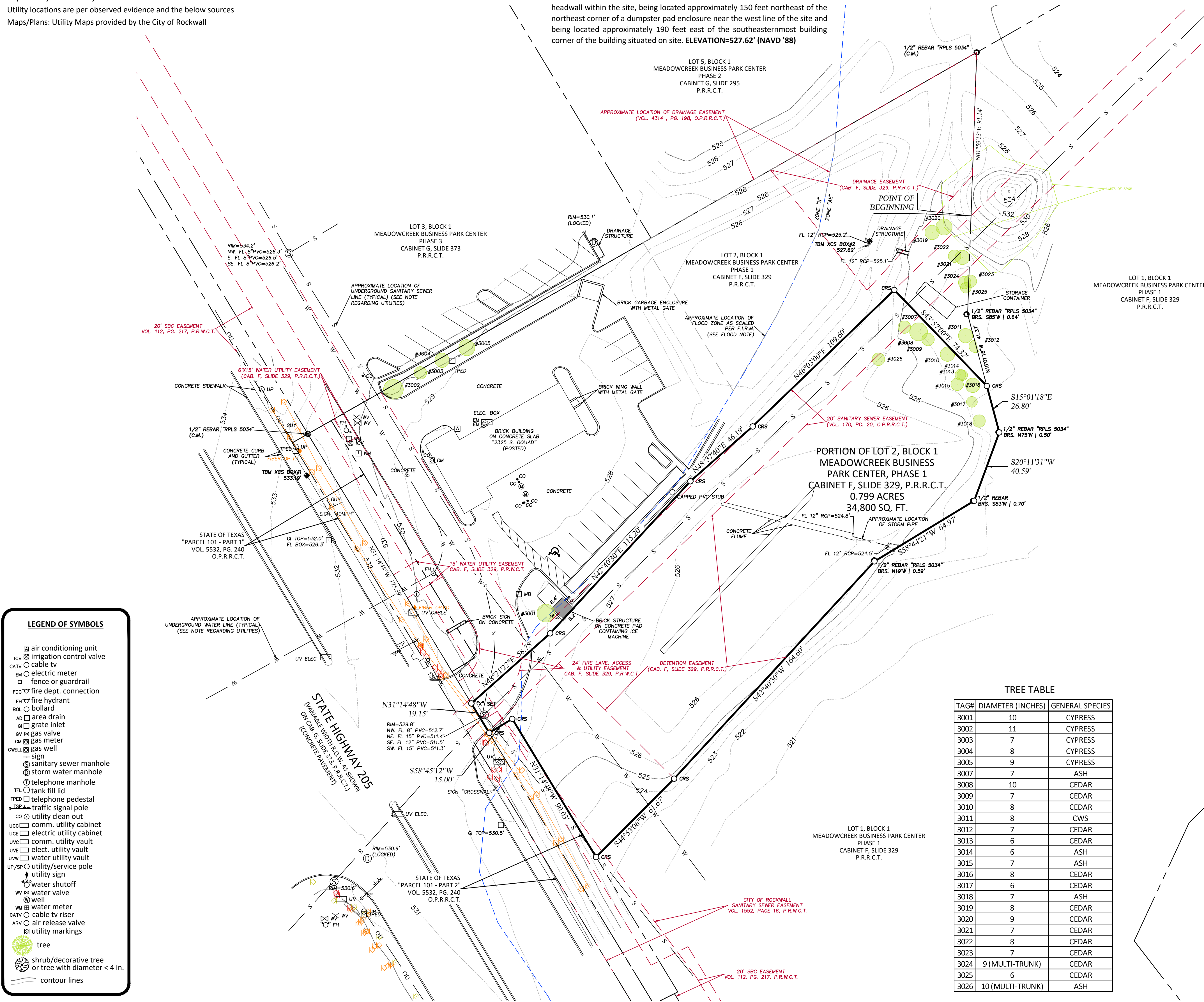


- LEGEND OF ABBREVIATIONS
• D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
• P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
• O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
• DOC.# DOCUMENT NUMBER
• C.M. CONTROLLING MONUMENT
• SQ. FT. SQUARE FEET
• ROW RIGHT OF WAY
• CRS CAPPED REBAR SET



SITE BENCHMARKS:

- 1. The site benchmark is an "X" cut set in the northeast line of a concrete sidewalk adjacent to the north line of State Highway 205, being located approximately 22 feet north of a street sign posted "40 MPH SPEED LIMIT", and being approximately 17 feet south of a power pole in the north line of said State Highway 205. ELEVATION=533.19' (NAVD '88)
2. The site benchmark is an "X" cut set at the northeast corner of a concrete headwall within the site, being located approximately 150 feet northeast of the northeast corner of a dumpster pad enclosure near the west line of the site and being located approximately 190 feet east of the southeastermost building corner of the building situated on site. ELEVATION=527.62' (NAVD '88)



PROPERTY DESCRIPTION

BEING a portion of Lot 2 in Block 1 of Meadowcreek Business Park Center, Phase 1, an addition in the City of Rockwall, Rockwall County, Texas, according to the plat recorded under Cabinet F, Slide 329, Plat Records, Rockwall County, Texas, (P.R.R.C.T.), said portion being more particularly described by metes and bounds as follows (bearings are based on State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83)):

- BEGINNING at a 1/2 inch rebar with pink cap stamped "BARTON CHAPA" set (hereinafter called "capped rebar set") for the northernmost northeast corner of the herein described tract, said point being in the northeast line of said Lot 2, from which a re-entrant corner thereof bears North 15 degrees 18 seconds West, from said point a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears South 85 degrees West, a distance of 0.64 feet;
THENCE with the perimeter and to the corners of said Lot 2, the following calls:
1. South 15 degrees 01 minutes 18 seconds East, a distance of 26.80 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears North 75 degrees West, a distance of 0.50 feet;
2. South 20 degrees 11 minutes 31 seconds West, a distance of 40.59 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears South 83 degrees West, a distance of 0.70 feet;
3. South 58 degrees 44 minutes 21 seconds West, a distance of 64.97 feet to a point from which a 1/2 inch rebar with cap stamped, "RPLS 5034" found bears North 19 degrees West, a distance of 0.59 feet;
4. South 42 degrees 40 minutes 30 seconds West, a distance of 164.60 feet to a capped rebar set;
5. South 44 degrees 53 minutes 06 seconds West, a distance of 61.67 feet to a capped rebar set in the north line of "Parcel 101 - Part 2" described by deed to the State of Texas as recorded under Volume 5532, Page 240, Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.);

- THENCE North 31 degrees 14 minutes 48 seconds West, with the east line of said "Parcel 101 - Part 2", a distance of 90.03 feet to a capped rebar set at the northeast corner thereof;
THENCE South 58 degrees 45 minutes 12 seconds West, with the west line of said "Parcel 101 - Part 2", a distance of 15.00 feet to a capped rebar set for the northwest corner thereof, same being in the west line of said Lot 2;
THENCE North 31 degrees 14 minutes 48 seconds West, with the west line of said Lot 2, a distance of 19.15 feet to a capped rebar set;

THENCE through the interior of said Lot 2, the following calls:

- 1. North 48 degrees 21 minutes 22 seconds East, a distance of 58.78 feet to a capped rebar set;
2. North 42 degrees 40 minutes 30 seconds East, a distance of 115.20 feet to a capped rebar set;
3. North 48 degrees 37 minutes 40 seconds East, a distance of 46.19 feet to a capped rebar set;
4. North 46 degrees 03 minutes 00 seconds East, a distance of 109.60 feet to a capped rebar set;
5. South 43 degrees 57 minutes 00 seconds East, a distance of 74.32 feet to the POINT OF BEGINNING and enclosing 0.7992 acres (34,800 square feet) of land, more or less.

TITLE COMMITMENT NOTES

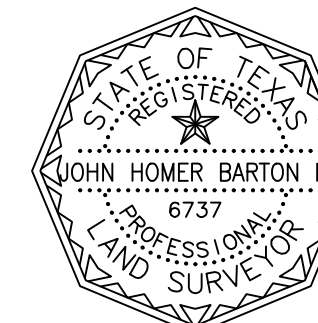
This survey was prepared with the benefit of a commitment for title insurance provided by North American Title Insurance Company, G.F. Number 782102653, Effective Date August 25, 2021. This commitment was relied upon for encumbrance research, and the surveyor has performed no independent title search. Therefore, easements, agreements, or other documents, either recorded, or unrecorded may exist that affect the subject property that are not shown on this survey. The following exceptions from Schedule "B" were addressed as follows:

- Item 10(f): Easements and building lines as shown on plat recorded under Cabinet F, Slide 329, Plat Records, Rockwall County, Texas. (easements and building line as shown on plat crossing or abutting the subject property are shown hereon)
Item 10(g): Easement as recorded under Volume 112, Page 214, Deed Records, Rockwall County, Texas. (easement is blanket in nature, document contains a description which includes the subject property)
Item 10(h): Easement as recorded under Volume 170, Page 20, Deed Records, Rockwall County, Texas. (easement crosses the subject property, shown hereon)
Item 10(i): Easement as recorded under Volume 212, Page 438, Deed Records, Rockwall County, Texas. (easement is centered on utility lines unable to be specifically identified at time of survey)
Item 10(j): Easement as recorded under Volume 1552, Page 16, Deed Records, Rockwall County, Texas. (easement crosses the subject property, shown hereon)
Item 10(k): Agreement as recorded under Volume 4314, Page 183, Deed Records, Rockwall County, Texas. (document contains a description which includes the subject property)
Item 10(l): Easement as recorded under Volume 4314, Page 198, Deed Records, Rockwall County, Texas. (easement does not cross or abut the subject property, shown hereon)

SURVEYOR'S CERTIFICATE

This is to certify that I, John H. Barton III, a Registered Professional Land Surveyor of the State of Texas, have prepared this map from an actual survey on the ground, and that this map correctly represents that survey made by me or under my direction and supervision. This survey meets the minimum requirements for a Category 1A, Condition II Land Title Survey. Fieldwork was completed on October 14, 2021.
Date of Plat/Map: October 29, 2021

Signature of John H. Barton III, RPLS# 6737
TERMS OF ACCEPTANCE OF SURVEY



This survey is issued pursuant to a real estate transaction and is appurtenant to the title commitment referenced in the "Title Commitment Notes" This survey is issued for use in such transaction. Notwithstanding any of the above statements, the surveyor has a contractual relationship with one client or entity. Review/requested revisions by other parties must be received by or through such entity. Client is responsible for reviewing survey (including, but not limited to: notations; existence or lack of spelling/grammatical/typographical errors; certified parties; dates; instruments) within thirty (30) days of the date of plat or map. After such time has passed, client accepts survey as issued, and further revisions are not embraced by the above certification. Additional or altered commitments for title insurance will require an new or re-issued survey. Please feel free to request pricing for this at info@bcsdfw.com, or call (817) 864-1957.

TREE TABLE

Table with columns: TAG#, DIAMETER (INCHES), GENERAL SPECIES. Lists trees like CYPRESS, CEDAR, and ASH with their diameters and tags.

LEGEND OF SYMBOLS

- air conditioning unit
irrigation control valve
cable tv
electric meter
fence or guardrail
fire dept. connection
fire hydrant
bollard
area drain
grate inlet
gas valve
gas meter
gas well
sign
sanitary sewer manhole
storm water manhole
telephone manhole
tank fill lid
telephone pedestal
traffic signal pole
utility clean out
comm. utility cabinet
electric utility cabinet
comm. utility vault
elect. utility vault
water utility vault
utility/service pole
utility sign
water shutoff
water valve
well
water meter
cable tv riser
air release valve
utility markings
tree
shrub/decorative tree or tree with diameter < 4 in.
contour lines

CATEGORY 1A, CONDITION II
LAND TITLE SURVEY
PORTION OF LOT 2, BLOCK 1
MEADOWCREEK BUSINESS PARK CENTER
PHASE 1
ROCKWALL
ROCKWALL COUNTY, TEXAS

BCS BARTON CHAPA SURVEYING
5200 State Highway 121
Colleyville, TX 76034
Phone: 817-864-1957
info@bcsdfw.com
TBPLS Firm #10194474

Table with columns: DATE, SUMMARY. Shows revision history.

Table with columns: DATE, SUMMARY. Shows revision history.

JOB NO. 2021.001.224
DRAWN: BCS
CHECKED: JHB

Table with columns: DATE, SUMMARY. Shows revision history.

2325 S GOLIAD STREET
ROCKWALL, TEXAS

STATE OF TEXAS
REGISTERED
JOHN H. BARTON III
PROFESSIONAL LAND SURVEYOR
6737

SHEET:
V01



