



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-022

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 147 EVA PLACE

SUBDIVISION \_\_\_\_\_

LOT 810-A BLOCK \_\_\_\_\_

GENERAL LOCATION ROCKWALL

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING PD-75

CURRENT USE Land

PROPOSED ZONING PD-75

PROPOSED USE Single family Home

ACREAGE .79

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] Approximate

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Ignacio Cardenas

APPLICANT \_\_\_\_\_

CONTACT PERSON Ignacio Cardenas

CONTACT PERSON \_\_\_\_\_

ADDRESS PO BOX 788

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP \_\_\_\_\_

PHONE 214-664-5289

PHONE \_\_\_\_\_

E-MAIL ICTconstruction@gmail.com

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION (REQUIRED)

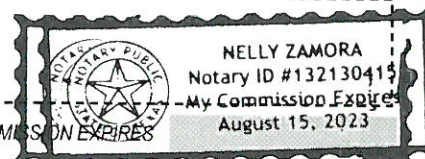
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ignacio Cardenas Issac [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

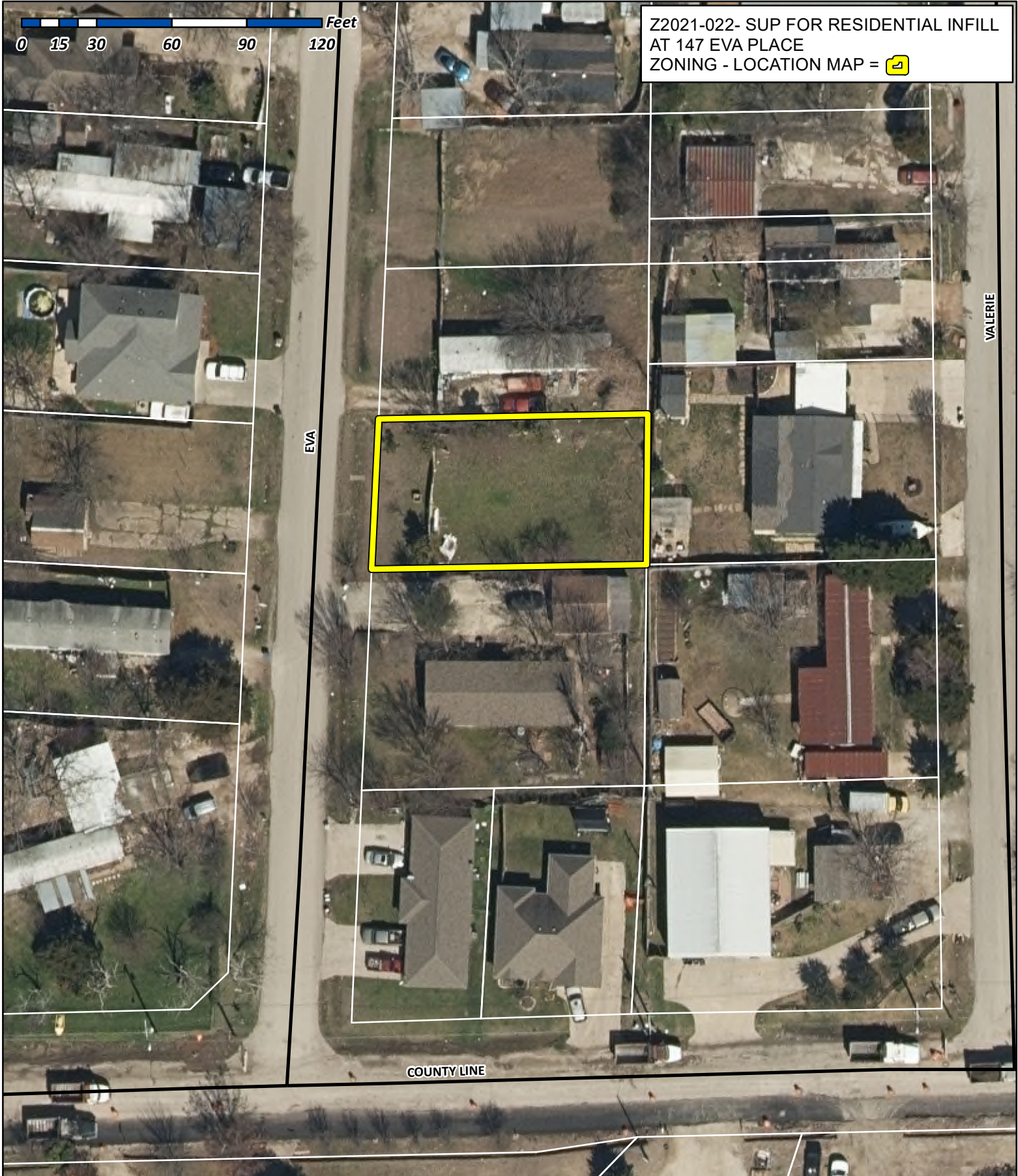
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ May 2021 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF May 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF May, 20 21.

OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_

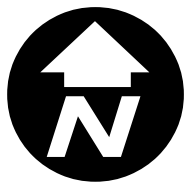




# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

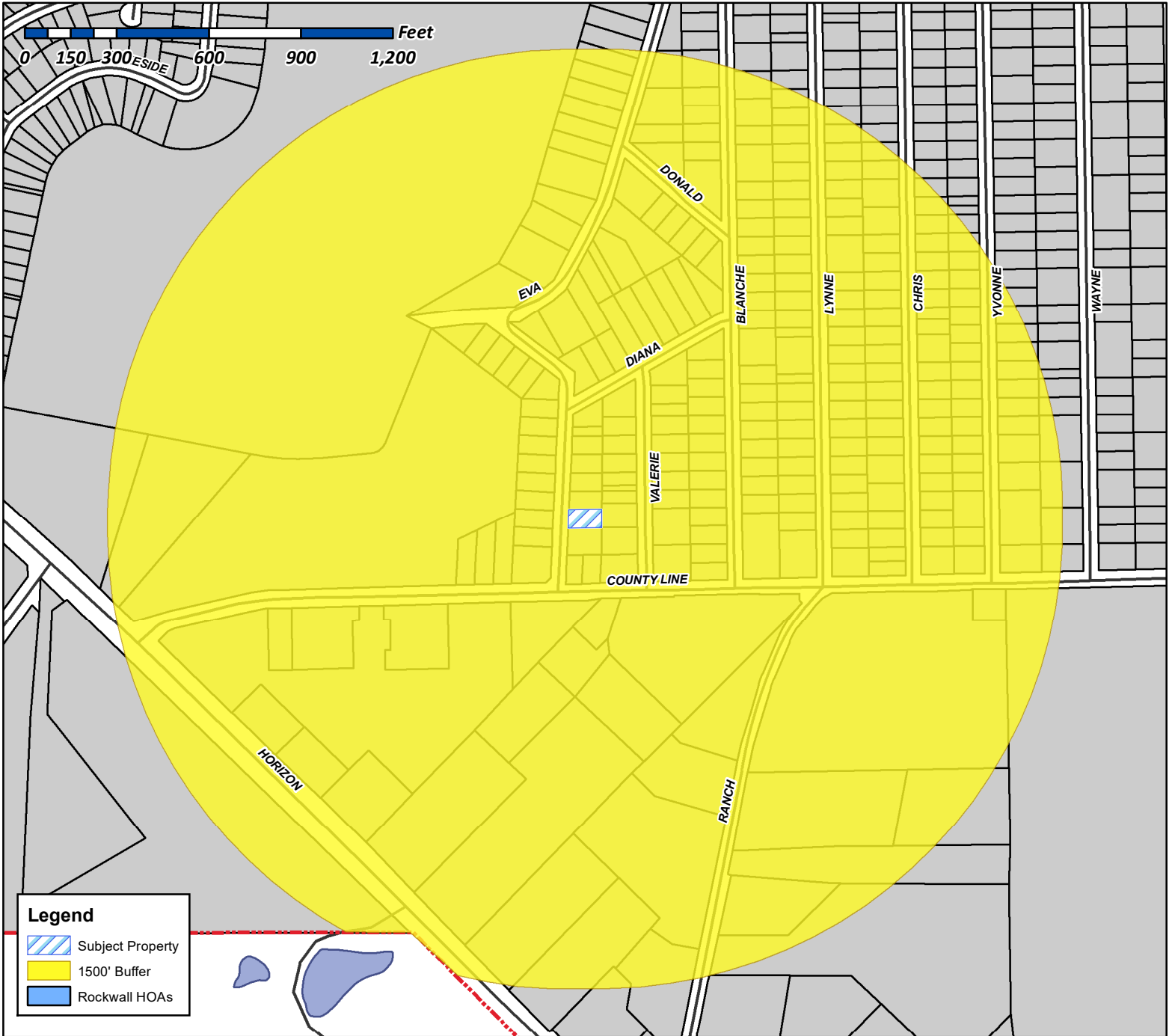
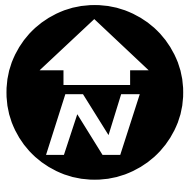




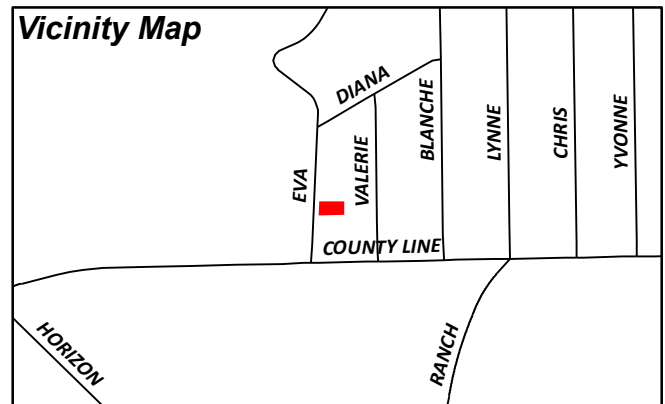
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**Case Number:** Z2021-022  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 147 Eva Place



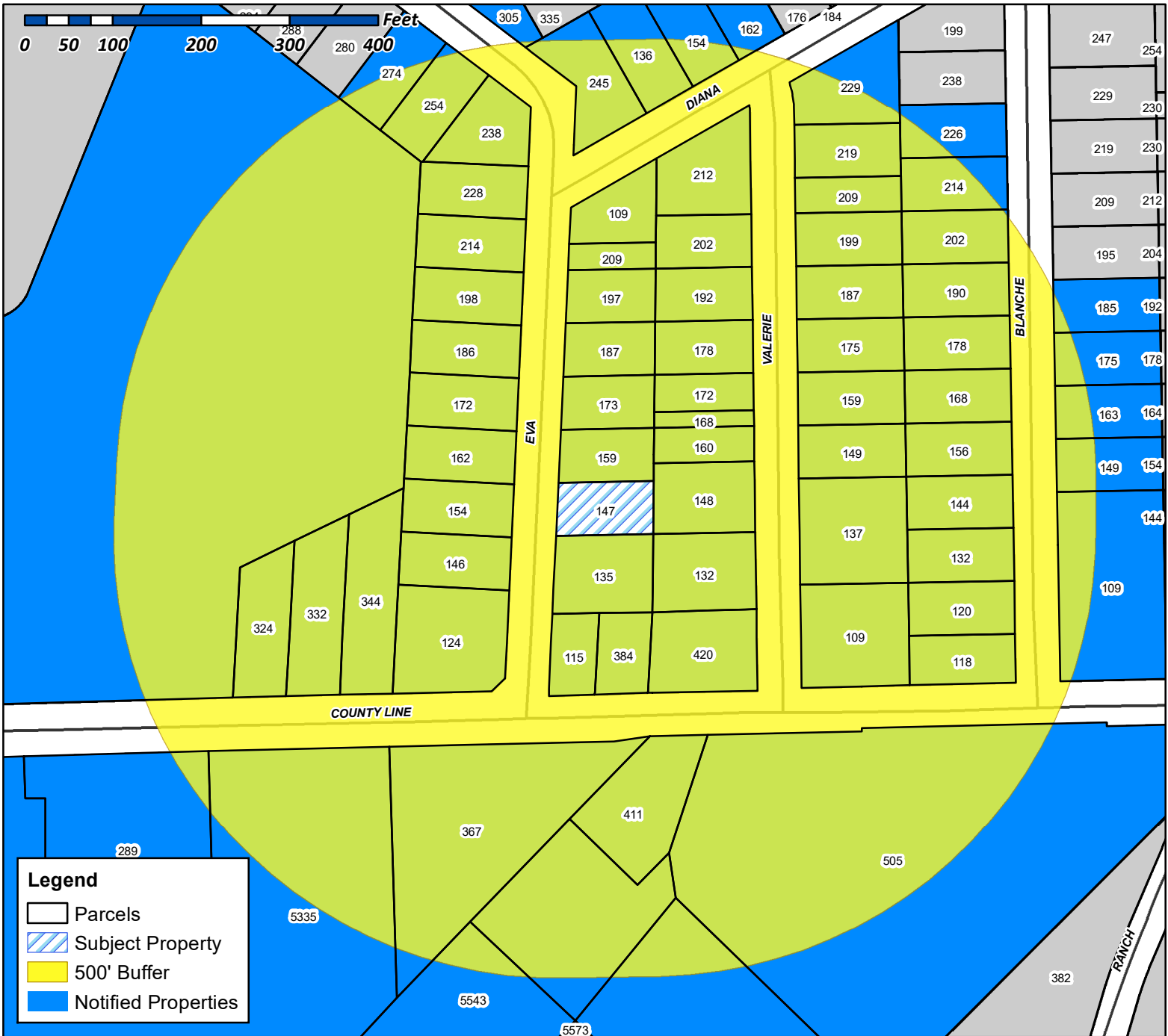
**Date Created:** 6/14/2021  
 For Questions on this Case Call (972) 771-7745



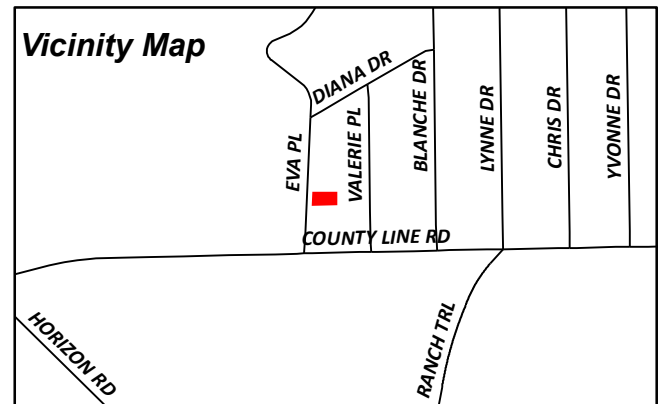
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**Date Created:** 6/14/2021  
 For Questions on this Case Call (972) 771-7745

SALAS HECTOR JABIER & CAROLINA ORTIZ  
1000 W YELLOWJACKET LANE APT 2507  
ROCKWALL, TX 75087

SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

VARGAS RICARDO  
109 BLANCHE DR  
ROCKWALL, TX 75032

HERREROS ANTELMO &  
SONIA T SERNA  
109 DIANA DR  
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A  
109 VALERIE PL  
ROCKWALL, TX 75032

SILVA JUAN C  
115 EVA PL  
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE  
118 BLANCHE DR  
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES  
120 BLANCHE DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

MIRELES RAYMUNDO  
124 EVA PLACE  
ROCKWALL, TX 75032

FLORES DAYANARA &  
JAMES GLEASON  
132 BLANCHE DR  
ROCKWALL, TX 75032

PAVON MARISOL  
132 VALERIE PL  
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT  
134 YVONNE DR  
ROCKWALL, TX 75032

MONTELONGO MOISES  
135 EVA PLACE  
ROCKWALL, TX 75032

LA REN CORPORATION  
C/O DON/AUDREY BLANKENSHIP  
136 DIANA  
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR  
137 VALERIE PL  
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG  
1414 BUFFALO WOODS CT  
KATY, TX 77494

HERNANDEZ NESTOR AND  
GILBERTA NAVERRETE  
1420 W COLLEGE ST LOT 1  
MURFREESBORO, TN 37129

GARCIA MARTIN  
144 BLANCHE DR  
ROCKWALL, TX 75032

SILVA BERTHA  
146 EVA  
ROCKWALL, TX 75032

CARDENAS IGNACIO  
147 EVA PL  
ROCKWALL, TX 75032

VALDEZ MARY ESTHER  
148 VALERIE PL  
ROCKWALL, TX 75032

VARGAS RICARDO  
149 BLANCHE DR  
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT  
149 VALERIE PL  
ROCKWALL, TX 75032

ROMAN JAIME A & MA GUADALUPE SANDOVAL  
154 DIANA DR  
ROCKWALL, TX 75032

CASTANEDA AARON JAIME CHAPELA  
154 EVA PLACE  
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ  
156 BLANCHE DR  
ROCKWALL, TX 75032

KUO DANIEL  
1580 COASTAL DRIVE  
ROCKWALL, TX 75087

MORALES RAMIRO JR  
159 EVA PLACE  
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ  
159 VALERIE PL  
ROCKWALL, TX 75032

DURAN ROCIO  
160 VALERIE PL  
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL  
162 DIANA  
ROCKWALL, TX 75032

DEL RIO ALBERTO & MONICA  
162 EVA PL  
ROCKWALL, TX 75032

VARGAS RICARDO  
163 BLANCHE DR  
ROCKWALL, TX 75032

PALICIOS MARIA  
168 BLANCHE DR  
ROCKWALL, TX 75032

CITY OF ROCKWALL  
168 VALERIEPL  
ROCKWALL, TX 75032

LOZANO ISIDRO  
1705 HIGH MEADOW DR  
GARLAND, TX 75040

WOLFORD STEPHANIE D  
172 EVA PLACE  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN AND  
MARIANA SIFUENTES  
172 VALERIE PL  
ROCKWALL, TX 75032

MORALES RAMIRO JR  
173 EVA PL  
ROCKWALL, TX 75032

GOMEZ ALEJANDRO  
175 BLANCHE DR  
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG  
175 VALERIE PL  
ROCKWALL, TX 75032

MEJIA JULIO & MARIA  
176 RENEE DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
178 BLANCHE DR  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I  
178 VALERIE PL  
ROCKWALL, TX 75032

5543 FM3097 LLC  
1809 BRISTOL LANE  
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA  
185 BLANCHE DR  
ROCKWALL, TX 75032

SILVA MARIA  
186 EVA PL  
ROCKWALL, TX 75032

ORTEGA RUBEN  
187 EVA PL  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &  
MARIA BLANCA RESENDIZ  
187 VALERIE PL  
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J  
190 BLANCHE DR  
ROCKWALL, TX 75032

LOZANO ISIDRO  
192 VALERIEPL  
ROCKWALL, TX 75032

BARRON BENICIO  
195 ROSEMARIE DR  
LEBANON, OH 45036

MEJIA JULIO & MARIA  
197 EVAPL  
ROCKWALL, TX 75032

CONTRERAS MANUEL AND MARIA G  
198 EVA PL  
ROCKWALL, TX 75032

CANADY JERRY ANN  
199 VALERIE PL  
ROCKWALL, TX 75032

CANADY JERRY ANN  
199 VALERIE PLACE  
ROCKWALL, TX 75032

ARROYO MARGARITO &  
LUCIA ARROYO-ESPINOSA  
202 BLANCHE DR  
ROCKWALL, TX 75032

TOVAR JUAN &  
NORA OREGA  
202 VALERIE PL  
ROCKWALL, TX 75032

KENT RONALD & BRENDA  
209 EVAPL  
ROCKWALL, TX 75032

CANADY JERRY ANN  
209 VALERIE PL  
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE  
212 LYNNE DR  
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA  
212 VALERIE PL  
ROCKWALL, TX 75032

RICO CARLOS  
212 VALERIE PL  
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ  
214 BLANCHE DR  
ROCKWALL, TX 75032

RICO CARLOS  
214 EVA PL  
ROCKWALL, TX 75032

RUIZ JOSE C  
219 VALERIE PL  
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ  
226 BLANCHE DRIVE  
ROCKWALL, TX 75032

MOSELEY CYNTHIA SUE  
228 EVAPL  
ROCKWALL, TX 75032

KUO DANIEL  
229 VALERIE PL  
ROCKWALL, TX 75032

BUFFALO CREEK BUSINESS PARK LTD  
2324 EAST I 30  
ROYSE CITY, TX 75189

LA REN CORPORATION  
C/O DON/AUDREY BLANKENSHIP  
238 EVA PL  
ROCKWALL, TX 75032

HERNANDEZ NESTOR AND  
GILBERTA NAVERRETE  
245 EVA  
ROCKWALL, TX 75032

LA REN CORPORATION  
C/O DON/AUDREY BLAKENSHIP  
254 EVA PL  
ROCKWALL, TX 75032

ESCOBAR AURELIO  
274 EVA PL  
ROCKWALL, TX 75032

KELLY EDDY D & SHARON RENEE REV LIV TR  
289 COUNTY LINE RD  
ROCKWALL, TX 75032

HILGENFELD DONNA & ROSS  
305 EVAPL  
ROCKWALL, TX 75032

JIMENEZ TERESA HERNANDEZ &  
LUIS TORRES GALINA  
321 PANOLA CT  
ROYSE CITY, TX 75189

RANGELL JUAN JOSE  
324 COUNTY LINE RD  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I  
3248 BLACKLAND RD  
ROYSE CITY, TX 75189

BARRON BENICIO  
332 COUNTY LINE RD  
ROCKWALL, TX 75032

SILVA JUAN C  
332 E LINDA LN  
ROYSE CITY, TX 75189

JIMENEZ TERESA HERNANDEZ &  
LUIS TORRES GALINA  
344 COUNTY LINE RD  
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA  
358 TROUT ST  
ROCKWALL, TX 75032

PALICIOS MARIA  
365 LYNNE DR  
ROCKWALL, TX 75032

MARKSQUARED INVESTMENTS LLC  
367 COUNTY LINE RD  
ROCKWALL, TX 75032

RAMIREZ PETRA & JOSE ARTURO  
384 COUNTY LINE RD  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &  
MARIA BLANCA RESENDIZ  
397 CHRIS DR  
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA  
411 COUNTY LINE RD  
ROCKWALL, TX 75032

LOZANO ISIDRO  
420 COUNTY LINE RD  
ROCKWALL, TX 75032

RANGELL JUAN JOSE  
4427 FM 550  
ROYSE CITY, TX 75189

BIG LEAGUE SPORTS ACADEMY INC  
505 COUNTY LINE RD  
ROCKWALL, TX 75032

LEJ PARTNERS LTD  
5100 ELDORADO PKWY STE 102 # 373  
MCKINNEY, TX 75070

MOSELEY CYNTHIA SUE  
5100 HORIZON RD  
ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL  
513 BASS RD  
ROCKWALL, TX 75032

MARKSQUARED INVESTMENTS LLC  
517 COYOTE RD  
SOUTHLAKE, TX 76092

BUFFALO CREEK BUSINESS PARK LTD  
5335 FM 3097  
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC  
5508 FOREST LANE  
DALLAS, TX 75230

5543 FM3097 LLC  
5543 FM3097  
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES  
5713 SECREST CT  
GOLDEN, CO 80403

FLORES DAYANARA &  
JAMES GLEASON  
611 MEADOW DR  
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR  
6379 KLONDIKE RD  
RIPLEY, NY 14775

HILGENFELD DONNA & ROSS  
6409 ALTA OAKS DR  
GARLAND, TX 75043

GUTIERREZ DONATILO & BLANCA  
6514 BUNKER HILL CT  
ROWLETT, TX 75089

PAVON MARISOL  
810 E. DOUGHERTY DR  
GARLAND, TX 75041

GARCIA MARTIN  
852 ROSE LANE  
ROCKWALL, TX 75087

LA REN CORPORATION  
C/O DON/AUDREY BLANKENSHIP  
PO BOX 2155  
ROCKWALL, TX 75087





Know what's below.  
Call before you dig.

# PLOT PLAN



WWW.RHODESURVEYING.COM

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940

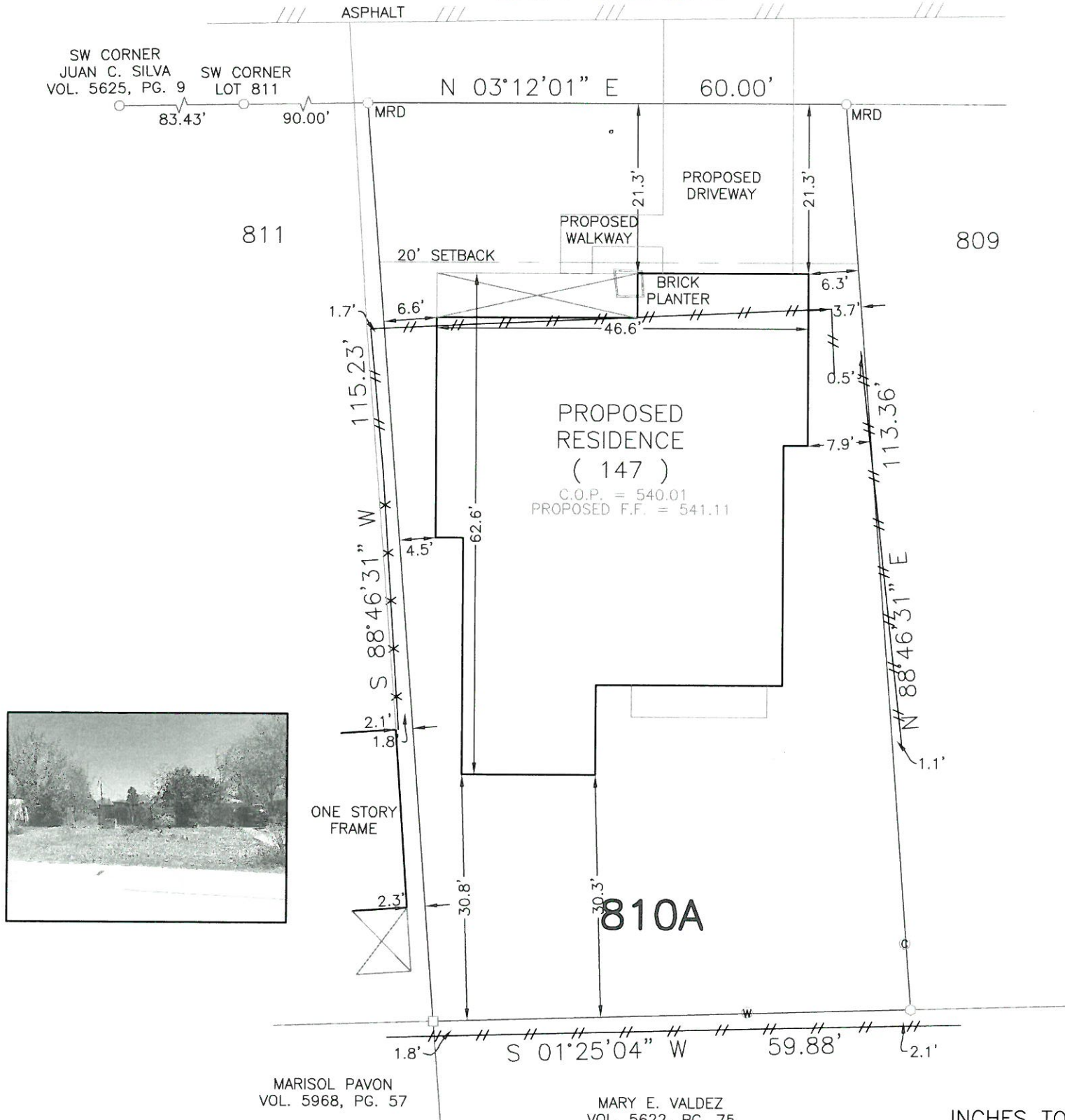
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 147 EVA PLACE, in the city of ROCKWALL Texas.

Lot No. 810, Block No. - of ROCKWALL EST. #2, an addition in the city of

ROCKWALL, ROCKWALL COUNTY Texas according to the PLAT THEREOF RECORDED in CABINET A at SLIDE 79 of the MAP records of ROCKWALL COUNTY, TEXAS.



## EVA PLACE



### INCHES TO TENTHS

1" = 0.08'	7" = 0.58'
2" = 0.17'	8" = 0.67'
3" = 0.25'	9" = 0.75'
4" = 0.33'	10" = 0.83'
5" = 0.42'	11" = 0.92'
6" = 0.50'	12" = 1.00'

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

BEARINGS ARE BASED ON RTK READINGS OF TEXAS COORDINATE SYSTEM OF 1983 (NAD83), NORTH CENTRAL ZONE (4202)

1529 E. I-30, STE. 106 - GARLAND, TX 75043 - FIRM REGISTRATION NO. 10194052  
The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.

TITLE AND ABSTRACTING WORK FURNISHED BY ICJ CONSTRUCTION  
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'  
Date: 03/29/2021  
G. F. No.: -  
Job no.: 108890  
Drawn by: CR

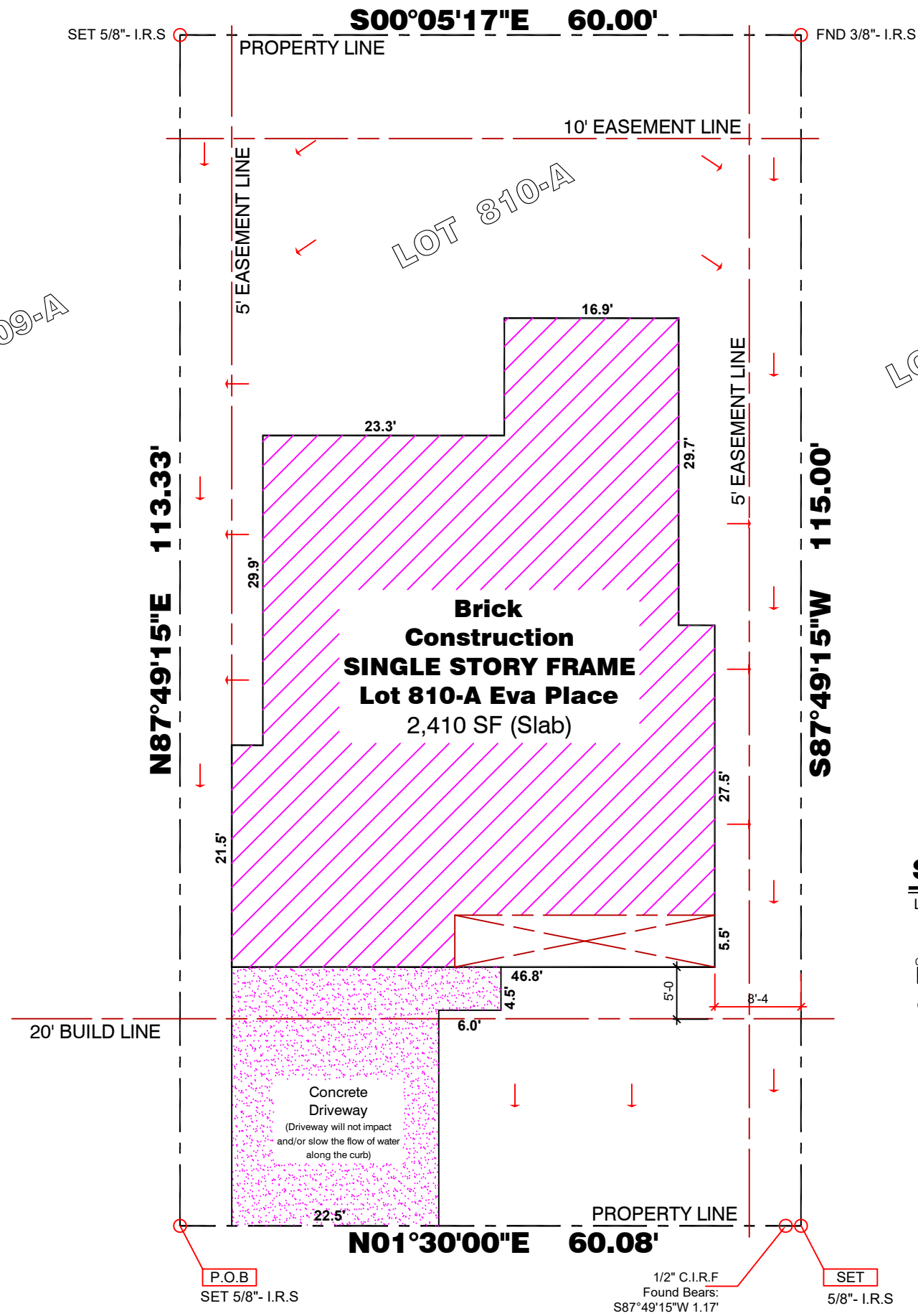
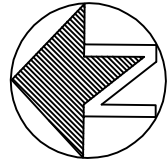
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.  
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR ICJ CONSTRUCTION

**LEGEND**

WOOD FENCE	---	TEXT	█
CHAIN LINK	-○-	IMPROVEMENTS	█
IRON FENCE	---	BOUNDARY LINE	█
WIRE FENCE	---	SETBACK	█
MRD	○	MONUMENTS OF RECORD DIGNITY	○
1/2" IRON ROD FOUND	○		
60D NAIL FOUND	○		
SET "X"	X		
1/2" RED-CAPPED IRON ROD FOUND	○		
5/8" YELLOW-CAPPED IRON ROD FOUND	○		
PK NAIL FOUND	○		
C - CABLE	---	GUY-WIRE	---
CLEAN OUT	○	ELECTRIC	---
GAS METER	○	POWER POLE	---
FIRE HYDRANT	○	TELEPHONE	---
LIGHT POLE	○	WATER METER	---
MANHOLE	○	WATER VALVE	---

(UNLESS OTHERWISE NOTED)



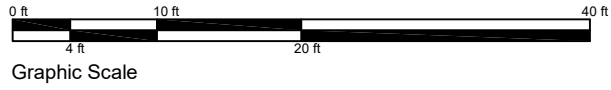


**SURVEY PLAT DESCRIPTION:**

Property located at No. LOT 810-A , of ROCKWALL LAKE PROPERTIES Development No 2, an Addition to ROCWALL COUNTY, Texas, according to the plat thereof recorded in CABINET A, SLIDE 79 , of the PLATS Records of Rocwall County, Texas.

**SITE PLAN**

LOT 810-A EVA PLACE, ROCWALL TX



- NOTES:
1. Grading and Drainage shall not negatively impact surrounding properties. Current drainage flows to EVA PLACE street.
  2. Proposed drainage continue to flow to street, however, elevation needs to be raised.
  3. A minimum slope of 5% is required (10% is preferred) for at least the first 3ft away from the structure on all sides.
  4. As required for this property, a swale of 1% slope (Minimum) will be constructed to convey all runoff to EVA PLACE street.
  5. If AC unit is located on the direction of the swale (North or South), the AC unit shall not block the water flow on the swale direction.
  6. The construction of the Driveway shall not impact or slow down the flow of water along the concrete curb.

**EVA PLACE**  
(50' R.O.W.)

**Site Plan shown with Proposed Drainage**

**Drafting Solutions - Allen, TX (972) 697-6258**  
DISCLAIMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or omission, if found, is to be brought to the attention of the drafter before any construction, work or purchase is made. All structural elements, such as piers and footings, retaining and shear walls, floor and roof beams, trusses, rafters, floor and ceiling joists, columns, footings and concrete floors must be sized and designed by a registered engineer. Drafting Solutions will not be responsible for these designs and/or approvals. The limit for drafter's liability will not exceed the fee paid for plans.

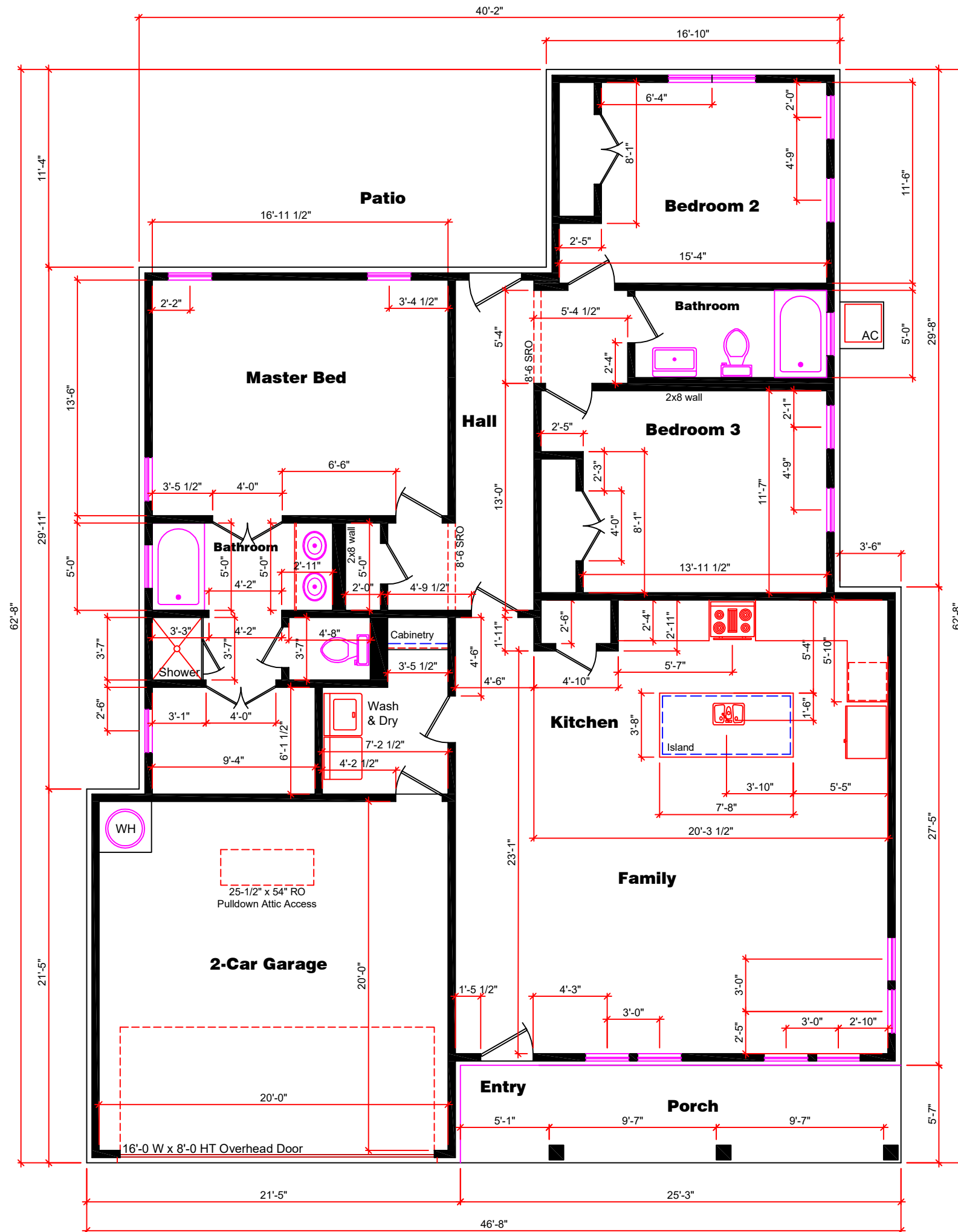
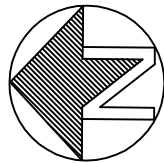


**Single Family Residence**  
**Lot 810-A, Eva Place**  
**Rockwall, TX 75032**

**Owners: Mr. Ignacio**  
**Cardenas and Family**

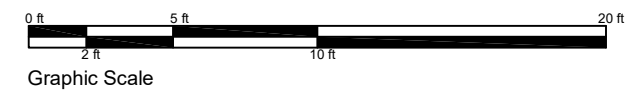
**DRAWN BY:**  
JHR  
**DATE:**  
3-23-2019  
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# 1ST FLOOR PLAN

DIMENSIONAL LAYOUT



**Drafting Solutions - Allen, TX (972) 697-6258**  
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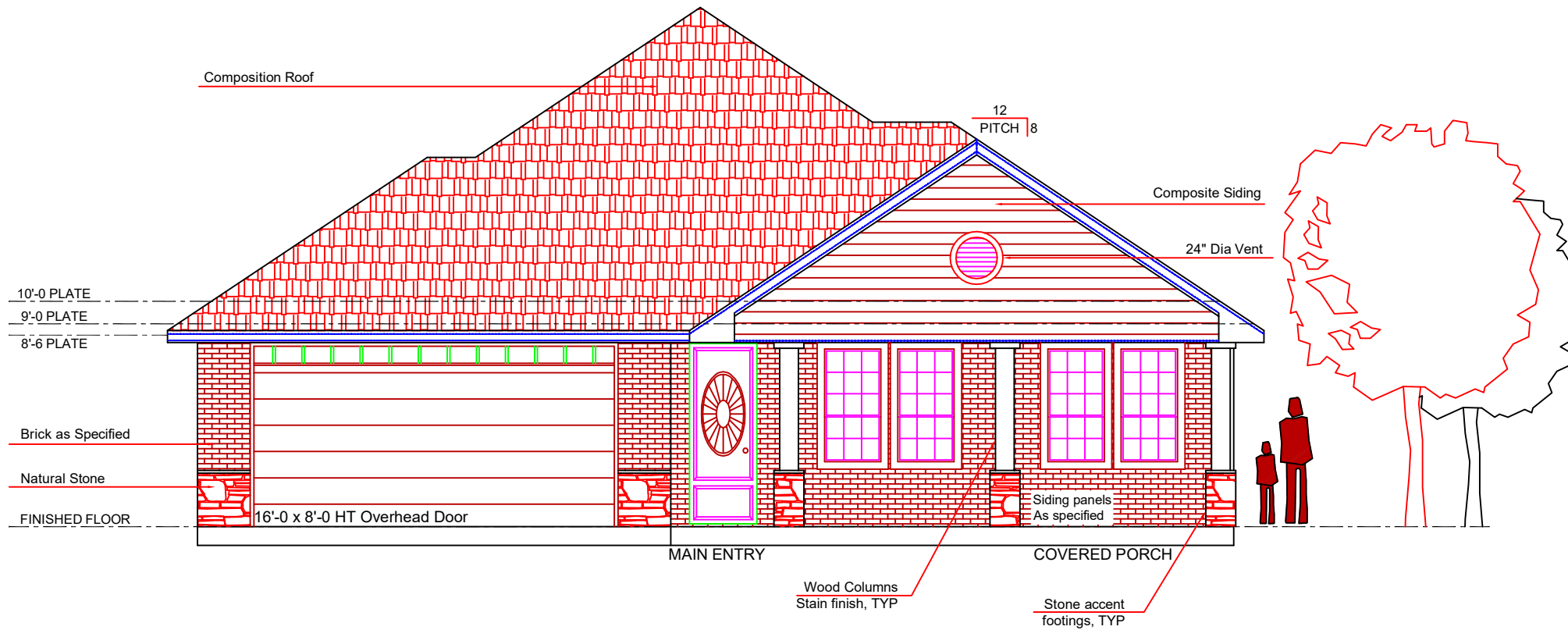


**Single Family Residence**  
 Lot 810-A, Eva Place  
 Rockwall, TX 75032

**Owners: Mr. Ignacio Cardenas and Family**

**DRAWN BY:**  
JHR  
**DATE:**  
3-23-2019  
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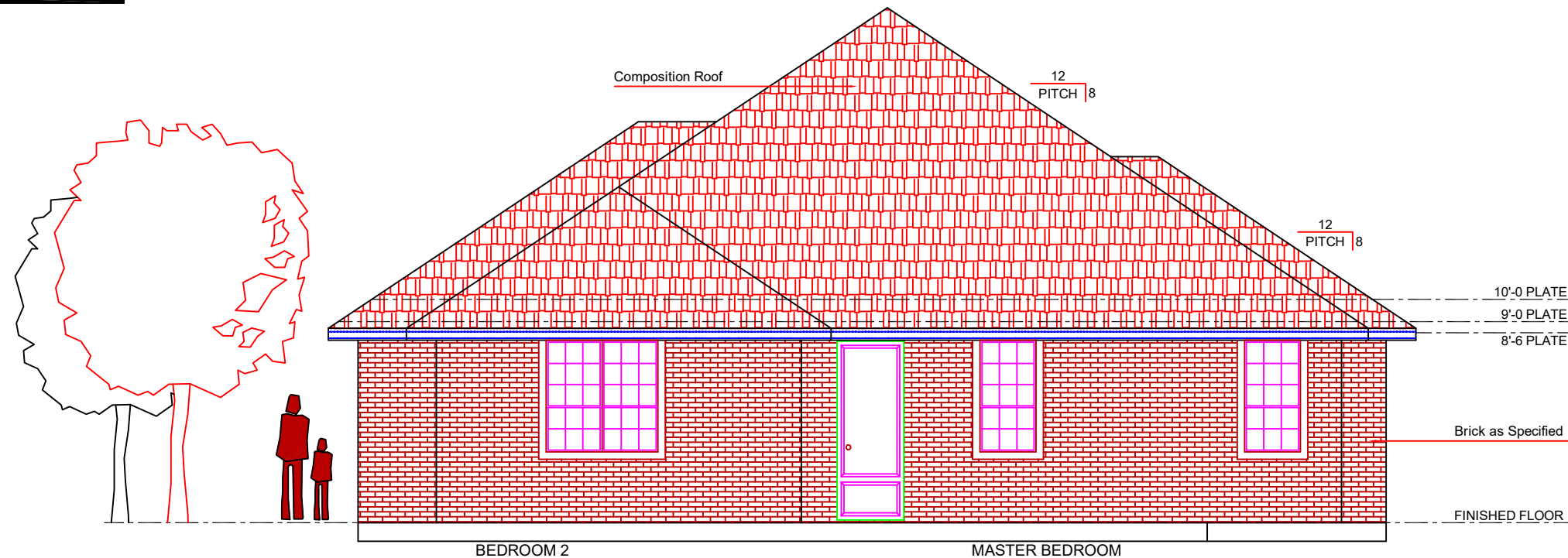


## WEST (FRONT) ELEVATION

FROM EVA PLACE STREET



Graphic Scale



## EAST (BACK) ELEVATION

FROM PATIO



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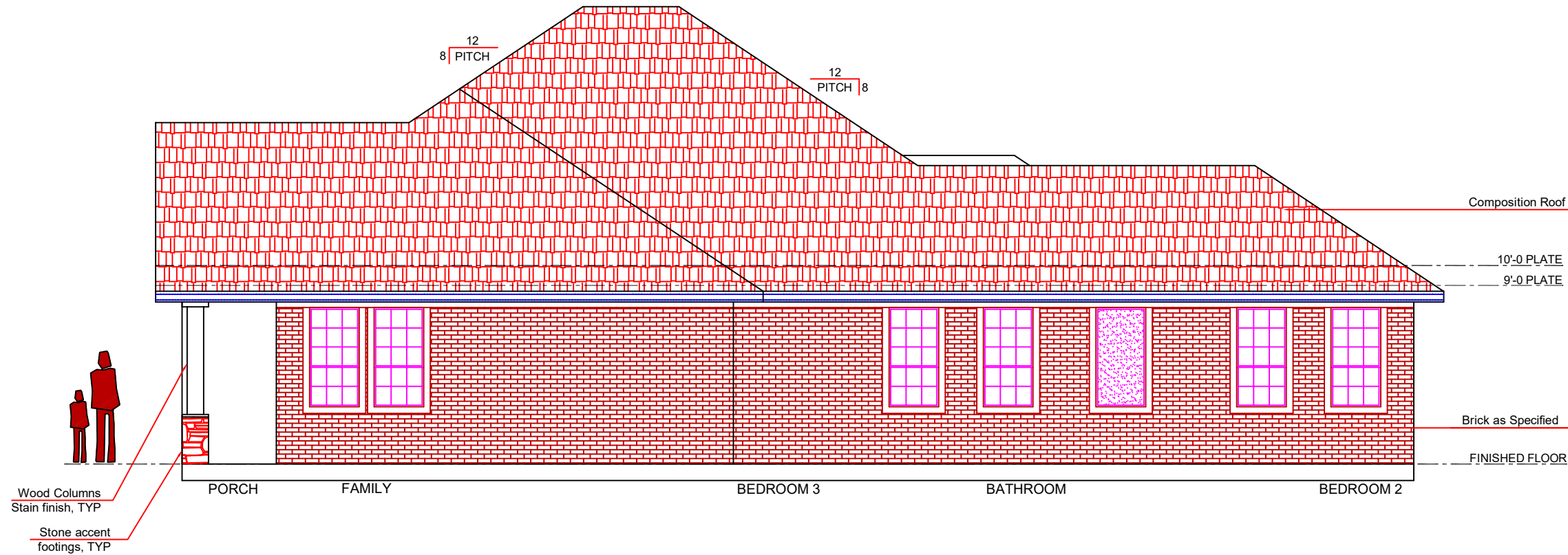
Owners: Mr. Ignacio  
 Cardenas and Family

DRAWN BY:  
 JHR

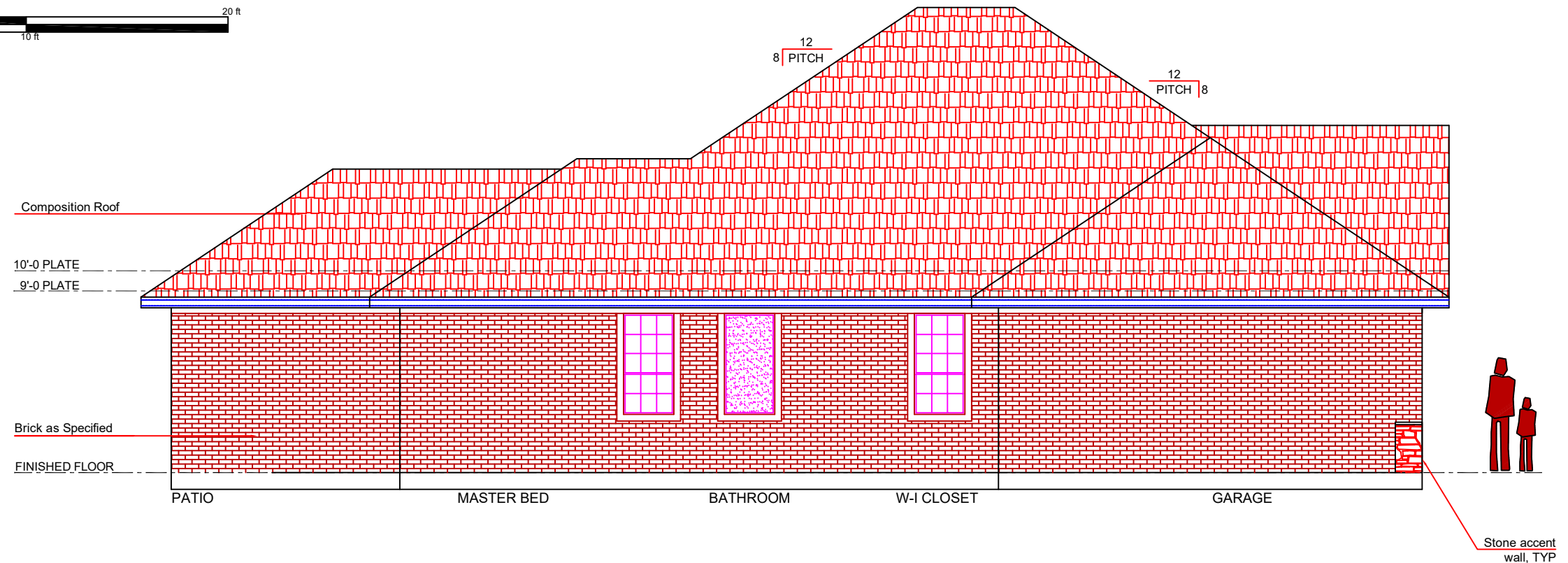
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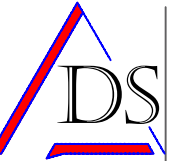


**SOUTH (RIGHT) ELEVATION**



**NORTH (LEFT) ELEVATION**

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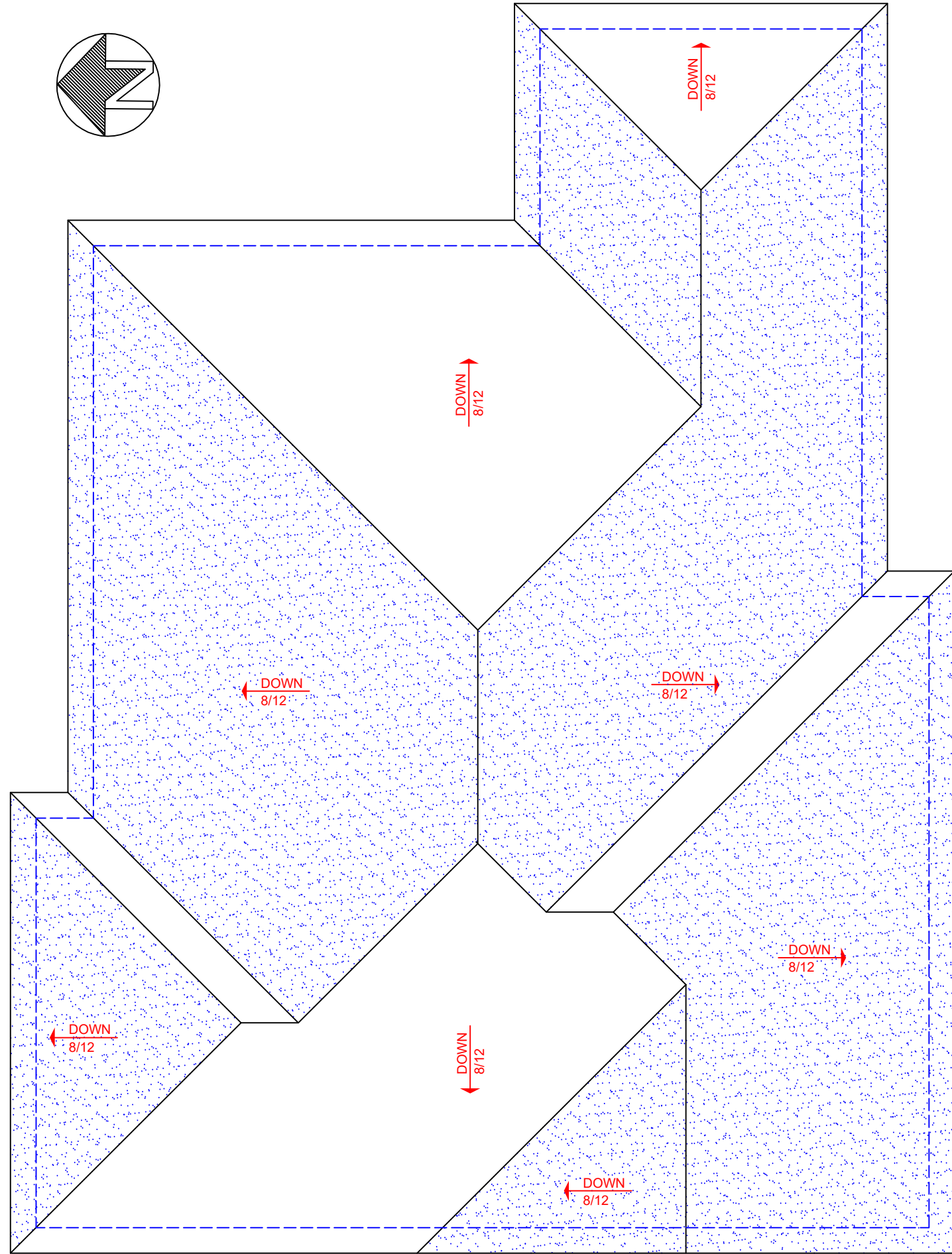
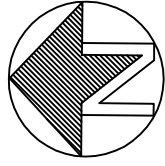
**Owners: Mr. Ignacio**  
**Cardenas and Family**

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## ROOF PLAN

COMPOSITION ROOF SHINGLES



Graphic Scale



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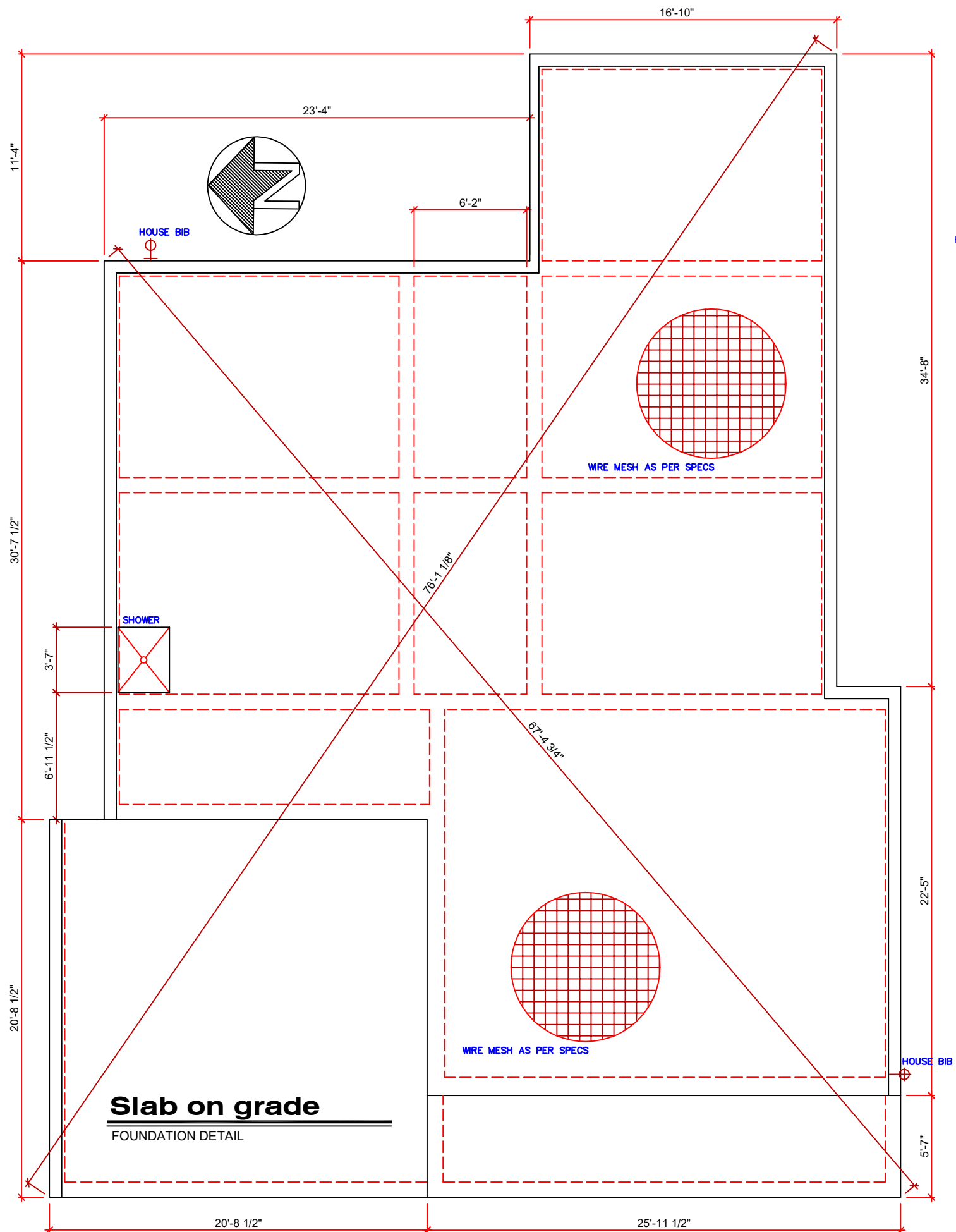
Owners: Mr. Ignacio  
 Cardenas and Family

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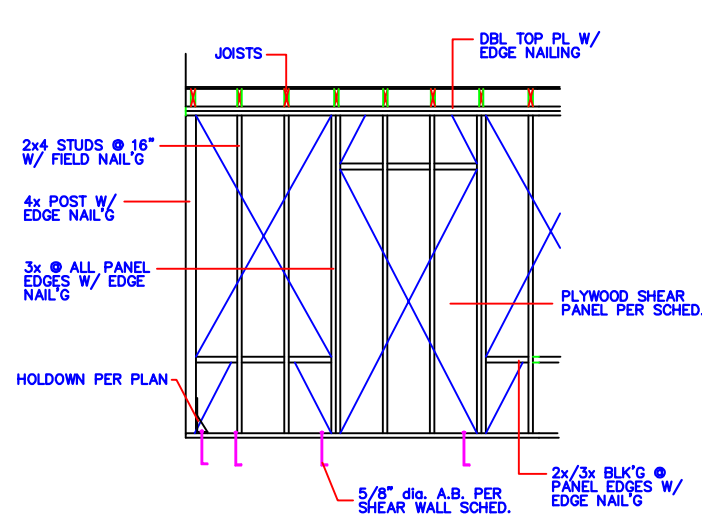
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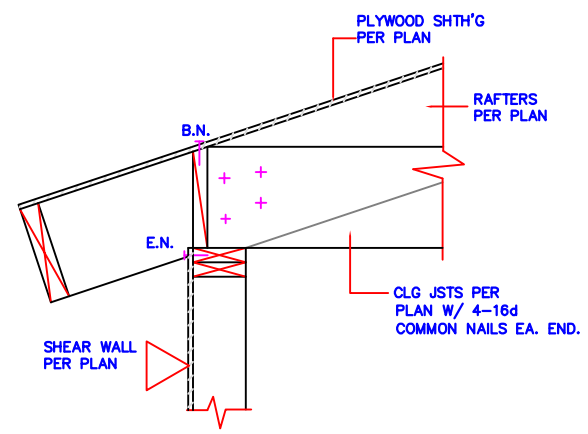
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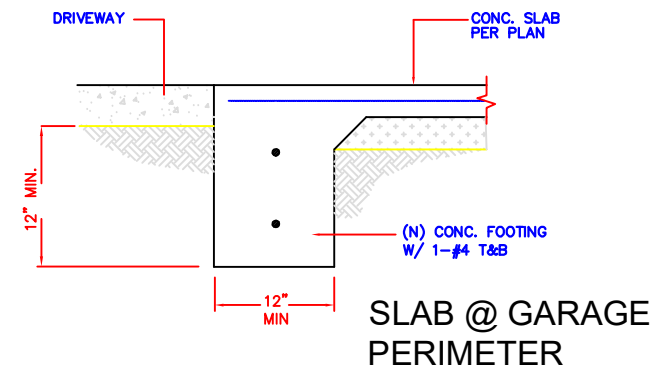
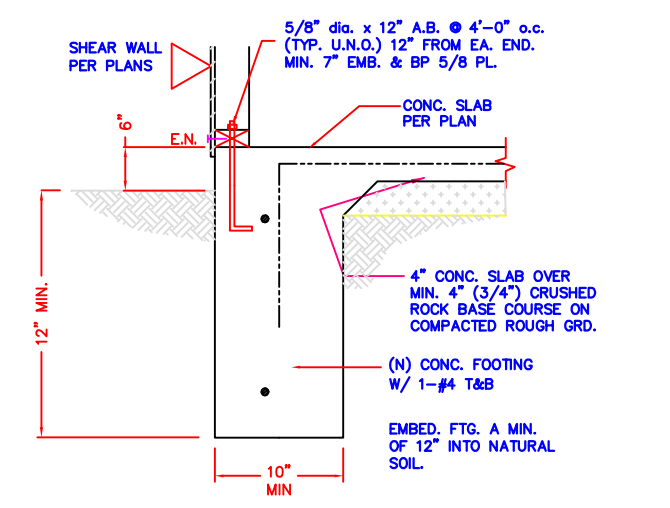
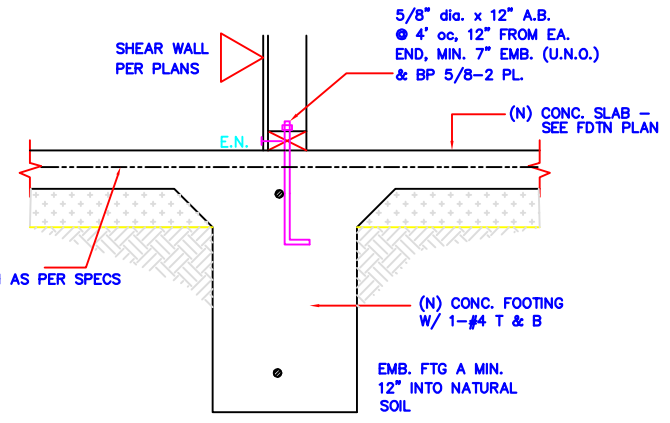
**Slab on grade**  
FOUNDATION DETAIL



**Wall Detail**



**Roof conn. detail**



**Details - Concrete Slab**

**IMPORTANT FOUNDATION & CONCRETE NOTES:**

1. These foundation details cover a Conventional Rebar Slab Foundation (Regionally Accepted Practices / IRC 2015 Code) - TYPE "C" Foundation from the Dallas, Texas area office of the US Department of Housing and Urban Development.
2. These foundation notes and details are not applicable when a post-tensioned slab is specified. Please refer to the Engineer's notes and details, if applicable.
3. Provide a min. of 4" sand fill except in areas with a high water table. Where a high water table occurs use gravel, crushed stone or comparable material.
4. All beams shall penetrate a min. of 6" into undisturbed soils.
5. No "dead end" beams shall be allowed.
6. All beam and slab reinforcements to extend within 1-1/2" of exterior forms.
7. All concrete shall have a 28-day ultimate compressive strength of 3,000 psi.
8. Beam reinforcing shall be tied and supported every 48" or less.
9. Lap all bar reinforcing 40 diameters. That equals 15" with 3/8" dia rebars.
10. This foundation detail sheet is provided only as a reference. Drafting Solutions provides absolutely no warranty. Owner takes responsibility to use these at his/her own risk. It is strongly advised that a qualified licensed Professional Engineer review this foundation design and the soils report to assure this foundation plan is correct for the soils it is to be built on.

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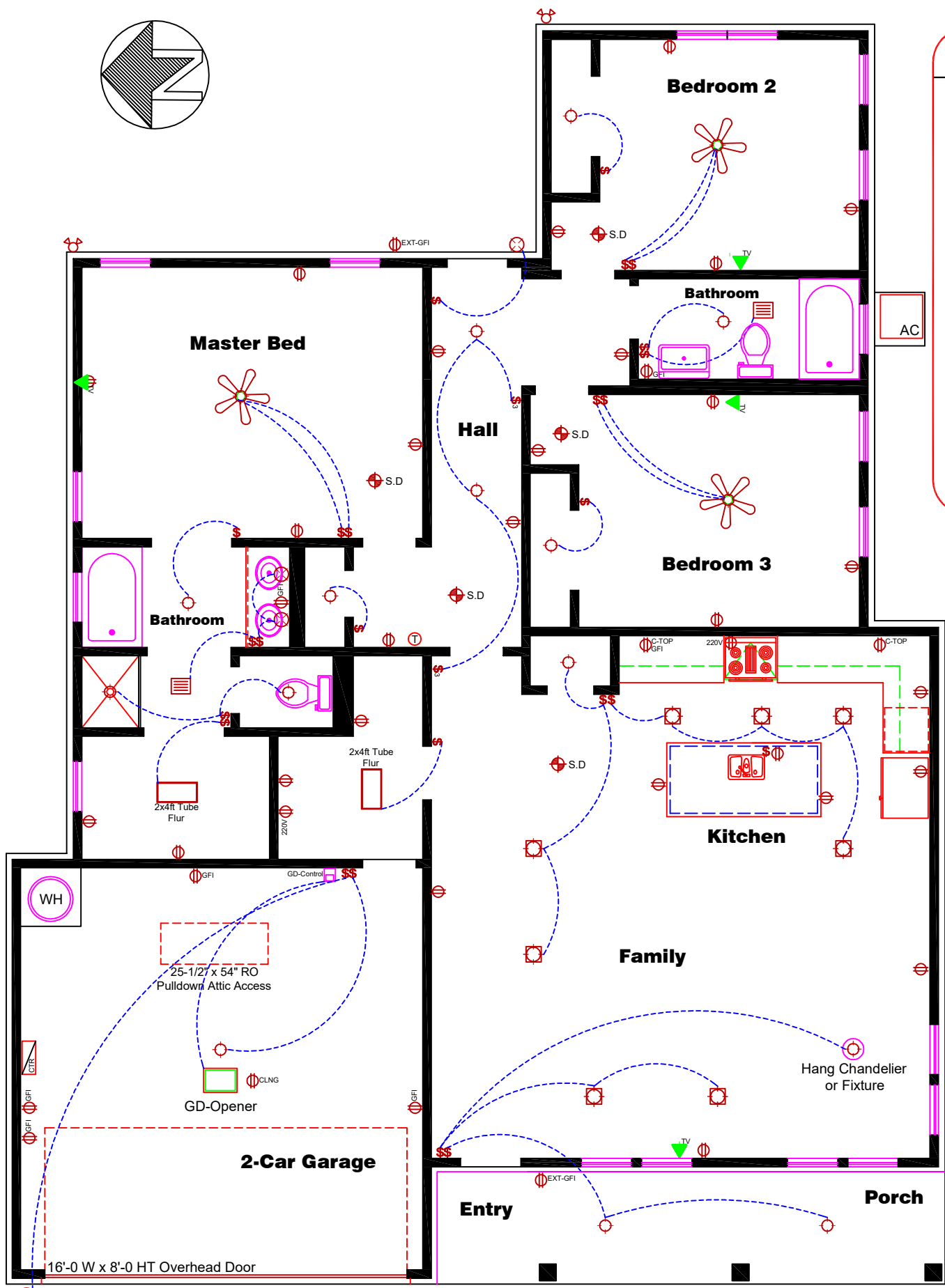
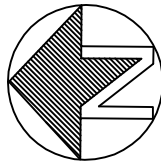


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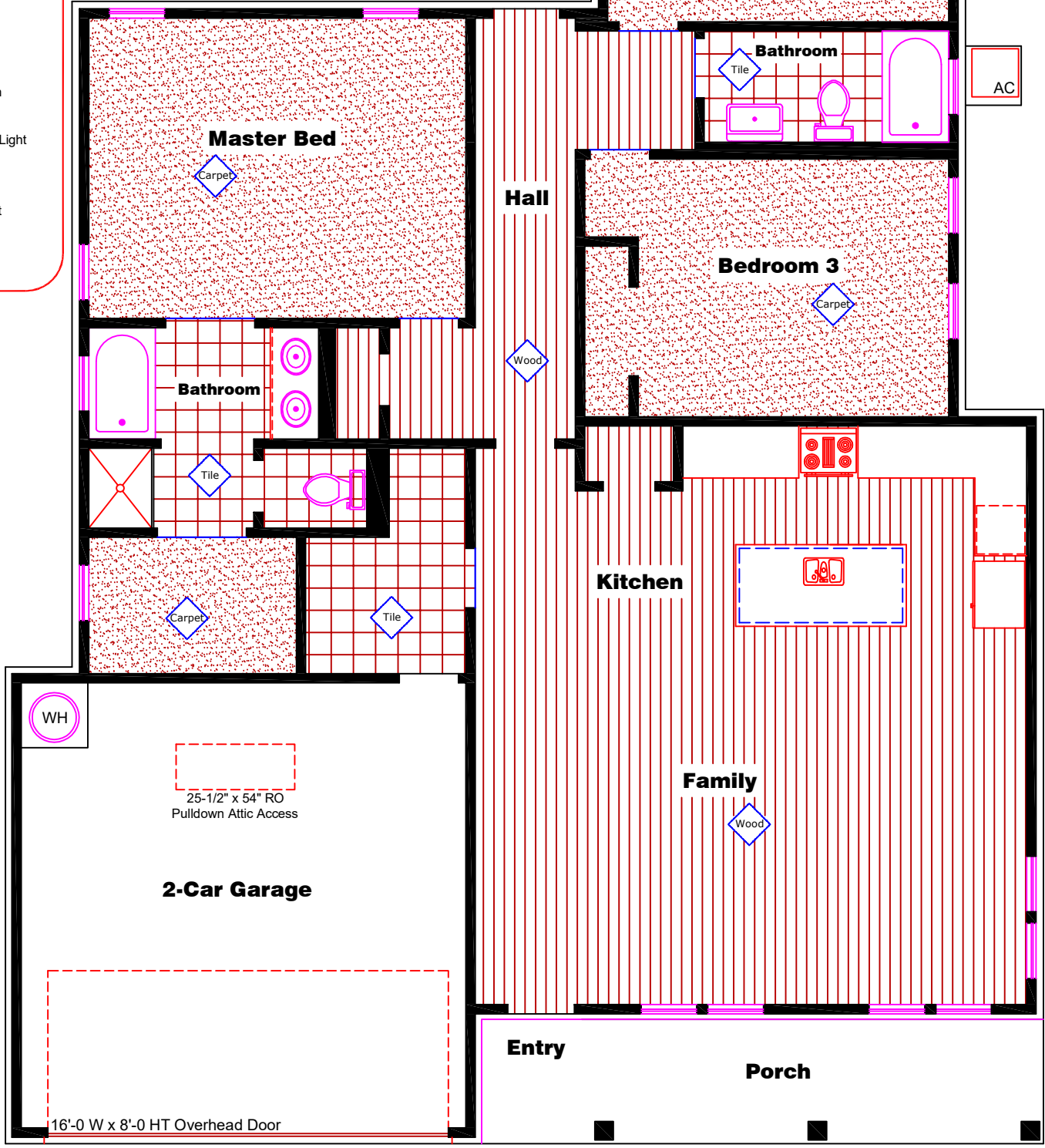


**ELECTRICAL LEGEND**

	Duplex
	Ceiling Duplex
	Countertop Duplex
	Floor Duplex
	Gnd Flt Circ Int Duplex
	Phone Jack
	Cable TV
	220 Volt Outlet
	Thermostat
	Smoke Detector
	Switch
	Three-Way Switch
	Ceiling Light
	Recessed Ceiling Light
	Wall-hung Light
	Vent
	Landscaping Light
	Floodlight
	Control Box

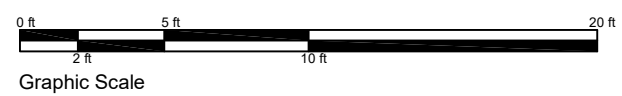
**Electrical Diagram**

SCALE 1/4" = 1'-0"

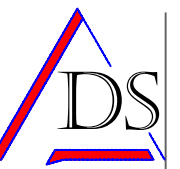


**Floor Finishings**

SCALE 1/4" = 1'-0"



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