



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-024

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

Springer Rd.

SUBDIVISION

Sharp Addition

LOT

5

BLOCK

A

GENERAL LOCATION

South side of Springer Rd, East of Corporate Crossing

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD 46

CURRENT USE

Vacant

PROPOSED ZONING

Amended PD 46

PROPOSED USE

Office Warehouse

ACREAGE

1.9

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

KRIS SHARP

APPLICANT

Merchawon Architects

CONTACT PERSON

Greg Wallis

CONTACT PERSON

Greg Wallis

ADDRESS

2578 Hwy 276

ADDRESS

1520 E. I-30

CITY, STATE & ZIP

Rockwall, TX 75082

CITY, STATE & ZIP

Rockwall, TX 75082

PHONE

214-392-0689

PHONE

817-235-9853

E-MAIL

krissharp@sharpinsulation.com

E-MAIL

merchawonarch@gmail.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kris Sharp [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

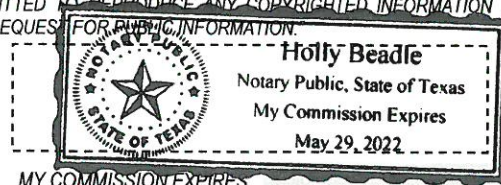
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 228.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF June, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF June, 2021.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





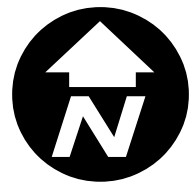
Z2021-024- AMENDMENT TO PD-46  
 ZONING - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





City of Rockwall  
2021  
Planning and Zoning Department  
Ryan Miller  
Re: Sharp Office/Warehouse

June 18, 2021,

## LETTER OF ZONING AMMENDMENT

We respectfully request an amendment to the current PD 46 zoning to allow an Office/Warehouse building. This use is not included in the PD 46 zoning; however the use is typical for this area.

ORDINANCE NO. 99-05

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND WHICH IS MORE FULLY DESCRIBED HEREIN FROM "A" AGRICULTURAL CLASSIFICATION TO PLANNED DEVELOPMENT ZONING "PD- 46 PLANNED DEVELOPMENT NUMBER 46; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a change in the classification of a zoning district has been initiated by the City of Rockwall for the property more specifically described in Exhibit "A" attached hereto; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to give "Planned Development District No.46 classification to the tract of land described in Exhibits "A" and "B" attached hereto and made part of.

SECTION 2. That the property described in Exhibit "A" shall be used only in the manner and for the purposes provided for in Exhibit "B" and the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future. The granting of this zoning classification for the property as described in Exhibit "A" is subject to the following special conditions:

- A. The use of the property shall be regulated by the following requirements:
  - 1. The uses, area requirements and development standards of the Commercial zoning category of the Comprehensive Zoning ordinance as currently adopted, or as revised in the future, and Exhibit "B" except as otherwise provided for in this ordinance.

- B. Those tracts with existing buildings will be allowed to use the same exterior materials currently shown in Exhibit "B" for any new buildings that are built. However, if an existing building is expanded to an amount that equals 50% of the appraised tax value of that building, the requirements of the commercial zoning district exterior materials shall be met.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

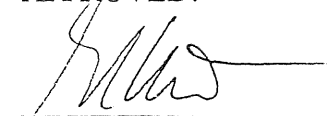
SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 1st day of March, 1999.

APPROVED:

  
\_\_\_\_\_  
Mayor  
George R. Hatfield

ATTEST:

BY Cindy Kindred  
Cindy Kindred, City Secretary

1st reading 2/15/99

2nd reading 3/1/99

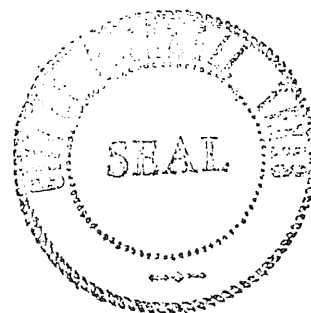
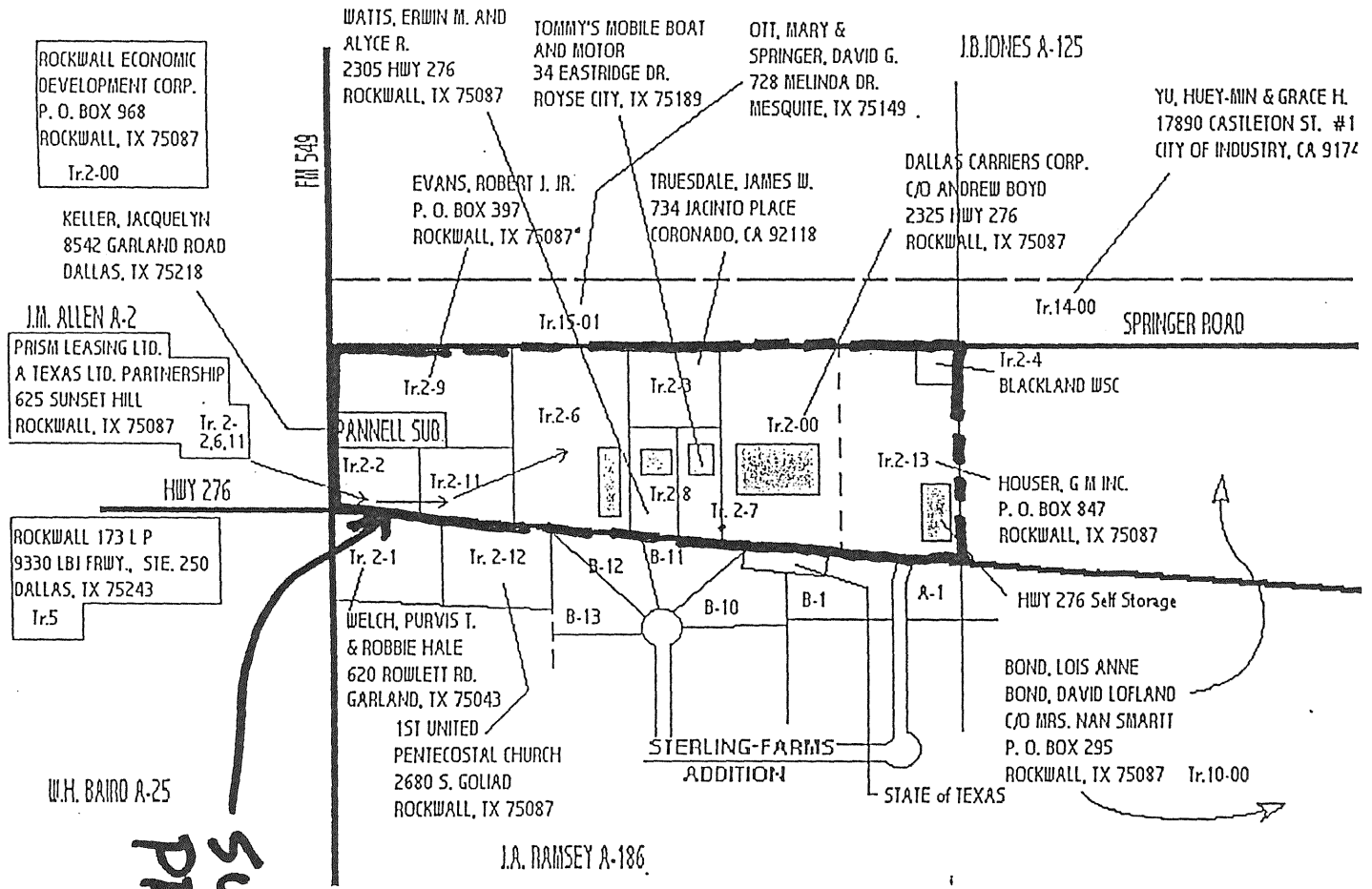


EXHIBIT "A"



SUBJECT PROPERTY

98-87

J. A Ramsey A-186

Track 2, Lot 00 - 10.001 Acres

Ownership: **Continental Express**  
(As of Jan. 1, 1999)  
2325 Hwy 276  
Rockwall, Texas 75087

Property Use: **Trucking/Freight**  
**Carrier Company**

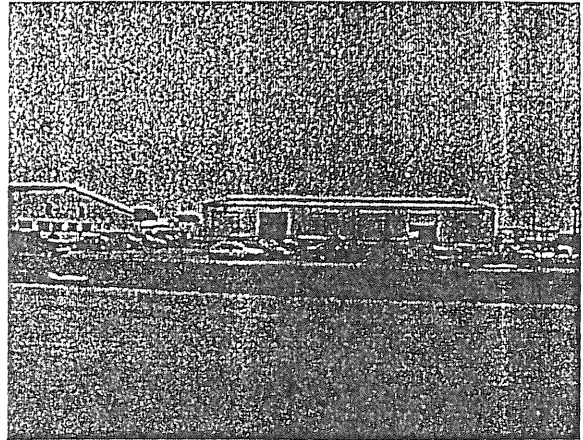
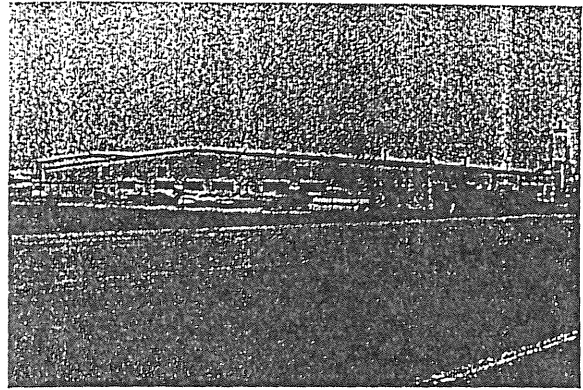
- Outside Storage of Trucks and Trailers
- Limited Outside Storage of Pallets
- Metal Buildings

Proposed Zoning

Commercial

\***Permitted uses** - those uses in the permitted use section of the zoning ordinance and trucking operation and associated uses.

\***Conditional uses** - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 2 - 2.00 Acs.

Ownership: **Prism Leasing Ltd.**  
A Texas Limited Partnership  
625 Sunset Hill  
Rockwall, Texas 75087

Property Use: **Rockwall Tire & Battery**  
Proprietor: **Roland Cobb**

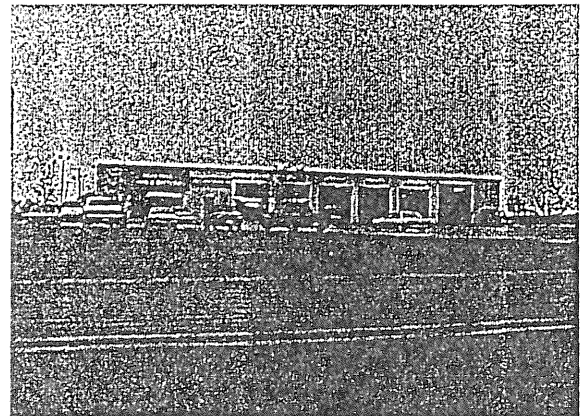
- Minor Auto Repair
- Limited Outside Storage
- Metal Building

Proposed Zoning

Commercial

\***Permitted uses** - those uses in the permitted use section of the zoning ordinance and minor auto repair and associated uses

\***Conditional uses** - those uses in the conditional use section of the zoning ordinance.



**Track 2, Lot 3 - 2.5 Acs.**

Ownership: James W. Truesdale

734 Jacinto Place

Coronado, Calif. 92118

Property Use: Existing Vacant Building

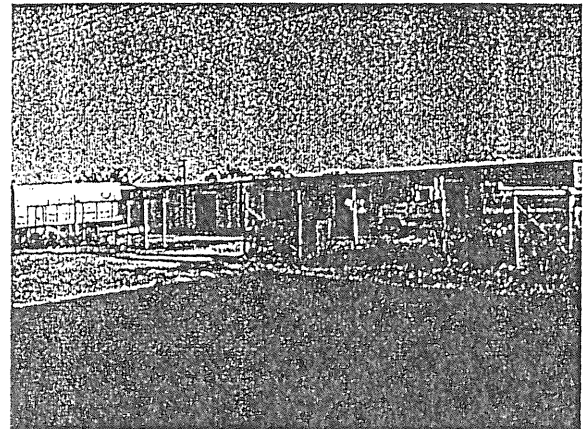
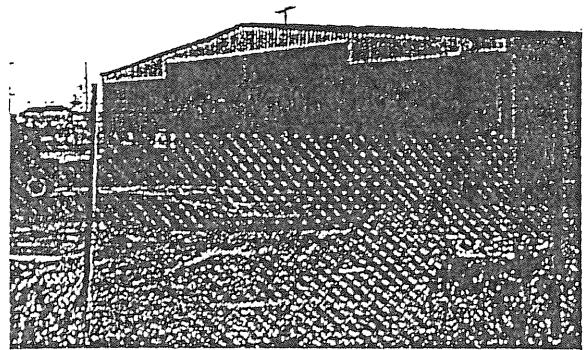
- Possibly a Contractor's Yard
- Outside Storage of Equipment
- Metal Building

Proposed Zoning

Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and contractor yard and equipment yard.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



**Track 2, Lot 4 - 0.436 Acs.**

Ownership: Blackland WSC

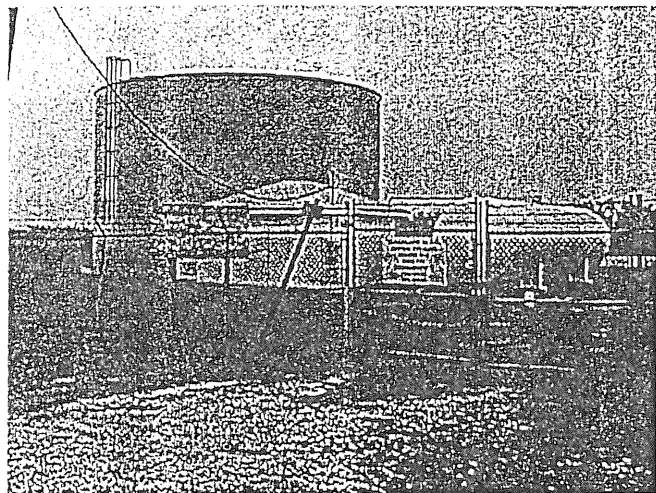
Property Use: Water Station

Proposed Zoning

Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



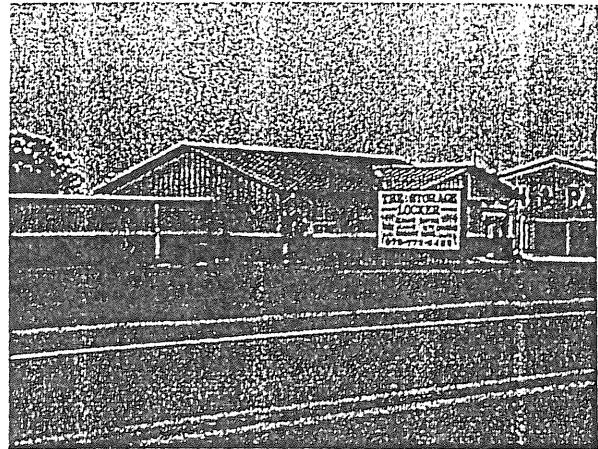


**Track 2, Lot 6 - 5.00 Acs.**

Ownership: Prism Leasing Ltd.  
A Texas Limited  
Partnership  
625 Sunset Hill  
Rockwall, Texas 75087

Property Use: Self Storage Facility

- No Outside Storage
- Metal Building with Some Brick Accents  
along SH 276

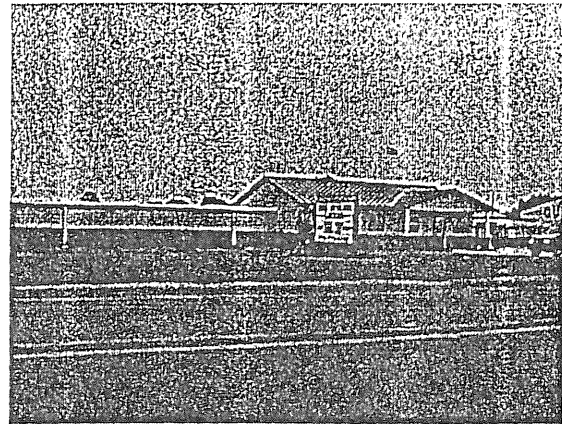


**Proposed Zoning**

**Commercial**

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and mini-warehouses with no overhead doors facing the street.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.

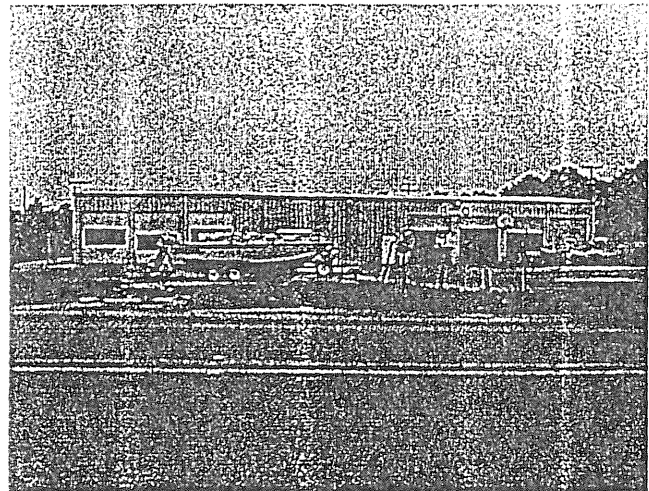


**Track 2, Lot 7 - 1.5 Acs.**

Ownership: Tommy's Mobile Boat  
and Motor  
34 Eastridge Drive  
Royse City, Texas 75189

Property Use: Boat Motor Repair  
Facility

- Limited Outside Storage of Boats
- Metal Building
- Outside Display for Boat Sales



**Proposed Zoning**

**Commercial**

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and boat repair with accessory sales.

\*Conditional uses -. those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 8 - 1 Ac.

Ownership: Erwin M. and  
Alyce R. Watts  
2305 Hwy 276  
Rockwall, Texas 75087

Property Use: Watt's Gun and Pawn

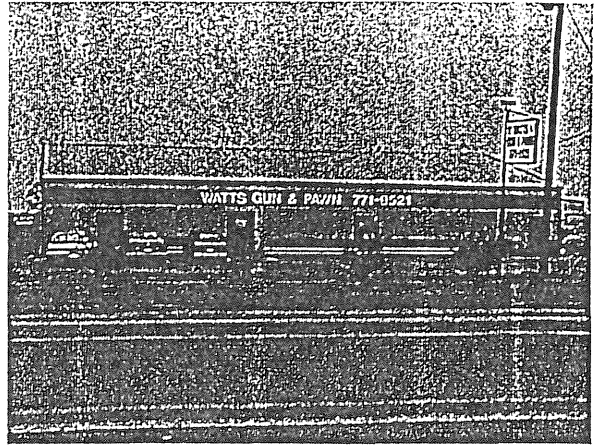
- No Outside Storage
- Tilt Wall Construction
- On-Site Security Live-In

Proposed Zoning

Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and pawn shop with On-Site Security Live-In

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 9 - 3.07 Acs.

Ownership: Robert J. Evans, Jr.  
P. O. Box 397  
Rockwall, Texas 75087

Property Use: Vacant

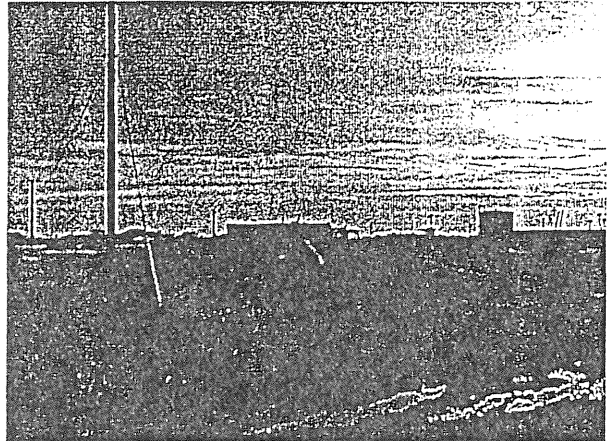
- Dirt Stockpiles
- Concrete Stockpiles
- Assortment of Junk and Refuse

Proposed Zoning

Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 11 - 2.00 Acs.

Ownership: Prism Leasing Limited  
A Texas Limited Partnership  
625 Sunset Hill  
Rockwall, Texas 75087

Property Use: Vacant

Proposed Zoning

Commercial

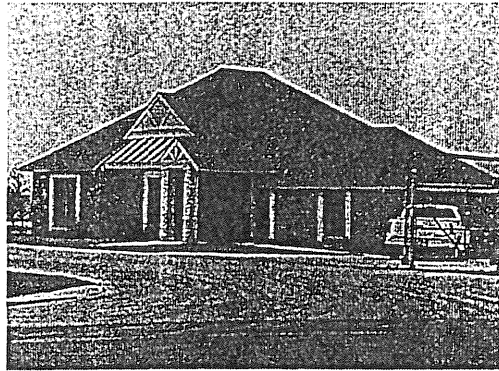
\*Permitted uses - those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 13 - 10.003 Acs.

Ownership: Houser, G.M Inc.  
P. O. Box 847  
Rockwall, Texas 75087  
Property Use: Concrete-Ready Mixed  
Company/Self Storage

- Brick Office Building
- Metal Self-Storage Buildings
- Metal Shop Buildings
- Concrete Batch Plant

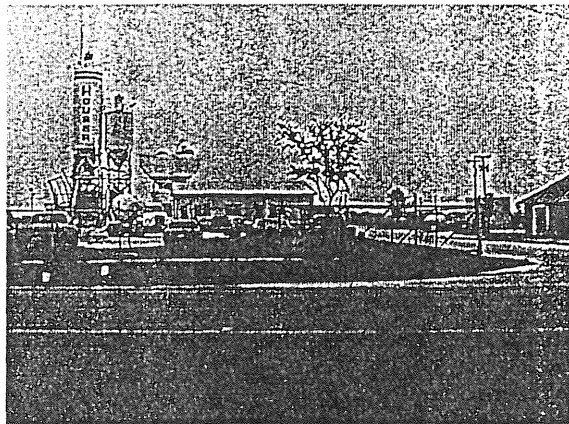


Proposed Zoning

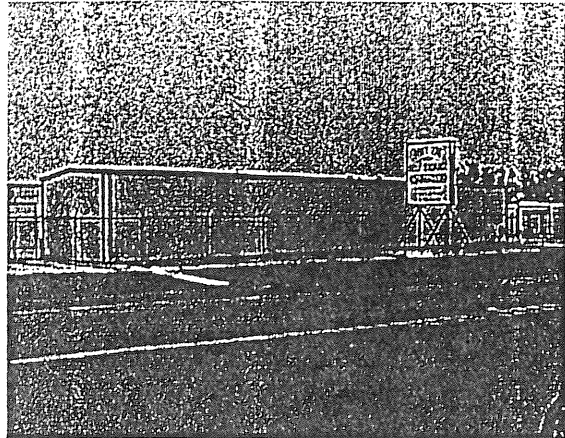
Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and concrete batch plants, associated uses, and mini-warehouses with no overhead doors facing the street.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



Track 2, Lot 13 - Houser, G. M.  
(continued)

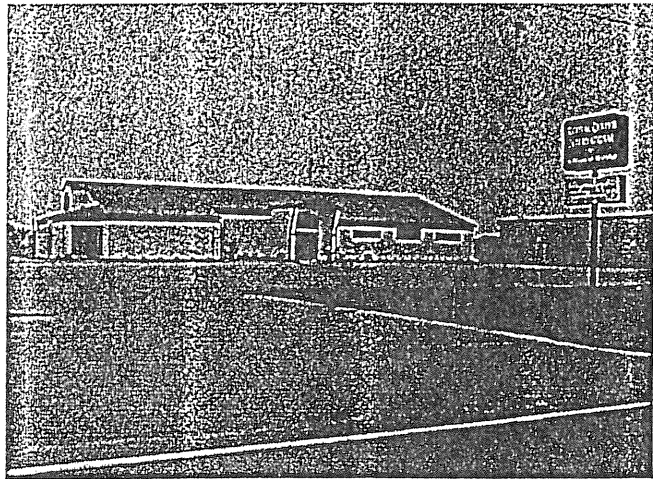


Pannell Subdivision 2.00 Acs.

Ownership: Jacquelyn Keller  
8542 Garland Road  
Dallas, Texas 75218

Property Use: Church

- Building with Vinyl Siding



Proposed Zoning

Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning.