



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 478 RENEW DR ROCKWALL, TX
 SUBDIVISION Rockwall Lake Properties LOT 1405, 1406 BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>Alex Flores</u>	<input type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON
ADDRESS <u>1650 John King Blvd APT 3710</u>	ADDRESS
CITY, STATE & ZIP <u>Rockwall, TX 75032</u>	CITY, STATE & ZIP
PHONE <u>(469) 534-5809</u>	PHONE
E-MAIL <u>afchomes75@gmail.com</u>	E-MAIL

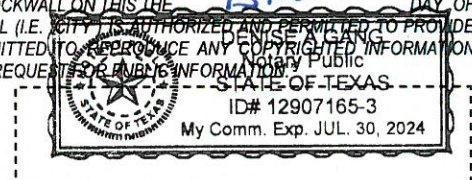
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alex Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 515.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF October, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 20 21

OWNER'S SIGNATURE [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



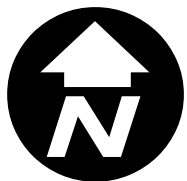
MY COMMISSION EXPIRES July 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

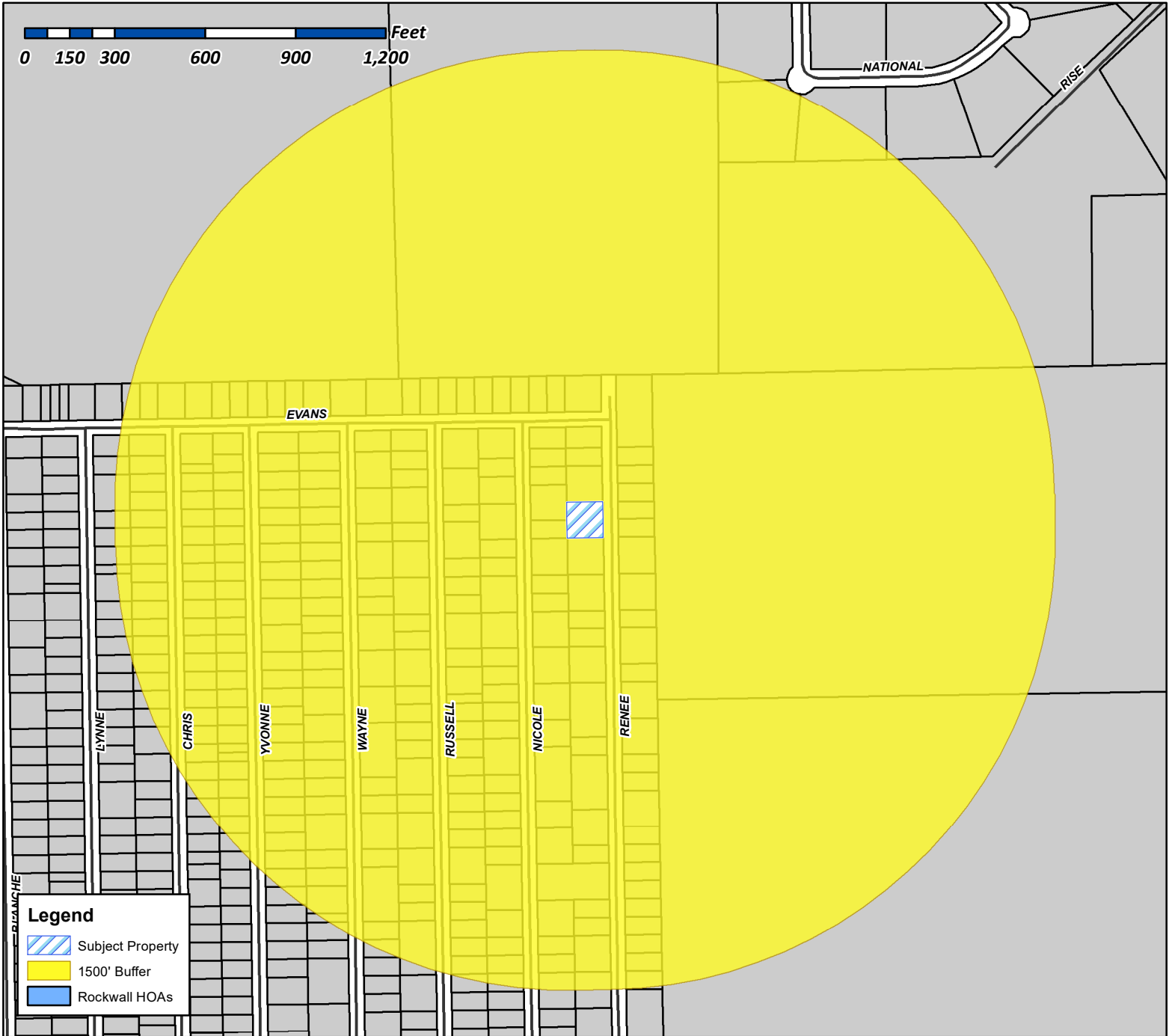
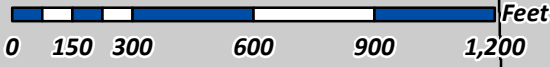
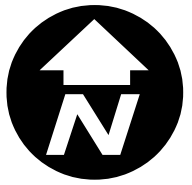




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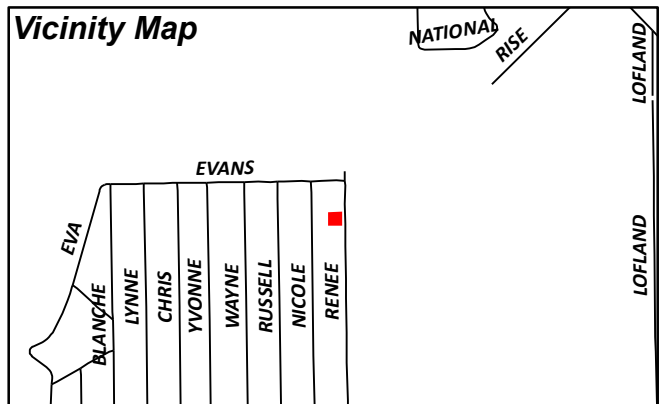
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Case Number: Z2021-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 478 Renee Drive

Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745

Vicinity Map

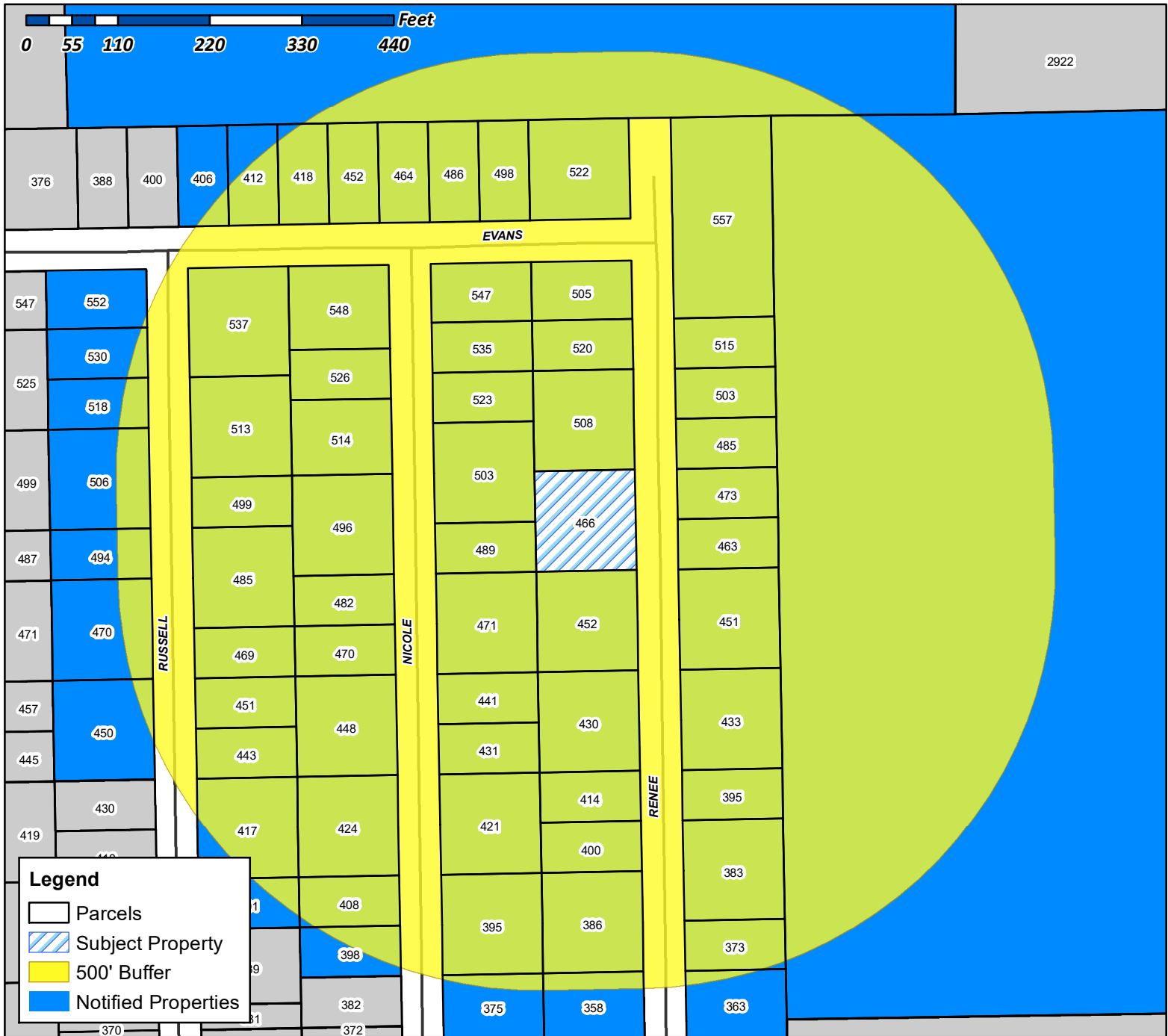




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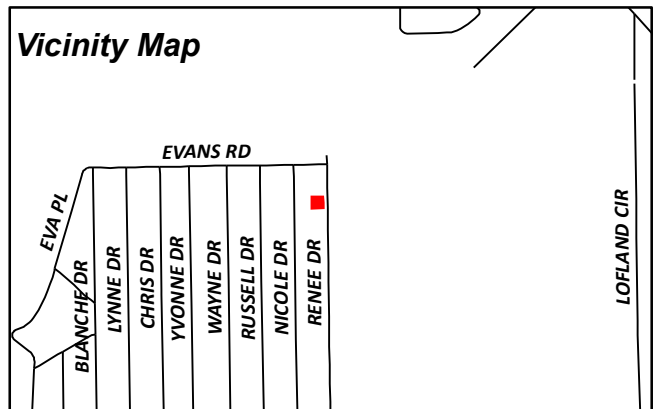
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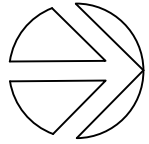
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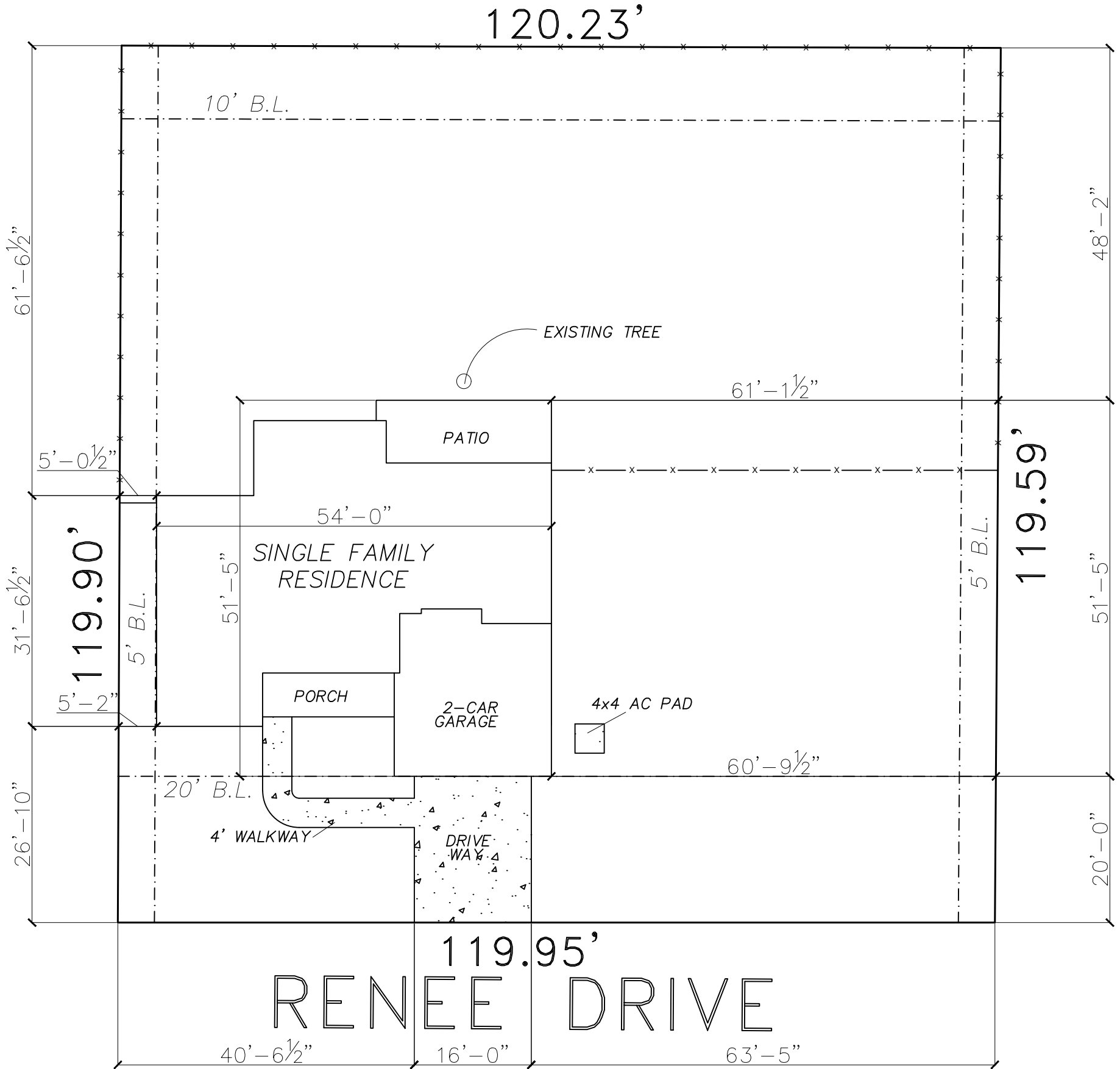


NORTH
SCALE: 1' = 16'-0"

AREA CALCULATIONS

LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE.	2769 SF
% TOTAL IMP. COVERAGE.	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

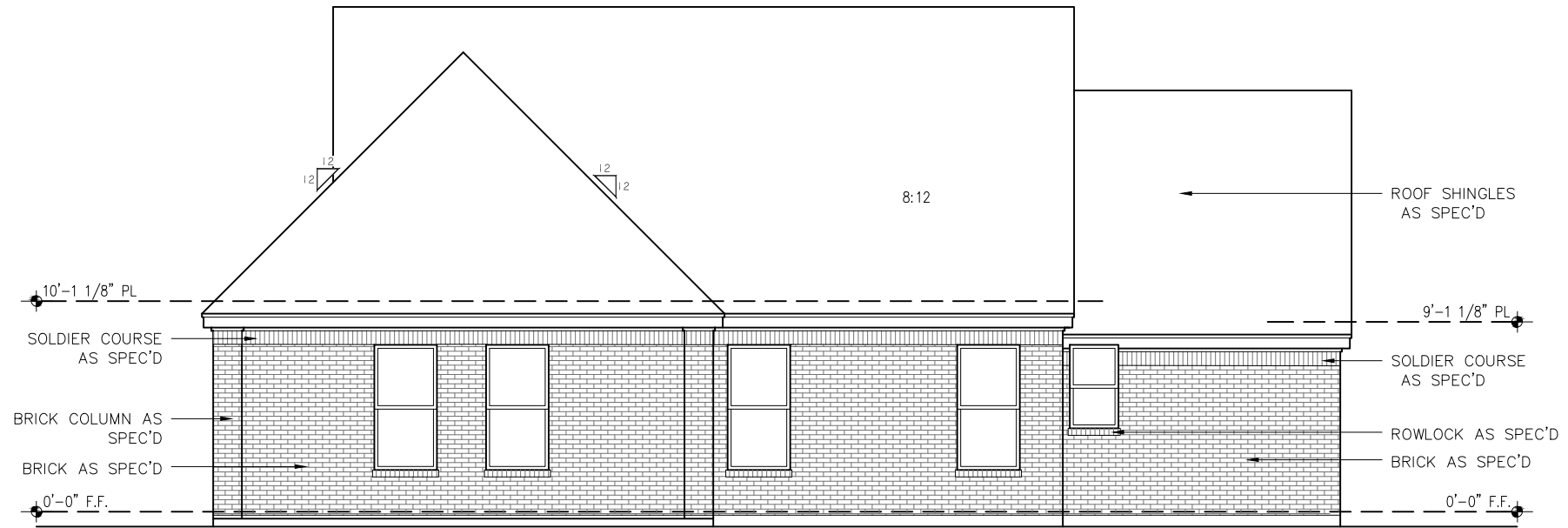
* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

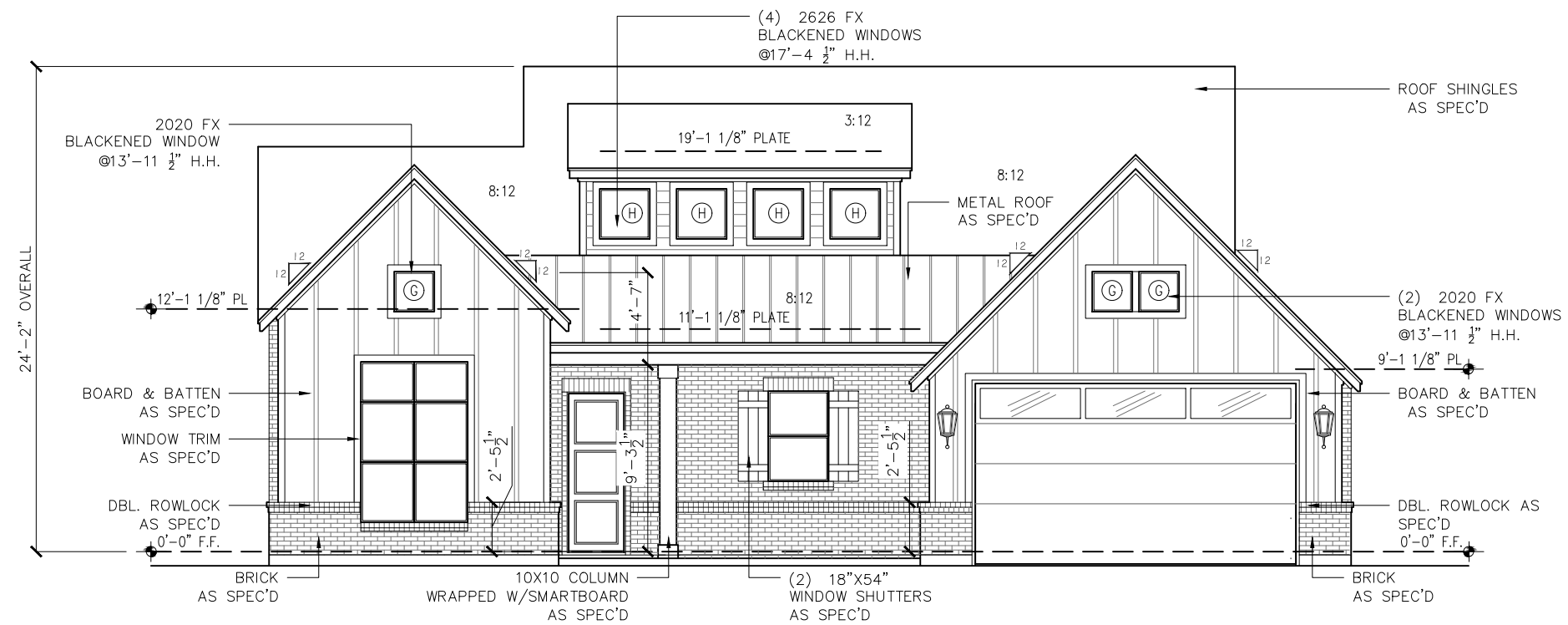
LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
	- EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT
	- CURLEX	S.S.E. - SANITARY SEWER EASEMENT
	- RETAINING WALL	T.E. - TRANSFORMER EASEMENT
	- REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT
	- REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E. - VISIBILITY EASEMENT
		- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	PLOT PLAN SP1
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DSGG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	

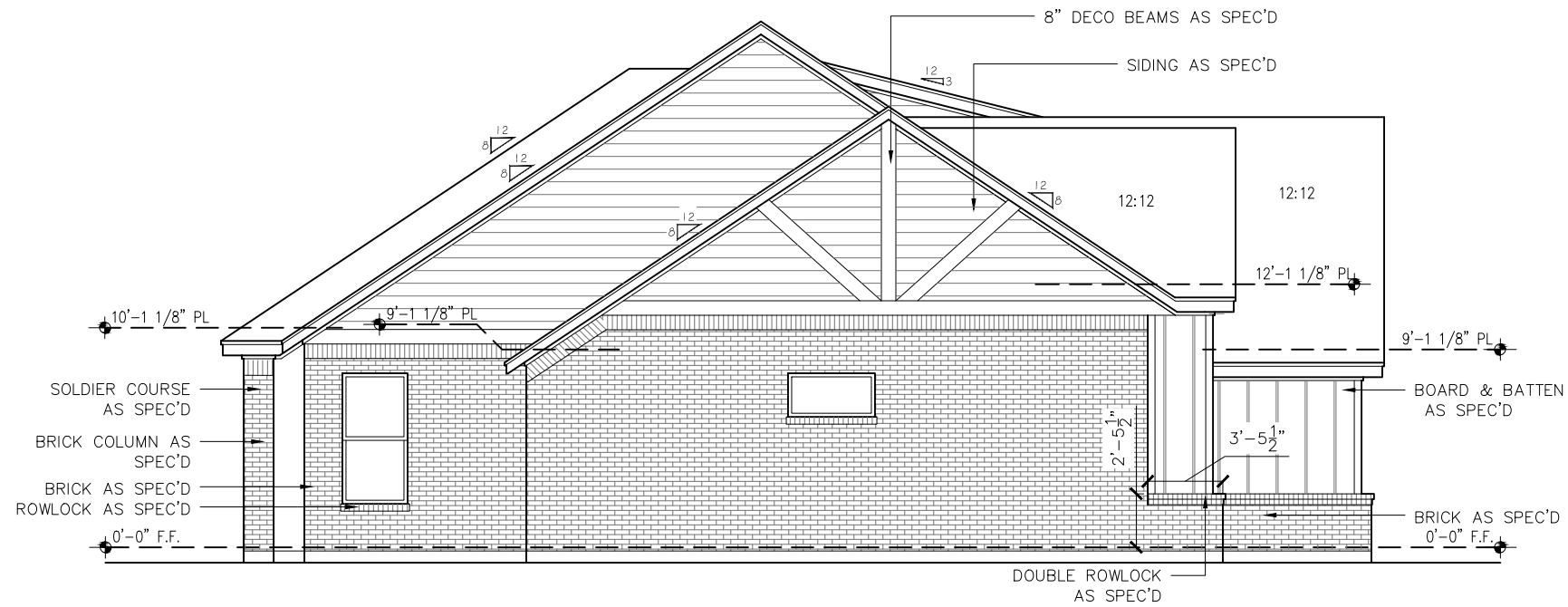


1 PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

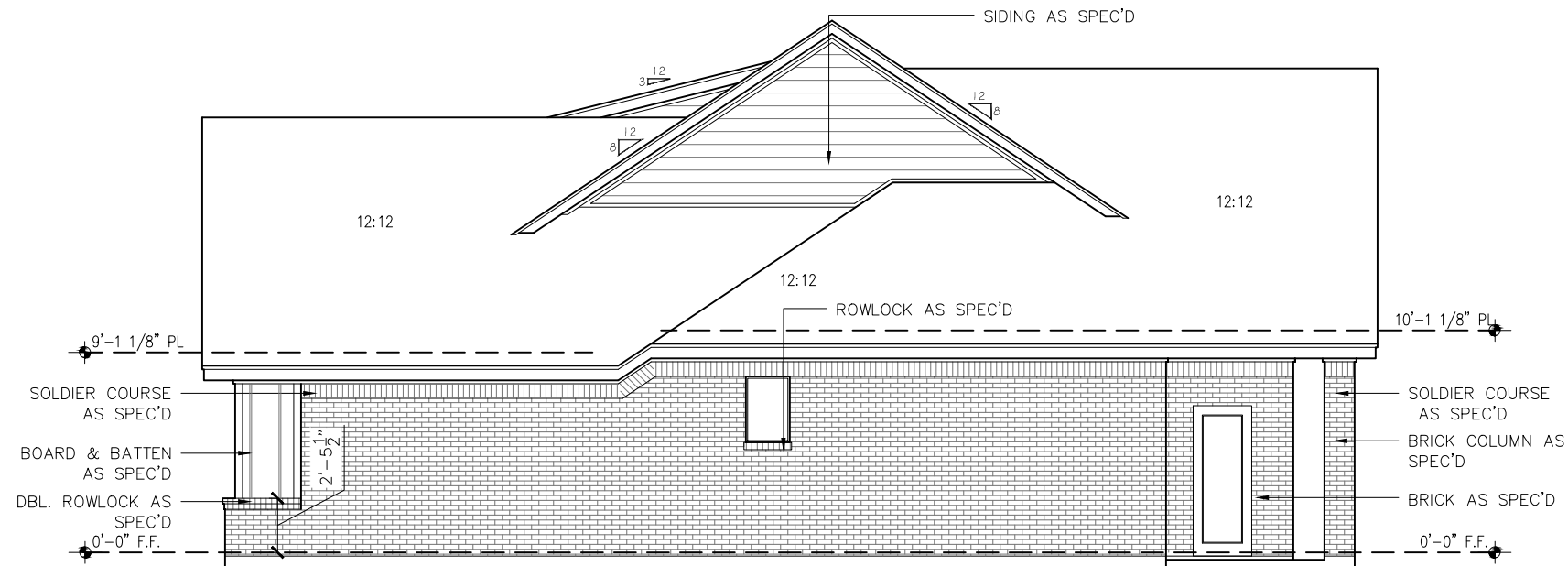
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	124 SF	26.1%	351 SF	73.9%
FRONT	273 SF	46.3%	316 SF	53.7%
LEFT	172 SF	25.0%	517 SF	75.0%
RIGHT	79 SF	17.5%	373 SF	82.5%
TOTAL	648 SF	29.4%	1,557 SF	70.6%
TOTAL STONE	46 SF			
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45 DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

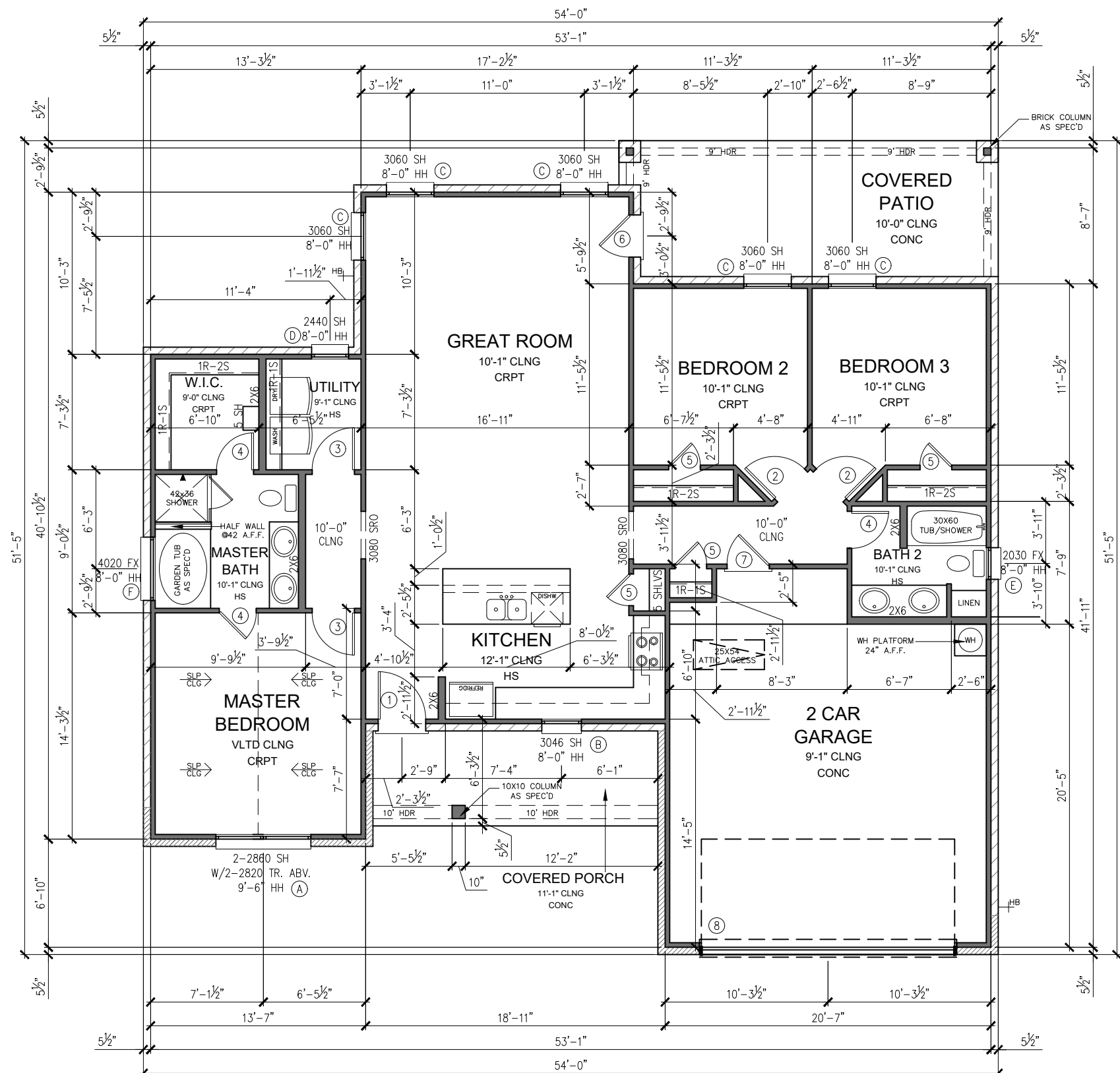
SQUARE FOOTAGE TABLE

AREA	MASONRY
FLOOR PLAN	1,529 SF
TOTAL LIVING	1,529 SF
GARAGE	477 SF
FRONT PORCH	108 SF
PATIO	198 SF
TOTAL COMBINED	2,312 SF
TOTAL SLAB	2,312 SF

MASONRY LEGEND



WALL LEGEND



WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	1	2-2868	VINYL 3 STAR ENERGY - SH W/2820 TRANSFORM ABV.
B	1	3046	VINYL 3 STAR ENERGY - SINGLE HUNG
C	5	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2440	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	3030	VINYL 3 STAR ENERGY - FIXED OPQ
F	1	4020	VINYL 3 STAR ENERGY - FIXED OPQ
G	3	2020	VINYL 3 STAR ENERGY - FIXED OPQ
H	4	2626	VINYL 3 STAR ENERGY - FIXED OPQ

DOOR SCHEDULE

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR
2	2	2668	INTERIOR
3	2	2868	INTERIOR
4	3	2468	INTERIOR
5	4	2068	INTERIOR
6	1	2868	EXTERIOR 1-LT
7	1	2868	EXTERIOR INSULATED DOOR
8	1	16080	GARAGE OHD DOOR

1 PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



DDS GROUP
123 W. MAIN ST. #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM 214-966-0550
SERVICES@DDSGROUP.COM 469-999-0800

DESIGNER:
DDSG-JO

PROJECT #:

478 RENEE DRIVE
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A1