



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. 22021-045

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

**PROPERTY INFORMATION** [PLEASE PRINT]

ADDRESS 418 COLUMBIA DR. ROCKWALL TX.

SUBDIVISION CHANDLERS LANDING PH. 2 LOT 40 BLOCK

GENERAL LOCATION

**ZONING, SITE PLAN AND PLATTING INFORMATION** [PLEASE PRINT]

CURRENT ZONING CURRENT USE

PROPOSED ZONING PROPOSED USE

ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER VANIO DILOV  APPLICANT

CONTACT PERSON VANIO DILOV CONTACT PERSON

ADDRESS 2717 LAKEWOOD DR. ADDRESS

CITY, STATE & ZIP ROWLETT TX. 75088 CITY, STATE & ZIP

PHONE 972-672-7777 PHONE

E-MAIL Desi.DILOV@gmail.com E-MAIL

**NOTARY VERIFICATION** [REQUIRED]

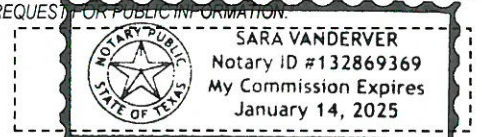
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [Signature] [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 600.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6 DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6 DAY OF October, 2021.


OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Sara Vanderver



MY COMMISSION EXPIRES 1-14-2025

0 12.5 25 50 75 100 Feet

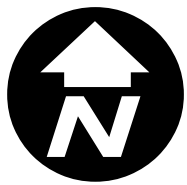
Z2021-045- SUP FOR RESIDENTIAL INFILL  
AT 418 COLUMBIA  
ZONING - LOCATION MAP = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

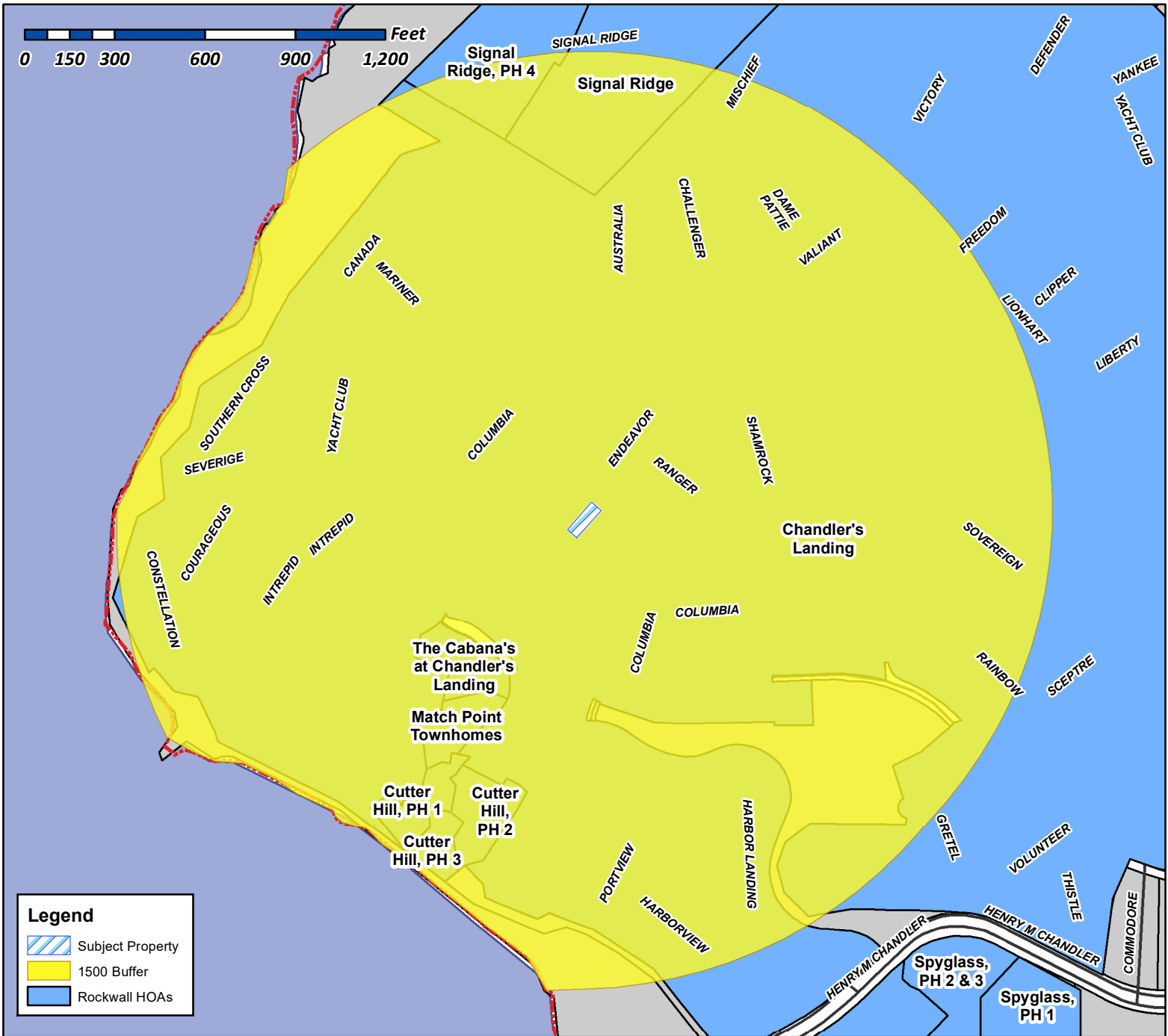
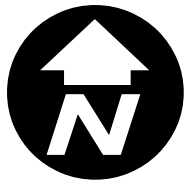




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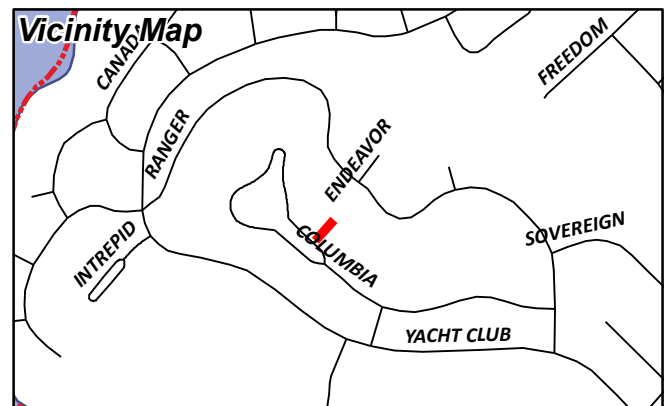
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**Case Number:** Z2021-045  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 418 Columbia Drive

**Date Created:** 10/18/2021  
 For Questions on this Case Call (972) 771-7745

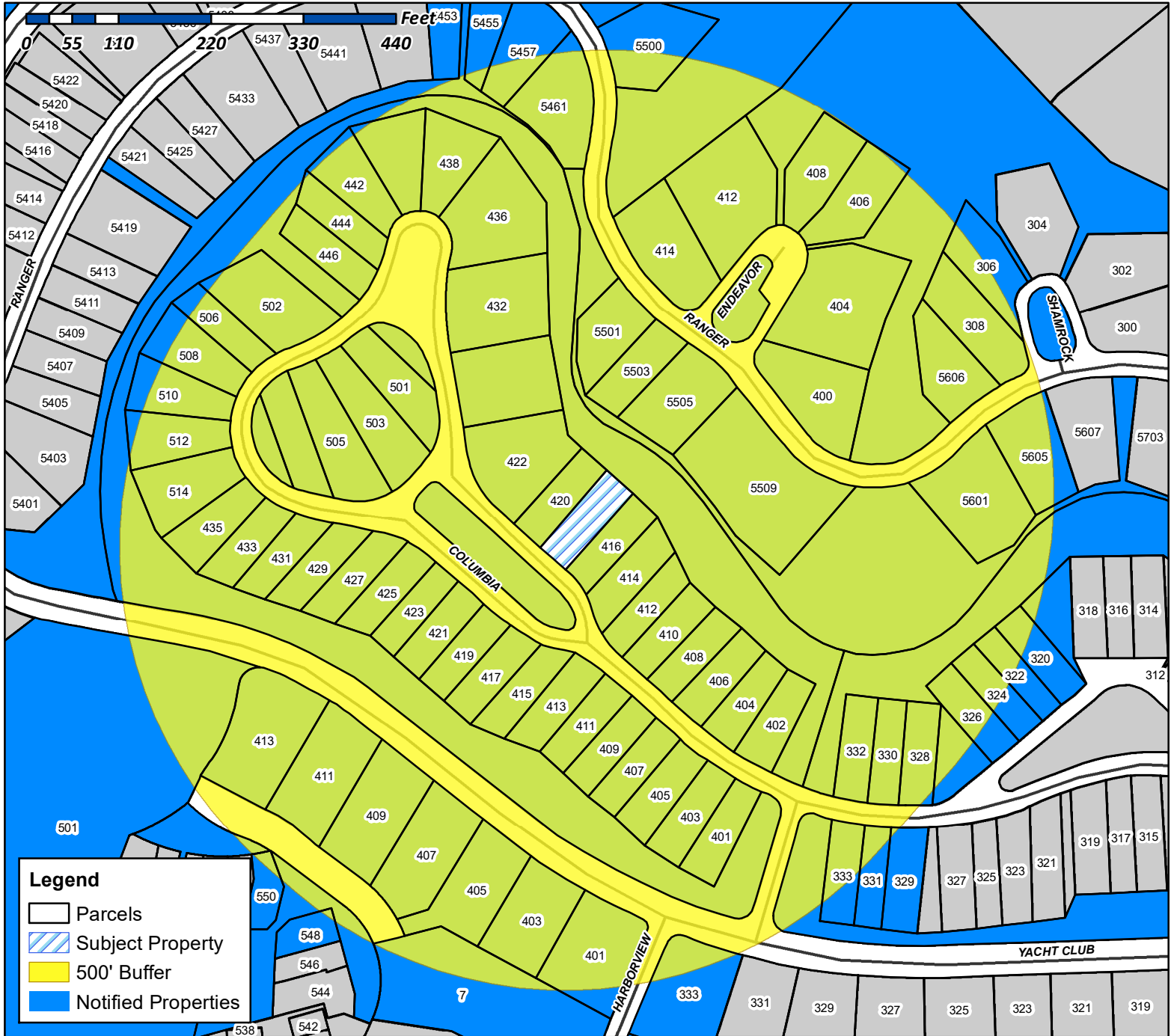




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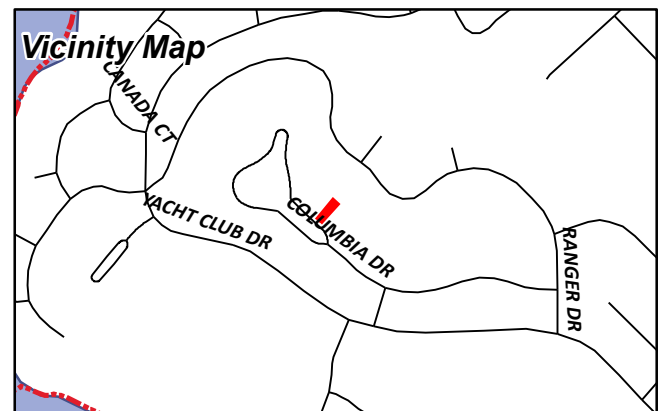
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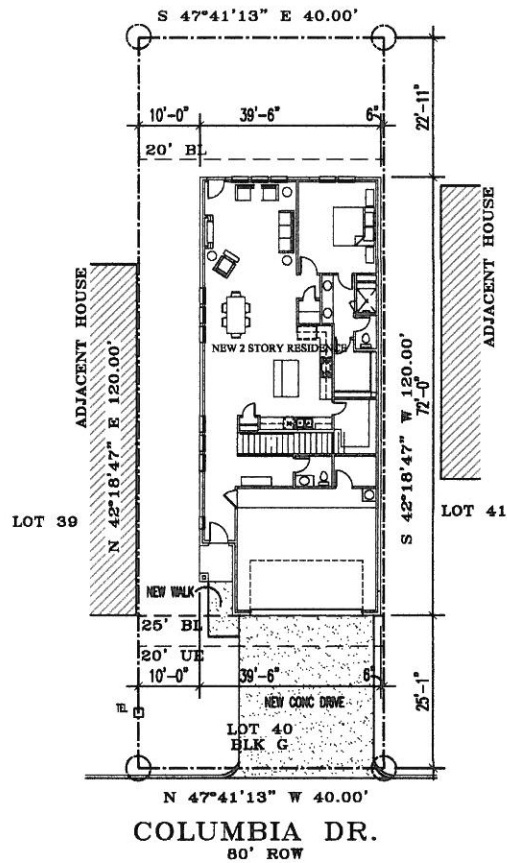
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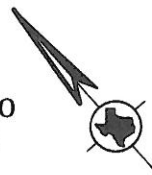
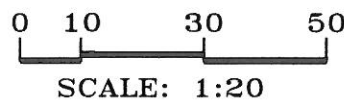


DESIGN DEVELOPMENT  
SERVICES  
ALLEN, TX 75002  
PH. (214) 929-5086

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS—NOTIFY GENERAL  
CONTRACTOR OF ANY DISCREPANCIES  
PRIOR TO BEGINNING CONSTRUCTION



**SPEC BUILD**  
**LOT 40 CHANDLERS LAANDING PH 2**  
**COLUMBIA DR.**  
**ROCKWALL, TX 75032**  
**ROCKWALL COUNTY**



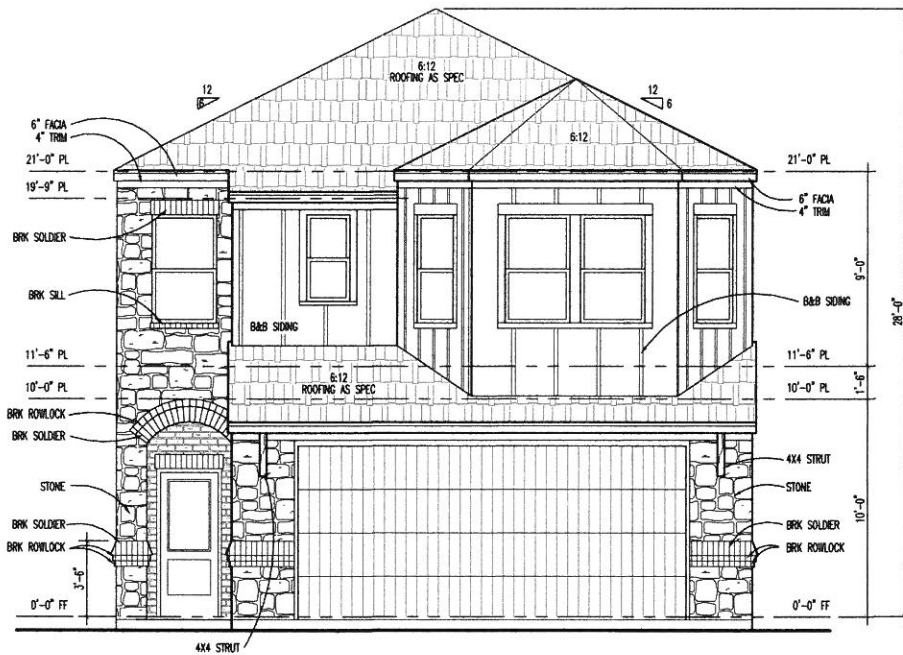
# SITE PLAN

ZONING: SF  
BLDG FOOTPRINT: 2,094 SQFT  
LOT AREA: 4,800 SQFT  
LOT COVERAGE: 43.6%

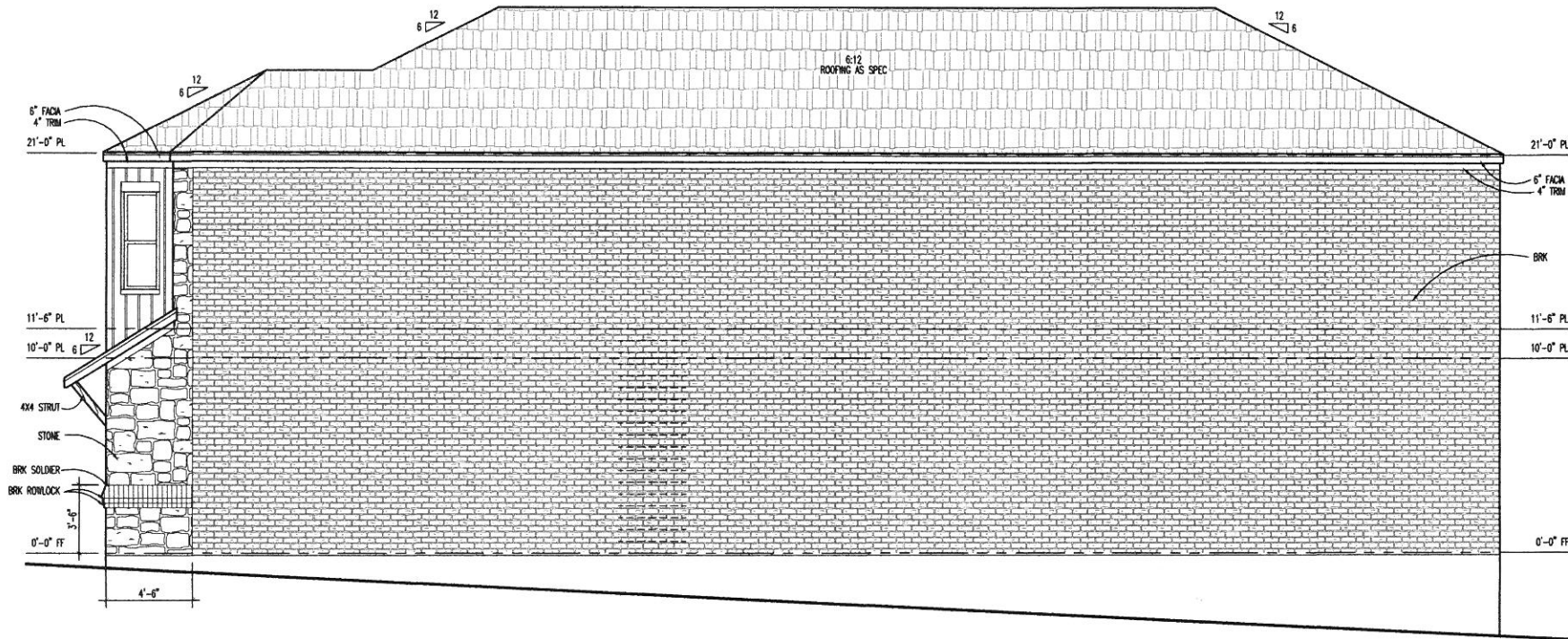
# PLAT SITE

DATE: 8-28-21

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**01 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**02 RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"

**APPLICABLE CODES**

INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE	2015
INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE	2015
INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ENERGY CONSERVATION CODE	2015
INTERNATIONAL FIRE PREVENTION CODE	2015	NATIONAL ELECTRICAL CODE	2017

ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE CODES AND MUNICIPAL REGULATIONS

**SPEC BUILD**  
**LOT 40 CHANDLERS LAANDING PH 2**  
**COLUMBIA DR.**  
**ROCKWALL, TX 76032**  
**ROCKWALL COUNTY**

*D.L.O.R.*

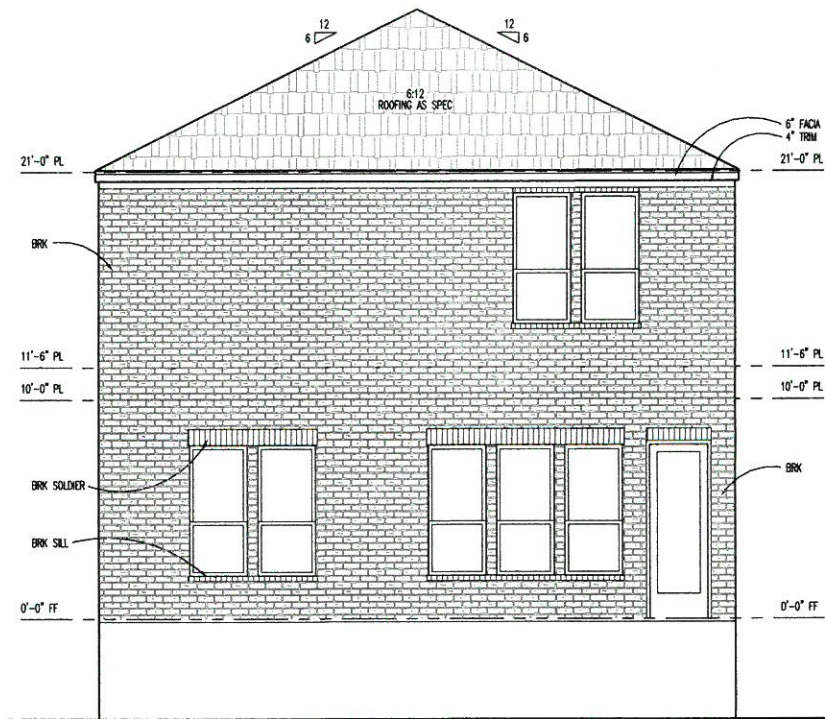
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**01 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**02 LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

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