



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-053

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 803 Austin street. Rockwall, Texas 75032

SUBDIVISION F and M Addition LOT 9 BLOCK PT

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Javier Silva JMS Custom Homes</u>	<input type="checkbox"/> APPLICANT
CONTACT PERSON	<u>Javier Silva (JMS Custom Homes)</u>	CONTACT PERSON
ADDRESS	<u>58 Windsor Dr.</u>	ADDRESS
CITY, STATE & ZIP	<u>Rockwall, TX, 75032</u>	CITY, STATE & ZIP
PHONE	<u>972-814-9462</u>	PHONE
E-MAIL	<u>support@jmscustomhomes.net</u>	E-MAIL

NOTARY VERIFICATION [REQUIRED]

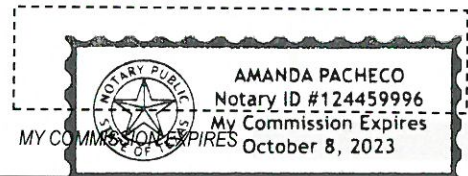
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF Dec., 2022.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 
 Z2021-053- SUP for Residential Infill
 at 803 Austin Street



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

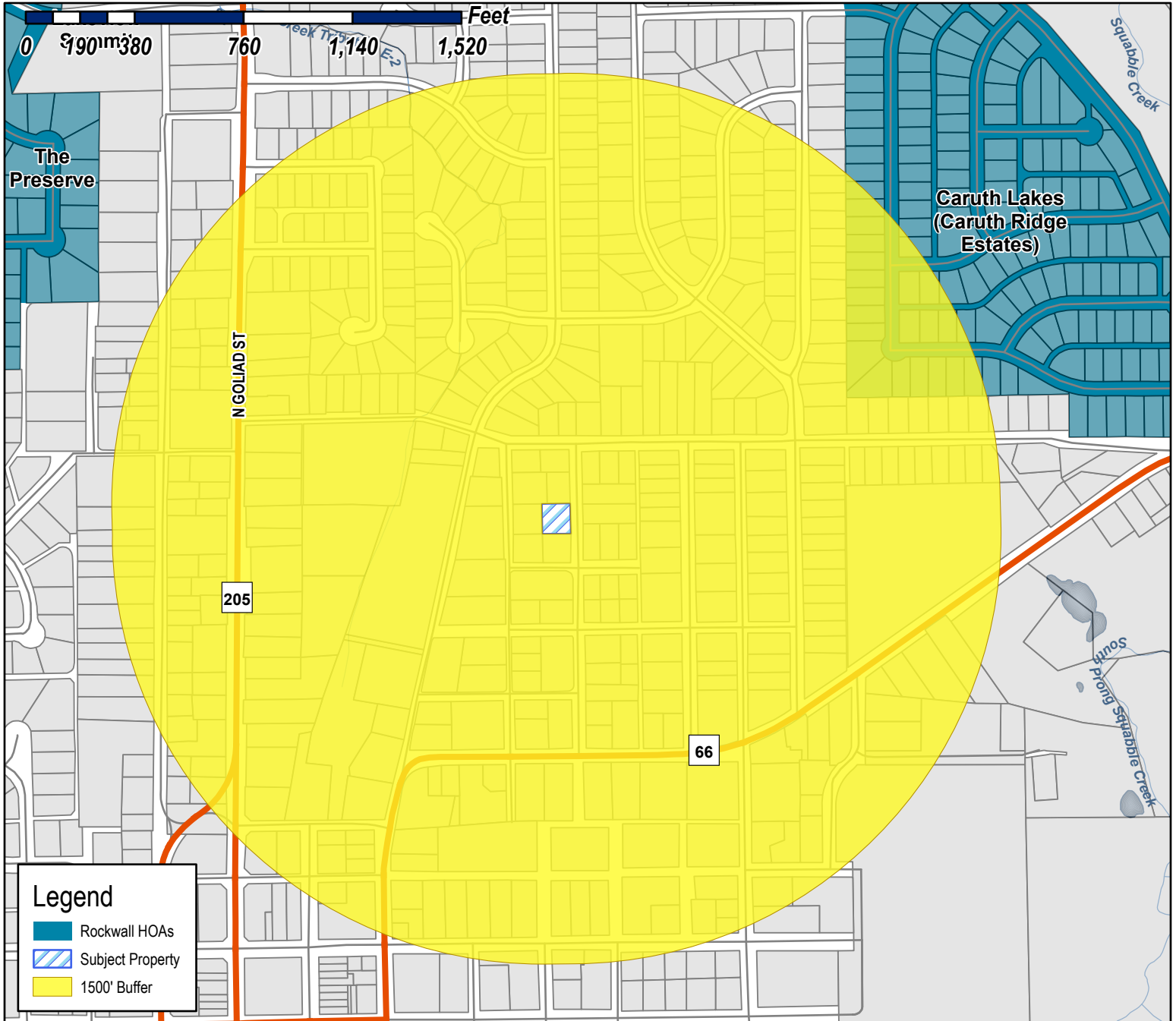




City of Rockwall

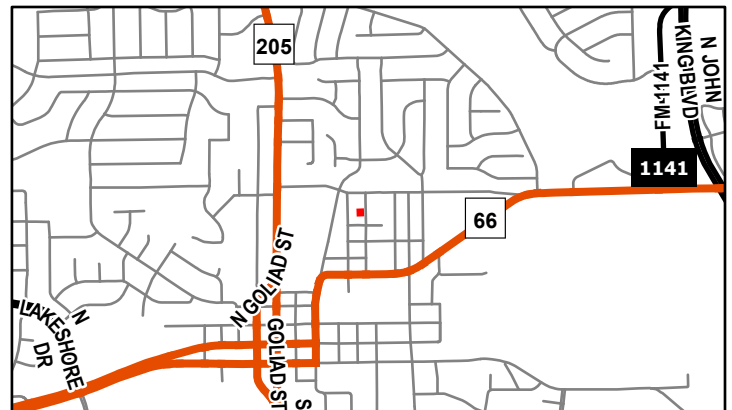
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Case Number: Z2021-053
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 803 Austin Street

Date Saved: 12/16/2021
 For Questions on this Case Call (972) 771-7745

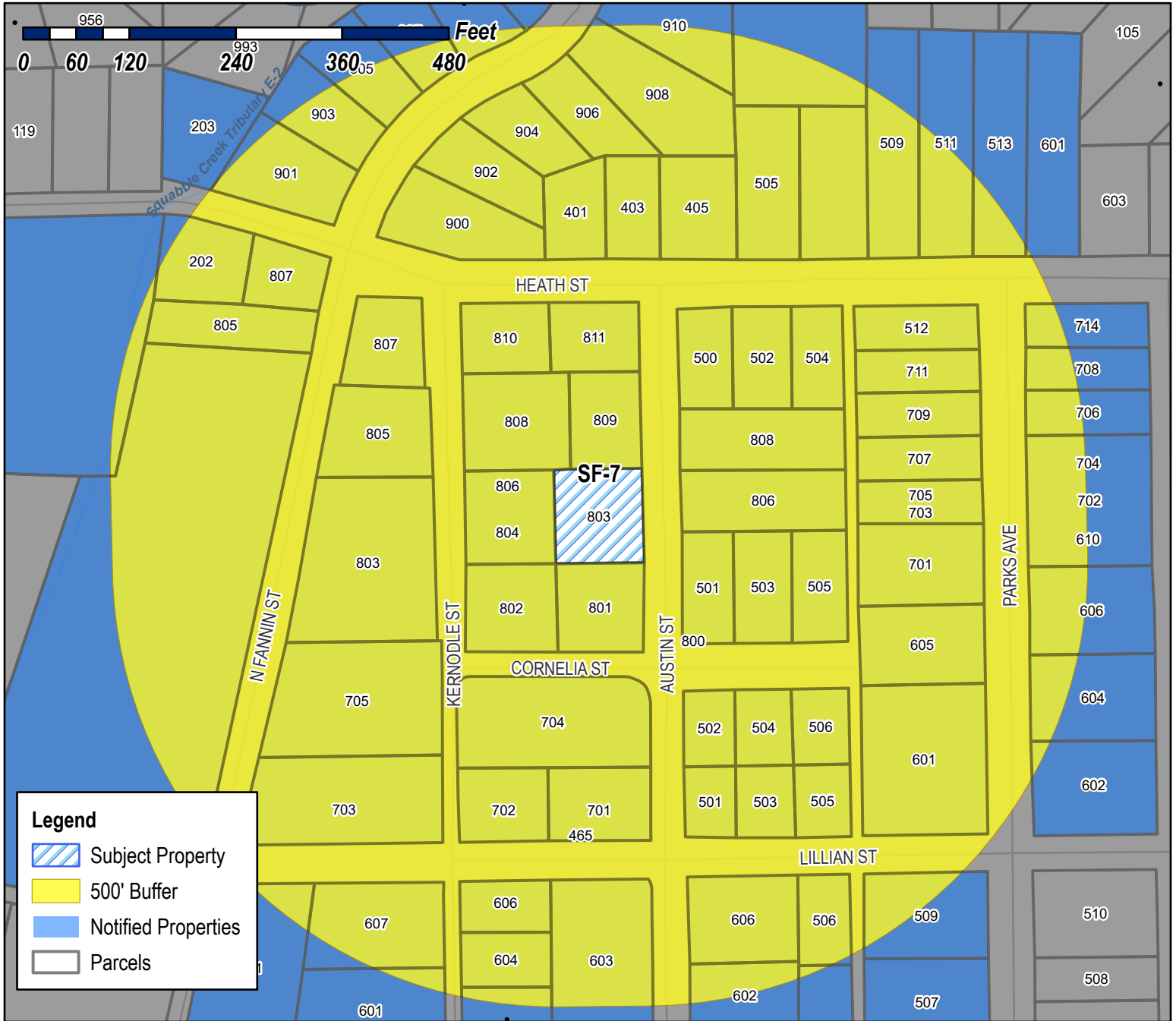




City of Rockwall

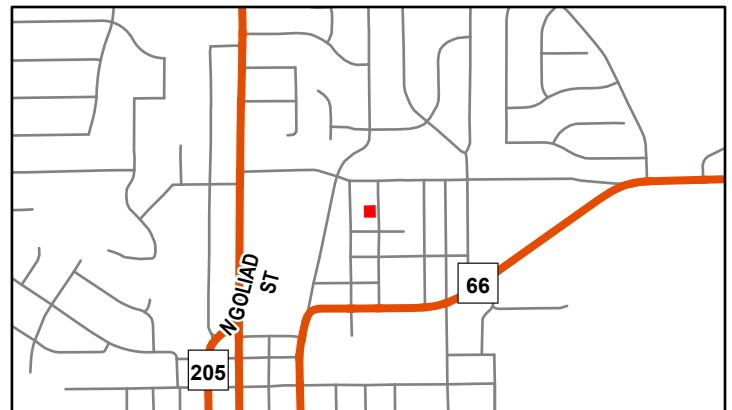
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A RESIDENCE AT
XXX AUSTIN
STREET
ROCKWALL, TX

ISSUE LOG

DATE ISSUE	DESCRIPTION
11/10/21	ISSUE FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV. NO.

ISSUED FOR:

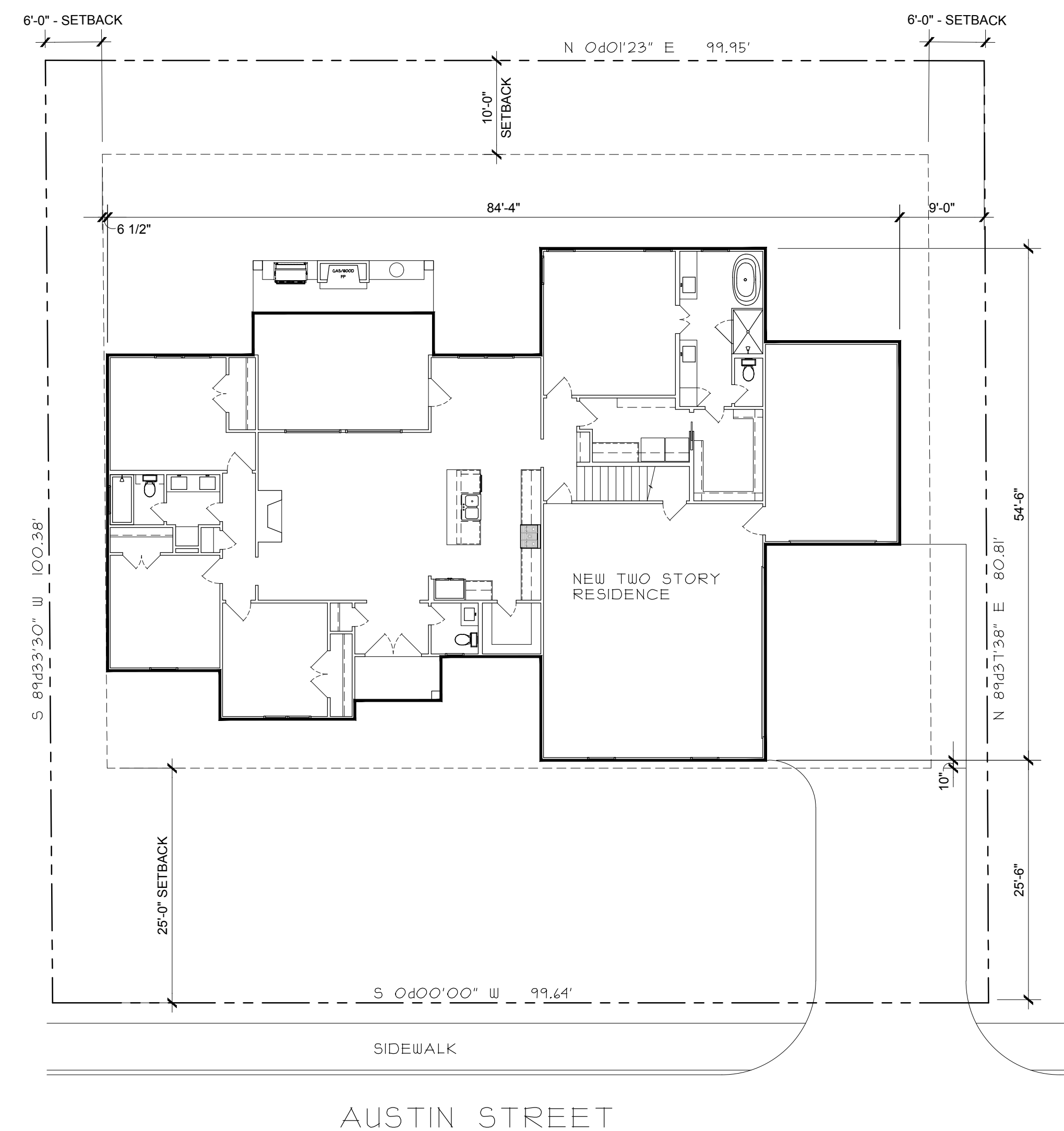
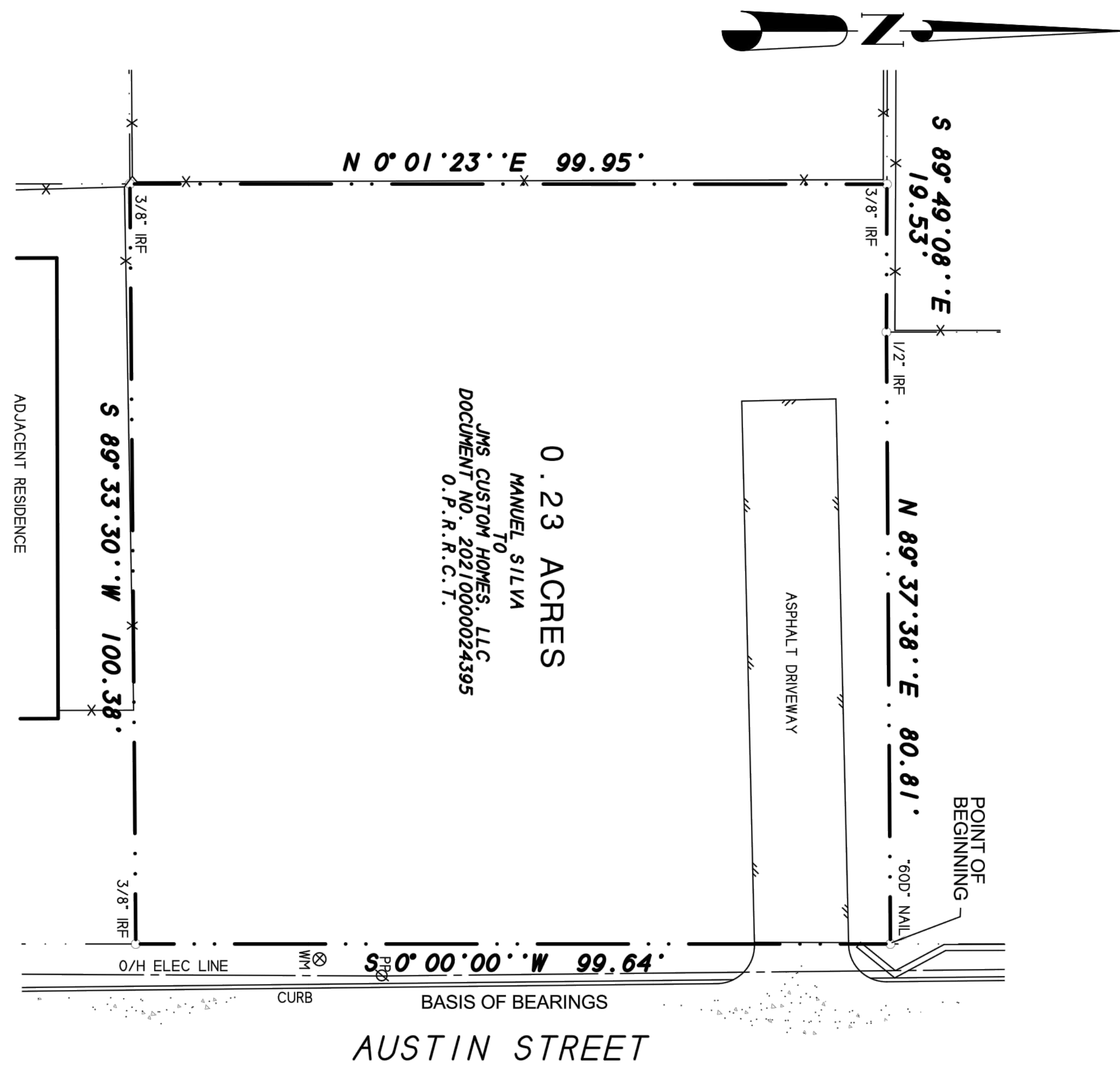
- PRELIMINARY - NOT FOR CONSTRUCTION
- BIDDING / PERMIT
- REVISION / ADDENDUM
- FOR CONSTRUCTION

ARCH. PROJ. # 21921	SCALE: REF. DRAWING
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SHEET NO.

A2.1

ARCHITECTURAL
SITE PLAN



NEW RESIDENCE
AT
803 AUSTIN
STREET
ROCKWALL, TX

ISSUE LOG

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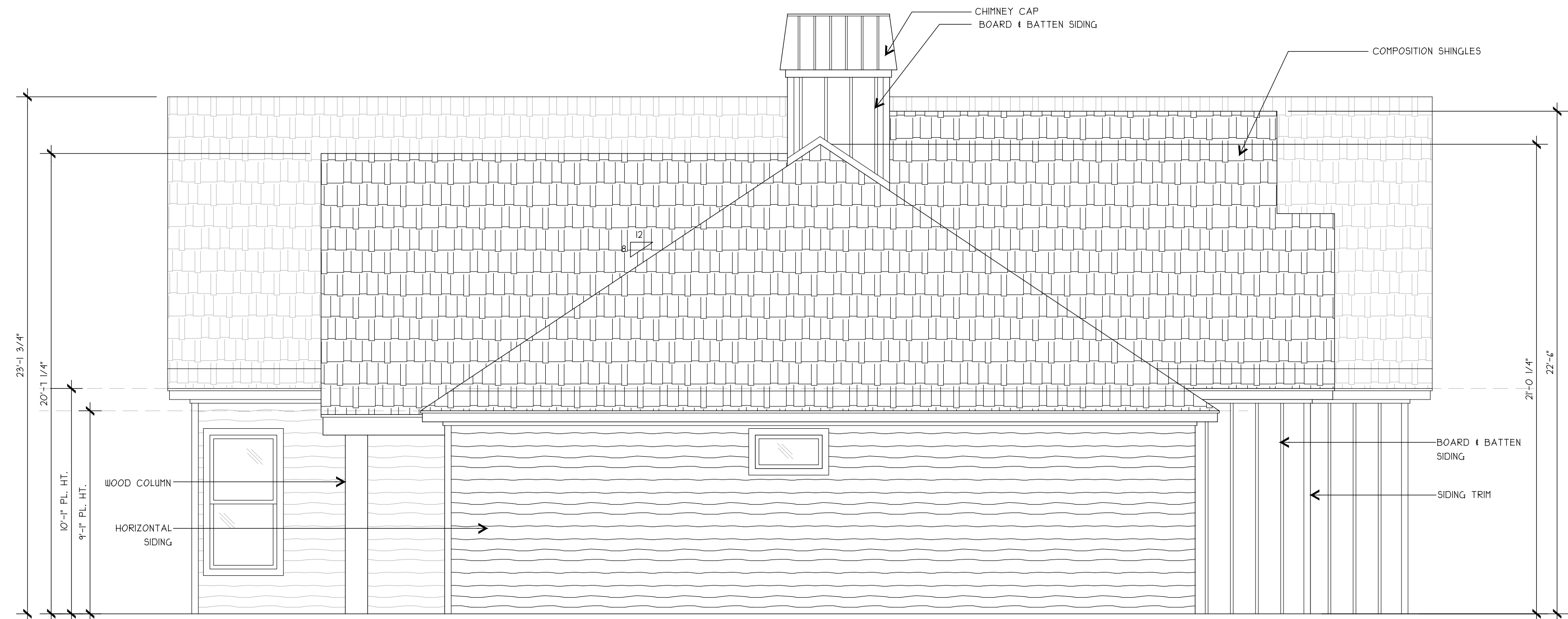


ARCH. PROJ. #:	SCALE:
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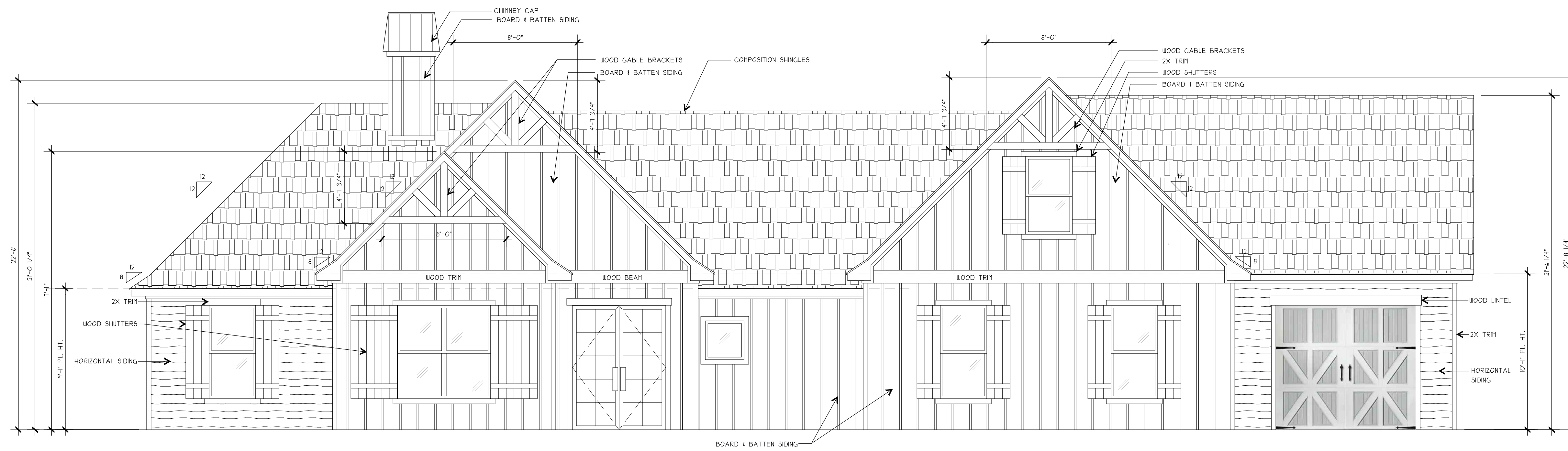
A5.1

ELEVATIONS



02 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



01 EAST ELEVATION

SCALE: 1/4"=1'-0"

ISSUE LOG

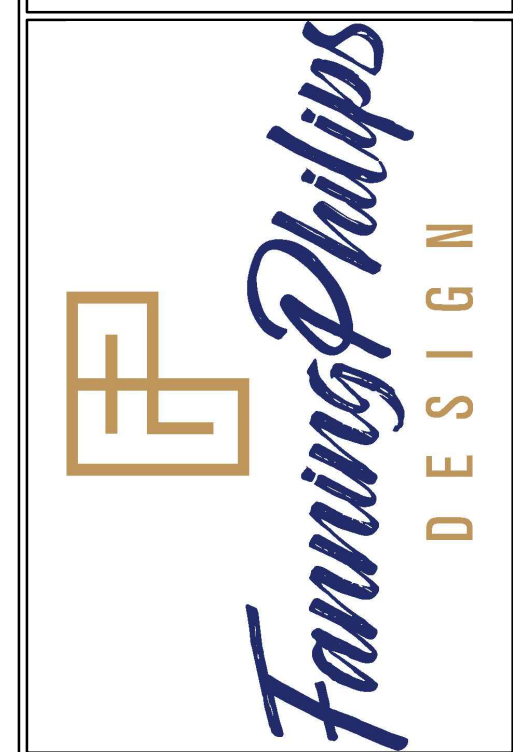
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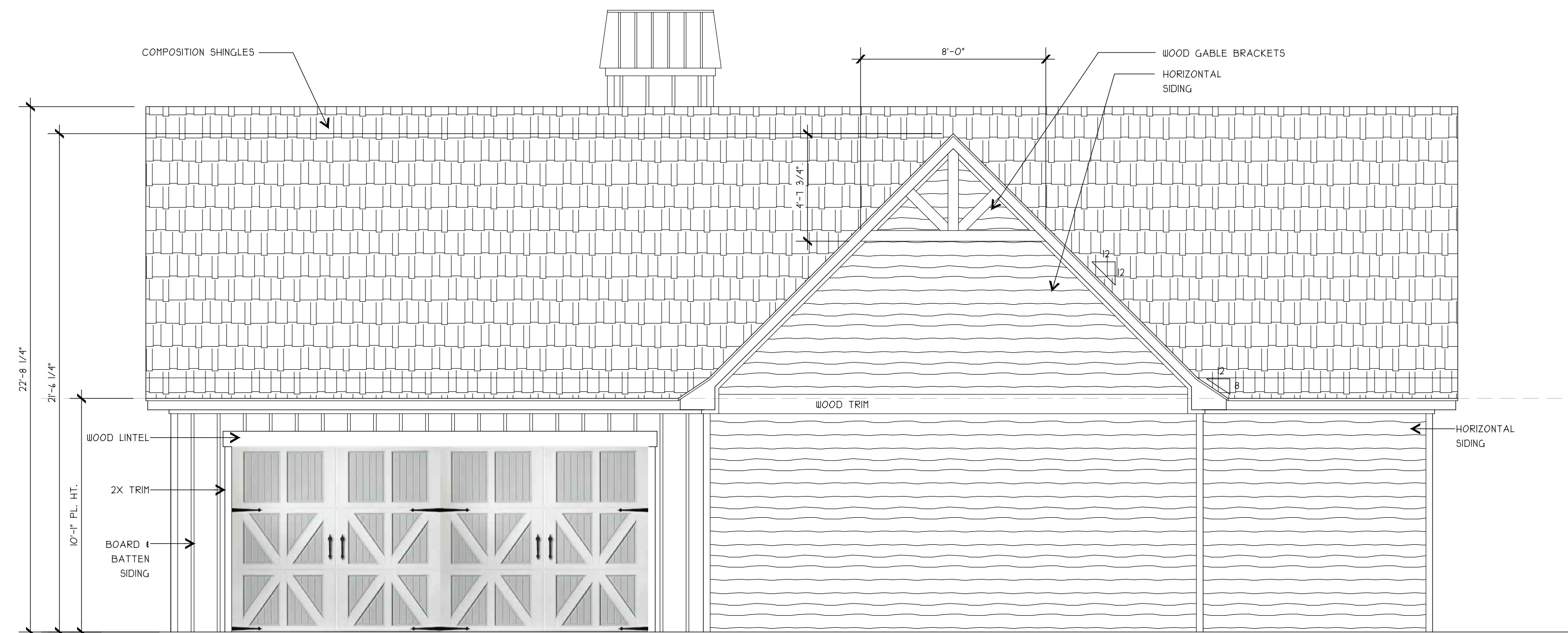


ARCH. PROJ. #	SCALE:
21921	REF. DRAWING

SHEET NO.

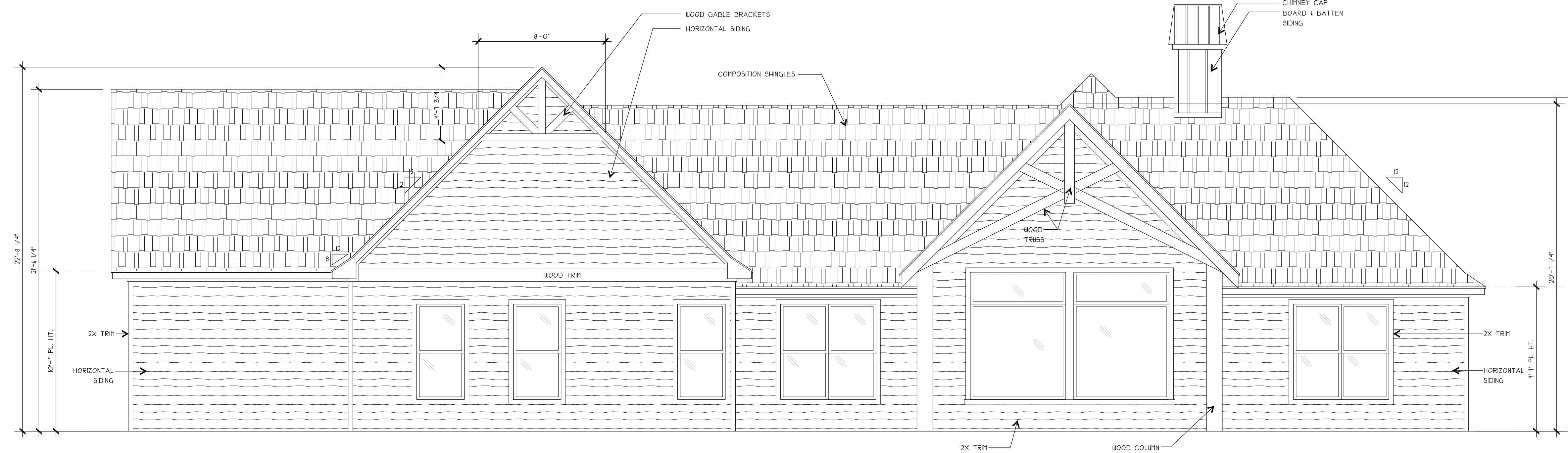
A5.2

ELEVATIONS



02 NORTH ELEVATION

SCALE: 1/4"=1'-0"



01 WEST ELEVATION

SCALE: 1/4"=1'-0"

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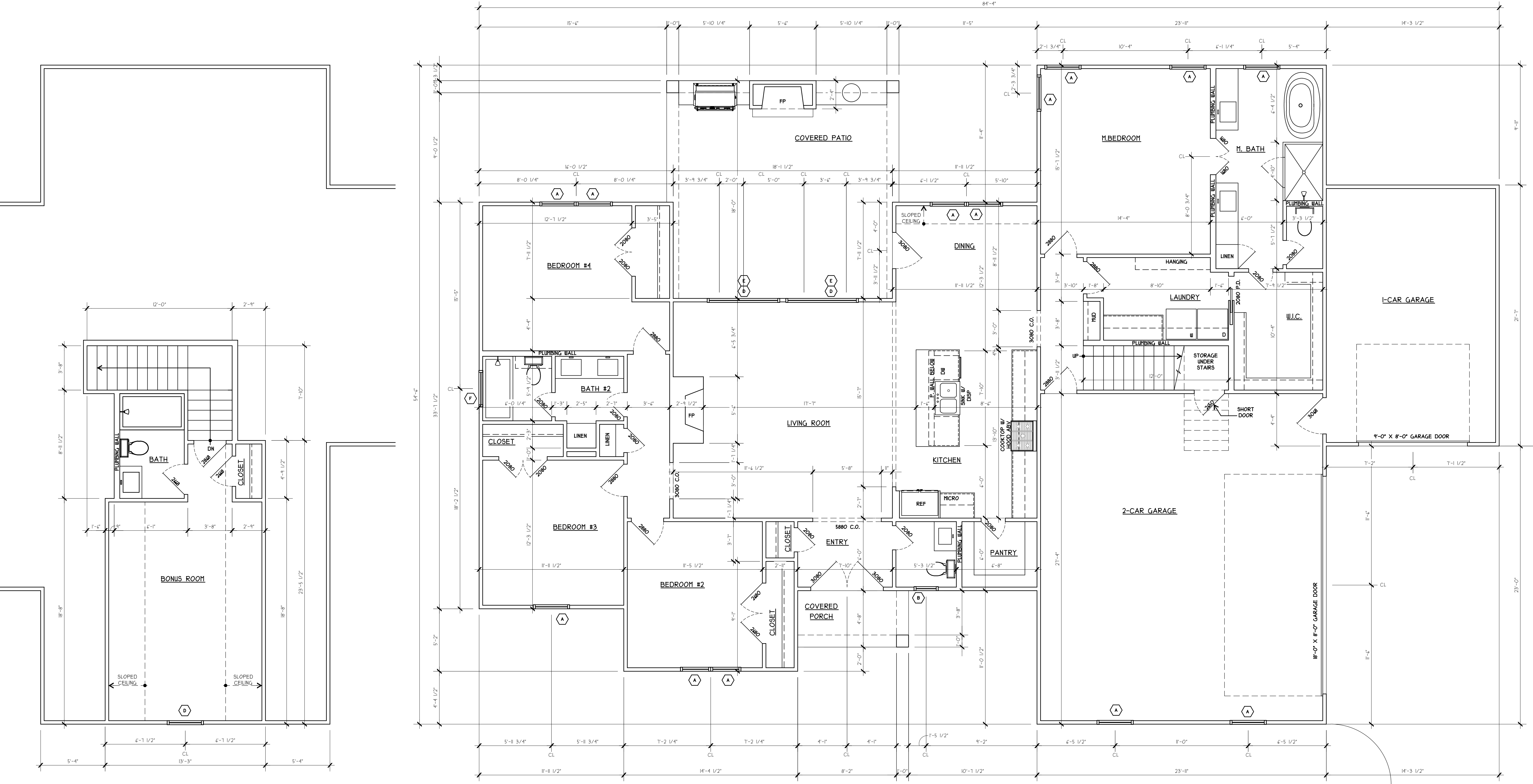


ARCH. PROJ. # 21921	SCALE REF. DRAWING
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SHEET NO.

A3.3

FIRST AND SECOND FLOOR PLANS



02 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

01 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

FRAMING AND LUMBER NOTES:

- 1.) ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY
- 2.) ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER
- 3.) ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT
- 4.) ROOF PLYWOOD SHEATHING TO 5/8" STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET
- 5.) FRAMING CONNECTIONS OR BE SIMPSON OR EQUIVALENT
- 6.) ALL BEARING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
- 7.) ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES
- 8.) ALL INTERIOR HEADERS TO BE (2)2X12'S UNLESS NOTED OTHERWISE
- 9.) ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE
- 10.) CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES
- 11.) ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES
- 12.) ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR
- 13.) ALL LUMBER SHALL BE F=1400 KILN DRIED SOUTHERN PINE, DOUGLAS FIR, OR HEMLOCK
- 14.) ALL EXTERIOR DOORS SHALL BE 1 1/2" THICK SOLID CORE 1 1/2" PR. BUTTS OR METAL INSULATION AS SHOWN ON DRAWINGS

ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE.
MIN.-1-JACK STUD EA. SIDE OF OPG. TO 6' WIDE
MIN.-2-JACK STUD EA. SIDE OF OPG. TO 8' WIDE
MIN.-3 JACK STUD EA. SIDE OF OPG. TO 12' WIDE
ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS.
GLUE & NAILED W/ 16D NAILS

ROOF CONSTRUCTION NOTES:

1. ROOF OVERHANG TO BE 18" U.N.O.
2. ROOF PITCH TO BE 10/12 U.N.O.
3. PROVIDE ATTIC VENTS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE
4. TIE ROOF TRUSSES OR RAFTER TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED IN STRAPPING SCHEDULE, ABOVE.
5. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GLUED AND NAILED AS DESCRIBED IN SHEATHING NAILING SCHEDULE ABOVE.
6. TRUSS DESIGNS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER
7. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.

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