



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021025

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 154 Lynne Dr Rockwall TX 75032
 SUBDIVISION Rockwall Lake LOT 908-A BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE	
PROPOSED ZONING	PROPOSED USE	
ACREAGE	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Kevin Osornio APPLICANT

CONTACT PERSON Kevin Osornio CONTACT PERSON

ADDRESS 220 Crawford Ln ADDRESS

CITY, STATE & ZIP Rockwall City TX 75089 CITY, STATE & ZIP

PHONE 214-957-7984 PHONE

E-MAIL h.enterprise7@yahoo.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Osornio [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

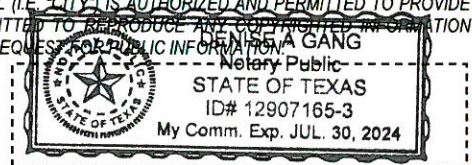
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF June, 20 21 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF June, 20 21.

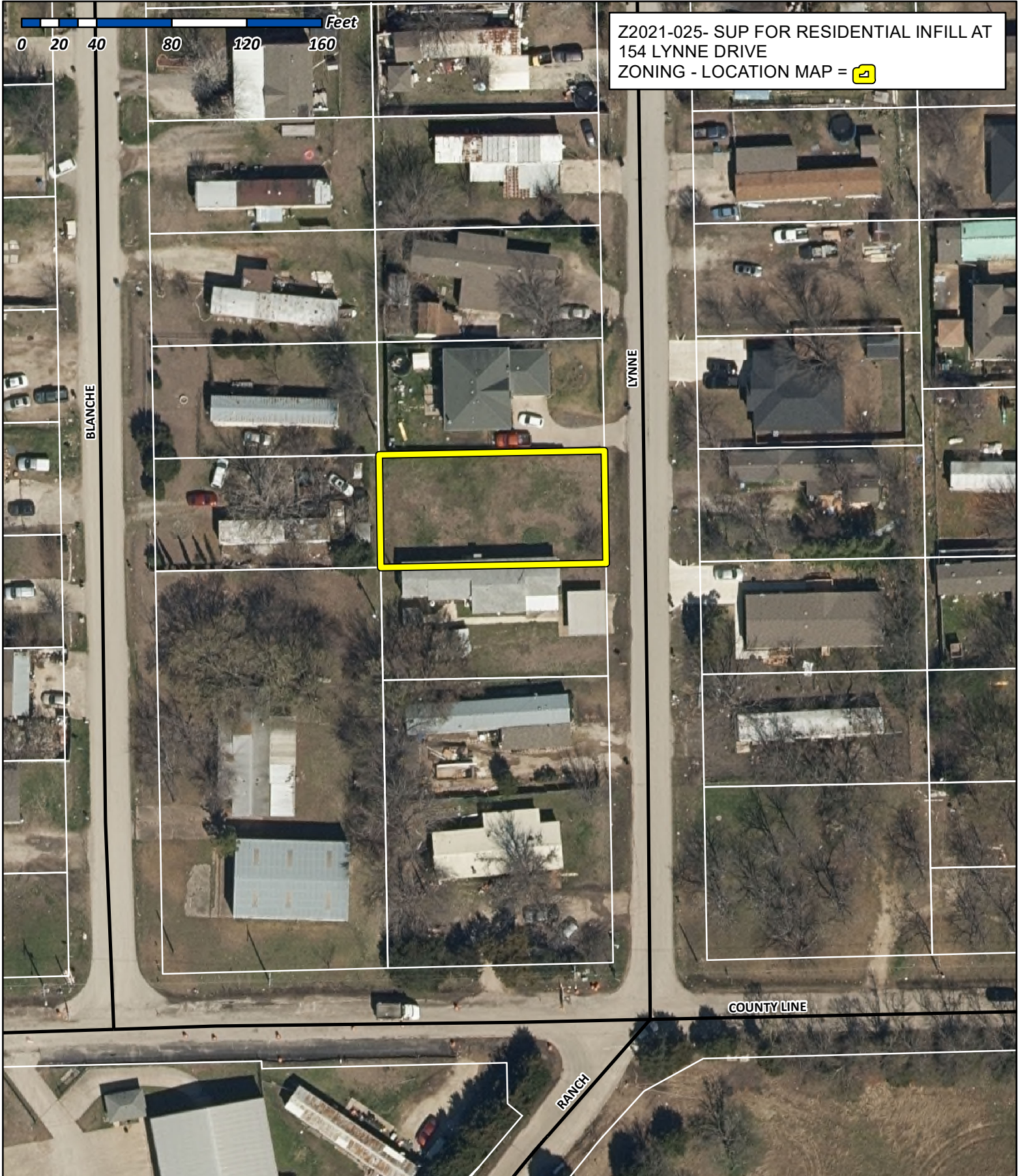
OWNER'S SIGNATURE

[Handwritten Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES July 30, 2024



Z2021-025- SUP FOR RESIDENTIAL INFILL AT
 154 LYNNE DRIVE
 ZONING - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

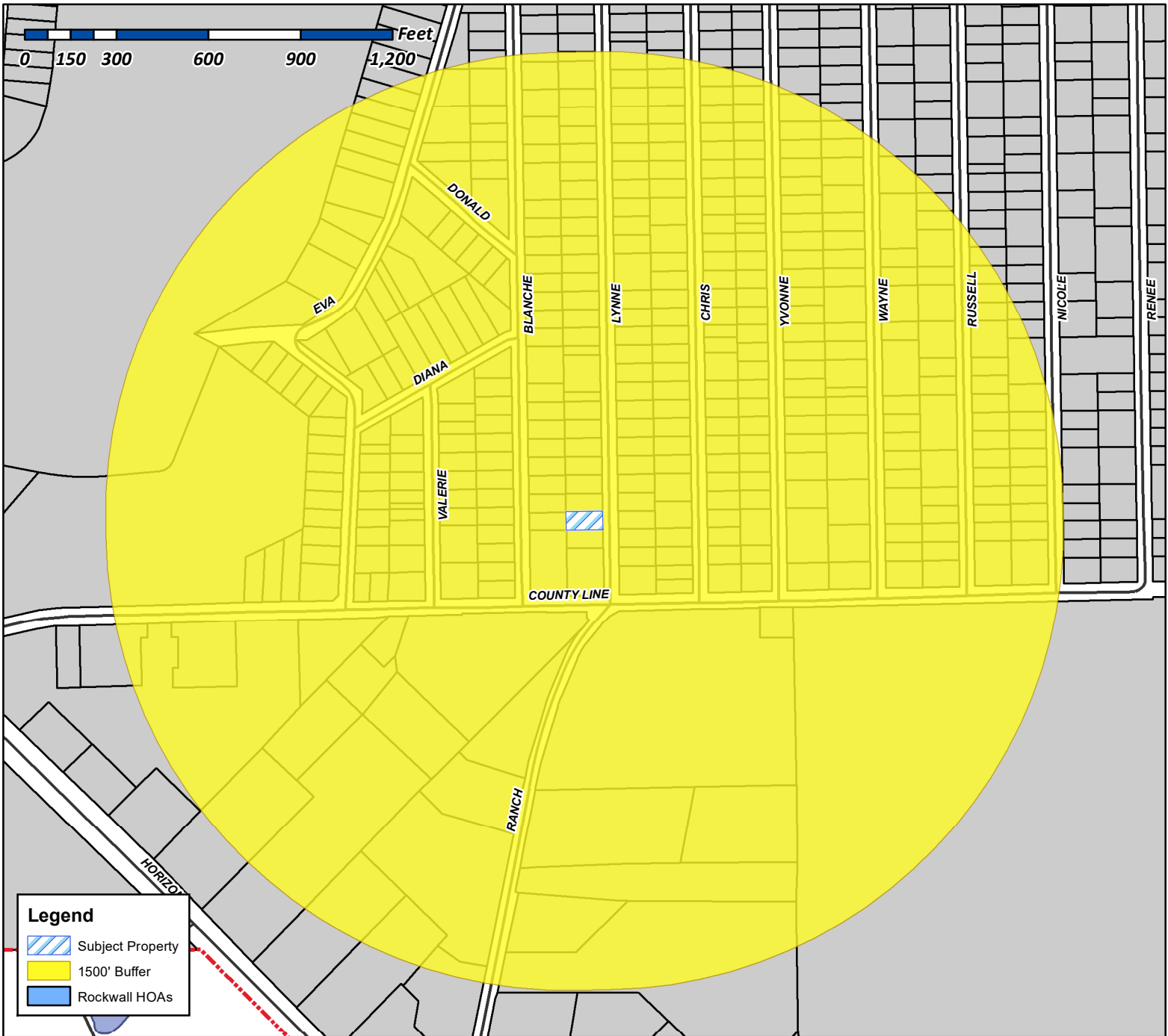
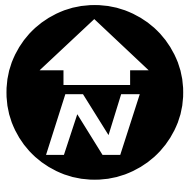




City of Rockwall

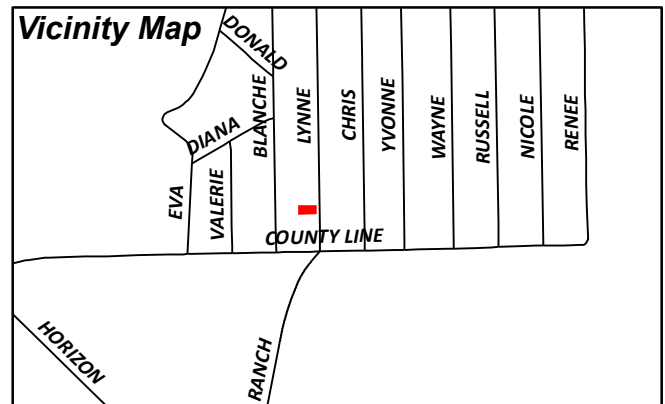
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Case Number: Z2021-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 154 Lynne Drive

Date Created: 6/19/2021
 For Questions on this Case Call (972) 771-7745





City of Rockwall

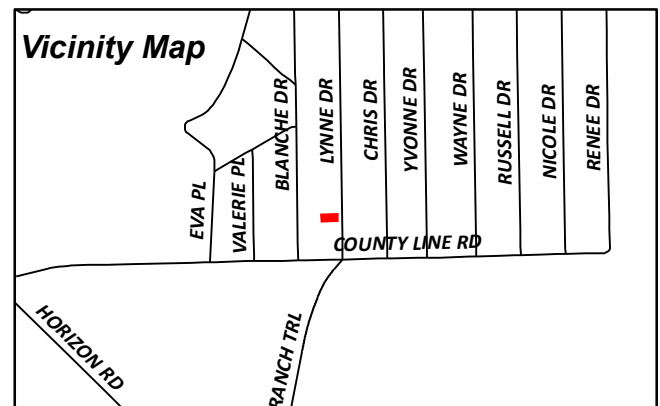
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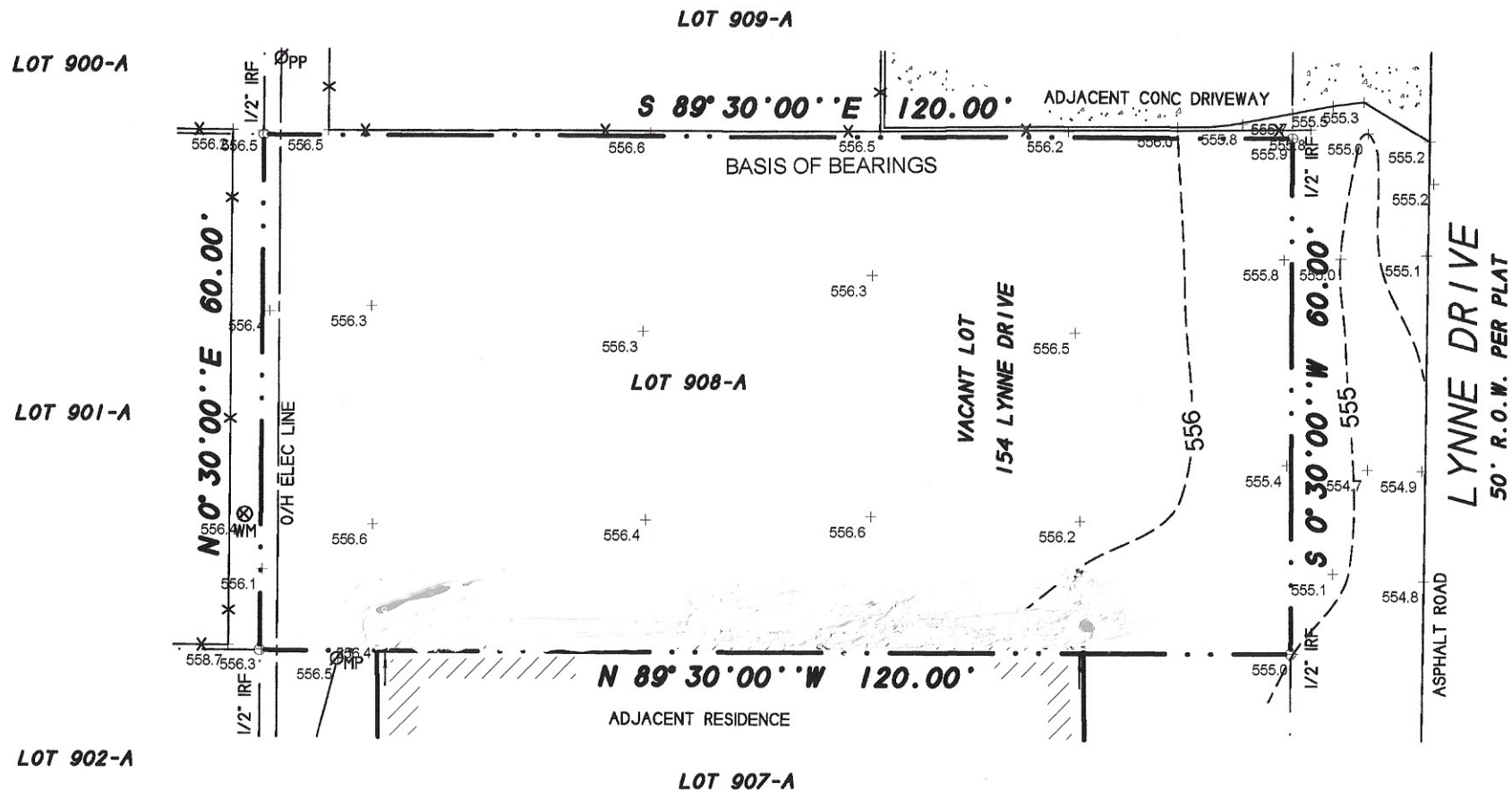


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PLAT OF SURVEY



DESCRIPTION


BEING Lot 908-A, Rockwall Lake Subdivision, Section II, formerly, Lake Echo Subdivision, an Addition to Rockwall County, Texas, and being recorded in Cabinet A, Slides 79 and 80, of the Plat Records of Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Arturo Osornio at 154 Lynne Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 7th day of May, 2020.


 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
TELEVISION CABLE RISER	GAS METER
TEL. RISER	FIRE HYDRANT
POWER POLE	ELECTRIC METER
ELEC. BOX	WATER METER
SUBSURFACE JUNCTION BOX	LIGHT POLE
FENCE	A/C UNIT
EASEMENT LINE	PROPANE TANK
PROPERTY LINES	

SURVEY ACCEPTED BY:

DATE _____

DATE _____

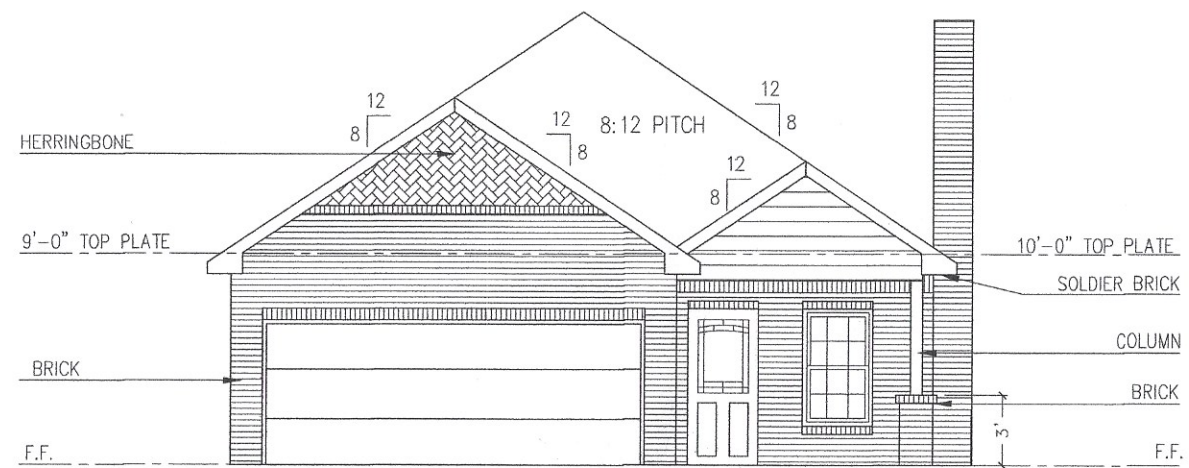
H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE MAY 7, 2020

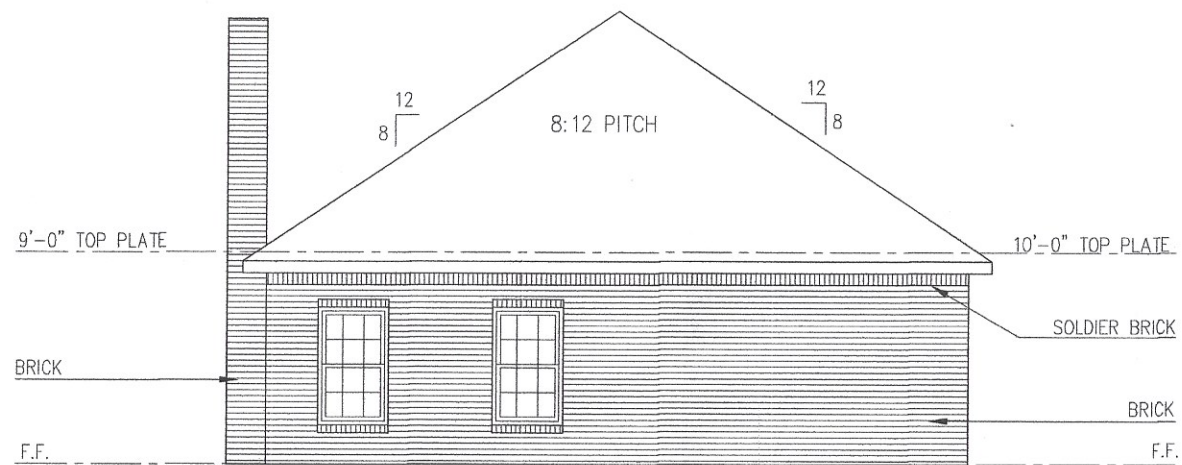
SCALE 1" = 20' FILE # 20200145

CLIENT OSORNIO GF # NONE



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS:

- 1
- 2
- 3
- 4

New Residence
425 Bass Drive
Rockwall, Texas

DRAWN BY:

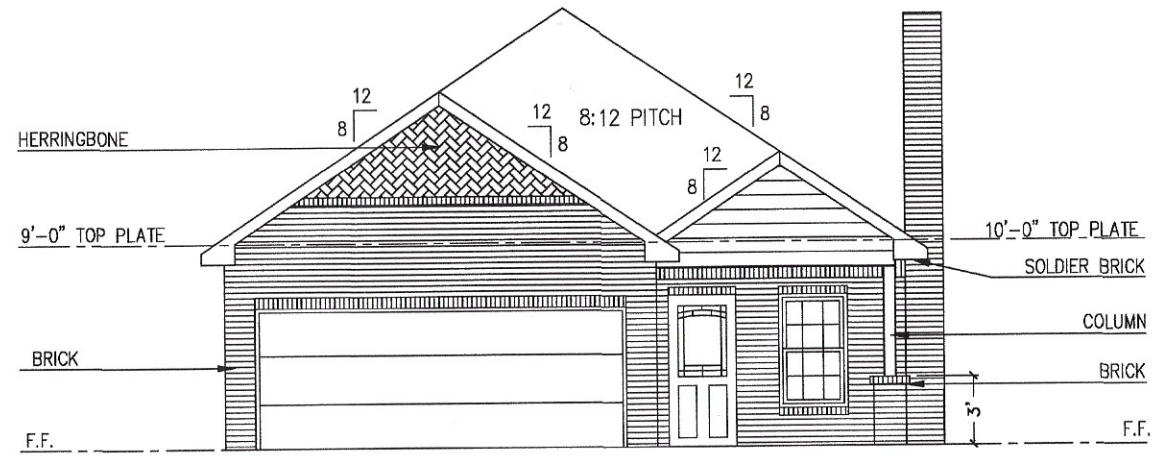
vg

ISSUED ON:

PLAN NAME:

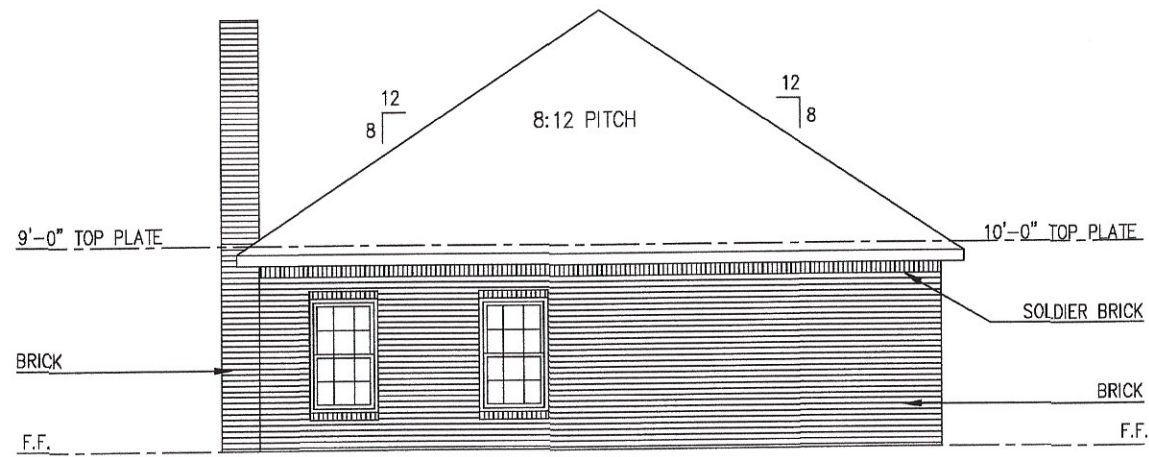
**SHEET
A1**

1 of 5



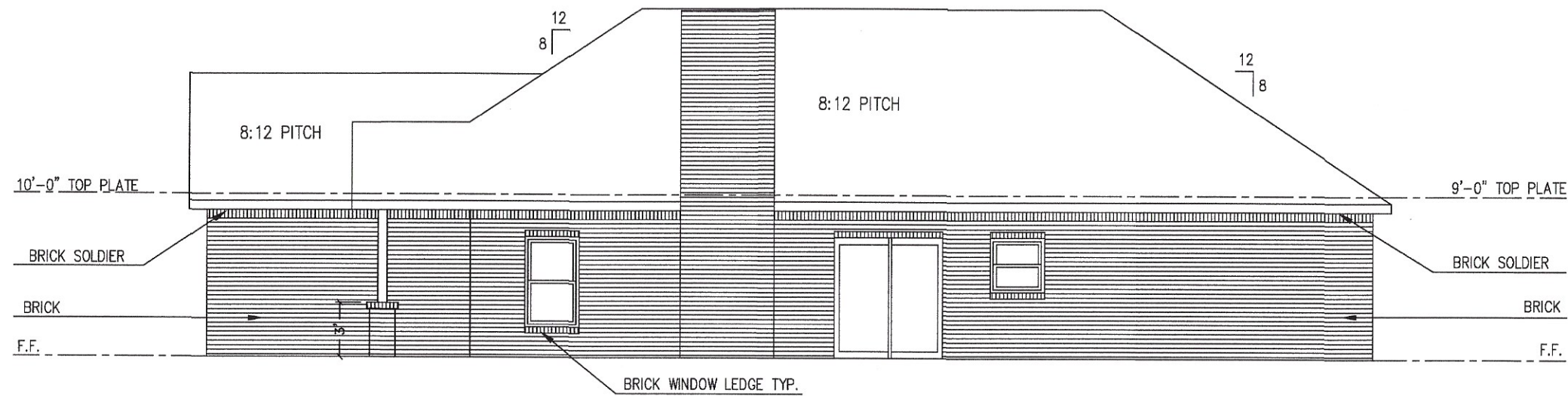
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



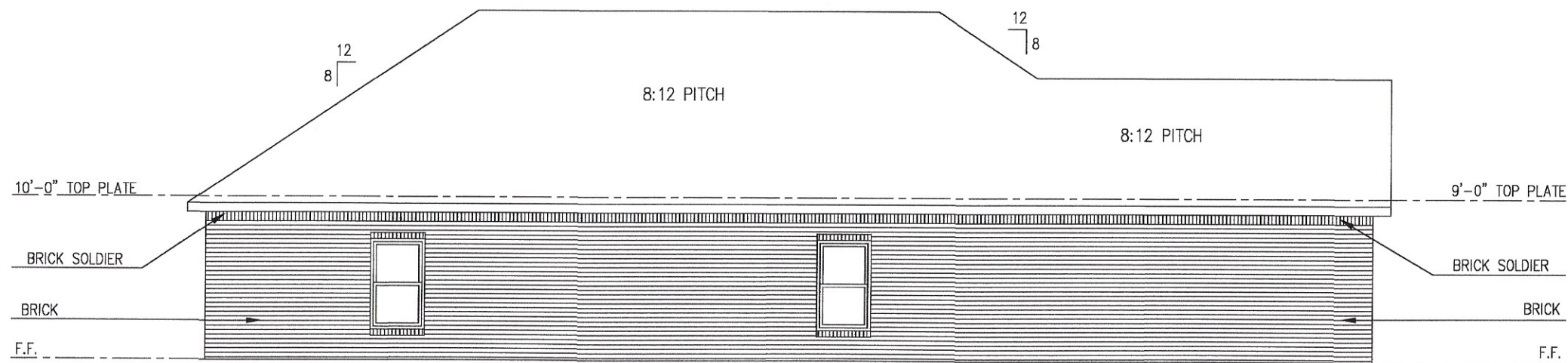
REAR ELEVATION

SCALE: 1/8" = 1'-0"



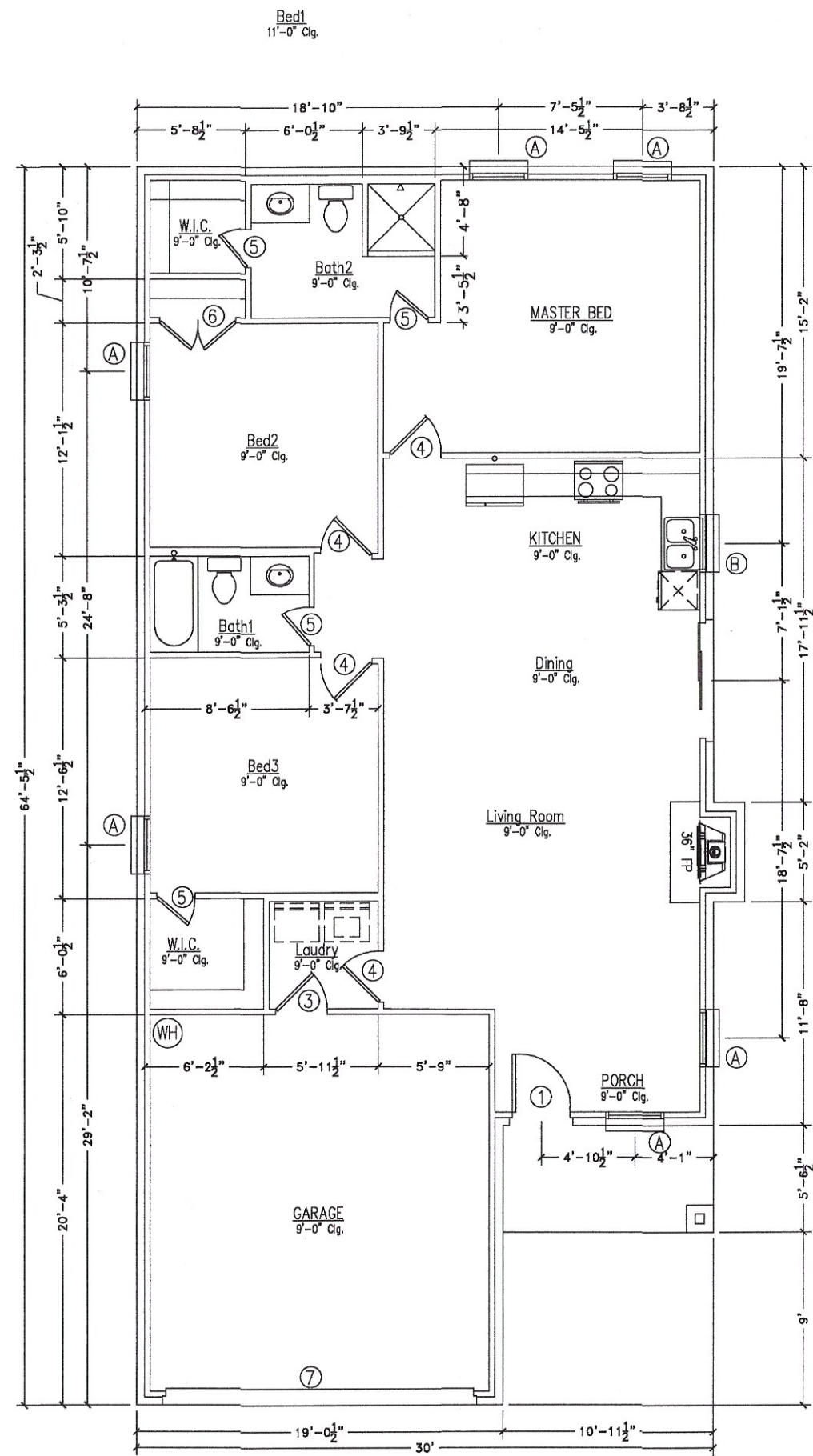
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



AREA CALCULATIONS	
ELEV	
1ST FLOOR LIVING	1400 S.F.
PATIO	60 S.F.
GARAGE	384 S.F.
TOTAL UNDER ROOF	1844 S.F.

DOOR SCHEDULE			
SYMBOL	SIZE	TYPE	QTY.
①	3068	EXT.	1
②	6068	EXT. SLIDING	1
③	2868	INT. METAL	1
④	2868	INT.	4
⑤	2068	INT.	4
⑥	2-2068	INT.	1
⑦	16070	GARAGE	1

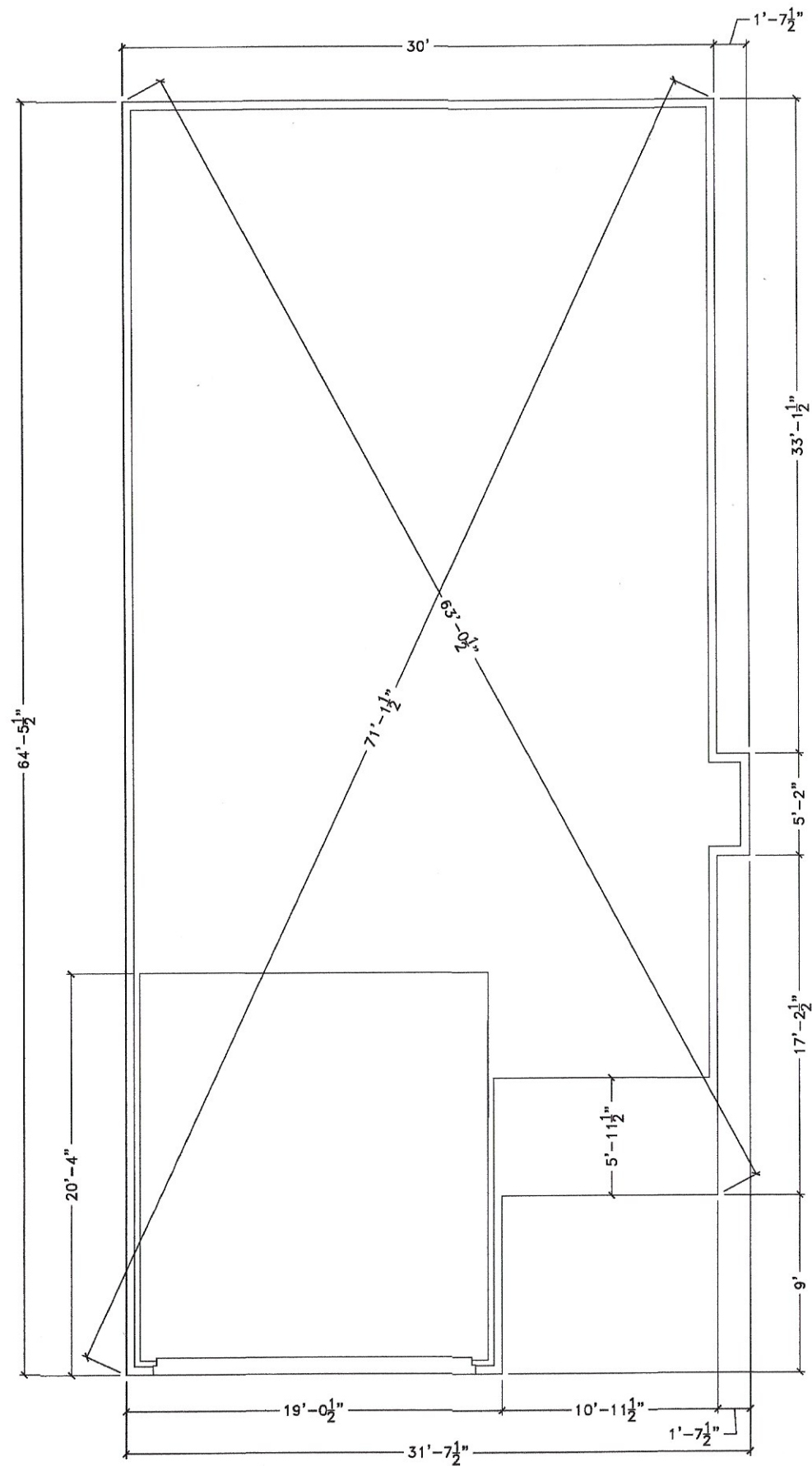
WINDOW SCHEDULE			
SYMBOL	SIZE	TYPE	QTY.
(A)	3060	SH. TAN VINYL.	6
(B)	3030	SH. TAN VINYL.	1

- GENERAL NOTES:**
- All roof rafters shall be 2x6's @ 24" o.c. unless noted otherwise.
 - All ridges and valleys shall be 2x8's unless noted otherwise.
 - Purlins shall be placed to reduce rafter spans to 11'-4" or less.
 - Rafters, ridges, and valleys shall be #2 S.Y. Pine or equal.
 - Furr down 2x6 rafters with 2x2's in all areas of sloped ceilings. Attach with 3 1/2" screws @ 6" o.c.
 - Beam and purlin loads shall be distributed to walls or double ceiling joists by T columns of 2-2x6's.
 - Collar ties shall be placed @ 48" o.c. max at ridges.
 - Struts shall be 2-2x4's at an angle greater than 46 degrees.
 - All ceiling joists to be 2x6's @ 24" o.c. unless noted otherwise.
 - Ceiling joists shall be #2 S.Y. Pine unless noted otherwise and shall not exceed the following spans:

NO STORAGE	LIMITED STORAGE
2x6 - 13'-6" @ 24" o.c.	2x6 - 9'-10" @ 24" o.c.
2x8 - 17'-7" @ 24" o.c.	2x8 - 12'-6" @ 24" o.c.
2x10 - 20'-11" @ 24" o.c.	2x10 - 14'-9" @ 24" o.c.
 - Roof shall be comp. shingles.

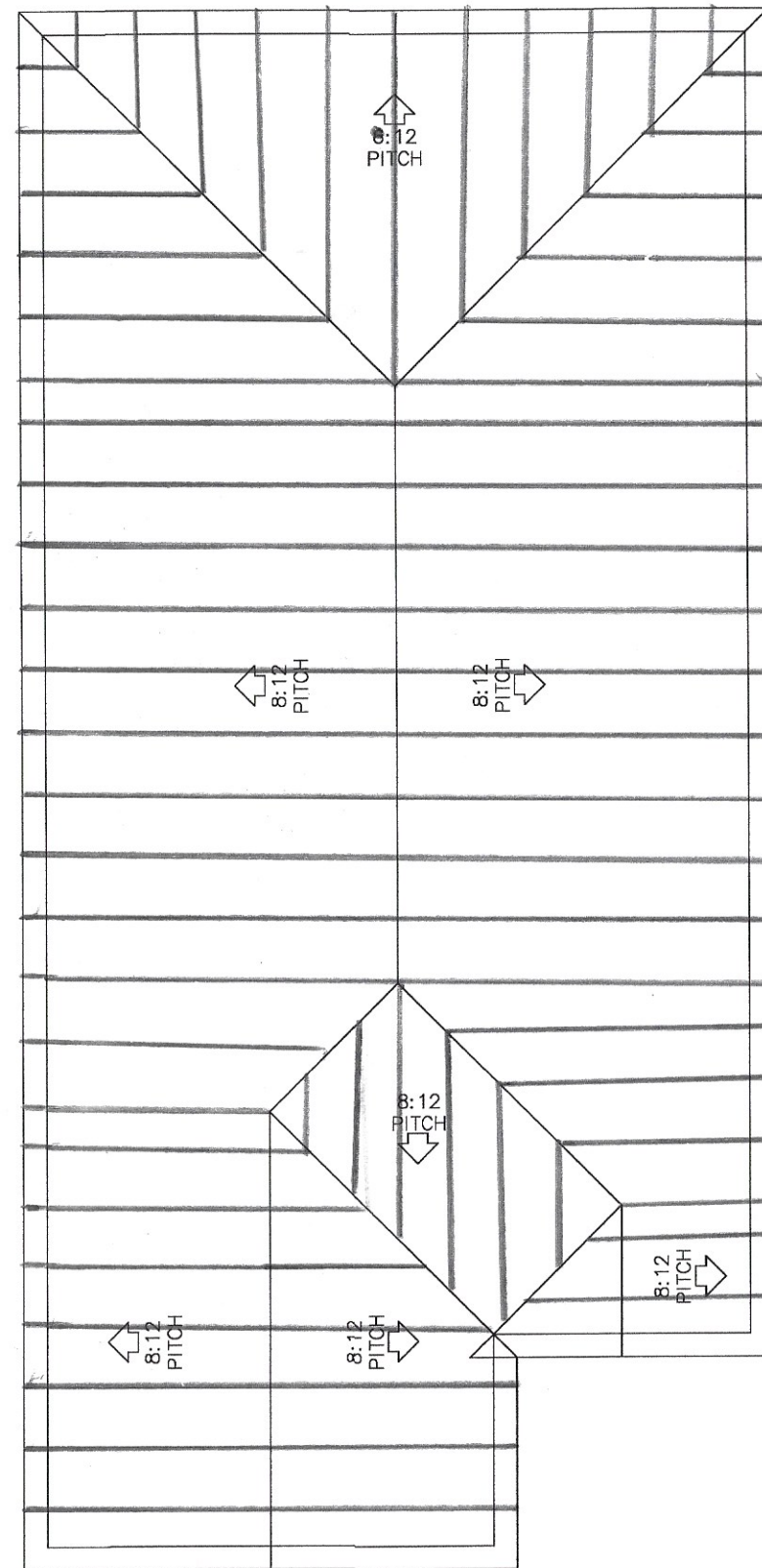
- GENERAL NOTES:**
- ALL WORK SHALL BE IN STRICT CONFORMANCE TO ALL APPLICABLE CODES, REGULATIONS AND LAWS.
 - ALL WALLS SHALL BE 3 1/2". UNLESS NOTED OTHERWISE.
 - ALL PLUMBING WALLS TO BE 5 1/2".
 - ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINERY.

1st FLOOR PLAN
SCALE: 1/8" = 1'-0"



FORM LAYOUT

SCALE: 1/8" = 1'-0"



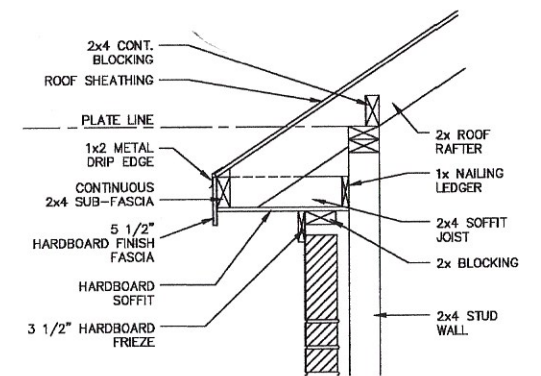
ROOF PLAN

SCALE: 1/8" = 1'-0"

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2x10	- 20'-11" @ 24" o.c.	2x10	- 14'-9" @ 24" o.c.
11. Roof shall be comp. shingles.



01 TYP. EAVE @ 8:12 PITCH

HEAD SIM.