



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-043

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ \$215.00
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 601 KERNODLE ST.

SUBDIVISION FARMERS AND MERCHANTS NATIONAL BANK

LOT PORTION OF BLOCK 3
BLOCK

GENERAL LOCATION CORNER OF KERNODLE ST. & MARGARET ST.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SINGLE FAMILY

CURRENT USE VACANT LOT

PROPOSED ZONING

PROPOSED USE SINGLE FAMILY DWELLING

ACREAGE .426

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER JONATHAN BROWN

APPLICANT KENNETH A. SELDEN

CONTACT PERSON

CONTACT PERSON

ADDRESS 7814 KILLARNEY LANE

ADDRESS 5 SHEPHERDS WAY

CITY, STATE & ZIP ROWLETT TX 75089

CITY, STATE & ZIP HEATH TX 75032

PHONE 214-476-2936

PHONE 214-274-2327

E-MAIL JBROWN@JHPARCH.COM

E-MAIL SELDEN.CONSTRUCTION@GMAIL.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kenneth A. Selden [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE OCT. 06, 2021 DAY OF 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

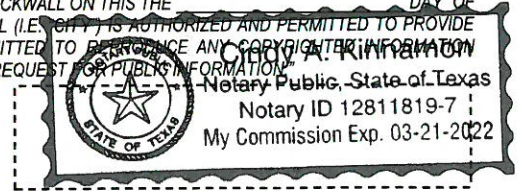
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 23rd DAY OF September, 2021

OWNER'S SIGNATURE

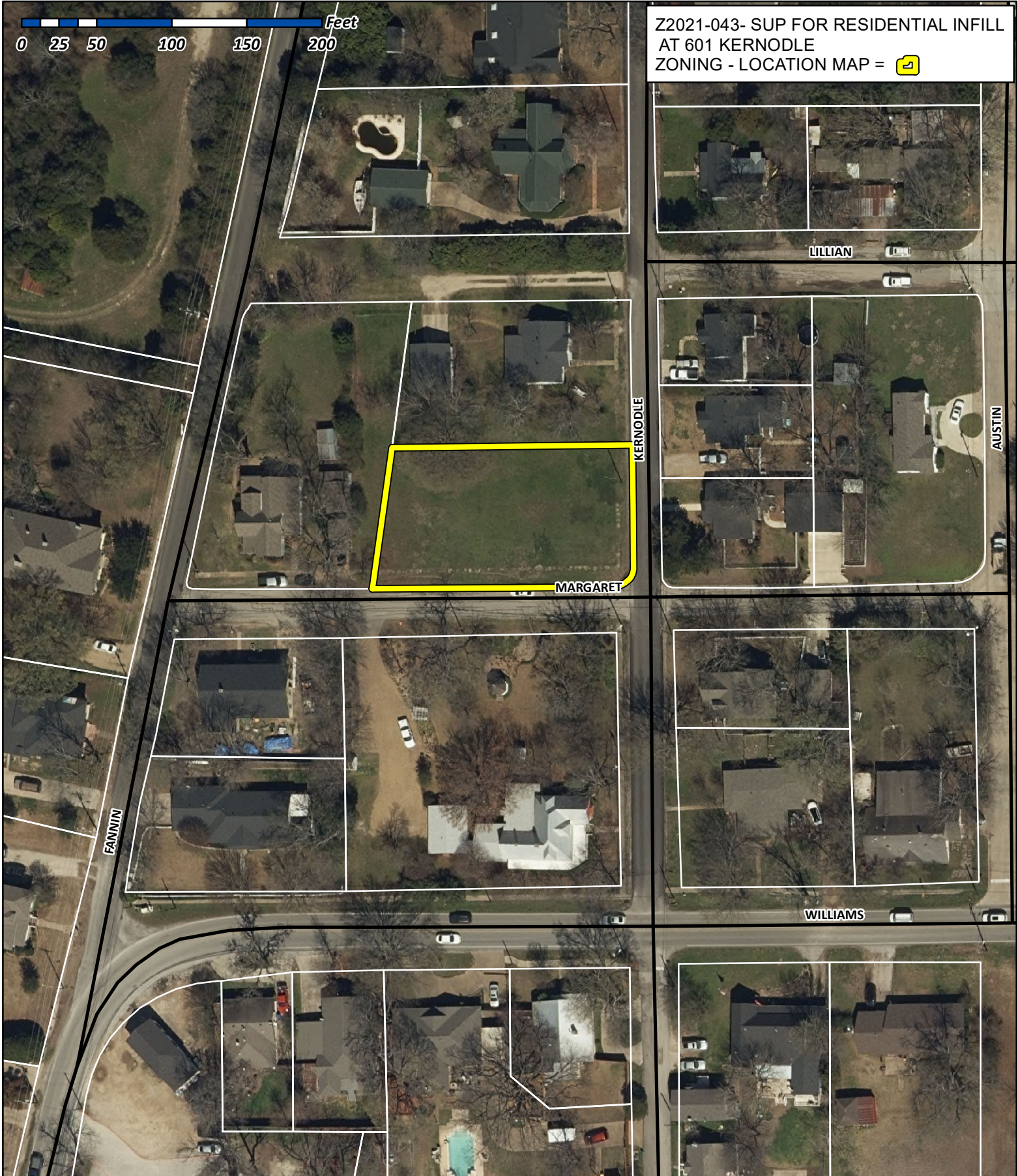
Kenneth A. Selden

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Cheryl Kuen



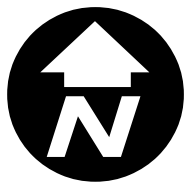
MY COMMISSION EXPIRES 3-21-22



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

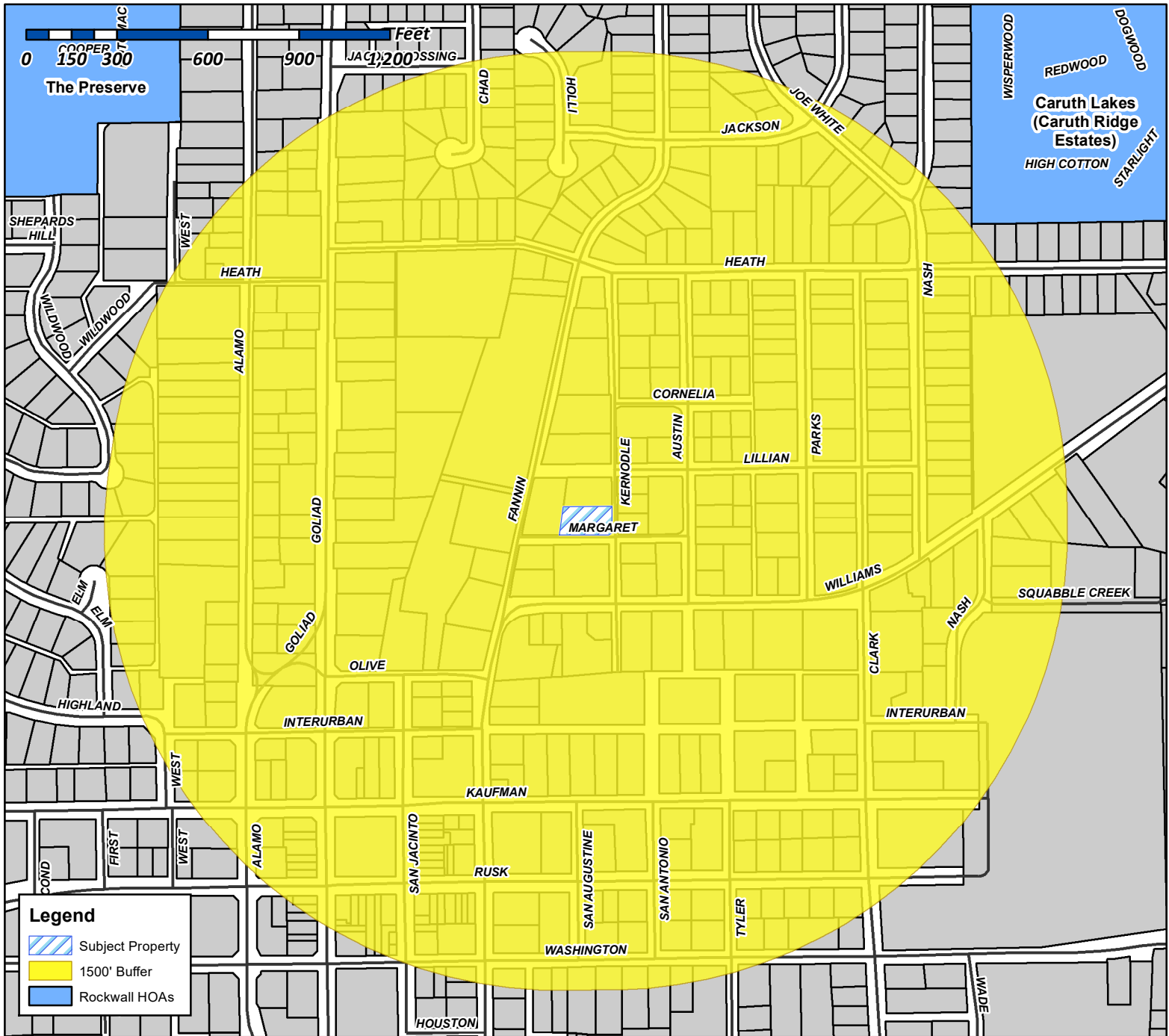




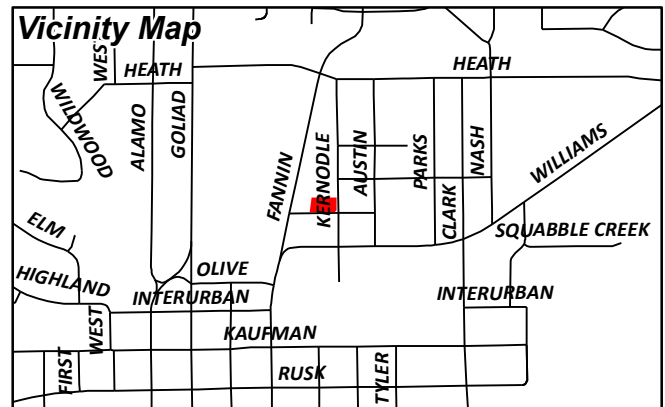
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Case Number: Z2021-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family (SF-7) District
Case Address: 601 Kernodle



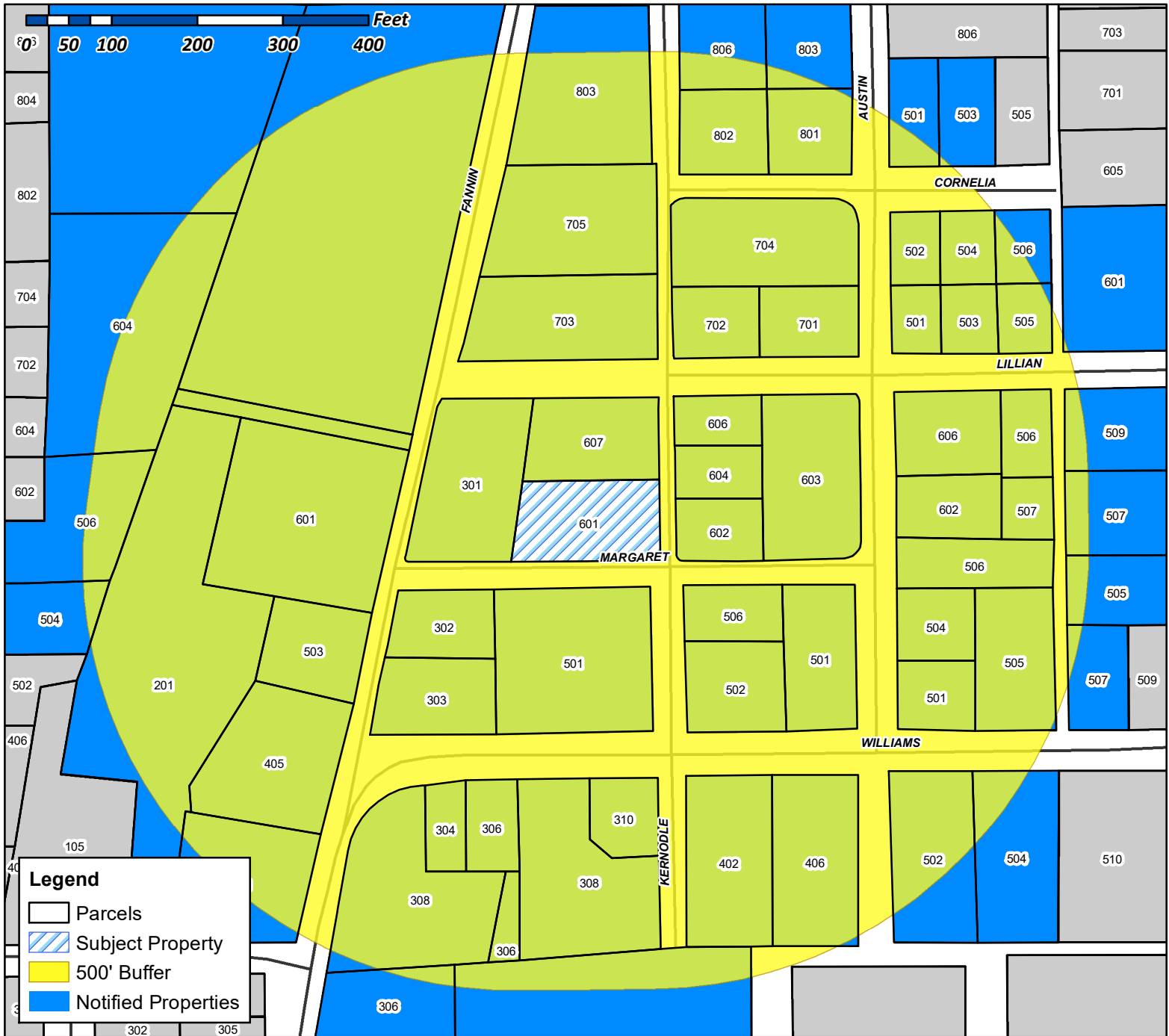
Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745



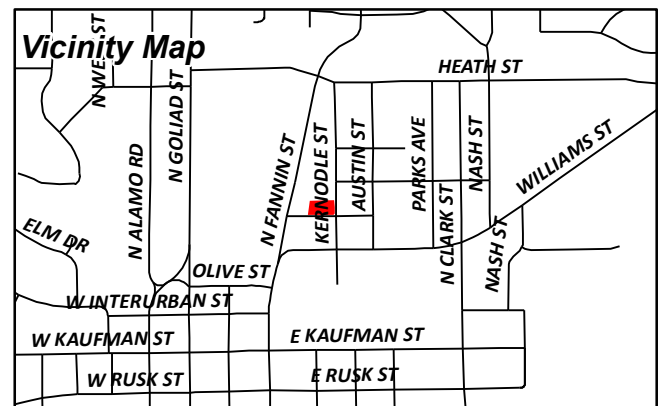
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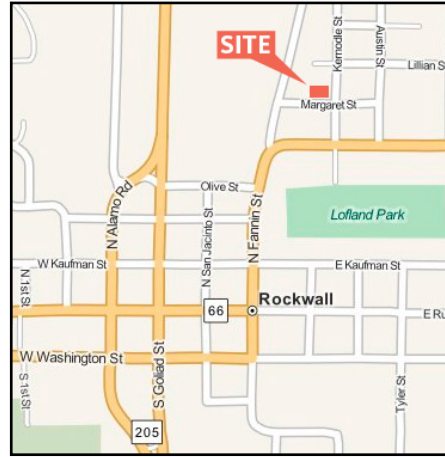
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Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 601 Kernodle



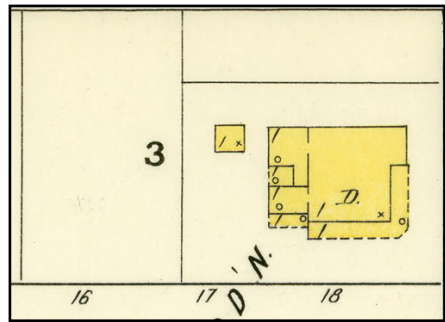
Date Created: 10/18/2021

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VICINITY MAP

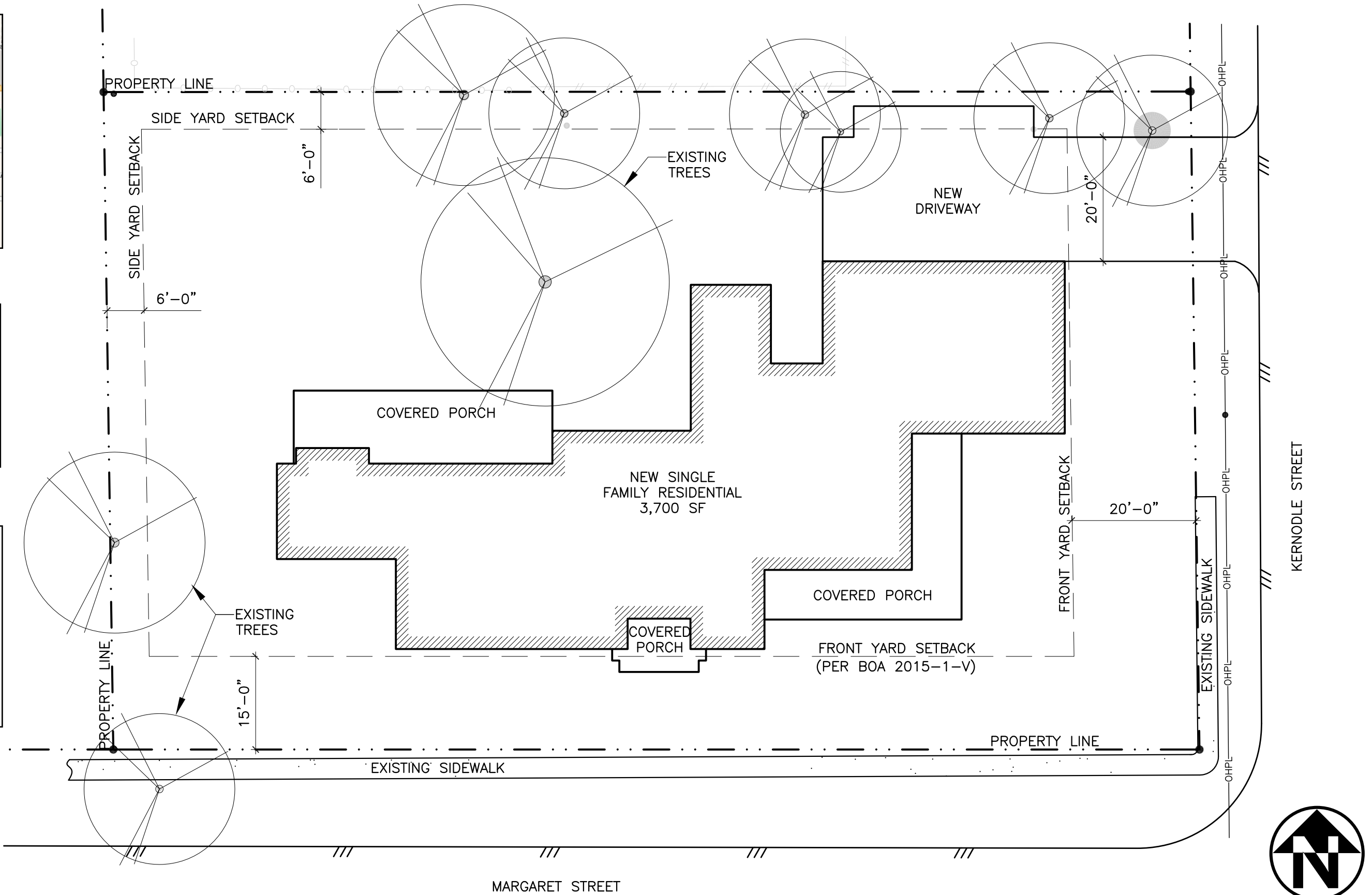


HISTORICAL ORIENTATION



DEVELOPMENT DATA

ZONING: SF-7
 ACREAGE: 0.426 ACRES
 LOT COVERAGE: 28.1% (45% MAX)
 BUILDING HEIGHT: 25'-0" (32'-0" MAX)

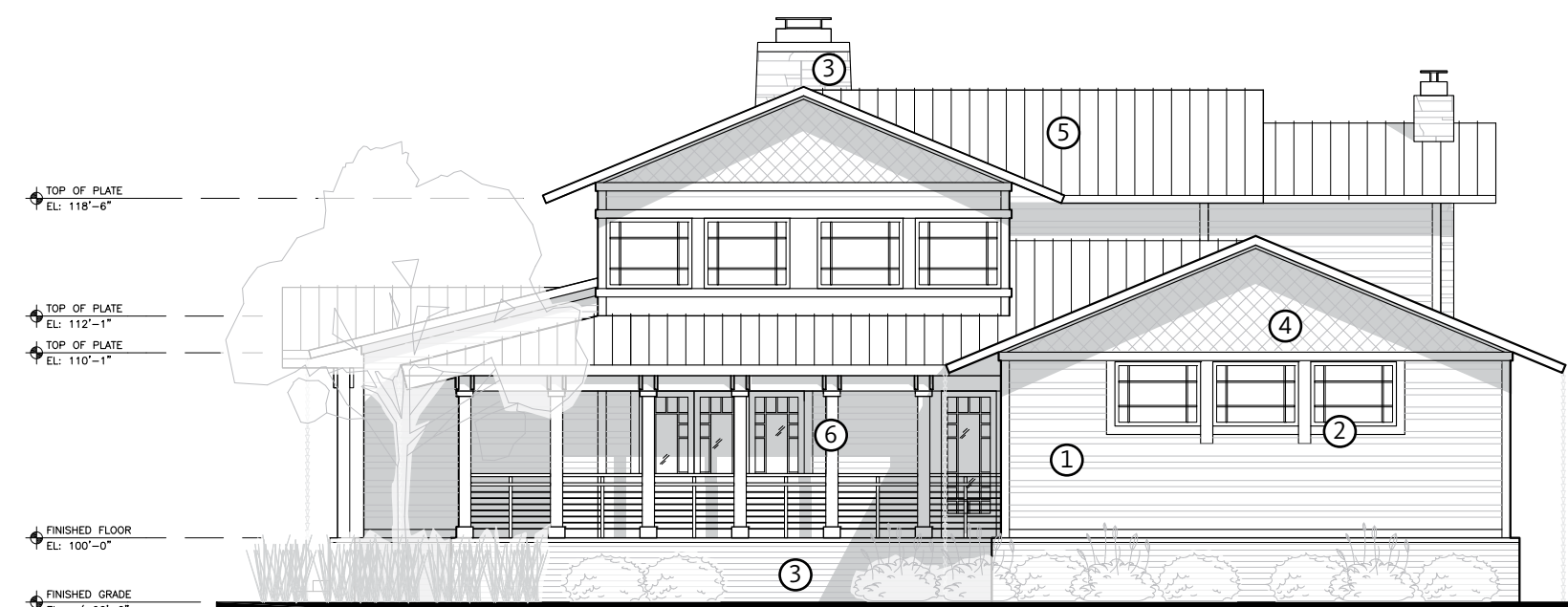




01.MARGARET ST. ELEVATION

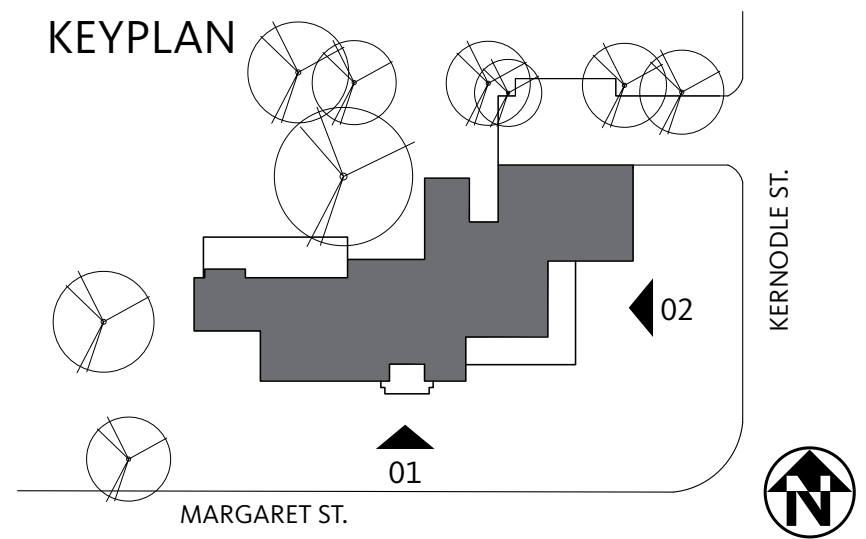
MATERIALS

- ① CEMENTITIOUS LAP SIDING
- ② CEMENTITIOUS DIMENSIONAL TRIM
- ③ MASONRY
- ④ MTL SHINGLE
- ⑤ STANDING SEAM MTL ROOF
- ⑥ HEAVY TIMBER FRAMING



02.KERNODLE ST. ELEVATION

KEYPLAN



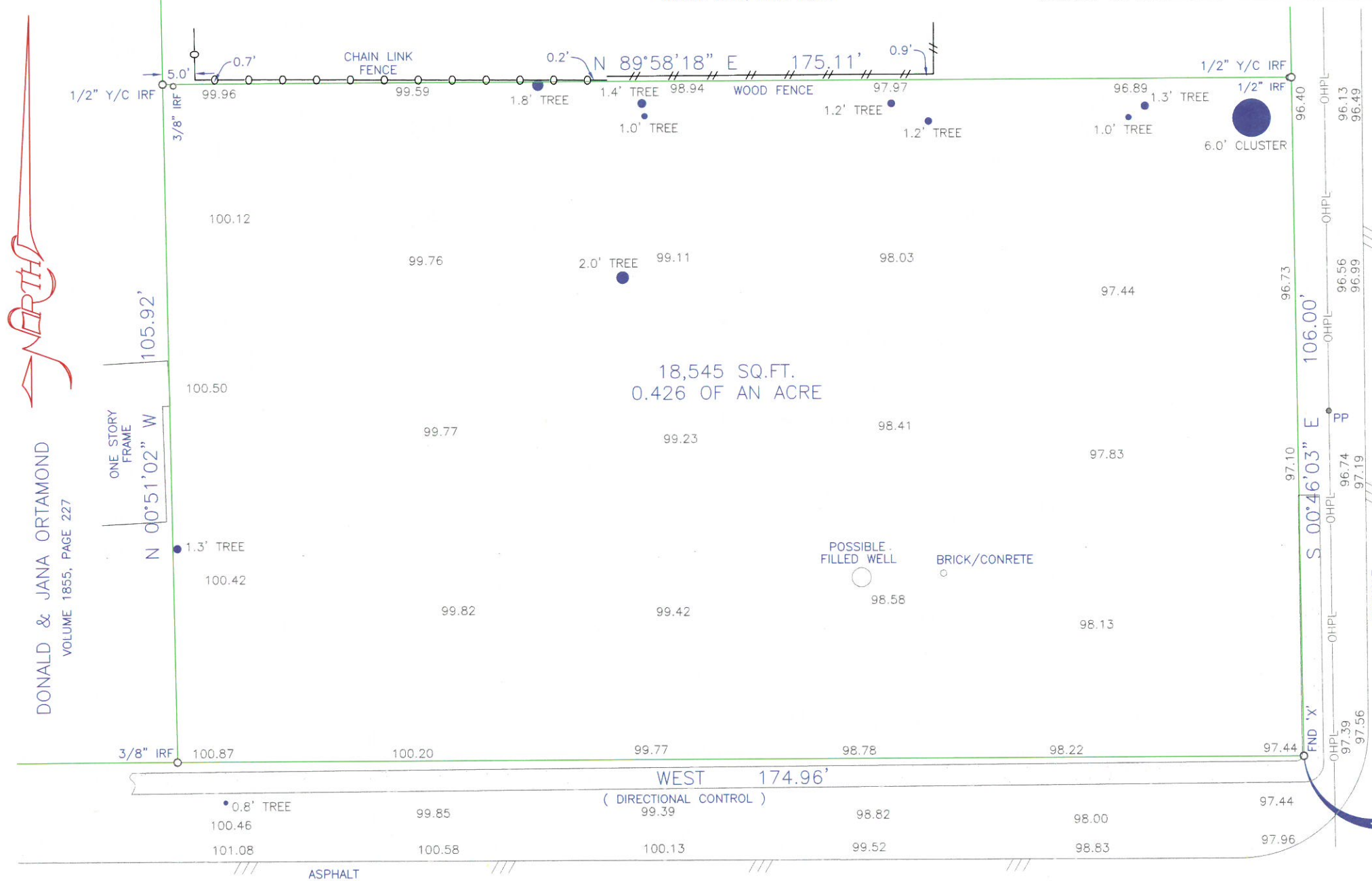
TEXT
IMPROVEMENTS
BOUNDARY LINE
EASEMENT SETBACK
RESIDENCE/FENCES

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

PAUL & TERRIE BUTLER
VOLUME 2014, PAGE 12254

SURVEY PLAT

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 601 KERNODLE STREET, in the city of ROCKWALL, ROCKWALL COUNTY Texas.



STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING a tract of land situated in the B.F. Boydston Survey, Abstract No. 414, being a portion of Block 3 of Farmers and Merchants National Bank Addition an addition to the City of Rockwall recorded in Volume R, Page 313 of the Map Records, Rockwall County, Texas, and being a portion of a tract of land conveyed to Jonathon and Christy Brown as recorded in Volume 7021, Page 46 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" found for corner, being a point in the Right of Way at the intersection of Kernodle Street and Margeret Street, and being the Southeast corner of said Brown tract;

THENCE West (directional control), a distance of 174.96 feet to a 3/8 inch iron rod found for corner, being the Southeast corner of a tract of land conveyed to Donald and Jana Ortamond as recorded in Volume 1855, Page 227 of the Deed Records of Rockwall County, Texas, being a point in the North Right of Way line of Margaret Street, and being a Southwest corner of said Brown tract;

THENCE North 00 degrees 51 minutes 02 seconds West, a distance of 105.92 feet to a 1/2 inch yellow-capped iron rod found for corner, being the Southwest corner of a tract of land conveyed to Paul and Terrie Butler as recorded in Volume 2014, Page 12254 of the Deed Records of Rockwall County, Texas, and being a point in the East line of said Ortamond tract;

THENCE North 89 degrees 58 minutes 18 seconds East, a distance of 175.11 feet to a 1/2 inch yellow-capped iron rod found for corner, said point being a point in the West Right of Way line of said Kernodle Street, and being the Southeast corner of said Butler tract;

THENCE South 00 degrees 46 minutes 03 seconds East, a distance of 106.00 feet the PLACE OF BEGINNING and containing 18,545 square feet and 0.426 of an acre of land.

MARGARET STREET



TITLE AND ABSTRACTING WORK FURNISHED BY URBAN DESIGN

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'
Date: 12/16/2014
G. F. No.: _____
Job no.: 87341
Drawn by: JW-CM

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR URBAN DESIGN
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.



