



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 550 East Quail Run

SUBDIVISION A0146 SS McCoway Tract 19-2 LOT BLOCK

GENERAL LOCATION Between John King / 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE Residential

PROPOSED ZONING _____ PROPOSED USE Residential

ACREAGE 8.001 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>MIKE WORSTER</u>	<input checked="" type="checkbox"/> APPLICANT <u>LANCE TYLER</u>
CONTACT PERSON	CONTACT PERSON
ADDRESS <u>1309 Moraine Place</u>	ADDRESS <u>8989 Garland Rd</u>
CITY, STATE & ZIP <u>Heath TX 75032</u>	CITY, STATE & ZIP <u>Dallas TX 75218</u>
PHONE <u>214-403-7698</u>	PHONE <u>214-991-7983</u>
E-MAIL <u>mworster@elkentsgrp.com</u>	E-MAIL <u>Lance@BelleVistaCompany.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Wurster [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 410.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

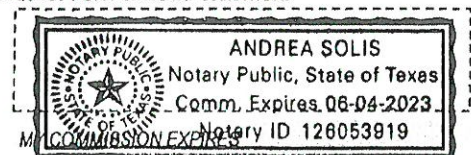
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF April, 2021

OWNER'S SIGNATURE

Mike Wurster

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Asuris





PRE-APPLICATION MEETING REQUEST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY	
MEETING DATE:	
MEETING TIME:	

PRE-APPLICATION MEETING INFORMATION

A Pre-Application Meeting is strongly recommended prior to submittal of a development application. These meetings are held on Thursday morning's beginning at 9:00 AM, by appointment. Representatives from Engineering, Planning, Fire, Parks (if necessary) and Building Departments attend the meeting in an effort to assist you with your project by answering any questions you may have and explaining the development process and timelines.

Due to the number of requests for Pre-Application meetings that are received, staff cannot guarantee an appointment at the next scheduled meeting. We recommend requesting an appointment a minimum of one (1) week in advance. To best facilitate discussion during the meeting, include all conceptual drawings, site plans or other schematics with your completed request. For assistance with this form or other questions, please contact the Planning Department at (972) 771-7745 or at planning@rockwall.com.

I acknowledge that a conceptual drawing or site plan must be submitted as part of this request. Appointments may not be scheduled for requests without conceptual plans.

Initial Above

I acknowledge that neither submission of this request, nor the Pre-Application meeting, constitutes a permit or confers any permit rights under Chapter 245 of the Texas Local Government Code.

Initial Above

PROPERTY AND PROJECT INFORMATION [PLEASE PRINT]

Address	550 EAST QUAIL RUN		
General Location	Between JOTH KING / 205		
Proposed Use	Residential Home	Proposed Square Footage	4999 SF - Main 2230 SF - Guest
Are you proposing any alcohol sales?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Do you intend to subdivide or combine the property with other parcels?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Is the project expected to exceed \$50,000 in cost?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	


APPLICANT INFORMATION [PLEASE PRINT]

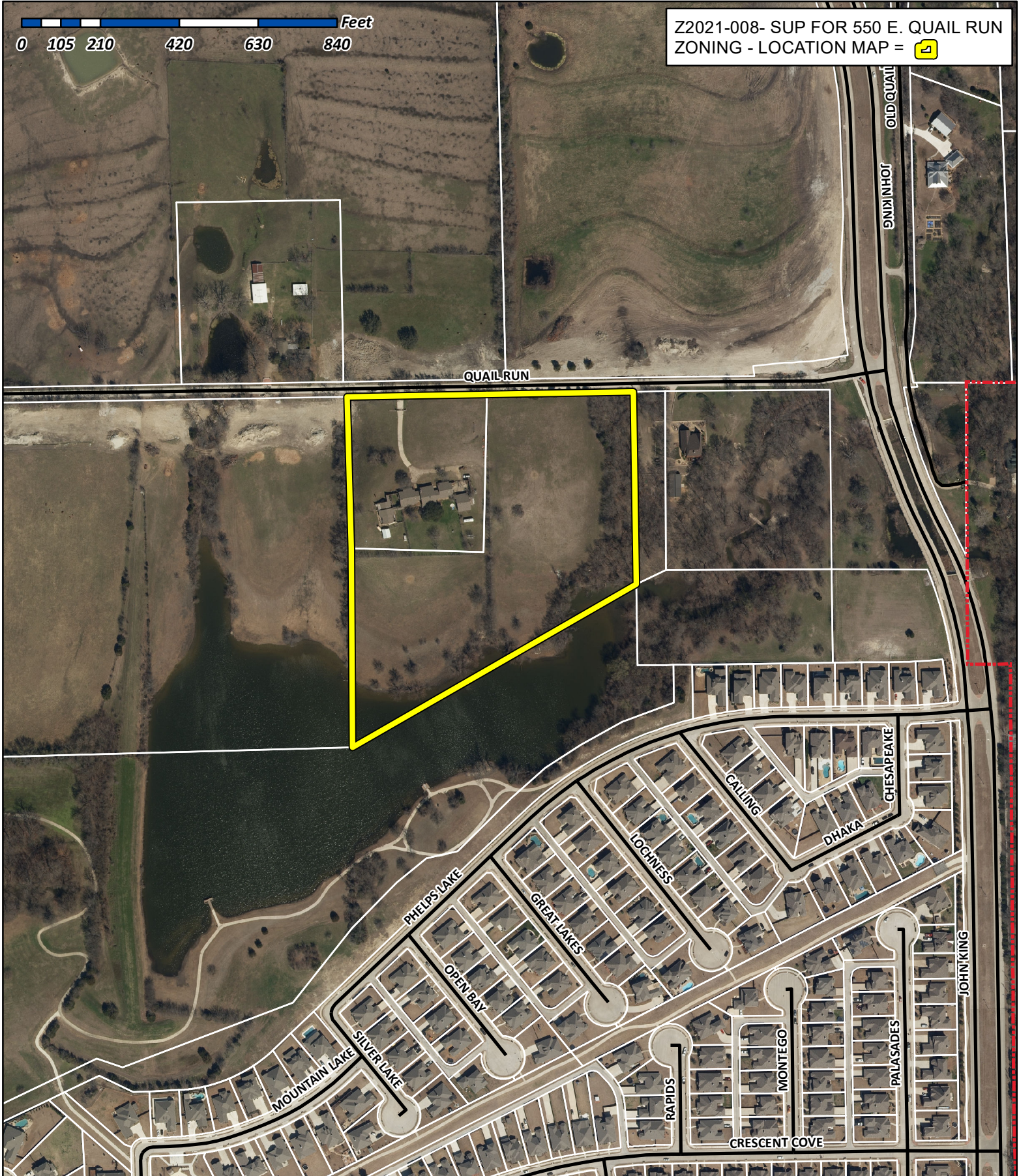
Applicant	MIK & JENNIFER WURSTER		
Address	1309 MORaine PLACE		
City	Heath	State	TX
Phone	214-403-7698	Email	m.wurster@elementsgrp.com
		Zip	75032

RESOURCES FOR YOU

- ✓ For applications, checklists, departmental contacts, demographics and more, visit our website: <http://www.rockwall.com/planning>
- ✓ For GIS information for due diligence research, including downloadable and interactive maps (for zoning, parcel information, etc.), visit our GIS website: <http://www.rockwall.com/gis>

0 105 210 420 630 840 Feet

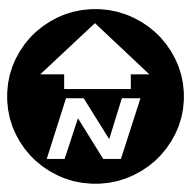
Z2021-008- SUP FOR 550 E. QUAIL RUN
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

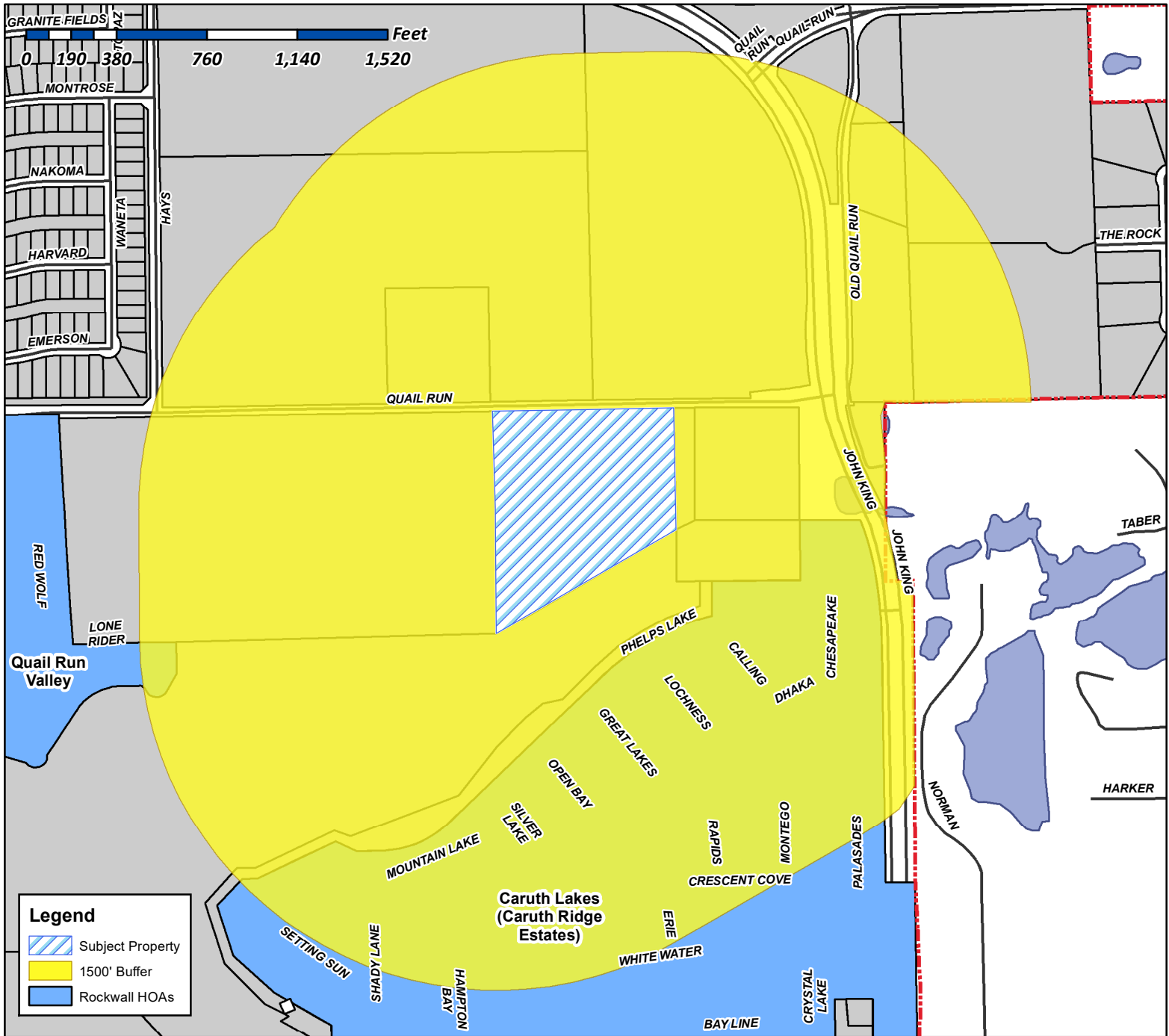




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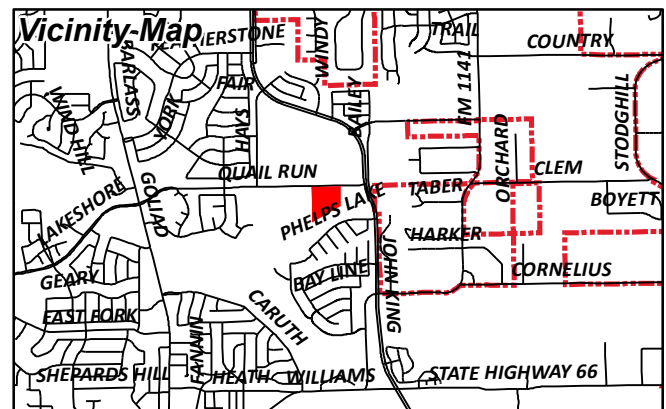
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Case Number: Z2021-008
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 5 (PD-5)
Case Address: 550 E. Quail Run Road

Date Created: 4/19/2021

For Questions on this Case Call (972) 771-7745



HASSELL ERIN L
1059 HAMPTON BAY DR
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP
1244 QUAIL RUN
ROCKWALL, TX 75087

WURSTER MICHAEL AND JENNIFER
1309 MORAIN PL
HEATH, TX 75032

SANDERS APRIL D AND
JENNIFER S GEGOGINE
1380 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

DEWEY BRET ADMIRAL
1386 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

KOSTERMAN CHRISTOPHER J & COLLEEN S
1392 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

KLEIN RONALD AND KELLY
1395 PHELPS LAKE DR
ROCKWALL, TX 75087

COLE LESLIE E & REBECCA J
1398 PHELPS LAKE DRIVE
ROCKWALL, TX 75087

BENNERS ROBERT JR AND TAMMI
1434 OPEN BAY CT
ROCKWALL, TX 75087

TOVAR ELISA M
1524 CALLING CIRCLE
ROCKWALL, TX 75087

WILLIAMS MICHAEL L AND PEGGY A
1525 CALLING CIRCLE
ROCKWALL, TX 75087

PETTY LYNDEN AND VICTORIA
1531 CALLING CIR
ROCKWALL, TX 75087

ARGENAL JULIO GABRIEL & AMBER ELIZABETH
1539 LOCHNESS COURT
ROCKWALL, TX 75087

KELSO MICHAEL AND MAURA
1540 LOCHNESS CT
ROCKWALL, TX 75087

PROTHRO ALISE
1543 GREAT LAKES COURT
ROCKWALL, TX 75087

HASSELL ERIN L
1545 LOCHNESSCT
ROCKWALL, TX 75087

NOGGLE SCOTT AND CARRI
1546 GREAT LAKES CT
ROCKWALL, TX 75087

SELMAN JOHN C JR AND VIRGINIA A
1546 LOCHNESS CT
ROCKWALL, TX 75087

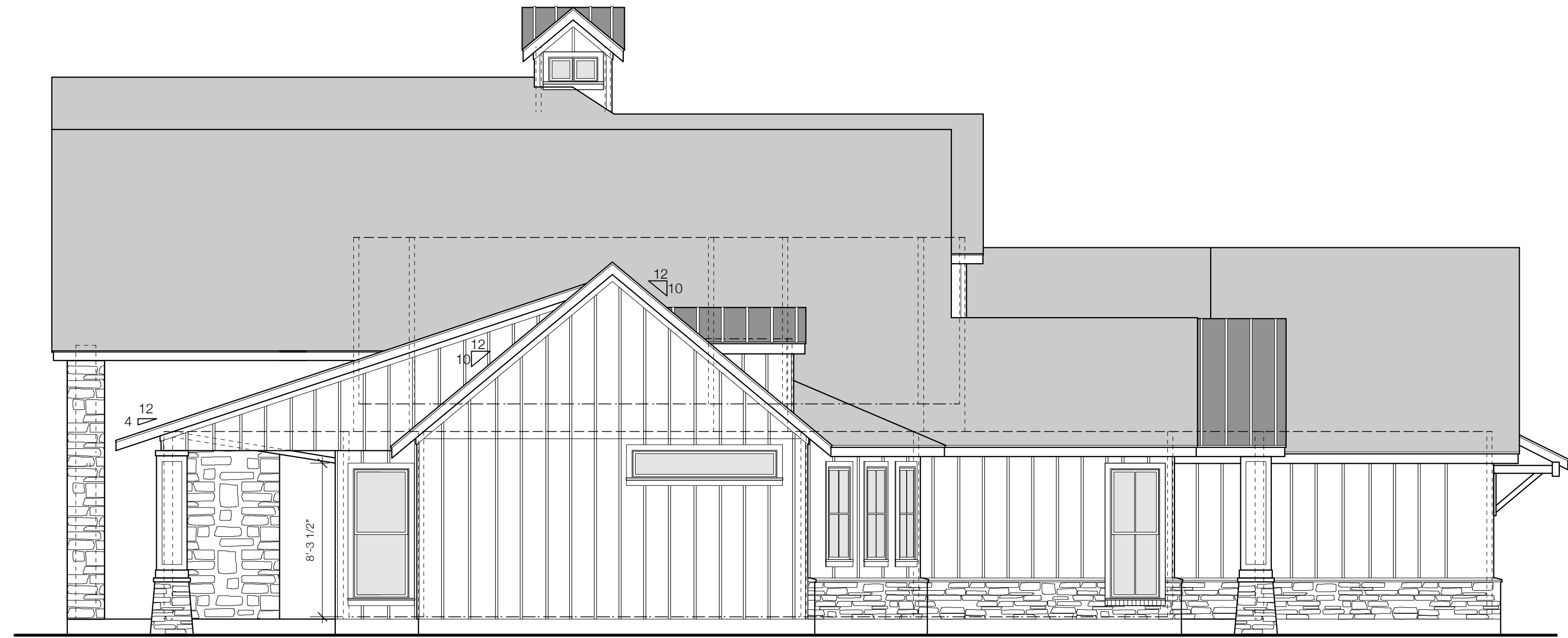
WURSTER MICHAEL AND JENNIFER
550 E QUAIL RUN RD
ROCKWALL, TX 75087

YINGLING JOHN R
570 EAST QUAIL RUN RD
ROCKWALL, TX 75087

R & R HANCE INVESTMENTS LP
6946 SPERRY ST
DALLAS, TX 75214

GIDEON GROVE ADDITION 2 LTD
8214 WESTCHESTER DR SUITE 710
DALLAS, TX 75225

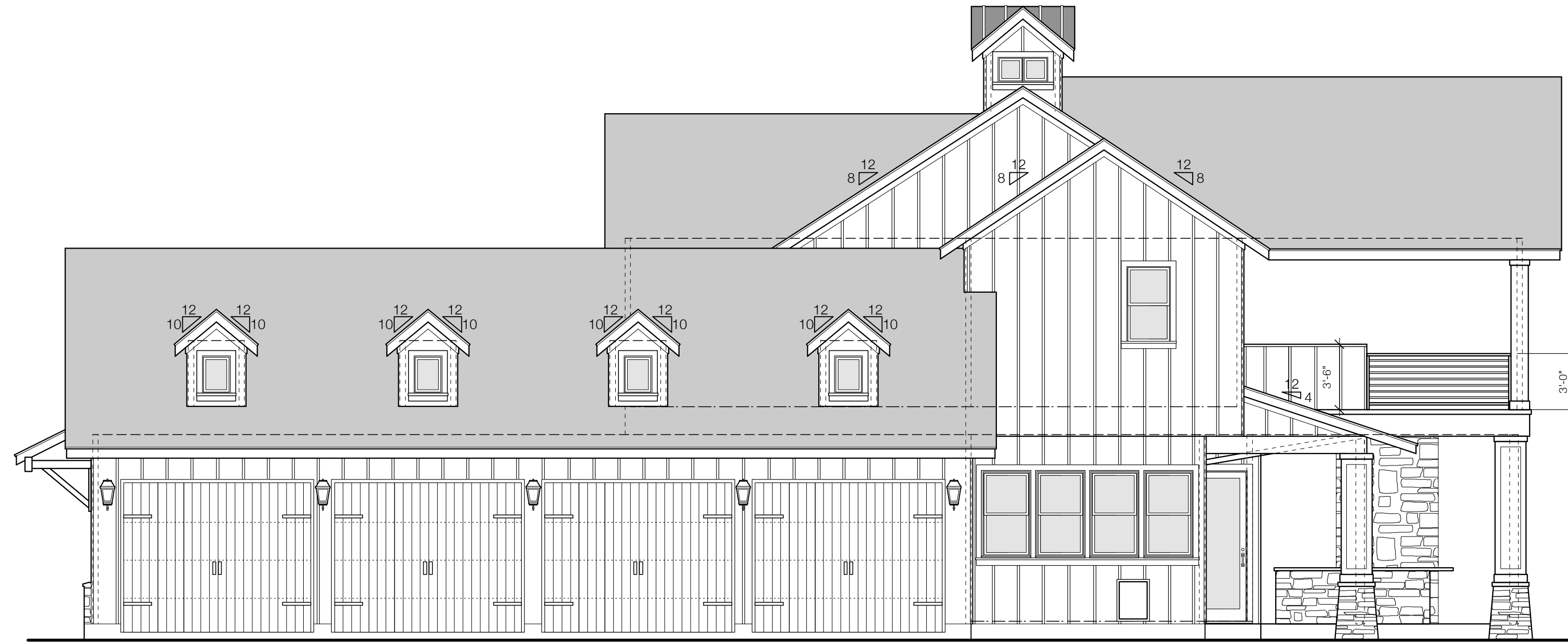




01
3.01 RESIDENCE EXTERIOR ELEVATION - LEFT
Scale: 3/16" = 1'-0"



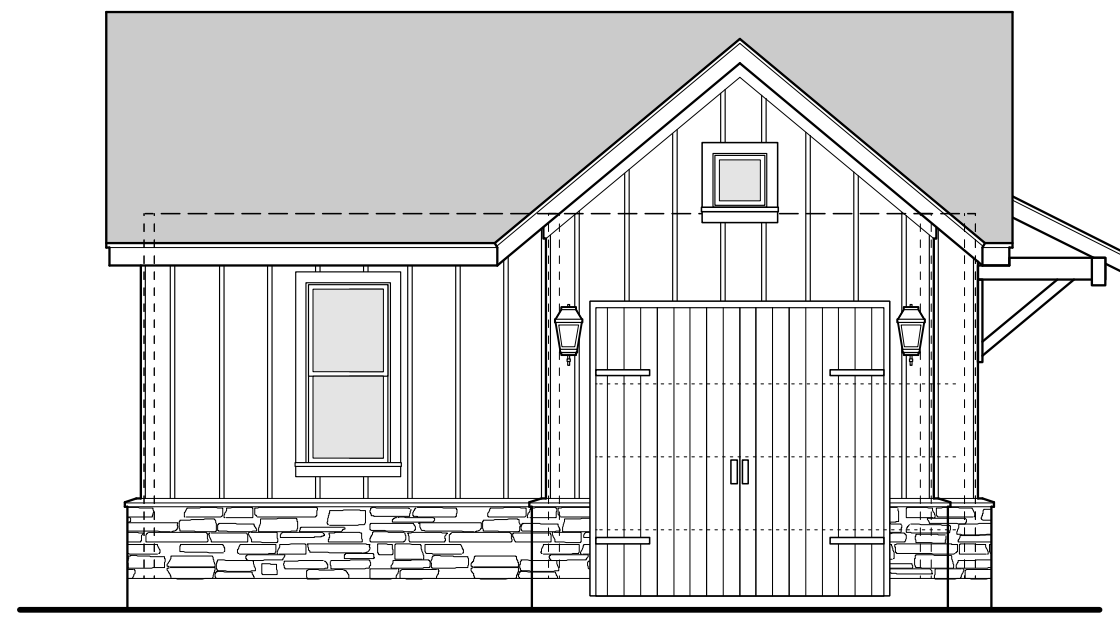
01
3.01 RESIDENCE EXTERIOR ELEVATION - FRONT
Scale: 3/16" = 1'-0"



01 RESIDENCE EXTERIOR ELEVATION - RIGHT
 3.01 Scale: 3/16" = 1'-0"



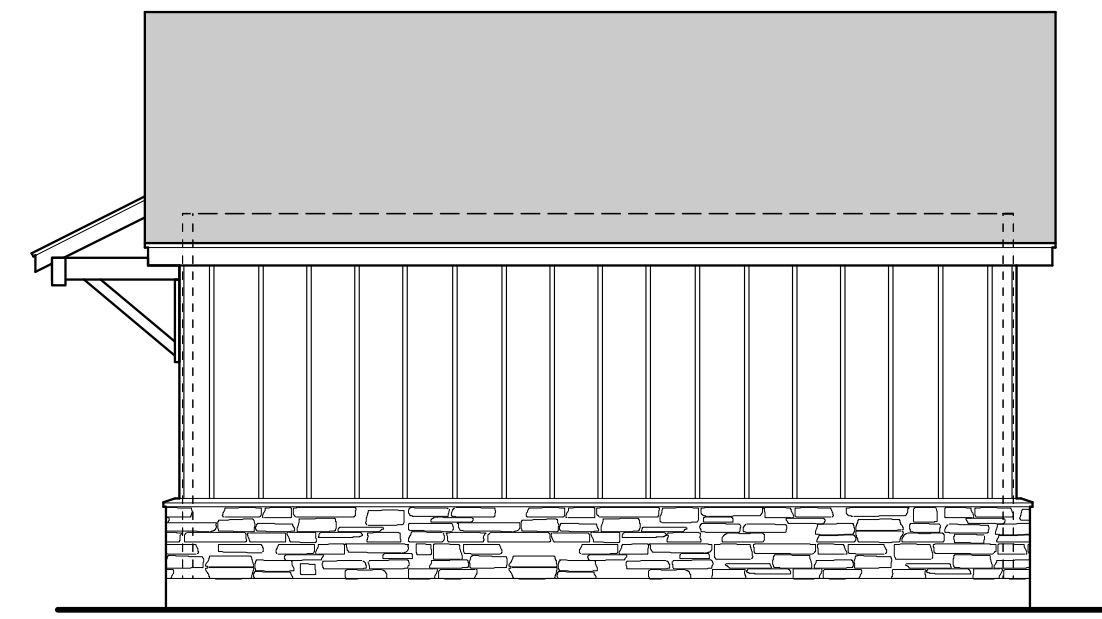
01 RESIDENCE EXTERIOR ELEVATION - REAR
 3.01 Scale: 3/16" = 1'-0"



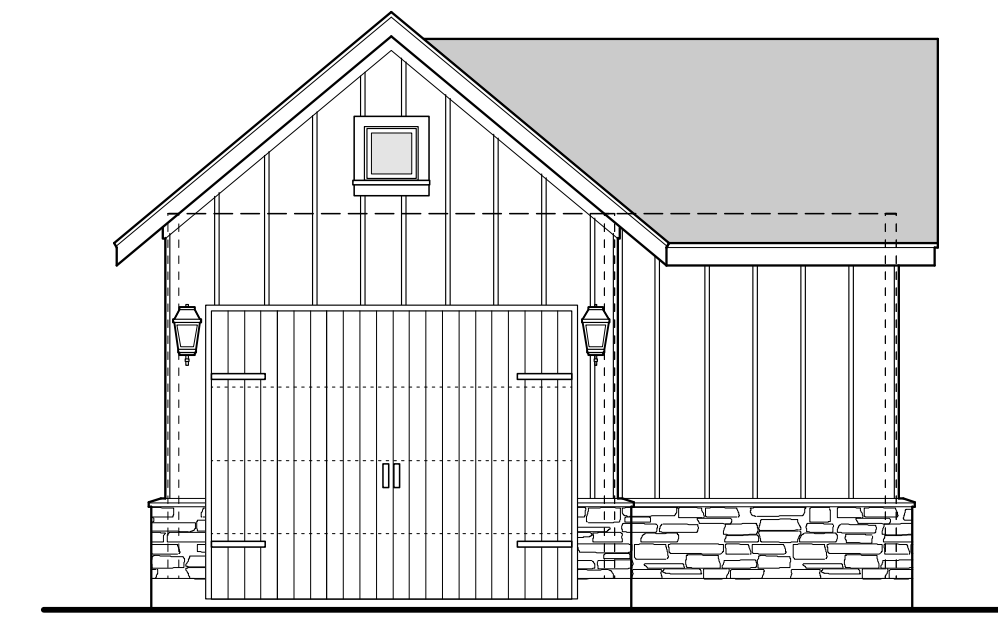
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
LEFT



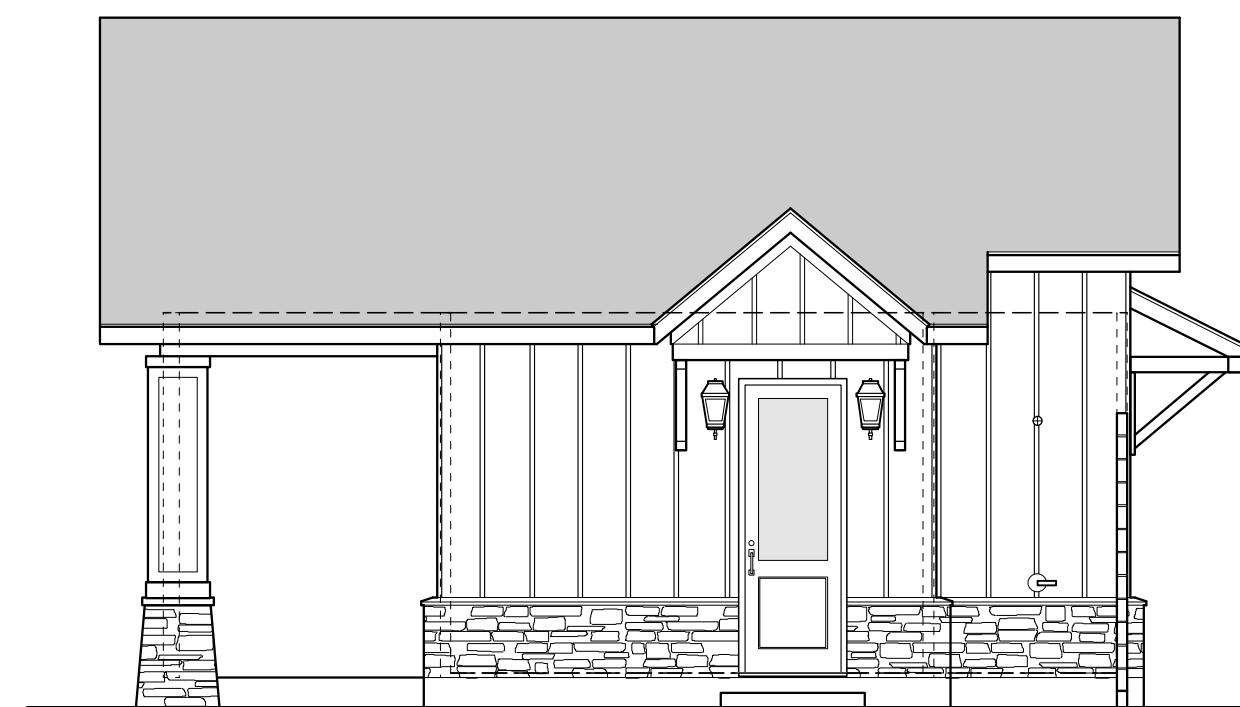
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
FRONT



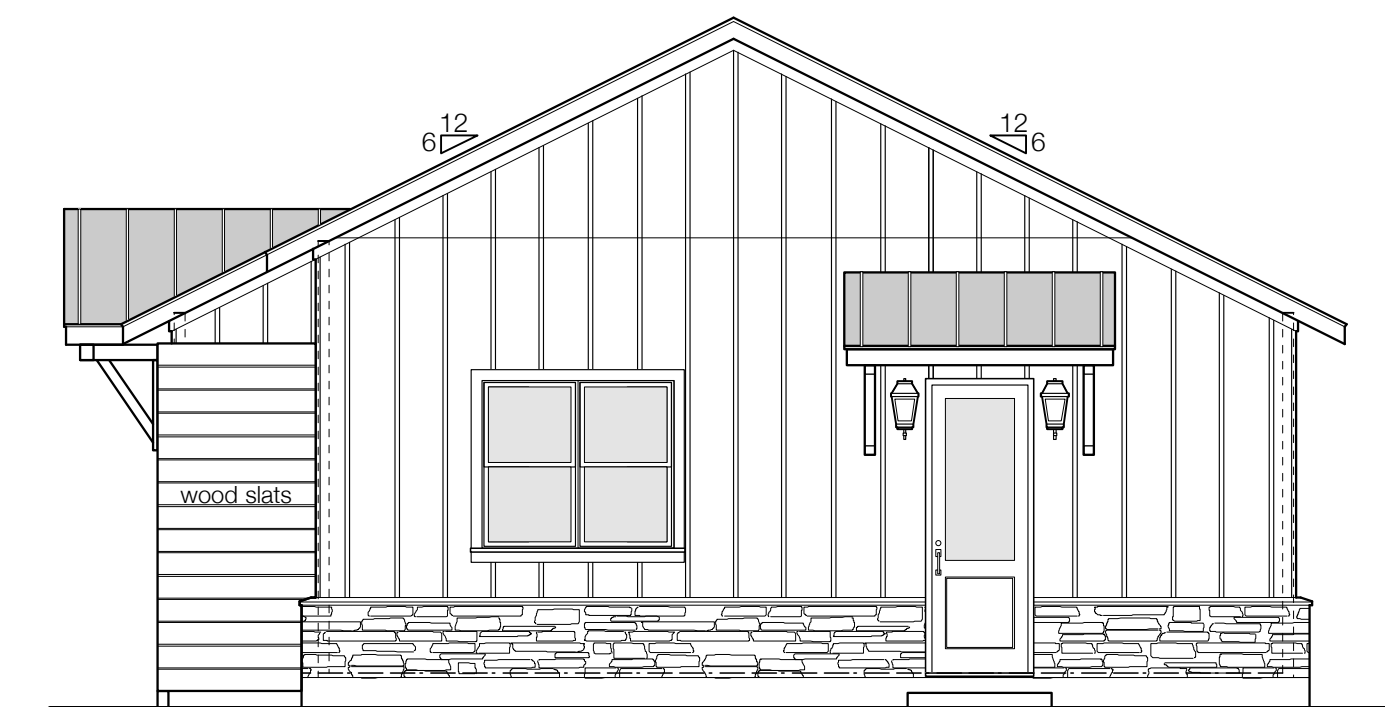
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
RIGHT



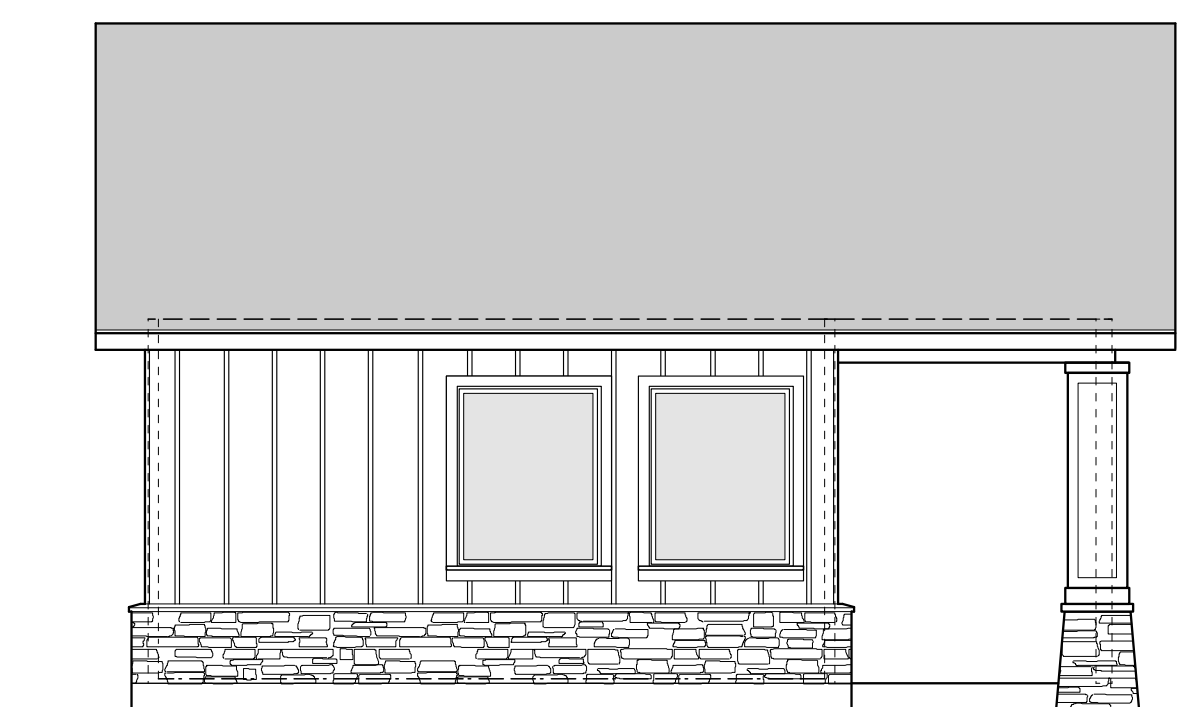
02
3.01 **DETACHED GARAGE ELEVATION**
Scale: 3/16" = 1'-0"
REAR



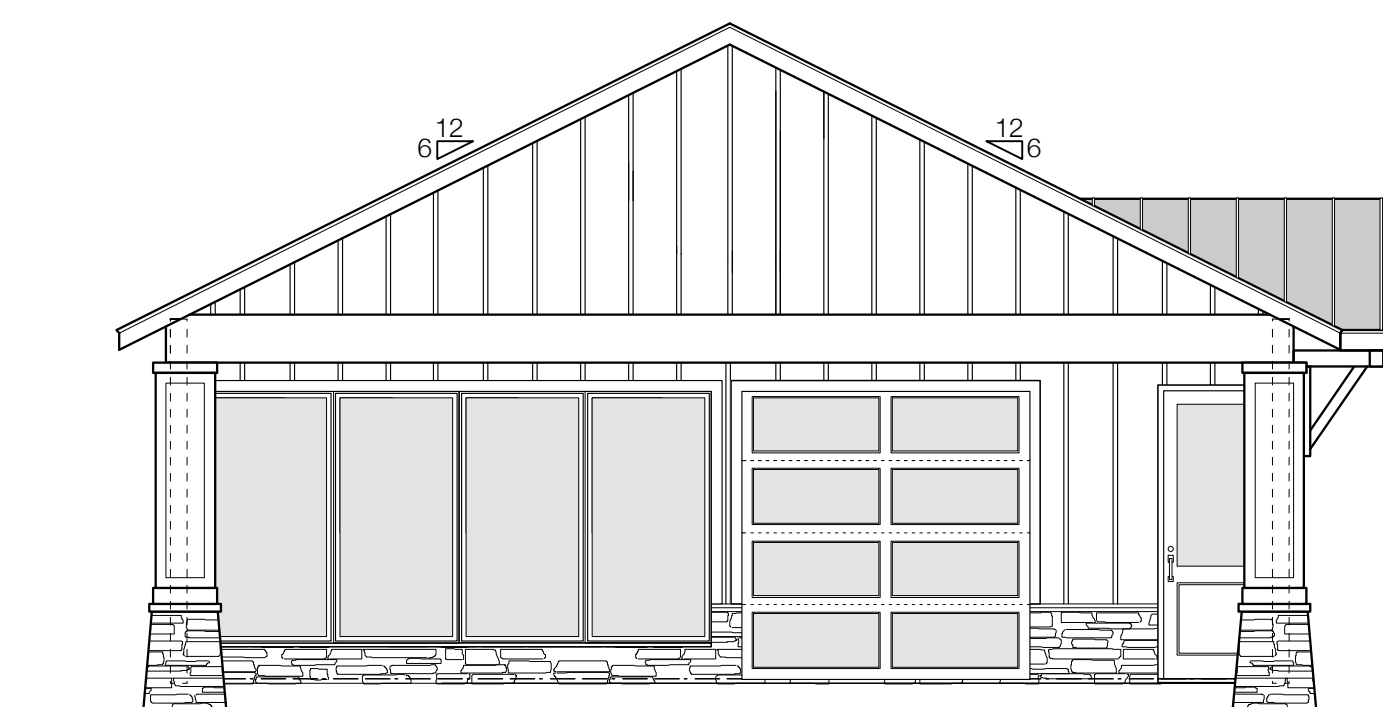
02
3.01 **CABANA EXTERIOR ELEVATION - LEFT**
Scale: 3/16" = 1'-0"



02
3.01 **CABANA EXTERIOR ELEVATION - FRONT**
Scale: 3/16" = 1'-0"

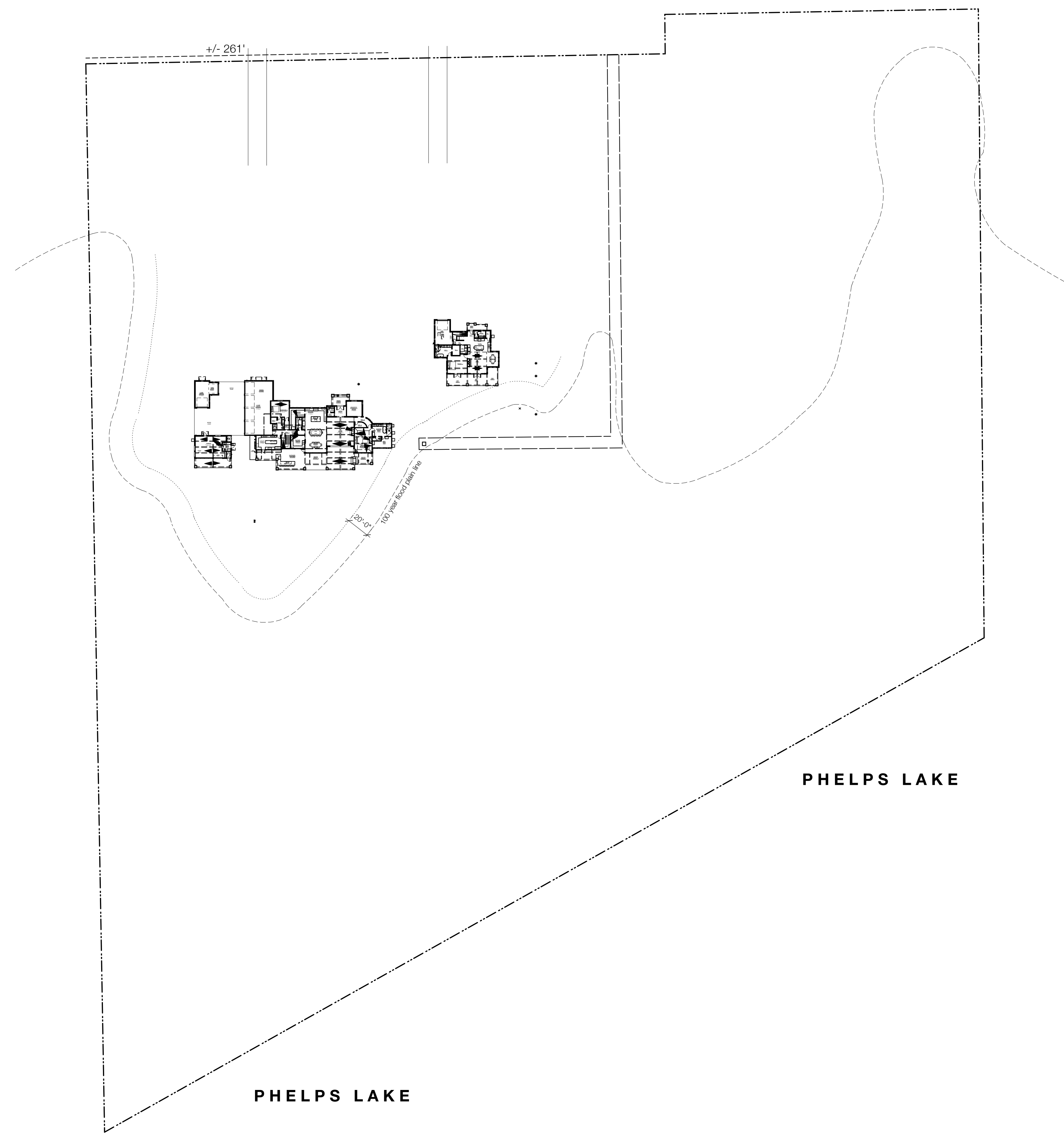


02
3.01 **CABANA EXTERIOR ELEVATION - RIGHT**
Scale: 3/16" = 1'-0"



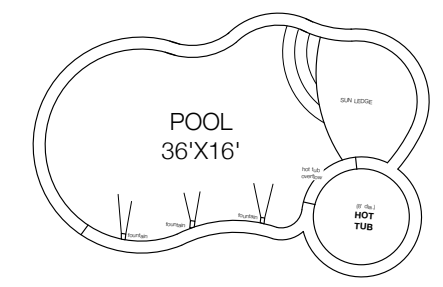
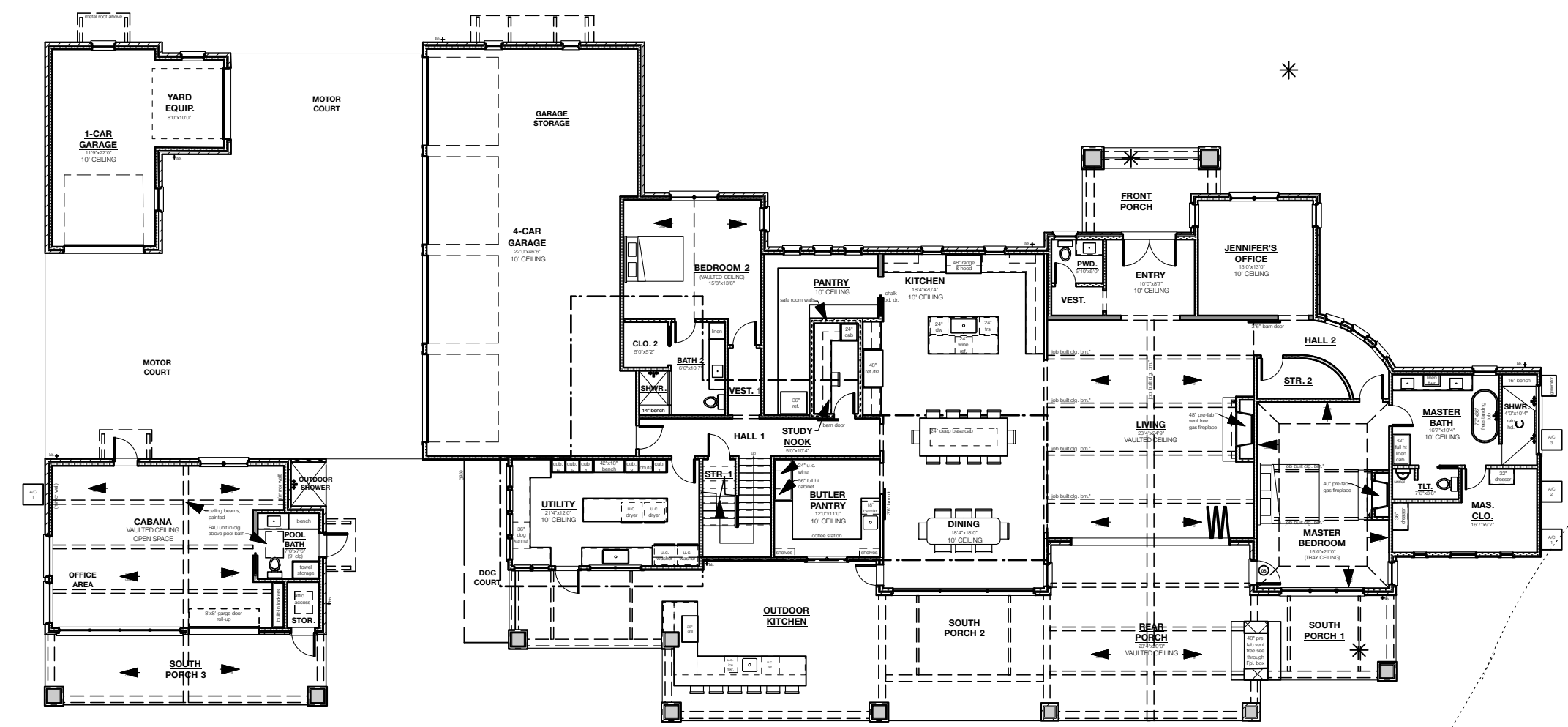
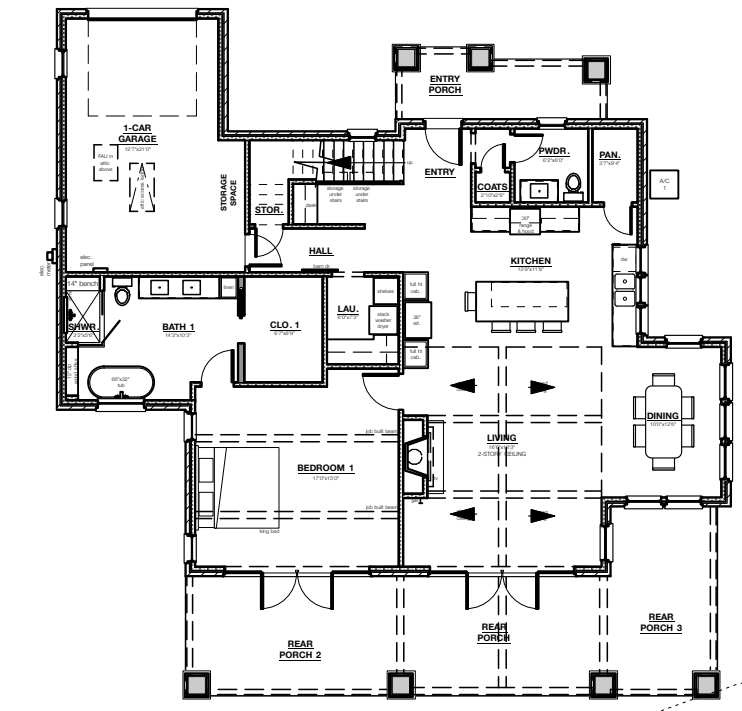
02
3.01 **CABANA EXTERIOR ELEVATION - REAR**
Scale: 3/16" = 1'-0"

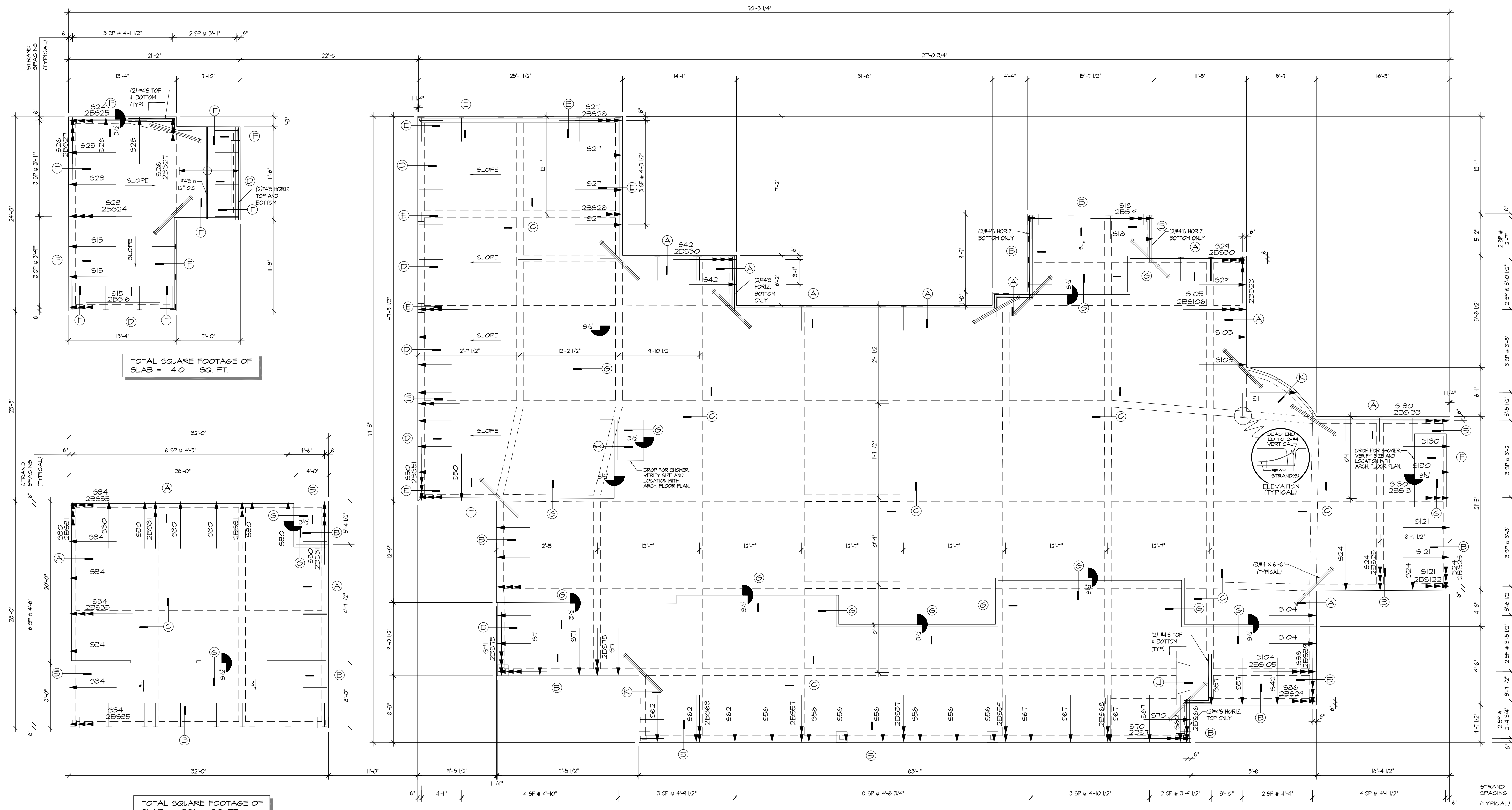
QUAIL RUN ROAD



PHELPS LAKE

PHELPS LAKE





TOTAL SQUARE FOOTAGE OF SLAB = 410 SQ. FT.

TOTAL SQUARE FOOTAGE OF SLAB = 646 SQ. FT.

TOTAL SQUARE FOOTAGE OF SLAB = 6665 SQ. FT.

CHEMICAL INJECTION TO A DEPTH OF 10 FEET AND COVER WITH A MINIMUM OF 8" OF SELECT FILL PER SPECIFICATIONS IN HOPPER GROUP REPORT NO. 20221

- DESIGN:**
- 4" THICK, 3000 PSI CONCRETE SLAB
 - ALL STRANDS 1/2" DIAMETER-270 K
 - ALL PERIMETER BEAMS SHALL BE 10" W X 26" D.
 - ALL INTERIOR BEAMS SHALL BE 10" W X 26" D.

- NOTES:**
- EXTERIOR BEAMS SHALL BE 12" MINIMUM INTO UNDISTURBED SOIL OR COMPACTED FILL.
 - IF FIRM ROCK IS ENCOUNTERED DURING TRENCHING FOR BEAMS, BEAM DEPTH MAY BE REDUCED. BEAMS NEED TO PENETRATE ROCK ONLY TO ACHIEVE A MINIMUM BEAM DEPTH OF 12" WITH A MINIMUM ROCK EMBEDMENT OF 2". BEAM WIDTH MAY BE REDUCED TO 8" IF MINIMUM PENETRATION OF ROCK IS ACHIEVED & VERIFIED.
 - THIS FOUNDATION DESIGN IS CONSIDERED INVALID UNLESS ACCOMPANIED BY A LETTER FROM CHILDRESS ENGINEERING SERVICES INC. AUTHORIZING ITS USE ON A SPECIFIC LOT AND BLOCK, OR ADDRESS.
 - PLANS CAN BE REVERSED ON LOT AT BUILDER'S DISCRETION.
 - PLANS ARE FOR STRAND AND BEAM PERMITS ONLY. SET FORMS AND LOCATE DROPS IN SLABS PER ARCHITECTURAL FLOOR PLAN.
 - IN CASE OF ANY DIMENSION DISCREPANCIES BETWEEN FOUNDATION AND ARCHITECTURAL PLANS, THEN THE ARCHITECTURAL PLANS SHALL CONTROL.
 - BUILDER TO VERIFY ALL DROPS IN SLAB PRIOR TO POURING CONCRETE. ANY DROPS THAT EXCEED 12" DEEP THAT WERE NOT ON THE ORIGINAL PLAN, THE ENGINEER MUST BE NOTIFIED AND THE PLANS MUST BE REVISED.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO POURING. IF ANY DIMENSION DISCREPANCIES OCCUR BETWEEN ENGINEERED SLAB AND ARCHITECTURAL PLANS, THE ARCHITECTURAL PLANS SHALL CONTROL.

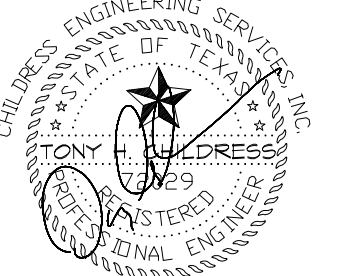
CONTRACTOR TO VERIFY ANY AND ALL SUBGRADE PREPARATION TO BE PERFORMED AS INDICATED IN THE GEOTECHNICAL REPORT FOR THIS PROJECT.

- MATERIAL**
- SLAB**
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH F_C = 3000 PSY AT 28 DAYS.
 - AT TIME OF STRESSING, F_C SHALL BE AT LEAST 2500 PSI.
 - PRE-STRESSING AT 24 HOURS (RECOMMENDED TO PREVENT SURFACE CRACKING).
 - THE SLAB SHOULD BE STRESSED WITHIN 7-10 DAYS OF POUR.
 - ALL REINFORCING STEEL SHALL BE NEW BULLET STEEL CONFORMING TO A.S.T.M. A-615 GRADE 60.
 - TENSIONING**
 - ALL PRE-STRESSING STEEL SHALL BE 1/2" DIAMETER, 270 KSI SEVEN WIRE LOW-RELAXATION STRAND MANUFACTURED IN ACCORDANCE WITH ASTM A-416 FREE FROM CORROSION AND COATED WITH A CORROSION PROTECTIVE COATING (GREASE) AND SHALL BE SHEATHED IN A HIGH DENSITY POLYETHYLENE OR POLYPROPYLENE MINIMUM SHEATHING THICKNESS SHALL BE 0.025".
 - TENDONS SHALL BE ANCHORED @ 28.9 KIPS. IF THE STRANDS ARE DAMAGED THEY ARE TO BE REPAIRED PER PTI RECOMMENDATIONS. ANCHORAGE MUST CONFORM TO PTI SPECIFICATION.
 - ALL TENDONS SHALL BE STRESSED TO 80% GUTS AND ANCHORED AT 70% GUTS AS PER ACI.
 - ADMIXTURES**
 - ADMIXTURES AND AIR ENTRAINMENT IS PERMITTED AND MUST BE NOTED ON MIX DESIGNS.
 - ADMIXTURES, IF USED, SHOULD IMPART THE PROPERTIES OF LOW WATER CONTENT, GOOD PLACABILITY, MINIMUM BLEED AND EXPANSION IF DESIRED. ITS FORMULATION SHOULD CONTAIN NO CHEMICALS THAT MAY HAVE HARMFUL EFFECTS ON THE PRE-STRESSING STEEL OR CEMENT.
 - ADMIXTURES CONTAINING CHLORIDES, FLUORIDES, SULPHATES AND NITRATES ARE NOT PERMITTED.

- DESIGN**
- TENSIONING**
 - THE POST-TENSIONED DESIGN OF THIS FOUNDATION STRUCTURE HAS BEEN EVALUATED USING THE LATEST RECOMMENDATIONS AS SET FORTH BY THE POST-TENSIONING INSTITUTE IN THEIR PUBLICATION DESIGN AND CONSTRUCTION OF POST-TENSIONED SLAB ON GROUND, THIRD EDITION, 2005 AND STANDARD ENGINEERING PRACTICES.
 - THE POST-TENSIONED SLAB-ON-GRADE DESIGN SHOWN REFLECTS THE MINIMUM REQUIREMENTS NEEDED TO ALLOW THIS STRUCTURAL SYSTEM TO ADEQUATELY PERFORM IN CONJUNCTION WITH THE SOIL PARAMETERS PROVIDED BY THE GEO-TECHNICAL ENGINEER. THE INTENT IS NOT TO ELIMINATE, BUT INSTEAD, TO LIMIT EXCESSIVE FOUNDATION FLEXURE SO THAT DIFFERENTIAL MOVEMENT WILL NOT CAUSE UNREASONABLE DISTRESS.

- MISCELLANEOUS**
- TENSIONING**
 - CONSTRUCTION JOINTS ARE NOT PERMITTED UNLESS SPECIFICALLY DETAILED ON PLANS.
 - SUFFICIENT SUPPORT BARS AND CHAIRS SHALL BE PROVIDED TO MAINTAIN PROPER STRAND PROFILE DURING CONCRETE PLACEMENT.
 - ALL CHAIRS MUST BE TIED TO ALL STRANDS AND REBAR. CHAIRS TO BE TIED AT ALL INTERSECTIONS AT 3'-0" MAXIMUM SPACING.
 - PROVIDE 1-1/2" CLEARANCE TO STRANDS AT ALL PLUMBING STRUCK, BLOCK-OUTS, ETC.
 - SAND**
 - A FOUR INCH (4") LAYER OF SAND SHALL BE PLACED UNDER ALL SLABS.
 - THERE MUST BE A 4-6 MIL POLY VAPOR BARRIER WITH LAP JOINTS ABOVE THE SAND.

The seal appearing on this document was authorized by Tony H. Childress, P.E. #72029 on 03/02/21 (Record copy on file)



F-7422
This document may not be changed in any fashion without permission from Tony H. Childress, P.E.

FOUNDATION PLAN

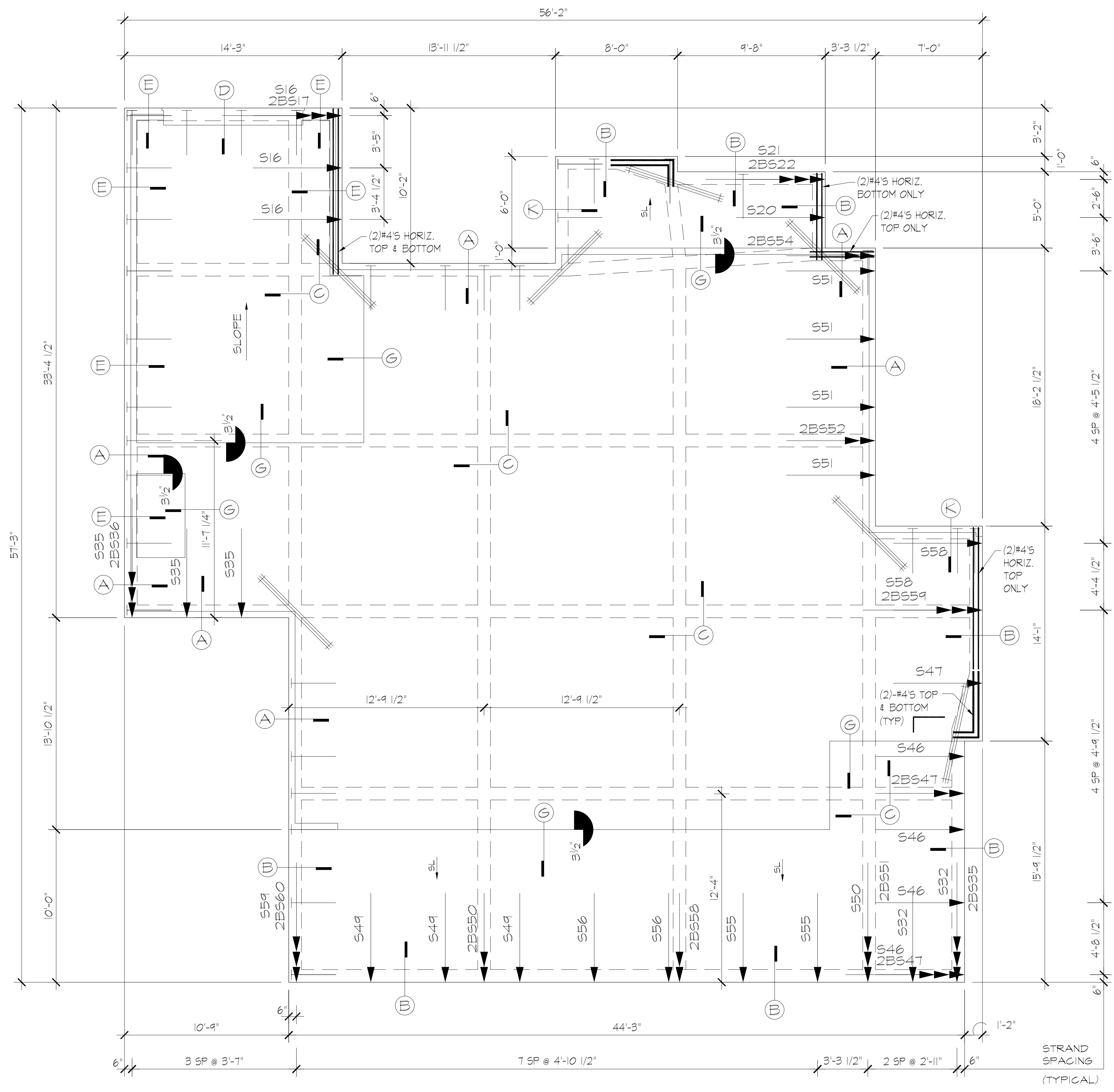
Childress Engineering Services
1701 North Collins Blvd
Suite 3000
Richardson, Texas 75080
Office: 214-451-6630
Fax: 214-451-6631
Inspections: 214-451-6632
CESGLOBAL.COM

REVISIONS	BY	DATE
1	IS	03/02/21
2	IS	03/02/21
3		
4		
5		
6		
7		
8		

BELLA VISTA COMPANY, L.P.
L L LEONARD
550 E. QUALL RUN ROAD ROCKWALL, TX
LOT: 1 BLOCK:
PLAN: CUSTOM

JOB NUMBER: 21-505268
DRAWN BY: IS
DATE: 03/02/21
SCALE: 1/8"=1'-0"

SHEET NUMBER:
S1



TOTAL SQUARE FOOTAGE OF SLAB = 2511 SQ. FT.

- DESIGN:**
- 4" THICK, 3000 PSI CONCRETE SLAB
 - ALL STRANDS 1/2" DIAMETER-270 K
 - ALL PERIMETER BEAMS SHALL BE 10" W X 26" D.
 - ALL INTERIOR BEAMS SHALL BE 10" W X 26" D.

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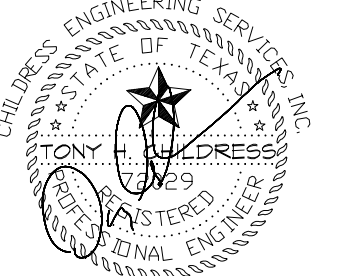
CONTRACTOR TO VERIFY ANY AND ALL SUBGRADE PREPARATION TO BE PERFORMED AS INDICATED IN THE GEOTECHNICAL REPORT FOR THIS PROJECT.

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- SLAB**
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 - AT TIME OF STRESSING, F'_{CI} SHALL BE AT LEAST 2500 PSI.
 - PRE-STRESSING AT 24 HOURS $F'_{CI}=1000$ PSI. (RECOMMENDED TO PREVENT SLAB A/C CRACKING.)
 - THE SLAB SHOULD BE STRESSED WITHIN 7-10 DAYS OF POUR.
 - ALL REINFORCING STEEL SHALL BE NEW BULLET STEEL CONFORMING TO A.S.T.M. A-615 GRADE 60.
 - TENSIONING**
 - ALL PRE-STRESSING STEEL SHALL BE 1/2" DIAMETER, 270 KSI SEVEN WIRE LOW-RELAXATION STRAND MANUFACTURED IN ACCORDANCE WITH ASTM A-416 FREE FROM CORROSION AND COATED WITH A CORROSION PROTECTIVE COATING (GREASE) AND SHALL BE SHEATHED IN A HIGH DENSITY POLYETHYLENE OR POLYPROPYLENE MINIMUM SHEATHING THICKNESS SHALL BE 0.002".
 - TENDONS SHALL BE ANCHORED @ 28.9 KIPS. IF THE STRANDS ARE DAMAGED THEY ARE TO BE REPAIRED PER P.T.I. RECOMMENDATIONS. ANCHORAGE MUST CONFORM TO P.T.I. SPECIFICATION.
 - ALL TENDONS SHALL BE STRESSED TO 80% GUTS AND ANCHORED AT 70% GUTS AS PER A.C.I.
 - ADMIXTURES**
 - ADMIXTURES AND AIR ENTRAINMENT IS PERMITTED AND MUST BE NOTED ON MIX DESIGNS.
 - ADMIXTURES, IF USED, SHOULD IMPART THE PROPERTIES OF LOW WATER CONTENT, GOOD PLACABILITY, MINIMUM BLEED AND EXPANSION IF DESIRED. ITS FORMULATION SHOULD CONTAIN NO CHEMICALS THAT MAY HAVE HARMFUL EFFECTS ON THE PRE-STRESSING STEEL OR CEMENT.
 - ADMIXTURES CONTAINING CHLORIDES, FLUORIDES, SULPHATES AND NITRATES ARE NOT PERMITTED.

- DESIGN**
- TENSIONING**
 - THE POST-TENSIONED DESIGN OF THIS FOUNDATION STRUCTURE HAS BEEN EVALUATED USING THE LATEST RECOMMENDATIONS AS SET FORTH BY THE POST-TENSIONING INSTITUTE IN THEIR PUBLICATION DESIGN AND CONSTRUCTION OF POST-TENSIONED SLAB ON GROUND, THIRD EDITION, 2005 AND STANDARD ENGINEERING PRACTICES.
 - THE POST-TENSIONED SLAB-ON-GRADE DESIGN SHOWN REFLECTS THE MINIMUM REQUIREMENTS NEEDED TO ALLOW THIS STRUCTURAL SYSTEM TO ADEQUATELY PERFORM IN CONJUNCTION WITH THE SOIL PARAMETERS PROVIDED BY THE GEO-TECHNICAL ENGINEER. THE INTENT IS NOT TO ELIMINATE, BUT INSTEAD, TO LIMIT EXCESSIVE FOUNDATION FLEXURE SO THAT DIFFERENTIAL MOVEMENT WILL NOT CAUSE UNREASONABLE DISTRESS.

- MISCELLANEOUS**
- TENSIONING**
 - CONSTRUCTION JOINTS ARE NOT PERMITTED UNLESS SPECIFICALLY DETAILED ON PLANS.
 - SUFFICIENT SUPPORT BARS AND CHAIRS SHALL BE PROVIDED TO MAINTAIN PROPER STRAND PROFILE DURING CONCRETE PLACEMENT.
 - ALL CHAIRS MUST BE TIED TO ALL STRANDS AND REBAR. CHAIRS TO BE TIED AT ALL INTERSECTIONS AT 3'-0" MAXIMUM SPACING. PROVIDE 1-1/2" CLEARANCE TO STRANDS AT ALL PLUMBING STUNDS, BLOCK-OUTS, ETC.
 - SAND**
 - A FOUR INCH (4") LAYER OF SAND SHALL BE PLACED UNDER ALL SLABS.
 - THERE MUST BE A 4-6 MIL POLY VAPOR BARRIER WITH LAP JOINTS ABOVE THE SAND.

The seal appearing on this document was authorized by Tony H. Childress, P.E. #72029 on 03/02/21 (Record copy on file)



F-7422
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Childress Engineering Services
1701 North Collins Blvd
Suite 3000
Richardson, Texas 75080
Office: 214-451-6630
Fax: 214-451-6631
Inspections: 214-451-6632
CESGLOBAL.COM

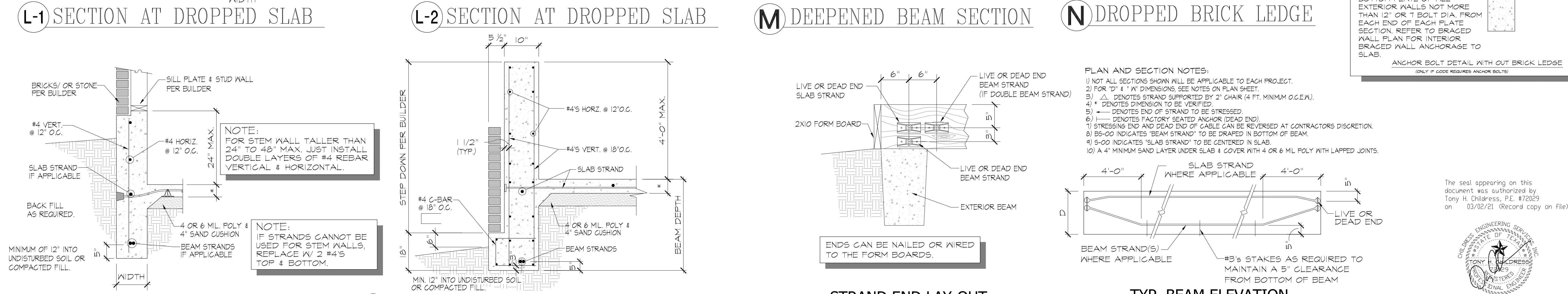
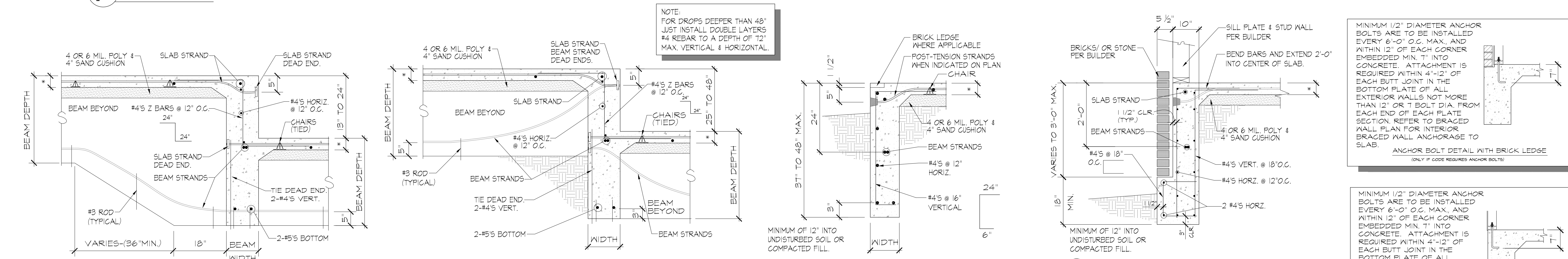
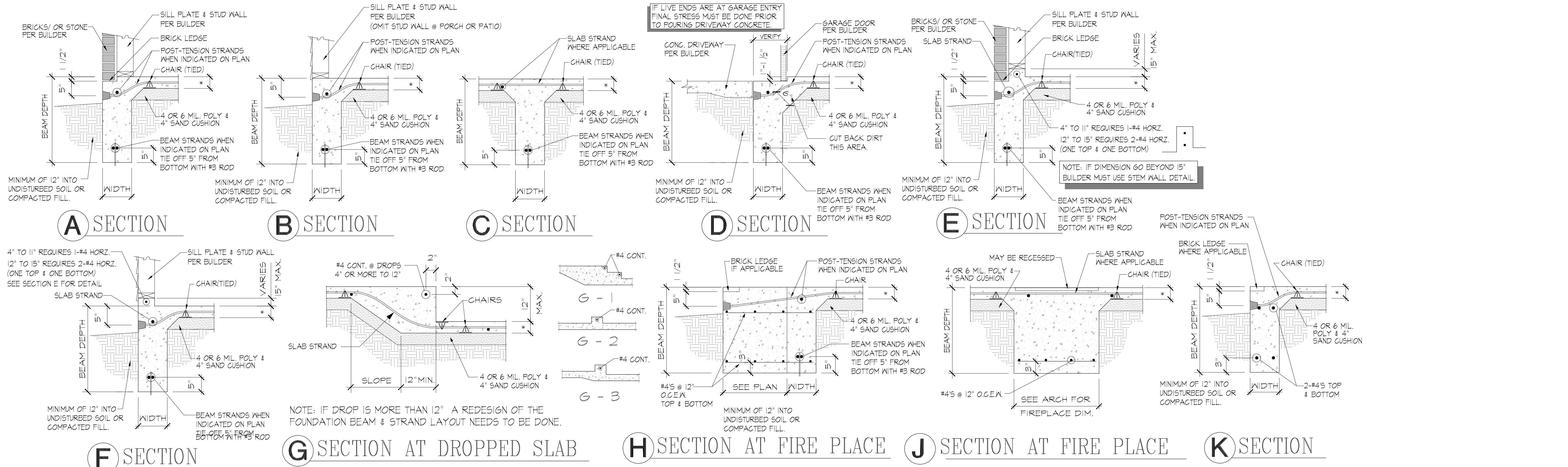
REVISIONS	BY	DATE
1. CORRECT DIMENSIONS	IS	03/02/21
2. CORRECT DIMENSIONS	IS	03/02/21
3.		
4.		
5.		
6.		
7.		
8.		

BELLA VISTA COMPANY, L.P.
L L LEONARD
550 E. QUALL RUN ROAD ROCKWALL, TX
LOT: 1 BLOCK: PLAN: CUSTOM

JOB NUMBER: 21-505268
DRAWN BY: IS
DATE: 03/02/21
SCALE: 1/8"=1'-0"

SHEET NUMBER:
S2

FOUNDATION PLAN



Childress Engineering Services
1701 North Collins Blvd
Suite 3000
Richardson, Texas 75080
Office: 214-451-6630
Fax: 214-451-6631
Inspections: 214-451-6632

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REVISIONS	DATE
1	IS 03/02/21
2	IS 03/02/21
3	
4	
5	
6	
7	
8	

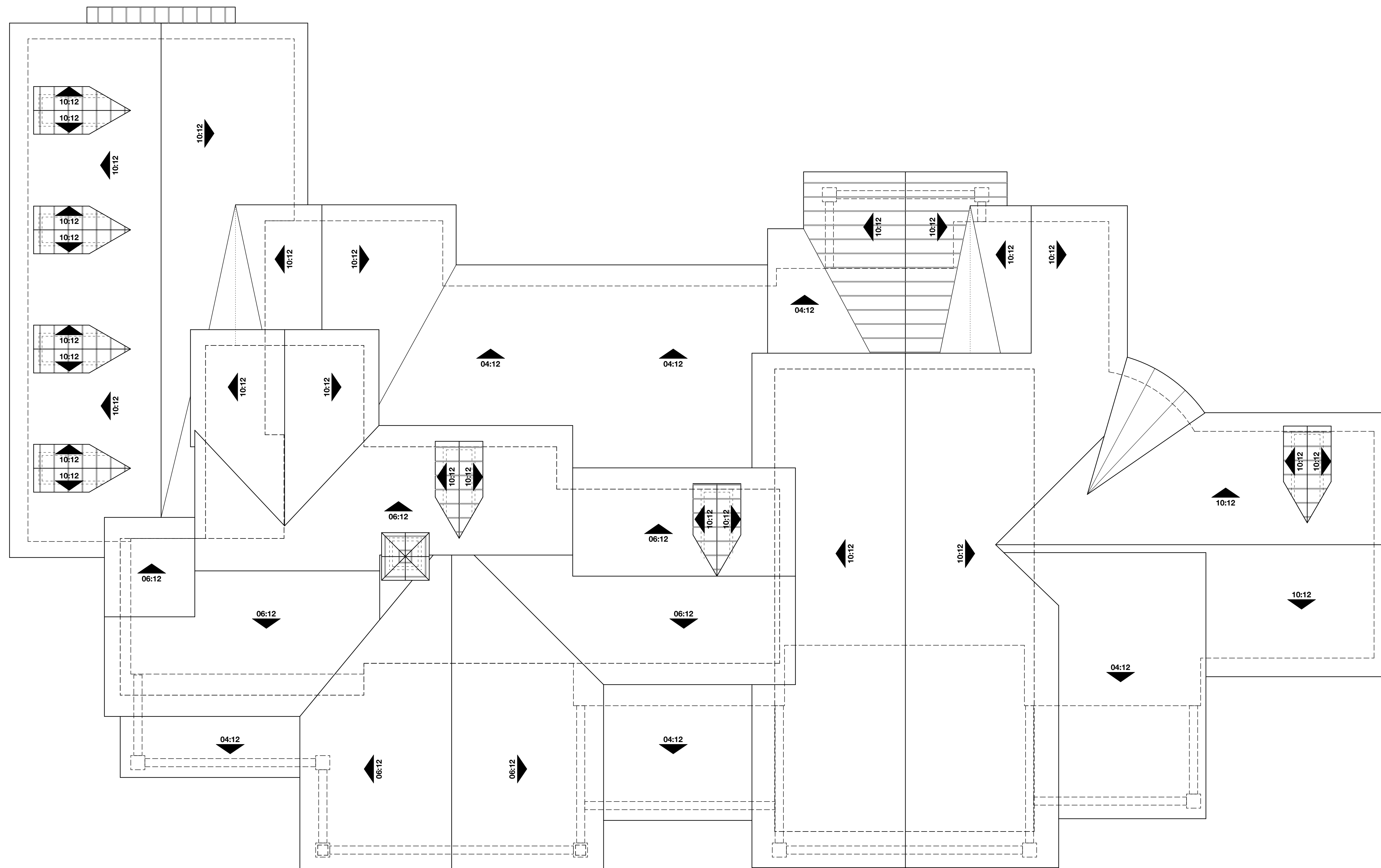
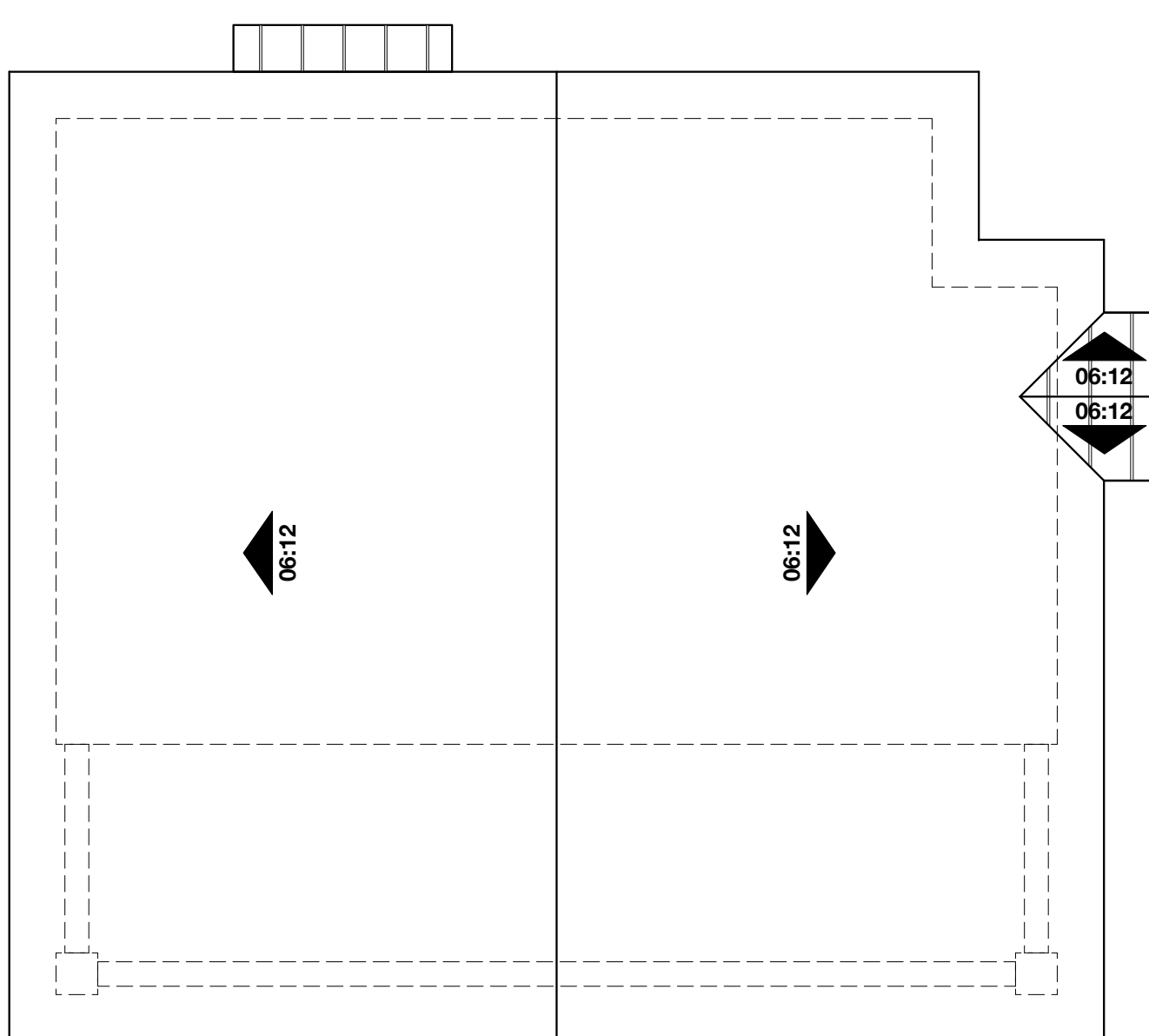
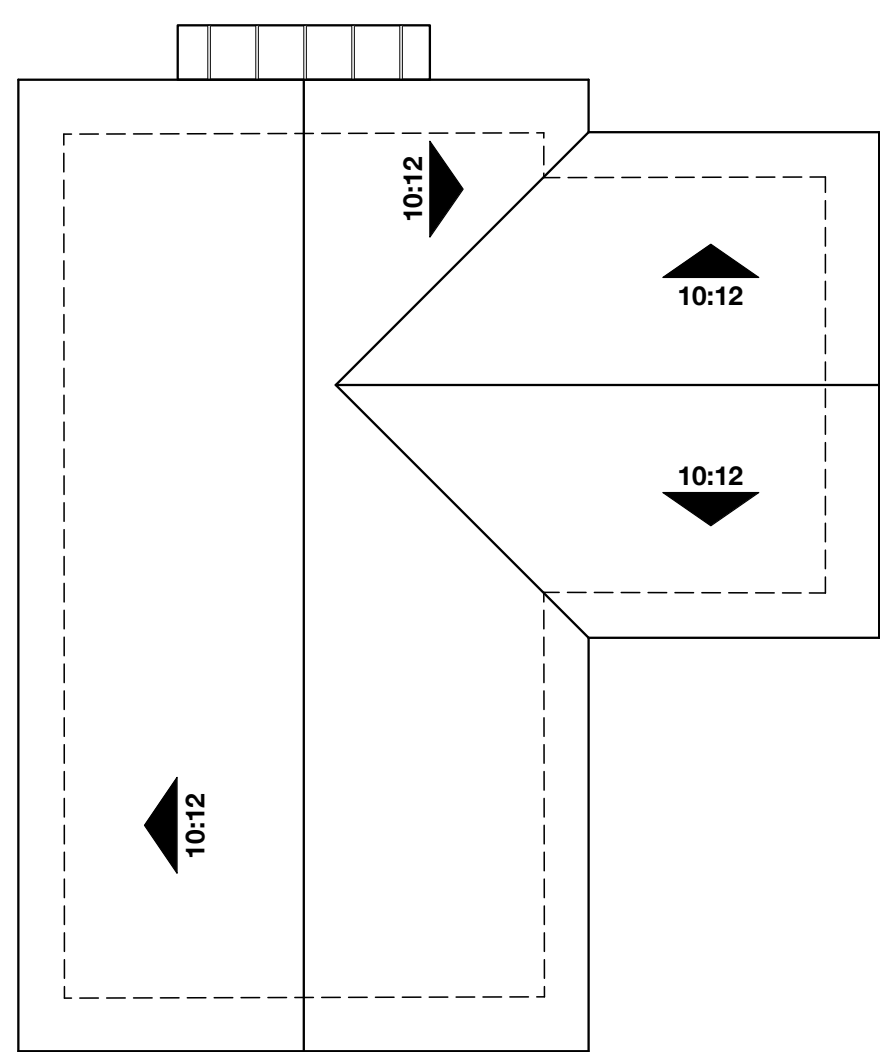
BELLA VISTA COMPANY, L.P.
L L LEONARD
550 E. QUALL RUN ROAD ROCKWALL, TX
LOT: 1 BLOCK: 1
PLAN: CUSTOM

JOB NUMBER: 21-505268
DRAWN BY: IS
DATE: 03/02/21
SCALE: NOT TO SCALE

SHEET NUMBER:
S2

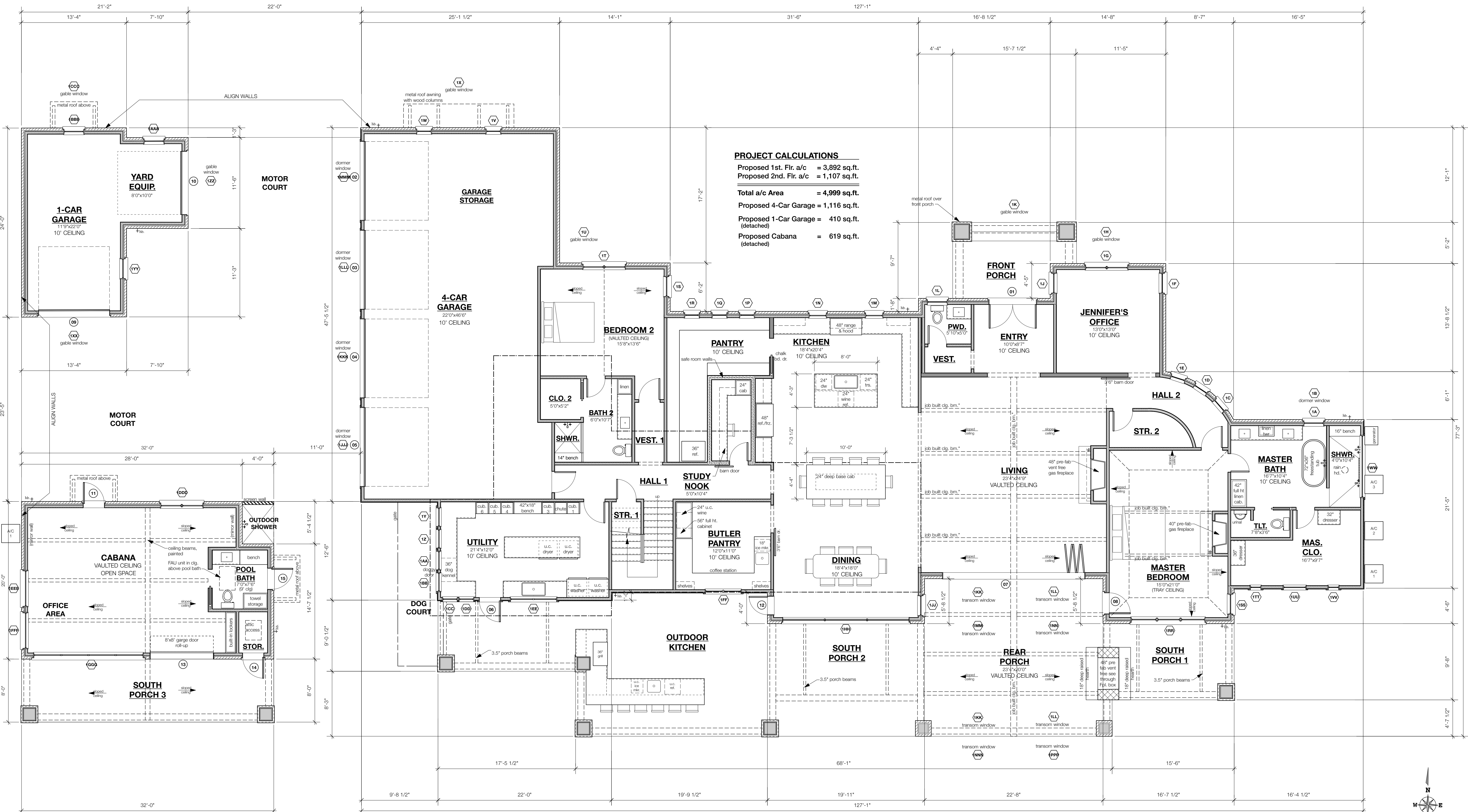
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CHILDRESS ENGINEERING SERVICES, INC.
STATE OF TEXAS
REGISTERED PROFESSIONAL ENGINEER
No. 10499
EXPIRES 03/02/24
F-7422
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ROOF PLAN

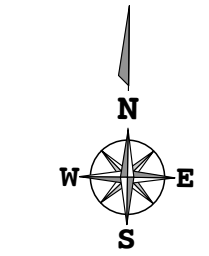
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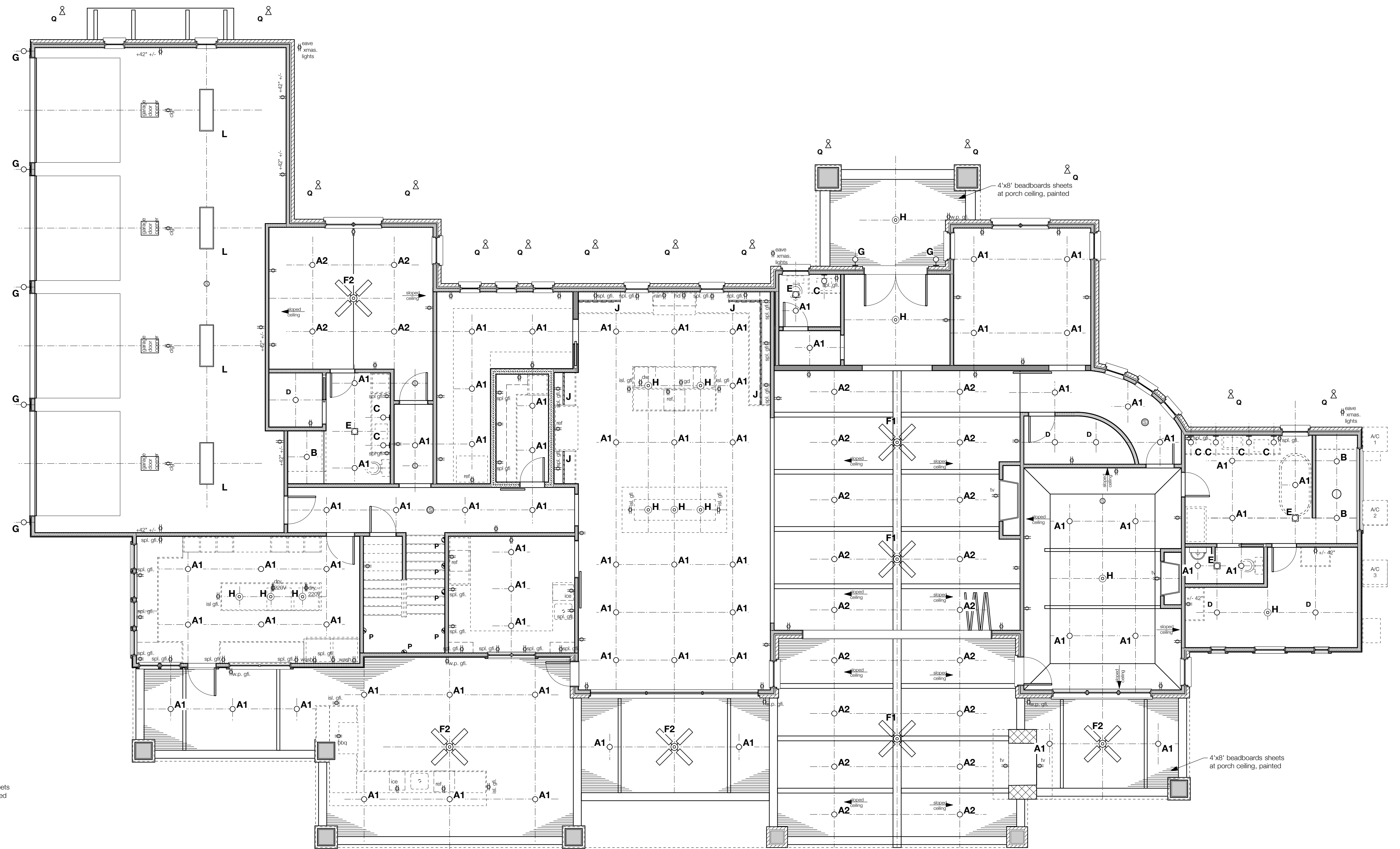
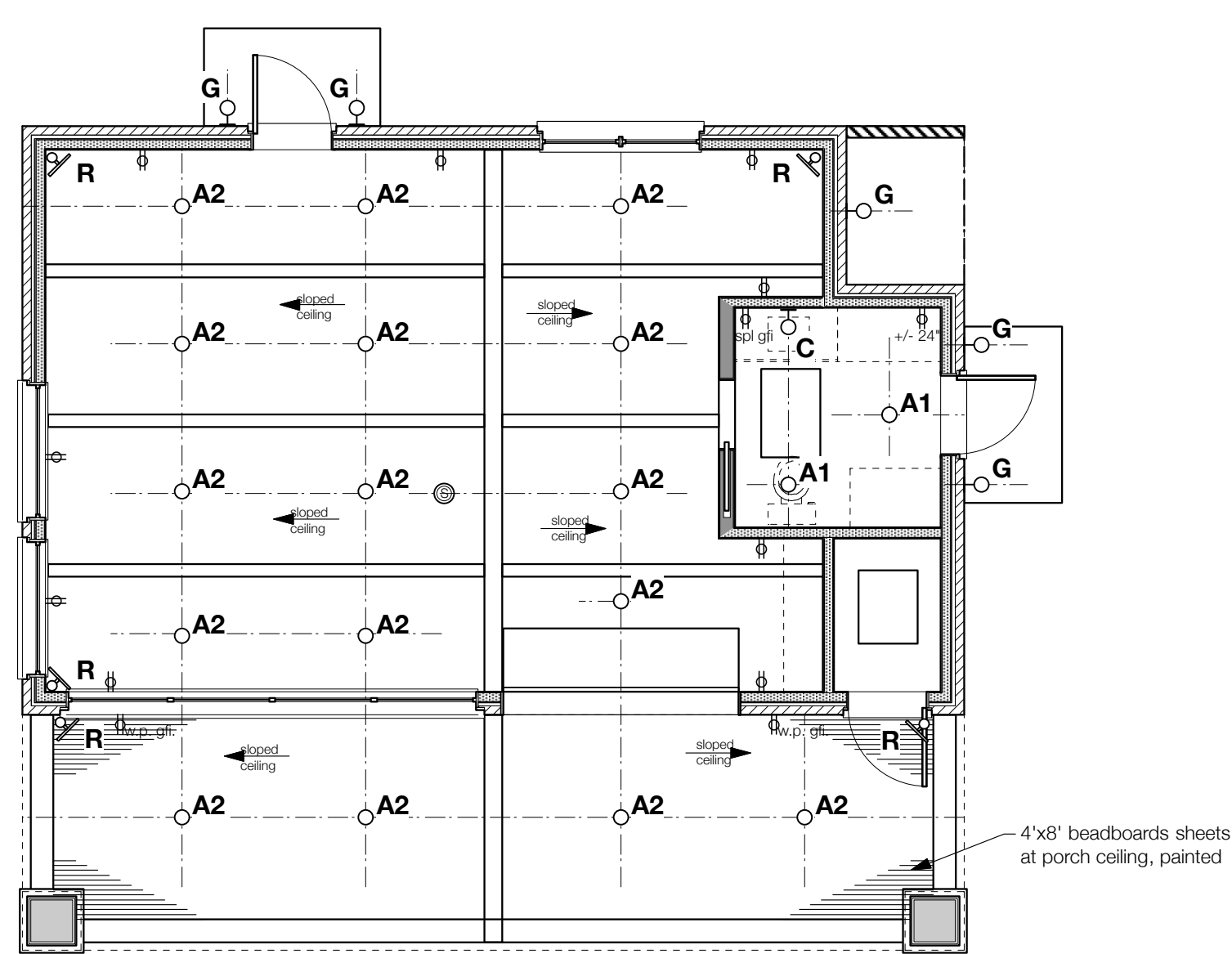
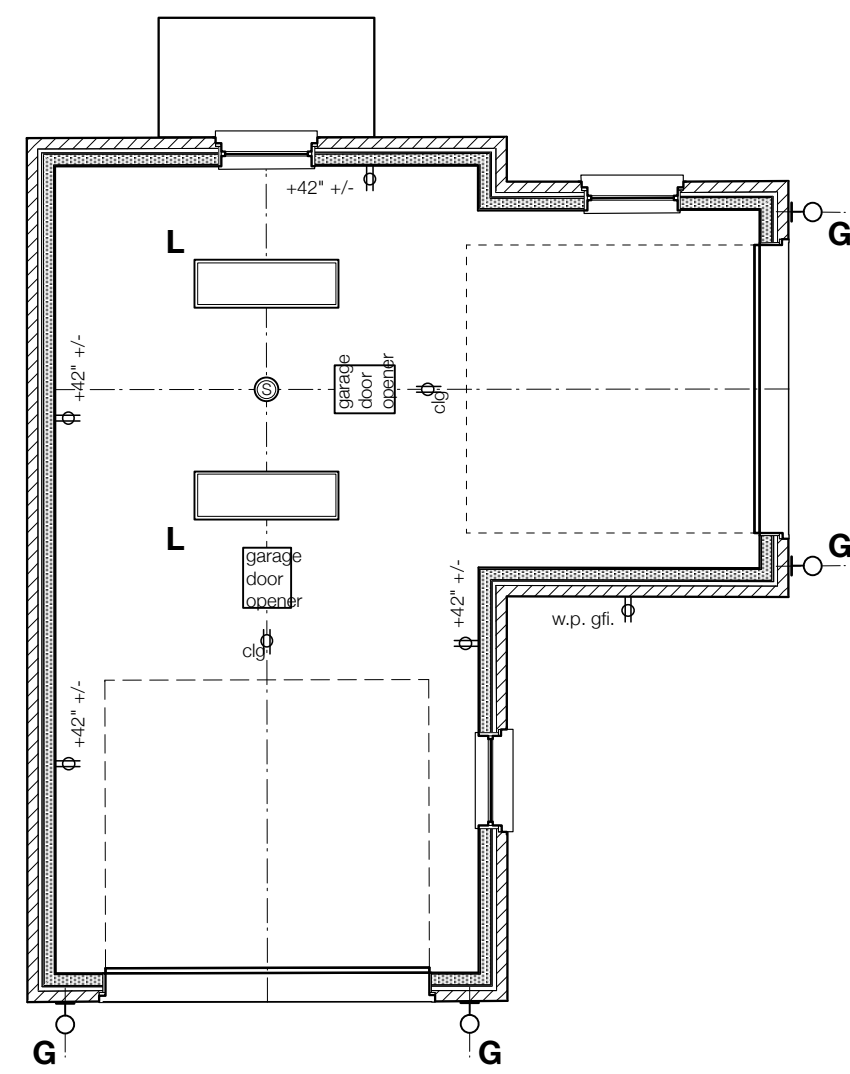


PROJECT CALCULATIONS

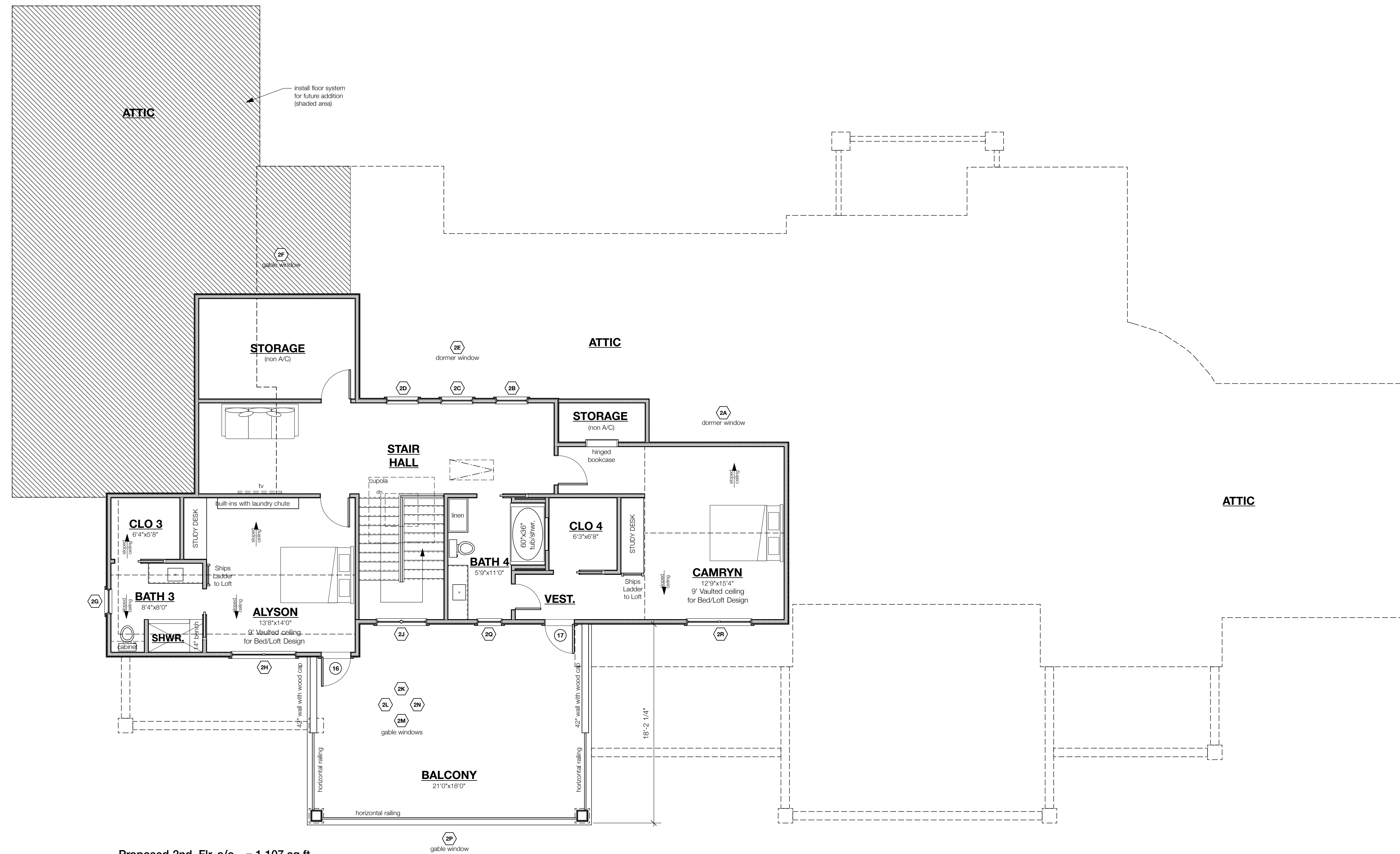
Proposed 1st. Flr. a/c = 3,892 sq.ft.
 Proposed 2nd. Flr. a/c = 1,107 sq.ft.
 Total a/c Area = 4,999 sq.ft.
 Proposed 4-Car Garage = 1,116 sq.ft.
 Proposed 1-Car Garage (detached) = 410 sq.ft.
 Proposed Cabana = 619 sq.ft. (detached)

01 PROPOSED FIRST FLOOR PLAN - MAIN HOUSE
 Scale: 3/16" = 1'-0"

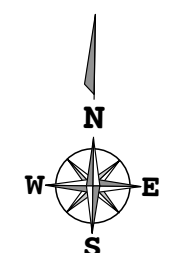




1st. FLOOR
POWER and
LIGHTING
PLAN



Proposed 2nd. Flr. a/c = 1,107 sq.ft.



SMOKE DETECTOR NOTE:
 Electrical contractor shall verify all bedrooms and the hallways immediately outside all bedrooms have a working smoke detector. Repair/install as required to meet current building code standards

CARBON MONOXIDE DETECTOR NOTE:
 An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.

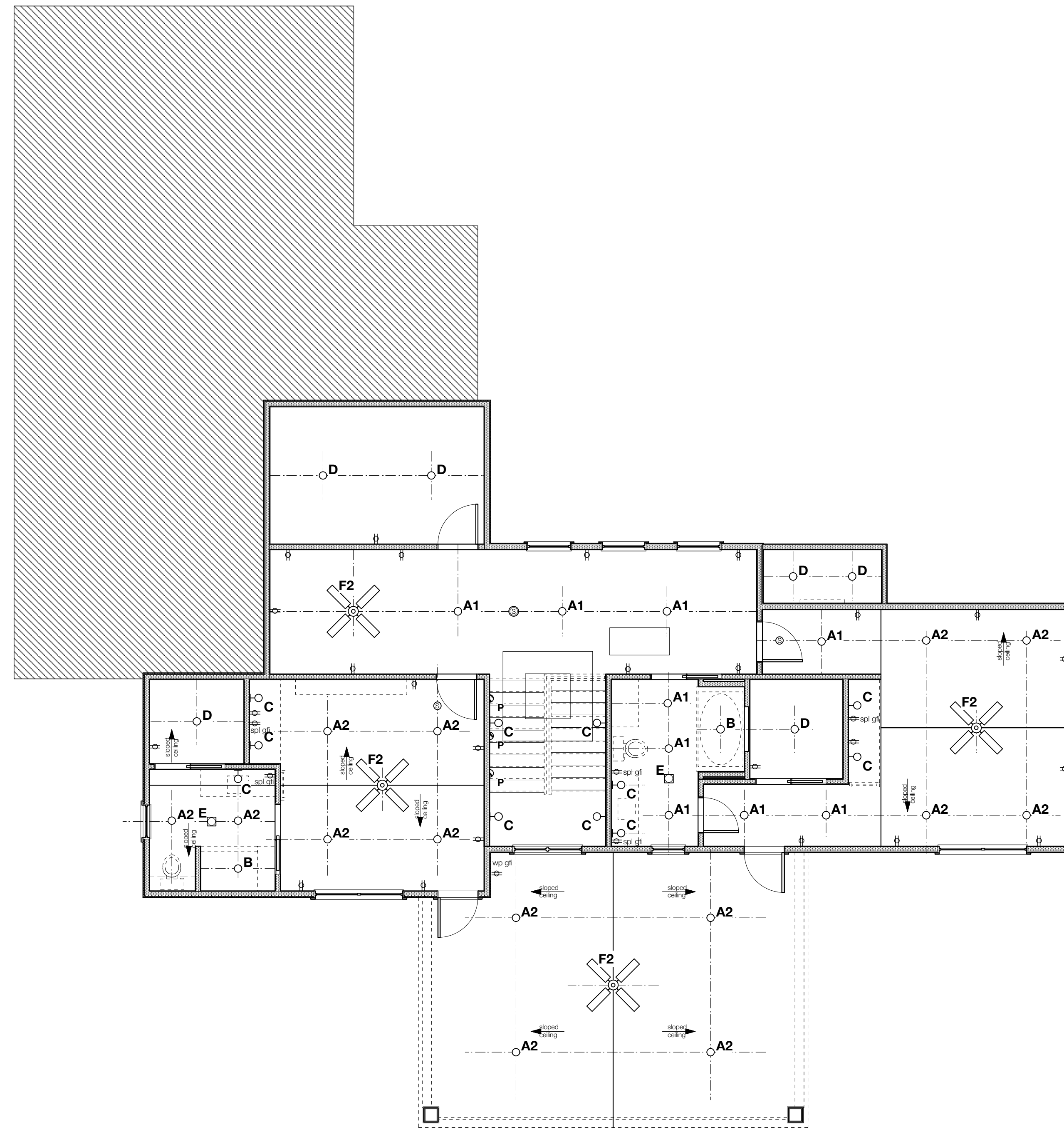
EXTERIOR LIGHT FIXTURE NOTE:
 Install fixture at mounting height indicated. Height shall be from finished floor. Notify Bella Vista if fixture cannot be placed as noted.

- all new electrical power outlets shall be installed in the exact locations to match the existing conditions within the room where new outlets are indicated unless noted otherwise on plan
- all electrical control devices (switches, dimmers, etc.) shall be installed in the exact locations to match the existing conditions within the room where new control devices are indicated unless noted otherwise on plan
- all switches shall match existing switches unless noted otherwise on plan
- dimmer switches, if provided, shall be preset type, verify exact requirements with Bella Vista
- all electrical control devices and power outlet colors shall match existing colors unless noted otherwise on plan, verify with the Bella Vista
- there shall be no alternatives to the fixtures or lamps specified here without prior, written approval from the Bella Vista
- verify existing power & lighting at each existing attic access, provide one G.F.I. convenience outlet, one switch and one single tube fluorescent light in the attic adjacent to each attic access if none exist
- verify existing power & lighting at each existing crawl space access, provide one G.F.I. convenience outlet, one switch and one single tube fluorescent light in the crawl space adjacent to each crawl space access if none exist
- the electrical subcontractor shall determine the exact service requirements (electrical & otherwise) for all appliances identified, or not identified, on this plan, verify appliance selections with Bella Vista
- the electrical subcontractor shall verify the exact location and mounting height for the Alarm control panel with Bella Vista prior to installation
- the electrical subcontractor shall verify the exact location and mounting height for the Thermostat control panel with Bella Vista prior to installation

03 POWER & LIGHTING NOTES
 2.03 Scale: 3/16" = 1'-0"

ID	TYPE	MODEL	LAMP	REMARKS
A1	recessed LED downlight	LED	verify	4" diameter
A2	recessed LED downlight	LED	verify	4" diameter, shallow housing to fit in 2x6 rafter, verify
B	recessed LED downlight-wet locations	LED	verify	4" diameter, encased lamp
C	featured interior wall mounted light	verify	verify	provided by owner installed by Bella Vista
D	ceiling mounted incandescent - closets	verify	encased lamp	provided by owner installed by Bella Vista
E	lavatory exhaust fan	NuTone or equal	verify model number 80 cfm, low sones	provided and installed by Bella Vista
F1	ceiling fan	verify	no light kit	provided by owner installed by Bella Vista
F2	ceiling fan & light	verify	with light kit	provided by owner installed by Bella Vista
G	featured exterior wall mounted light	verify	verify	provided by owner installed by Bella Vista
H	featured interior pendant light	verify	verify	provided by owner installed by Bella Vista
J	undercabinet fluorescent fixture	verify	single tube, verify	provided by owner installed by Bella Vista
K	featured ceiling mounted fixture	verify	verify	provided by owner installed by Bella Vista
L	ceiling mounted fluorescent utility light	verify	verify	provided and installed by Bella Vista
M	puck lighting	verify	verify	provided by owner installed by Bella Vista
N	save mounted security light fixture	verify	flood light, verify	provided by owner installed by Bella Vista motion sensor switching
P	recessed stair lighting	verify	verify	provided by owner installed by Bella Vista motion sensor switching
Q	exterior ground uplights	verify	verify	provided by owner installed by Bella Vista
R	wall mounted fan	verify	verify	provided by owner installed by Bella Vista

is : arc fault interrupted
 gs : ground fault interrupted
 spl : splash location, see notes
 ra : range
 uc : undercounter
 ☉ : smoke detector
 ☎ : tv cable/data jack
 ☎ : telephone jack
 ☎ : alarm keypad
 wp : waterproof outlet
 is : island location, see notes
 gd : garbage disposal
 hd : hood
 mx : microwave
 dy : dryer
 (x) : existing fixture relocated to this location
 is : island location, see notes
 (e) : existing fixture to remain
 ☉ : smoke & carbon monoxide detector
 ☎ : intercom pad
 ☎ : thermostat pad
 ⚡ : standard 115 v. outlet
 ⚡ : 220 v. outlet



2nd. FLOOR POWER AND LIGHTING PLAN

02 LIGHTING LEGEND
 2.03 Scale: 3/16" = 1'-0"

01 SECOND FLOOR POWER LIGHTING & CEILING PLAN
 2.04 Scale: 3/16" = 1'-0"

DRAWING ISSUE:
30, March 2021 :
 design review

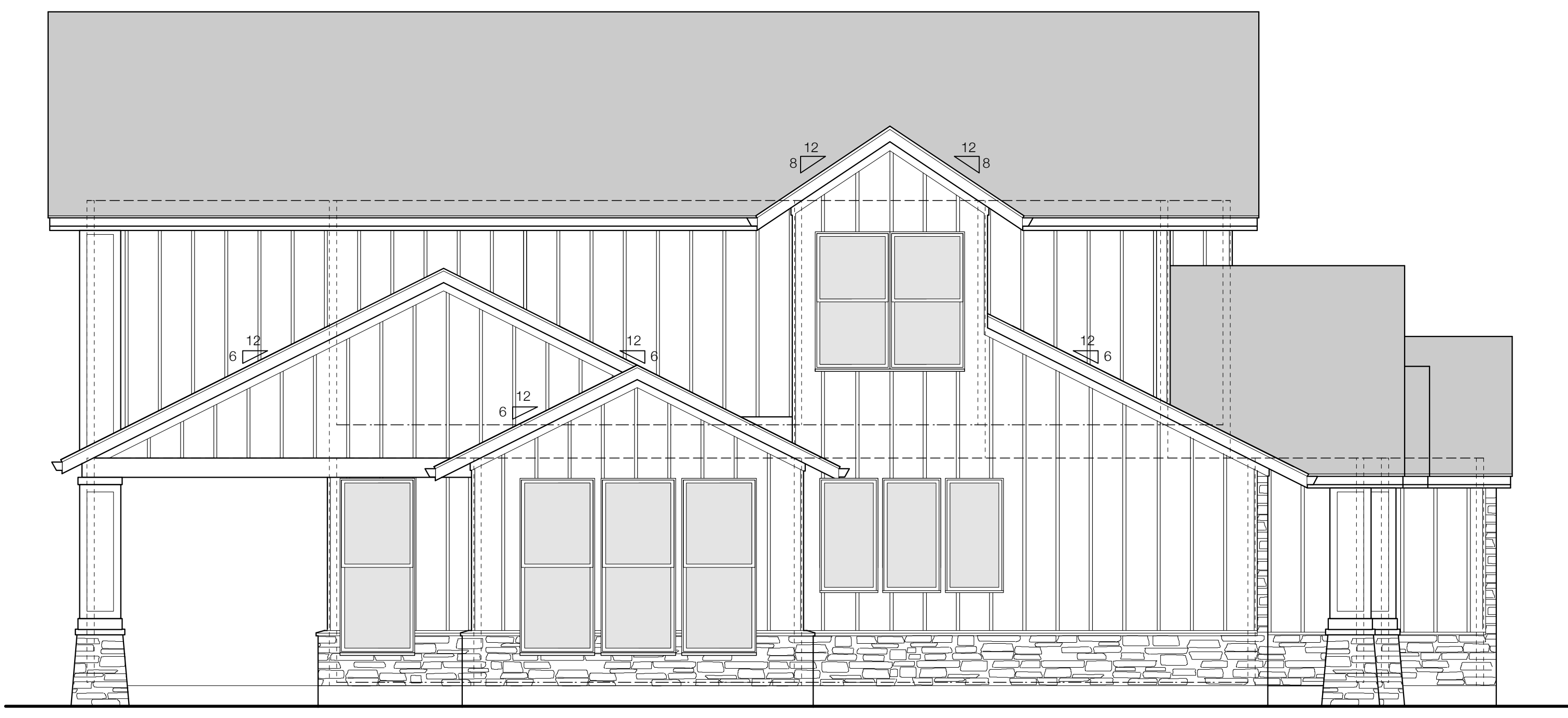
Signature Block
 Bella Vista Company Construction Services, L.P.
 By: Bella Vista Construction, LLC, its General Partner
 By: Darin Breedlove or Lance Tyler,
 its Managing Member

BELLAVISTA
 COMPANY

-- design drawings for a new residence --
WURSTER RESIDENCE
 550 E. QUAIL RUN ROAD
 Rockwall, Texas

EXTERIOR
 ELEVATIONS

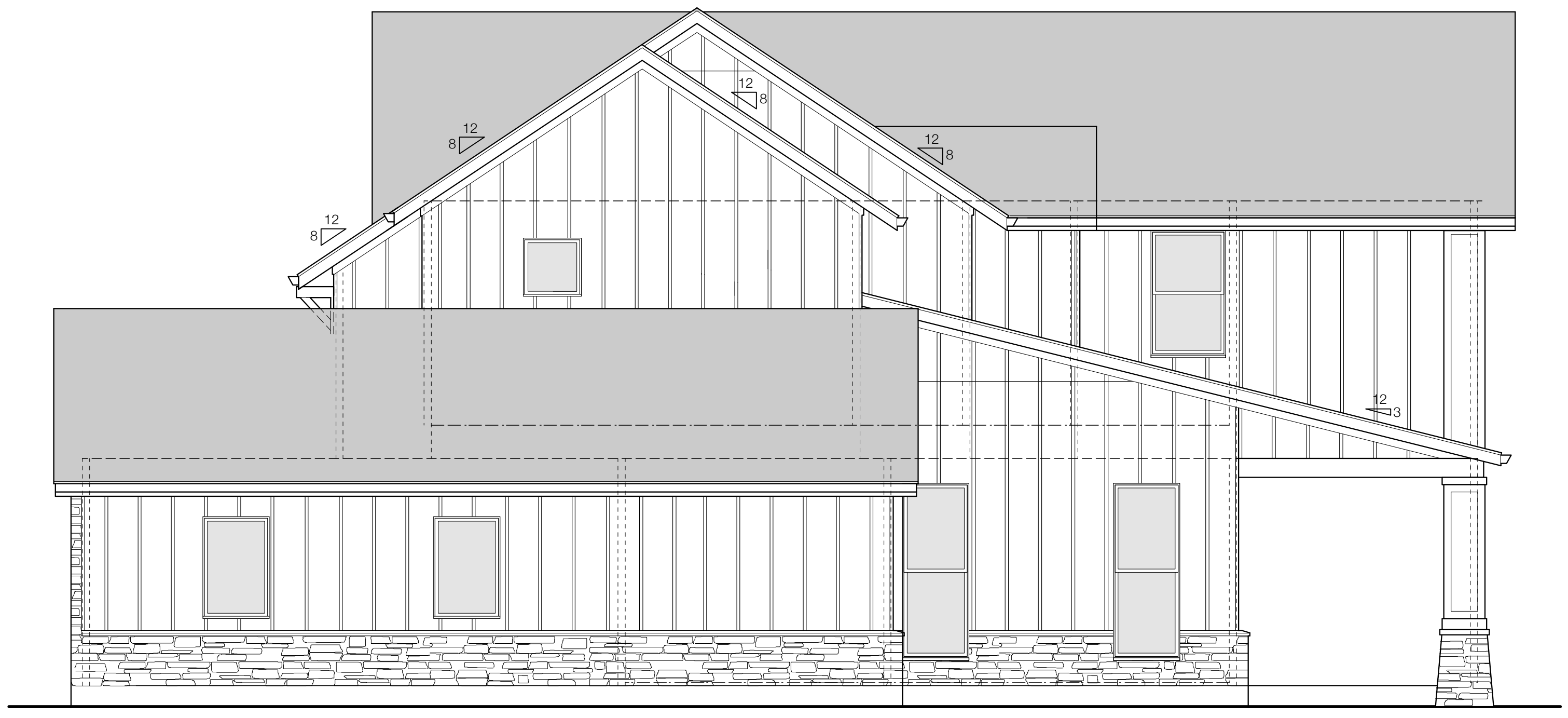
3.01



01
 3.01 GUEST HOUSE EXTERIOR ELEVATION - LEFT
 Scale: 1/4" = 1'-0"



01
 3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
 Scale: 1/4" = 1'-0"



01
 3.01 GUEST HOUSE EXTERIOR ELEVATION - RIGHT
 Scale: 1/4" = 1'-0"



01
 3.01 GUEST HOUSE EXTERIOR ELEVATION - REAR
 Scale: 1/4" = 1'-0"



01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

option 2



01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

option 1



01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

option 3



01
3.01 GUEST HOUSE EXTERIOR ELEVATION - FRONT
Scale: 1/4" = 1'-0"

option 4

DRAWING ISSUE:
31, March 2021 :
design review

Designed by:
Jennifer Wurster, Mike Wurster, Lance Tyler.

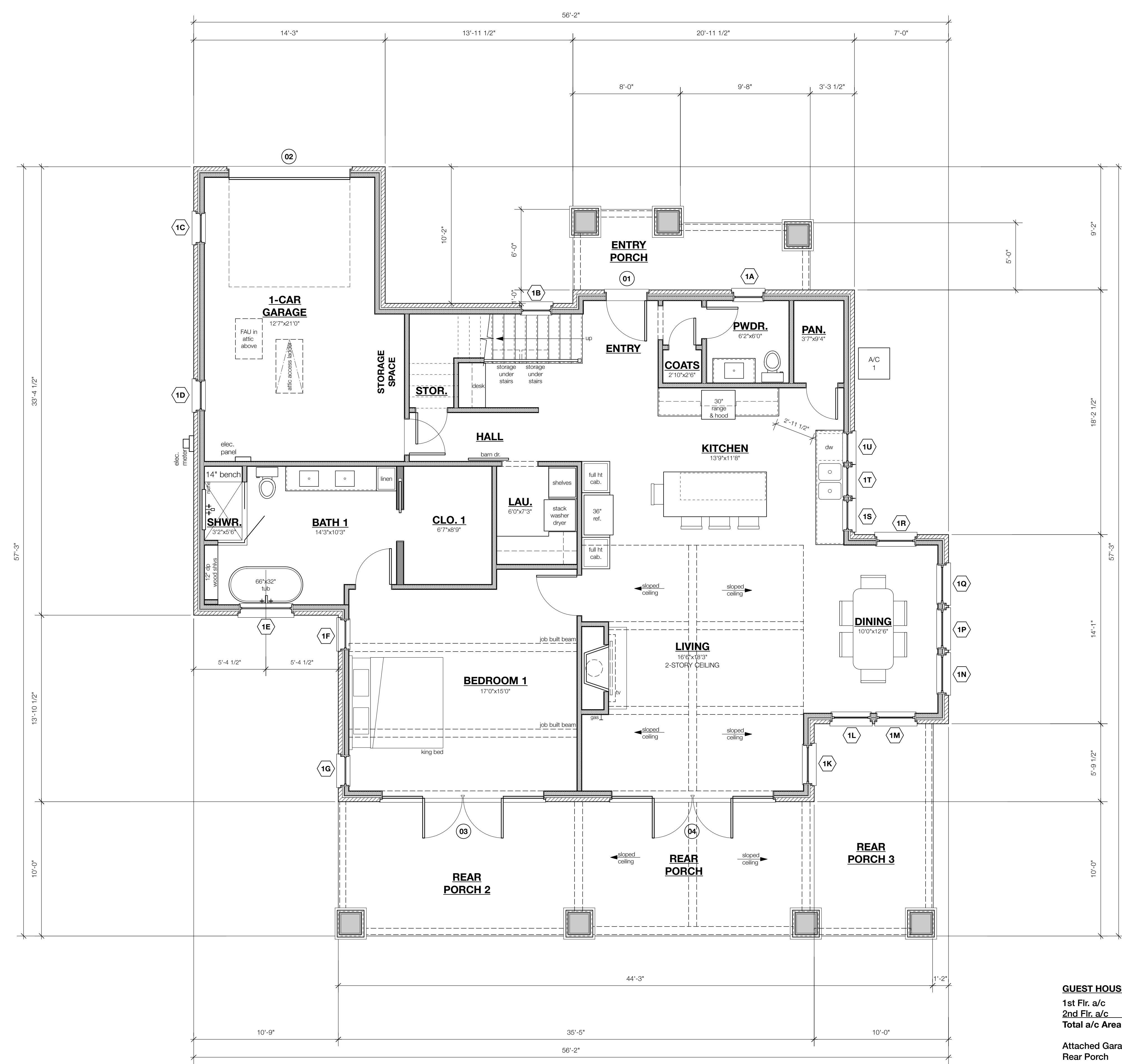
SIGNATURE BLOCK
Bella Vista Company Construction Services, L.P.
By: Bella Vista Construction, LLC, its General Partner
By: Darin Breedlove or Lance Tyler,
its Managing Member

BELLAVISTA
C O M P A N Y

-- design drawings for a new residence --
WURSTER RESIDENCE
550 E. QUAIL RUN ROAD
Rockwall, Texas

EXTERIOR
ELEVATIONS

3.01



GUEST HOUSE

1st Flr. a/c	= 1,591 sq.ft.
2nd Flr. a/c	= 639 sq.ft.
Total a/c Area	= 2,230 sq.ft.
Attached Garage	= 330 sq.ft.
Rear Porch	= 494 sq.ft.
Entry Porch	= 96 sq.ft.
Total Under Roof	= 3,150 sq.ft.

01
2.01 **FLOOR PLAN - GUEST HOUSE FIRST FLOOR**
Scale: 1/4" = 1'-0"

- all new electrical power outlets shall be installed in the exact locations to match the existing conditions within the room where new outlets are indicated unless noted otherwise on plan
- all electrical control devices (switches, dimmers, etc.) shall be installed in the exact locations to match the existing conditions within the room where new control devices are indicated unless noted otherwise on plan
- all switches shall match existing switches unless noted otherwise on plan
- dimmer switches, if provided, shall be preset type, verify exact requirements with Bella Vista
- all electrical control devices and power outlet colors shall match existing colors unless noted otherwise on plan, verify with the Bella Vista
- there shall be no alternatives to the fixtures or lamps specified here without prior, written approval from the Bella Vista
- verify existing power & lighting at each existing attic access, provide one G.F.I. convenience outlet, one switch and one single tube fluorescent light in the attic adjacent to each attic access if none exist
- verify existing power & lighting at each existing crawl space access, provide one G.F.I. convenience outlet, one switch and one single tube fluorescent light in the crawl space adjacent to each crawl space access if none exist
- the electrical subcontractor shall determine the exact service requirements (electrical & otherwise) for all appliances identified, or not identified, on this plan, verify appliance selections with Bella Vista
- the electrical subcontractor shall verify the exact location and mounting height for the Alarm control panel with Bella Vista prior to installation
- the electrical subcontractor shall verify the exact location and mounting height for the Thermostat control panel with Bella Vista prior to installation

SMOKE DETECTOR NOTE:
 Electrical contractor shall verify all bedrooms and the hallways immediately outside all bedrooms have a working smoke detector. Repair/install as required to meet current building code standards

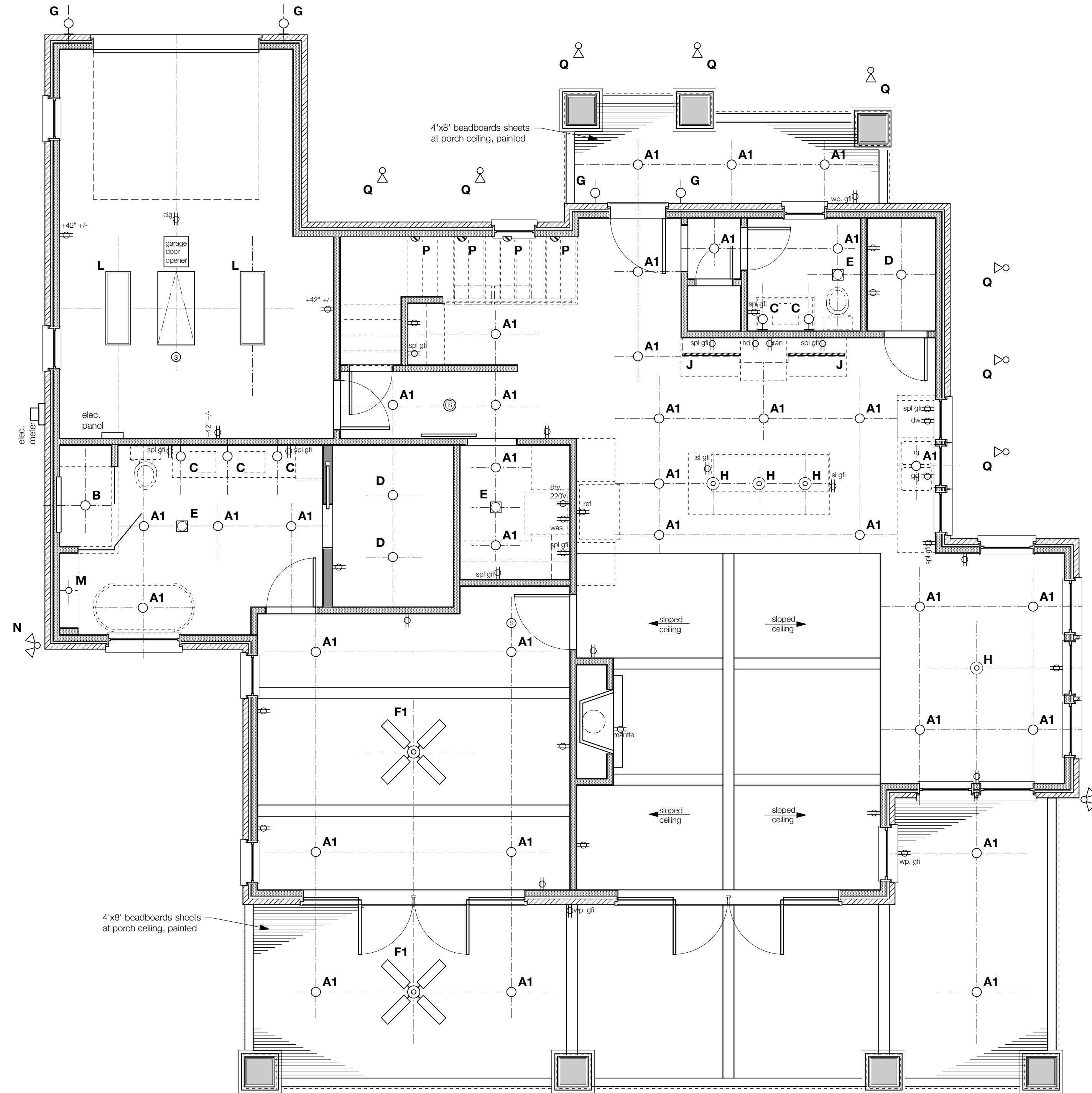
CARBON MONOXIDE DETECTOR NOTE:
 An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.

EXTERIOR LIGHT FIXTURE NOTE:
 Install fixture at mounting height indicated. Height shall be from finished floor. Notify Bella Vista if fixture cannot be placed as noted.

03 POWER & LIGHTING NOTES
 Scale: 1/4" = 1'-0"

ID	TYPE	MODEL	LAMP	REMARKS
A1	recessed LED downlight	LED	verify	4" diameter
A2	recessed LED downlight	LED	verify	4" diameter, shallow housing to fit in 2x6 rafter, verify
B	recessed LED downlight-wet locations	LED	verify	4" diameter, encased lamp
C	featured interior wall mounted light	verify	verify	provided by owner installed by Bella Vista
D	ceiling mounted incandescent - closets	verify	encased lamp	provided by owner installed by Bella Vista
E	lavatory exhaust fan	NuTone or equal	verify model number 80 cfm, low sones	provided and installed by Bella Vista
F1	ceiling fan	verify	no light kit	provided by owner installed by Bella Vista
F2	ceiling fan & light	verify	with light kit	provided by owner installed by Bella Vista
G	featured exterior wall mounted light	verify	verify	provided by owner installed by Bella Vista
H	featured interior pendant light	verify	verify	provided by owner installed by Bella Vista
J	undercabinet fluorescent fixture	verify	single tube, verify	provided by owner installed by Bella Vista
K	featured ceiling mounted fixture	verify	verify	provided by owner installed by Bella Vista
L	ceiling mounted fluorescent utility light	verify	verify	provided and installed by Bella Vista
M	puck lighting	verify	verify	provided by owner installed by Bella Vista
N	eave mounted security light fixture	verify	flood light, verify	provided by owner installed by Bella Vista motion sensor switching
P	recessed stair lighting	verify	verify	provided by owner installed by Bella Vista motion sensor switching
Q	exterior ground uplights	verify	verify	provided by owner installed by Bella Vista

- af: arc fault interrupted
- gfi: ground fault interrupted
- spl: splash location, see notes
- ra: range
- uc: undercounter
- wp: waterproof outlet
- isl: island location, see notes
- gd: garbage disposal
- hd: hood
- mw: microwave
- dry: dryer
- (e.r): existing fixture relocated to this location
- +xx": height of fixture from finished floor level
- (e): existing fixture to remain
- ref.: refrigerator
- was.: washer
- smoke & carbon monoxide detector
- smoke detector
- telephone jack
- intercom pad
- standard 115 v. outlet
- tv cable/data jack
- alarm keypad
- thermostat pad
- 220 v. outlet



02 LIGHTING LEGEND
 Scale: 1/4" = 1'-0"

01 FIRST FLOOR POWER, LIGHTING & CEILING PLAN
 Scale: 1/4" = 1'-0"

DRAWING ISSUE:
 29, March 2021 :
 design review

Designed by:
 Jennifer Wurster, Mike Wurster, Lance Tyler.

SIGNATURE BLOCK
 Bella Vista Company Construction Services, L.P.
 By: Bella Vista Construction, LLC, its General Partner
 By: Darin Breedlove or Lance Tyler,
 its Managing Member



-- design drawings for a new residence --
WURSTER RESIDENCE
 550 E. QUAIL RUN ROAD
 Rockwall, Texas

**1st. FLOOR
 POWER and
 LIGHTING
 PLAN**

2.03

ROAD VIEW

ID	Type	Width	Height	Thickness	Material	Style	Hardware	Handing	Remarks
01	exterior, front door	3'-0"	8'-0"	verify		per elevations	security	left	reference elevations
02	garage door	10'-0"	8'-0"	verify	cedar overlay	per elevations	security	overhead	reference elevations
03	exterior, french pair	12'-0"	8'-0"	verify		per elevations	security	outswing pair in center with fixed on both sides	reference elevations
04	exterior, french pair	12'-0"	8'-0"	verify		per elevations	security	outswing pair in center with fixed on both sides	reference elevations

03 DOOR SCHEDULE

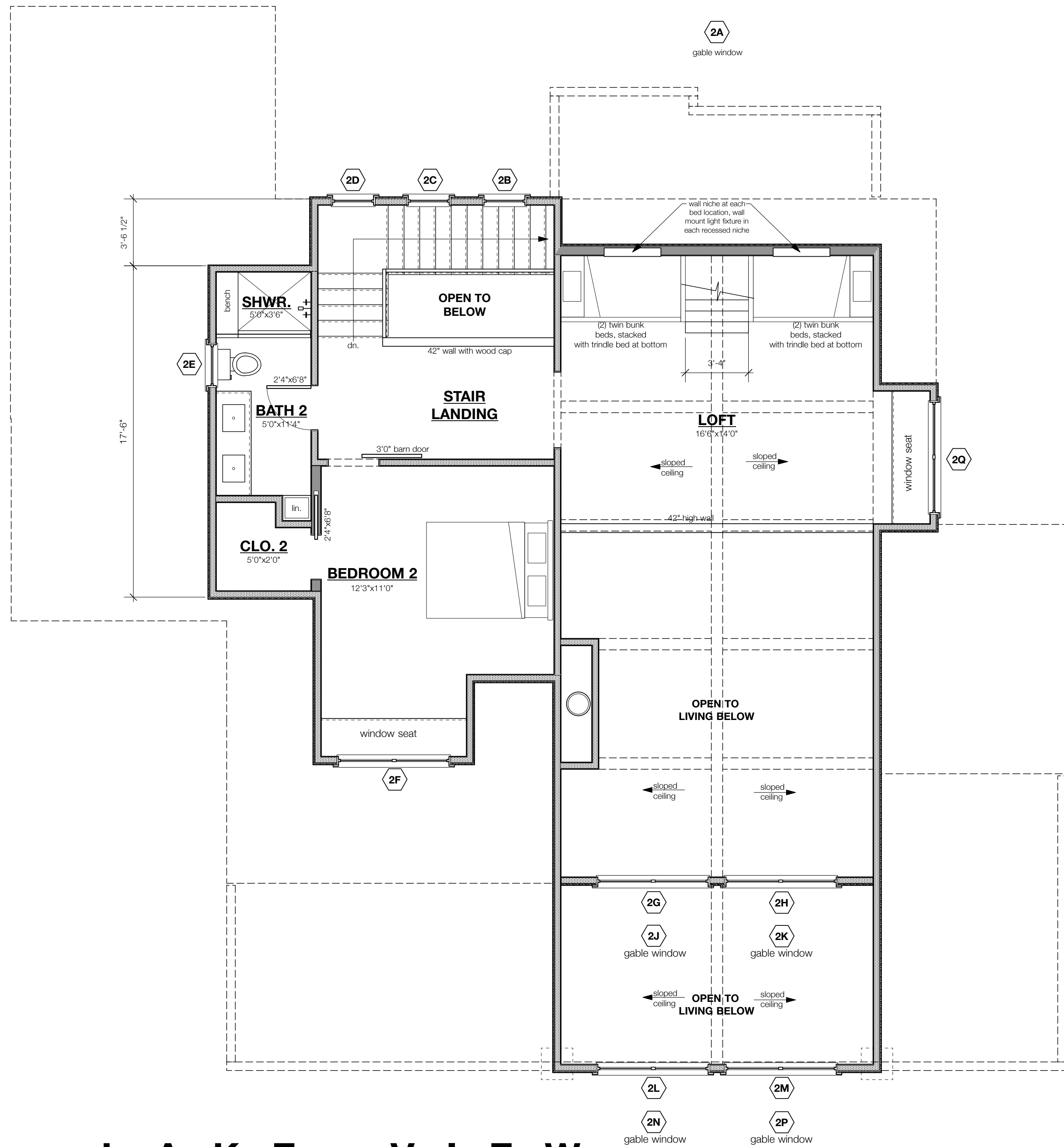
2.01 Scale: 1/4" = 1'-0"

all new pocket doors to be located in 6" thick walls unless otherwise noted

ID	Type	Width	Height	Head Height	Operation	Egress Rated	Tempered	Style	Remarks
1A	vinyl	2'-4"	3'-6"	8'-0"	single hung	n/a	yes	with grids	reference elevations
1B	vinyl	2'-4"	3'-6"	8'-0"	single hung	n/a	yes	with grids	reference elevations
1C	vinyl	2'-8"	4'-0"	6'-10"	fixed	n/a	no	no grids	reference elevations
1D	vinyl	2'-8"	4'-0"	6'-10"	fixed	n/a	no	no grids	reference elevations
1E	vinyl	5'-0"	4'-0"	6'-10"	fixed	n/a	yes	no grids	reference elevations
1F	vinyl	2'-8"	7'-0"	8'-0"	fixed	n/a	no	no grids	reference elevations
1G	vinyl	2'-8"	7'-0"	8'-0"	fixed	n/a	no	no grids	reference elevations
1K	vinyl	3'-0"	7'-0"	8'-0"	single hung	n/a	no	no grids	reference elevations
1L	vinyl	3'-0"	7'-0"	8'-0"	single hung	n/a	no	no grids	reference elevations
1M	vinyl	3'-0"	7'-0"	8'-0"	single hung	n/a	no	no grids	reference elevations
1N	vinyl	3'-0"	7'-0"	8'-0"	single hung	n/a	no	no grids	reference elevations
1P	vinyl	3'-0"	7'-0"	8'-0"	single hung	n/a	no	no grids	reference elevations
1Q	vinyl	3'-0"	7'-0"	8'-0"	single hung	n/a	no	no grids	reference elevations
1R	vinyl	3'-0"	7'-0"	8'-0"	single hung	n/a	no	no grids	reference elevations
1S	vinyl	2'-4"	4'-6"	8'-0"	fixed	n/a	no	with grids	reference elevations
1T	vinyl	2'-4"	4'-6"	8'-0"	fixed	n/a	no	with grids	reference elevations
1U	vinyl	2'-4"	4'-6"	8'-0"	fixed	n/a	no	with grids	reference elevations
2A	vinyl	2'-4"	3'-6"	12'-0" +/-	fixed	n/a	no	no grids	reference elevations
2B	vinyl	2'-4"	2'-4"	5'-6"	fixed	n/a	no	with grids	reference elevations
2C	vinyl	2'-4"	2'-4"	5'-6"	fixed	n/a	no	with grids	reference elevations
2D	vinyl	2'-4"	2'-4"	5'-6"	fixed	n/a	no	with grids	reference elevations
2E	vinyl	2'-4"	2'-4"	7'-9"	fixed	n/a	no	with grids	reference elevations
2F	vinyl	3'-0" 2-wide	5'-0"	8'-3"	single hung	yes	no	no grids	reference elevations
2G	vinyl	2'-10" 2-wide	8'-3"	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2H	vinyl	2'-10" 2-wide	8'-3"	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2J	vinyl	2'-10" 2-wide	verify	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2K	vinyl	2'-10" 2-wide	verify	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2L	vinyl	2'-10" 2-wide	8'-3"	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2M	vinyl	2'-10" 2-wide	8'-3"	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2N	vinyl	2'-10" 2-wide	verify	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2P	vinyl	2'-10" 2-wide	verify	verify	fixed	n/a	no	clear, no grids	reference elevations, transom window
2Q	vinyl	3'-0" 2-wide	5'-6"	7'-9"	single hung	yes	no	no grids	reference elevations

02 WINDOW SCHEDULE

2.01 Scale: 1/4" = 1'-0"



LAKE VIEW

Total a/c Area = 646 sq.ft.

01 FLOOR PLAN - GUEST HOUSE SECOND FLOOR

2.01 Scale: 1/4" = 1'-0"

DRAWING ISSUE:
30, March 2021 :
design review

Designed by:
Jennifer Wurster, Mike Wurster, Lance Tyler

SIGNATURE BLOCK
Bella Vista Company Construction Services, L.P.
By: Bella Vista Construction, LLC, its General Partner
By: Darin Bredelove or Lance Tyler,
its Managing Member

BELLAVISTA
COMPANY

-- design drawings for a new residence --
WURSTER RESIDENCE
550 E. QUAIL RUN ROAD
Rockwall, Texas

- all new electrical power outlets shall be installed in the exact locations to match the existing conditions within the room where new outlets are indicated unless noted otherwise on plan
- all electrical control devices (switches, dimmers, etc.) shall be installed in the exact locations to match the existing conditions within the room where new control devices are indicated unless noted otherwise on plan
- all switches shall match existing switches unless noted otherwise on plan
- dimmer switches, if provided, shall be preset type, verify exact requirements with Bella Vista
- all electrical control devices and power outlet colors shall match existing colors unless noted otherwise on plan, verify with the Bella Vista
- there shall be no alternatives to the fixtures or lamps specified here without prior, written approval from the Bella Vista
- verify existing power & lighting at each existing attic access, provide one G.F.I. convenience outlet, one switch and one single tube fluorescent light in the attic adjacent to each attic access if none exist
- verify existing power & lighting at each existing crawl space access, provide one G.F.I. convenience outlet, one switch and one single tube fluorescent light in the crawl space adjacent to each crawl space access if none exist
- the electrical subcontractor shall determine the exact service requirements (electrical & otherwise) for all appliances identified, or not identified, on this plan, verify appliance selections with Bella Vista
- the electrical subcontractor shall verify the exact location and mounting height for the Alarm control panel with Bella Vista prior to installation
- the electrical subcontractor shall verify the exact location and mounting height for the Thermostat control panel with Bella Vista prior to installation

SMOKE DETECTOR NOTE:
 Electrical contractor shall verify all bedrooms and the hallways immediately outside all bedrooms have a working smoke detector. Repair/install as required to meet current building code standards

CARBON MONOXIDE DETECTOR NOTE:
 An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms.

EXTERIOR LIGHT FIXTURE NOTE:
 Install fixture at mounting height indicated. Height shall be from finished floor. Notify Bella Vista if fixture cannot be placed as noted.

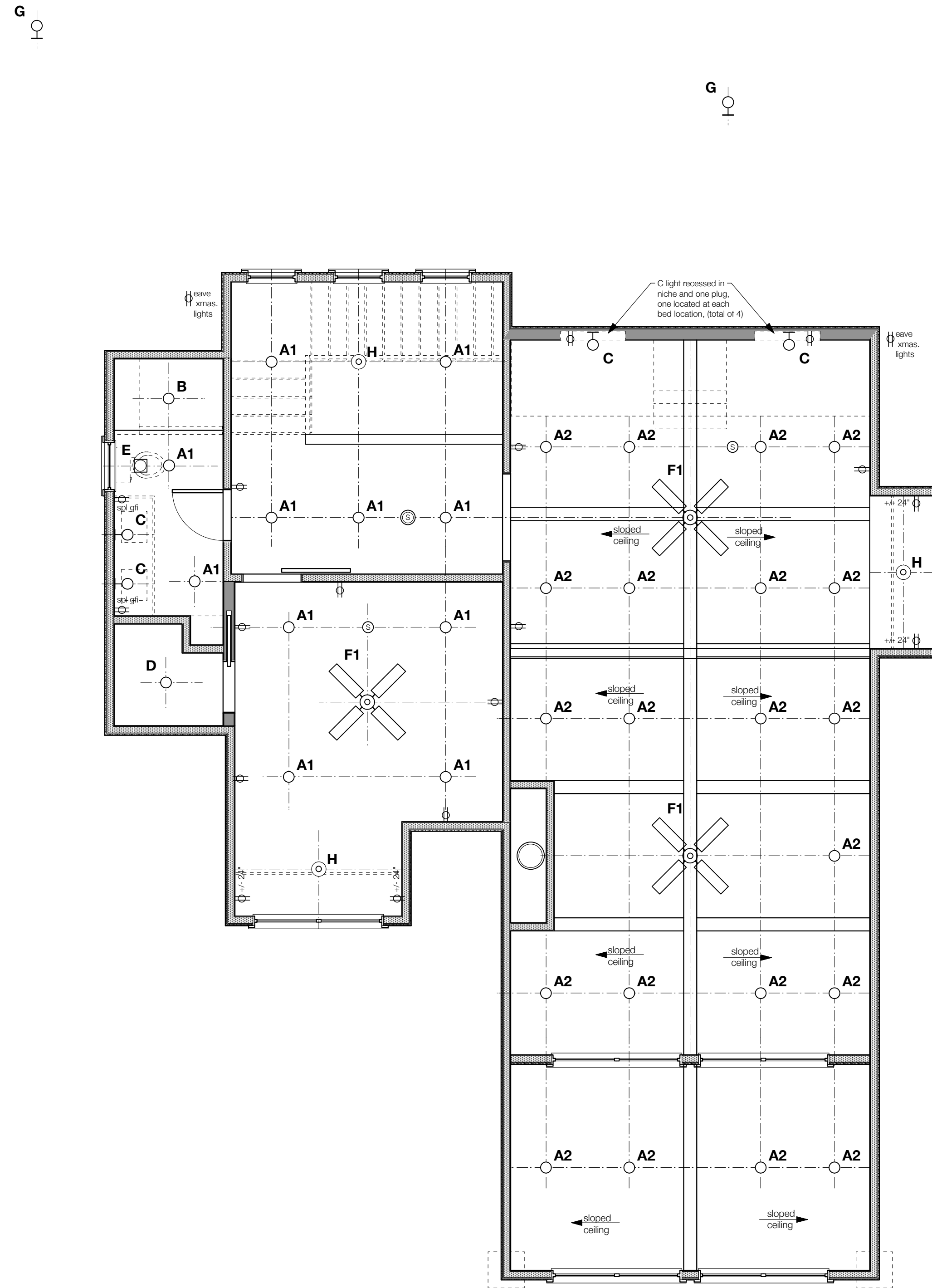
03 POWER & LIGHTING NOTES
 Scale: 1/4" = 1'-0"

ID	TYPE	MODEL	LAMP	REMARKS
A1	recessed LED downlight	LED	verify	4" diameter
A2	recessed LED downlight	LED	verify	4" diameter, shallow housing to fit in 2x6 rafter, verify
B	recessed LED downlight-wet locations	LED	verify	4" diameter, encased lamp
C	featured interior wall mounted light	verify	verify	provided by owner installed by Bella Vista
D	ceiling mounted incandescent - closets	verify	encased lamp	provided by owner installed by Bella Vista
E	lavatory exhaust fan	NuTone or equal	verify model number 80 cfm, low sones	provided and installed by Bella Vista
F1	ceiling fan	verify	no light kit	provided by owner installed by Bella Vista
F2	ceiling fan & light	verify	with light kit	provided by owner installed by Bella Vista
G	featured exterior wall mounted light	verify	verify	provided by owner installed by Bella Vista
H	featured interior pendant light	verify	verify	provided by owner installed by Bella Vista
J	undercabinet fluorescent fixture	verify	single tube, verify	provided by owner installed by Bella Vista
K	featured ceiling mounted fixture	verify	verify	provided by owner installed by Bella Vista
L	ceiling mounted fluorescent utility light	verify	verify	provided and installed by Bella Vista
M	puck lighting	verify	verify	provided by owner installed by Bella Vista
N	eave mounted security light fixture	verify	flood light, verify	provided by owner installed by Bella Vista motion sensor switching
P	recessed stair lighting	verify	verify	provided by owner installed by Bella Vista motion sensor switching
Q	exterior ground uplights	verify	verify	provided by owner installed by Bella Vista

afl : arc fault interrupted
 gfi : ground fault interrupted
 spl : splash location, see notes
 ra. : range
 uc. : undercounter
 wp : waterproof outlet
 isl. : island location, see notes
 gd. : garbage disposal
 hd. : hood
 mw. : microwave
 dry. : dryer
 (e.x) : existing fixture relocated to this location
 +xx" : height of fixture from finished floor level
 (e) : existing fixture to remain
 ref. : refrigerator
 was. : washer
 (sm) : smoke & carbon monoxide detector
 (sm) : smoke detector
 (tel) : telephone jack
 (int) : intercom pad
 (c) : standard 115 v. outlet
 (tv) : tv cable/data jack
 (al) : alarm keypad
 (th) : thermostat pad
 (220) : 220 v. outlet

02 LIGHTING LEGEND
 Scale: 1/4" = 1'-0"

01 SECOND FLOOR POWER LIGHTING & CEILING PLAN
 Scale: 1/4" = 1'-0"



DRAWING ISSUE:
 30, March 2021 :
 design review

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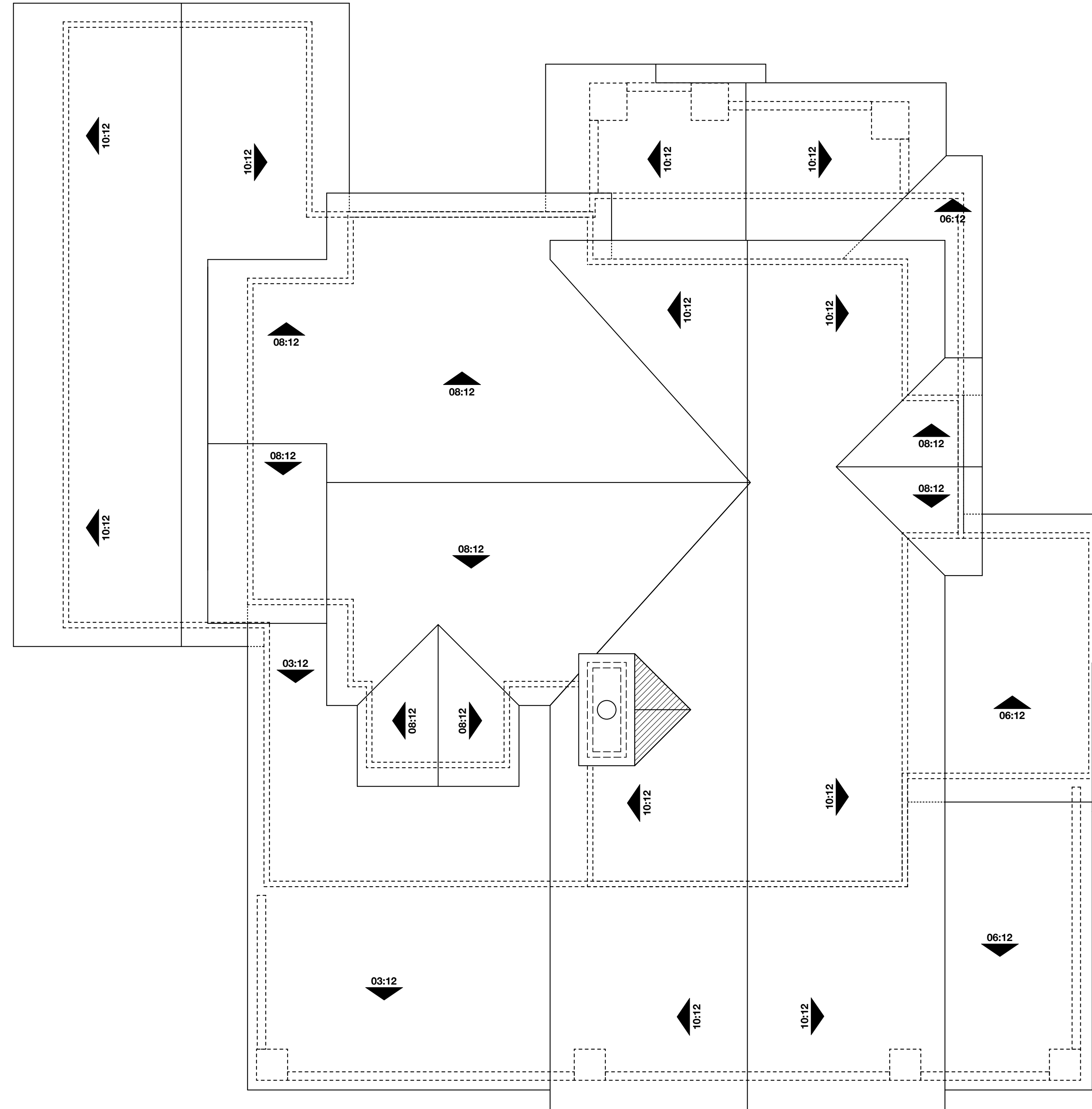
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**2nd. FLOOR
 POWER and
 LIGHTING
 PLAN**

2.04



01 ROOF PLAN
 2.05 Scale: 1/4" = 1'-0"

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 30, March 2021 :
 design review

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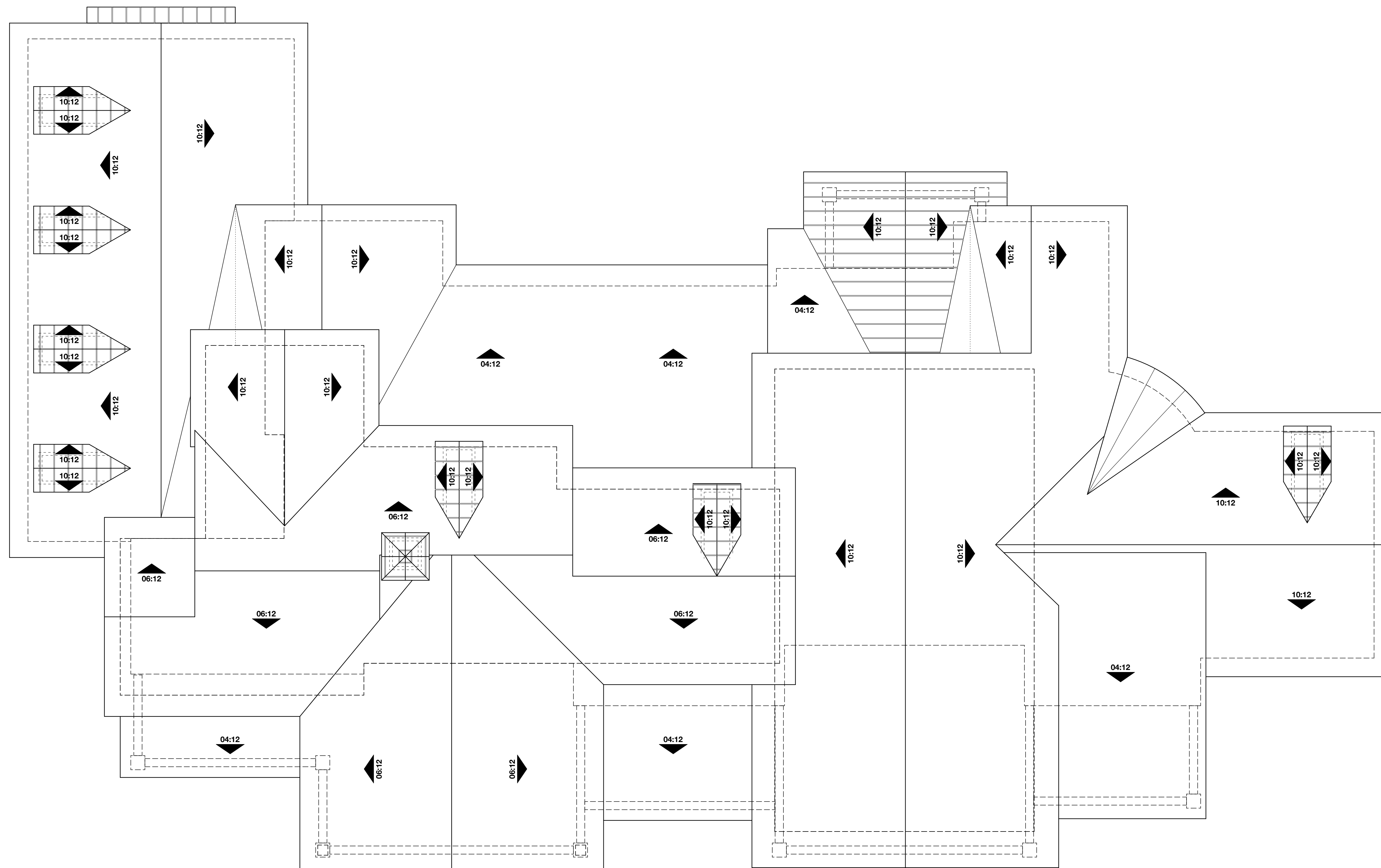
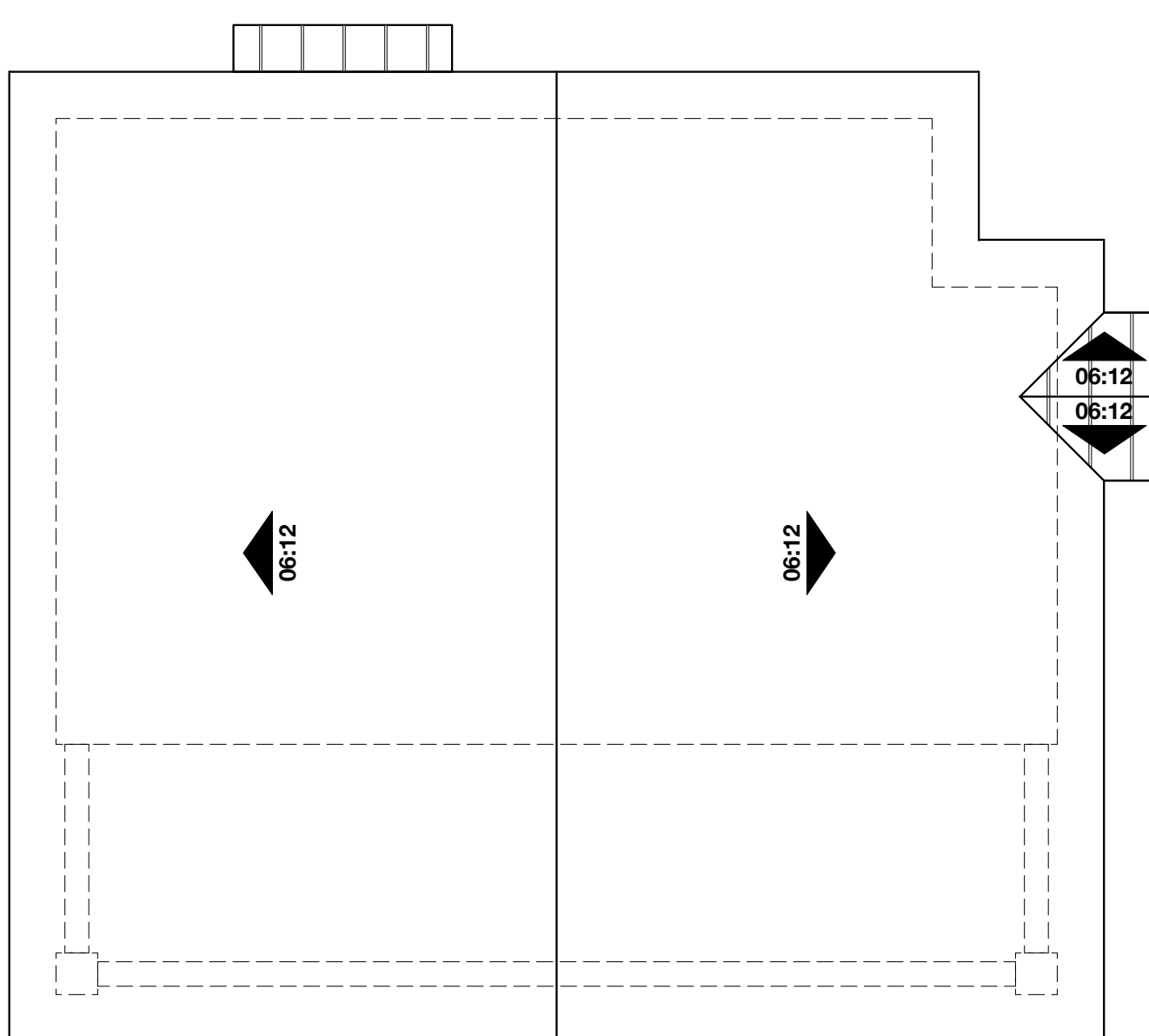
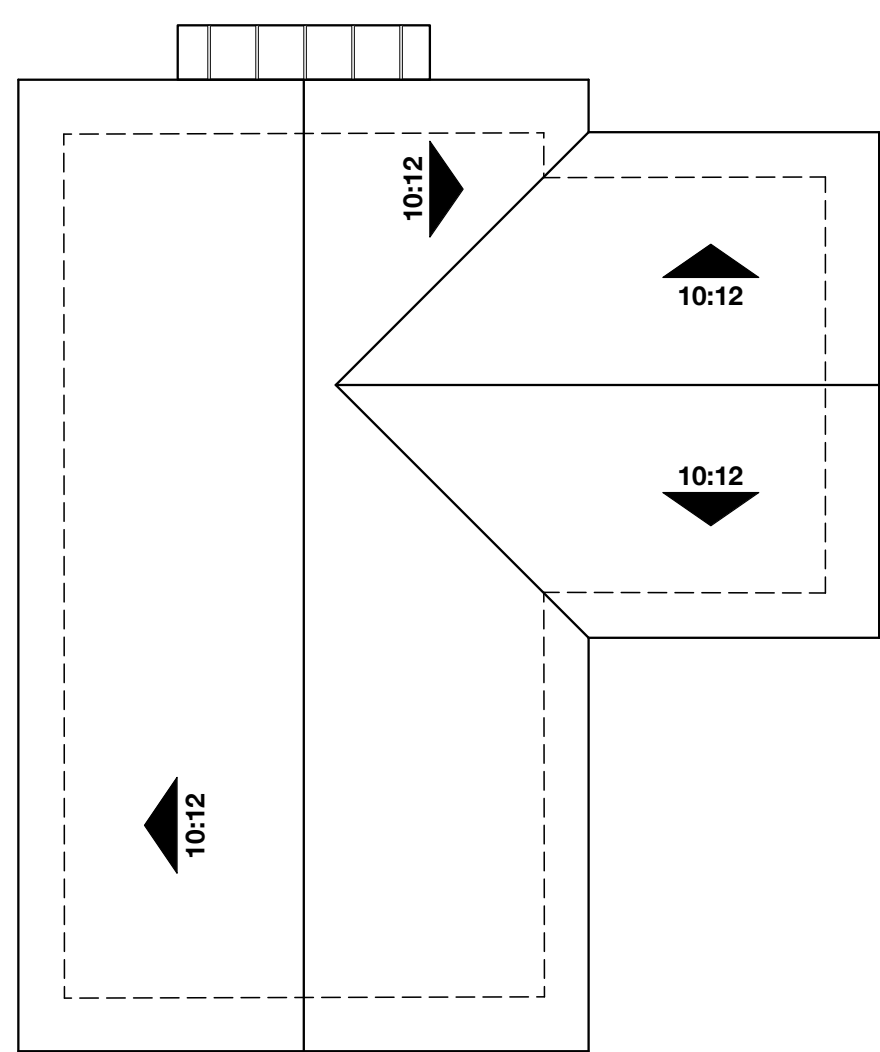
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ROOF PLAN

2.05



ROOF PLAN

2.05