



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address S FM 549, Rockwall, TX

Subdivision Ramsey Survey Abstract-186

Lot N/A Block N/A

General Location NEC of S FM 549 and FM 1139

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

Current Use Agricultural

Proposed Zoning PD - Single Family

Proposed Use Single Family Residential Subdivision

Acreage 198.52

Lots [Current] N/A

Lots [Proposed] 565

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Klutts Farm, LLC

Applicant Skorburg Company

Contact Person Ben Klutts, Jr

Contact Person Kevin Harrell

Address 1604 N Hills Dr

Address 8214 Westchester
Suite 900

City, State & Zip Rockwall, TX 75087

City, State & Zip Dallas, TX 75225

Phone 972-771-5755

Phone 214-888-8859

E-Mail BKluttsjr@att.net

E-Mail KHarrell@SkorburgCompany.com

NOTARY VERIFICATION [REQUIRED]

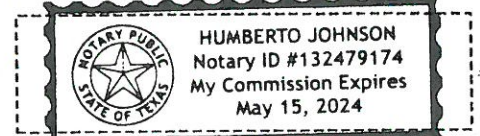
Before me, the undersigned authority, on this day personally appeared Ben Klutts [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 18th day of March, 20 21. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

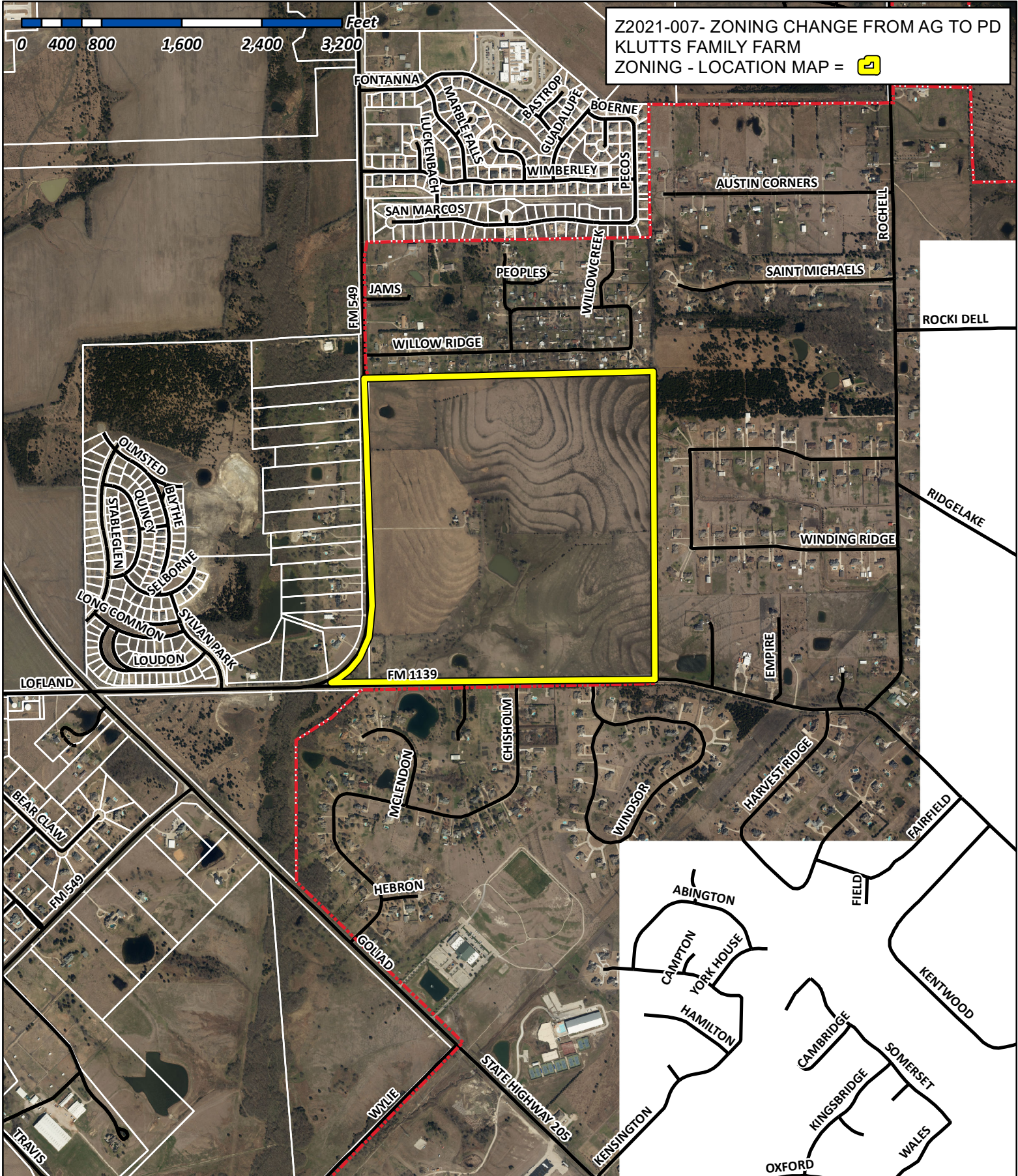
Given under my hand and seal of office on this the 18th day of March, 20 21.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires



Z2021-007- ZONING CHANGE FROM AG TO PD
 KLUTTS FAMILY FARM
 ZONING - LOCATION MAP = 1



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

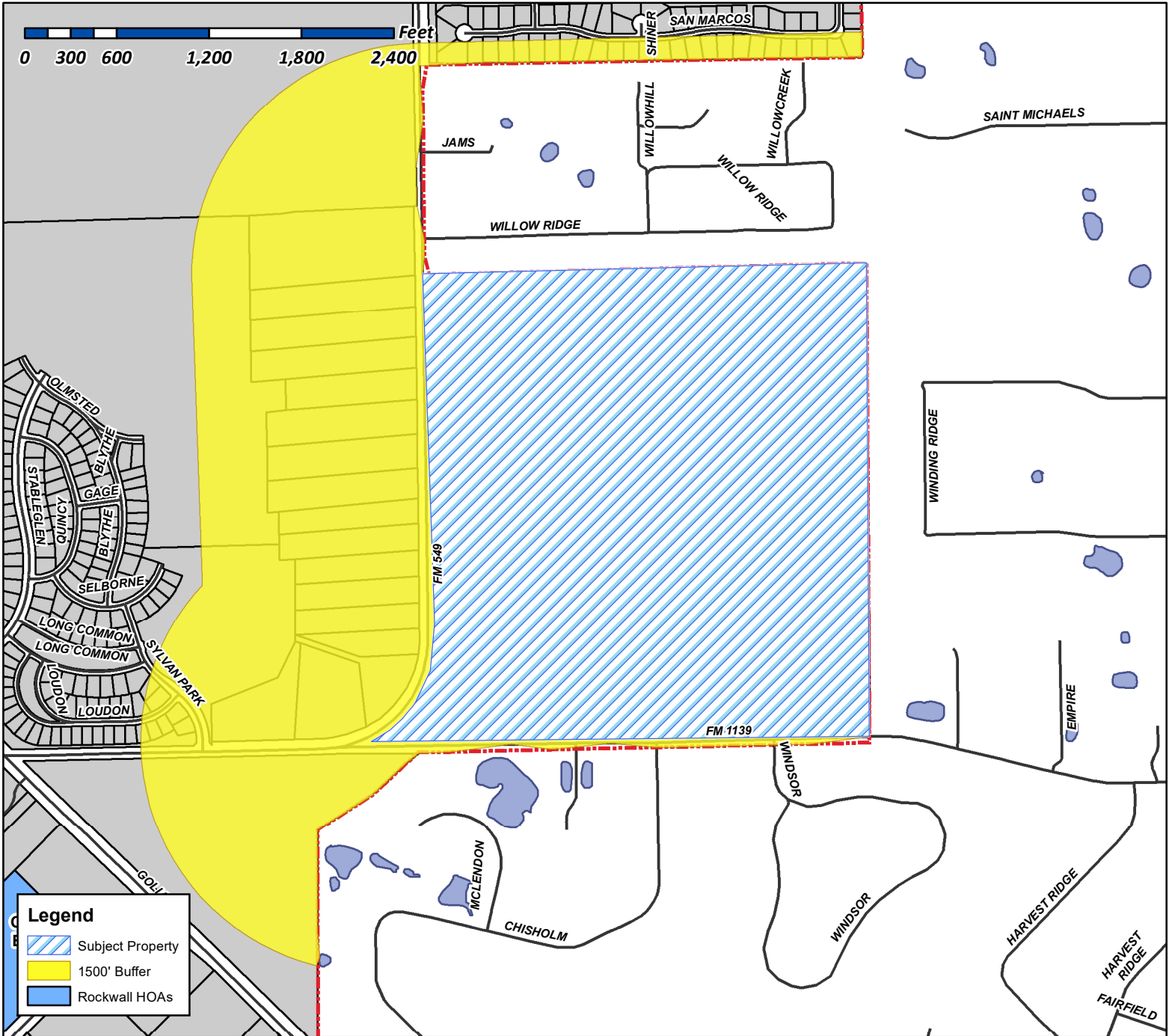
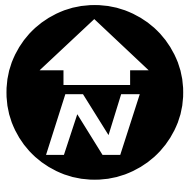




City of Rockwall

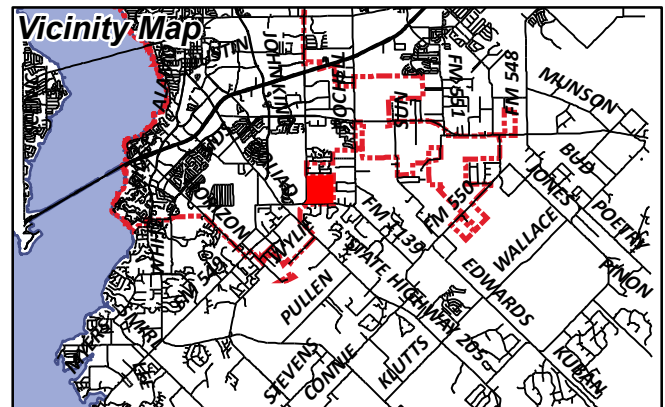
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Case Number: Z2021-007
Case Name: Zoning
Case Type: Specific Use Permit
Zoning: Agricultural (AG) District
Case Address: Klutts Family Farm

Date Created: 3/19/2021
For Questions on this Case Call (972) 771-7745

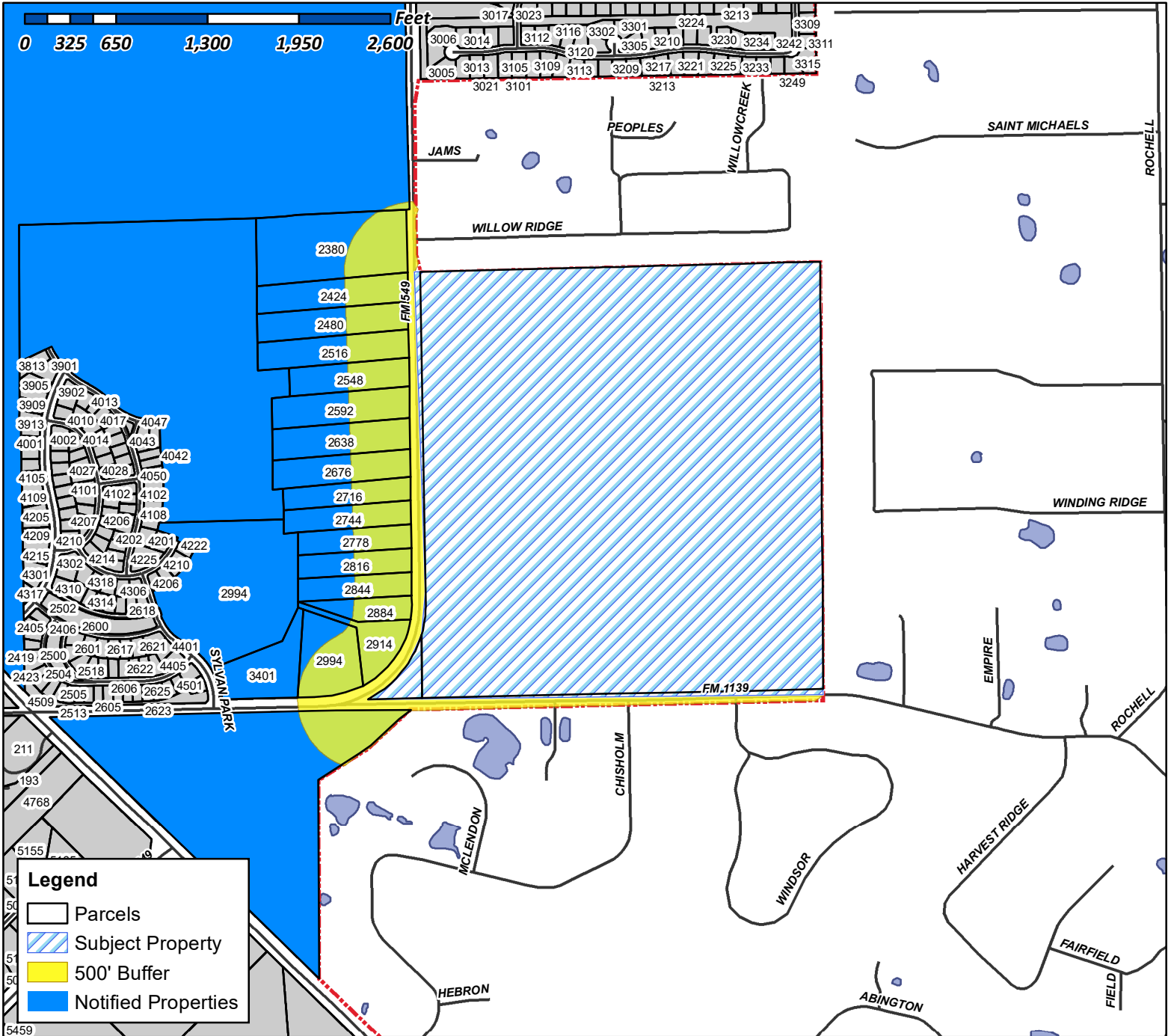




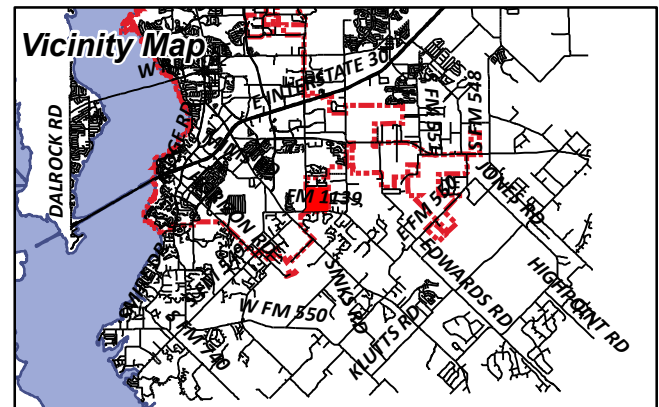
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Case Number: Z2021-007
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 549 and FM 1139



Date Created: 3/23/2021
For Questions on this Case Call (972) 771-7745

ROCKWALL 205 INVESTORS LLC
1 CANDLELITE TRAIL
HEATH, TX 75032

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

CHERRY BRUCE
1111 CAMBRIDGE CT
ROCKWALL, TX 75032

NELLER GARY K & HELEN COMEAU
148 HARVEST HILL DR
ROCKWALL, TX 75032

KLUTTS FARM LLC
1604 NORTH HILLS DR
ROCKWALL, TX 75087

NELLER GARY K & HELEN COMEAU
2380 FM 549
ROCKWALL, TX 75032

HENSON RICHARD W & SHARON ES
2424 FM5 49
ROCKWALL, TX 75032

ACOSTA ANTHONY
2480 S FM 549
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L
2516 S FM 549
ROCKWALL, TX 75032

DUGGAN CHRISTOPHER W & SHERRI L
2548 FM 549
ROCKWALL, TX 75032

CHERRY BRUCE
2592 FM 549
ROCKWALL, TX 75032

LEE RICHARD V & GLORIA J
2638 S FM 549
ROCKWALL, TX 75032

MCCANN KEVIN J AND ERIN M
2676 FM 549
ROCKWALL, TX 75032

POWERS FAMILY TRUST
JAMES DWAIN & PATRICIA ANNETTE POWERS
CO TRUSTEES
2716 FM549
ROCKWALL, TX 75032

OHMANN THOMAS J & CAROL J
2744 S FM 549
ROCKWALL, TX 75032

HOLLON GREGORY D
2778 S FM 549
ROCKWALL, TX 75032

HERRERA AARON J AND JENNIFER R AND
FOREHAND DALE A AND AMELIA A
2816 FM 549
ROCKWALL, TX 75032

WELCH CASEY K AND CATHARINE
2844 S FM 549
ROCKWALL, TX 75032

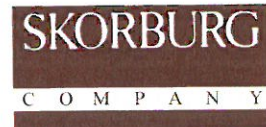
PETTIFORD SEAN AND BRANDI
2884 FM 549
ROCKWALL, TX 75032

SOLIS CARLOS HERIBERTO AND CRYSTAL GARZA-
SOLIS
2914 FM 549
ROCKWALL, TX 75032

JONES DOUGLAS A
2994 FM 549
ROCKWALL, TX 75032

HENSON RICHARD W & SHARON ES
PO BOX 1091
ROCKWALL, TX 75087

POWERS FAMILY TRUST
JAMES DWAIN & PATRICIA ANNETTE POWERS
CO TRUSTEES
PO BOX 850
ROCKWALL, TX 75087



Skorburg Company
8214 Westchester Dr., Ste.
900
Dallas, TX 75225
Phone: 214/522-4945
Fax: 214/522-7244

March 19, 2021

City of Rockwall
Attn: Ryan Miller, AICP
385 S Goliad St
Rockwall, TX 75087

Dear Mr. Miller,

Skorburg Company is requesting that our project be taken to the April 13th, 2021 Planning and Zoning Meeting. This project is the development of ±198 Acres in the J. A. Ramsey Survey, City of Rockwall, Rockwall County, located at the Northeast corner of F.M. 549 and FM 1139.

The property is currently zoned AG. We are proposing a development of Single-Family Residential homes on lots ranging from 6,200 SF to 9,800 SF minimum. This community will feature high quality homes featured in other high quality Skorburg communities like Stone Creek Estates, Breezy Hill Estates, and Gideon Grove.

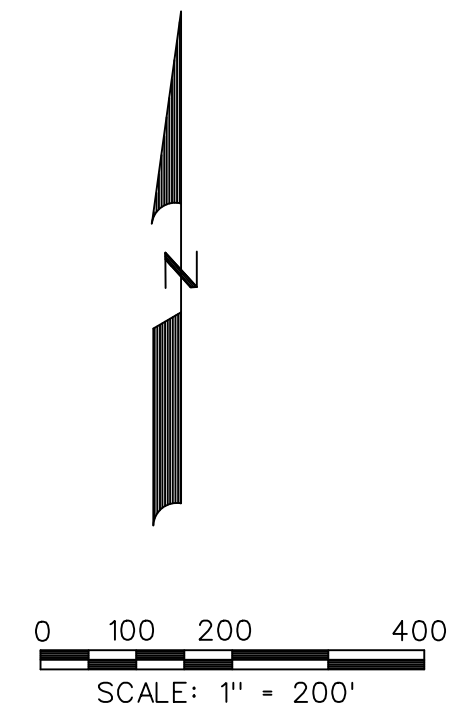
Within this development, we are proposing a 50-acre contiguous tract of land to be dedicated to the City of Rockwall for a Regional City Park which will add to the beautiful aesthetics of the surrounding area.

We look forward to working with the City to once again to develop another gorgeous development.

Cordially Yours,

A handwritten signature in blue ink, appearing to read "Kevin Harrell".

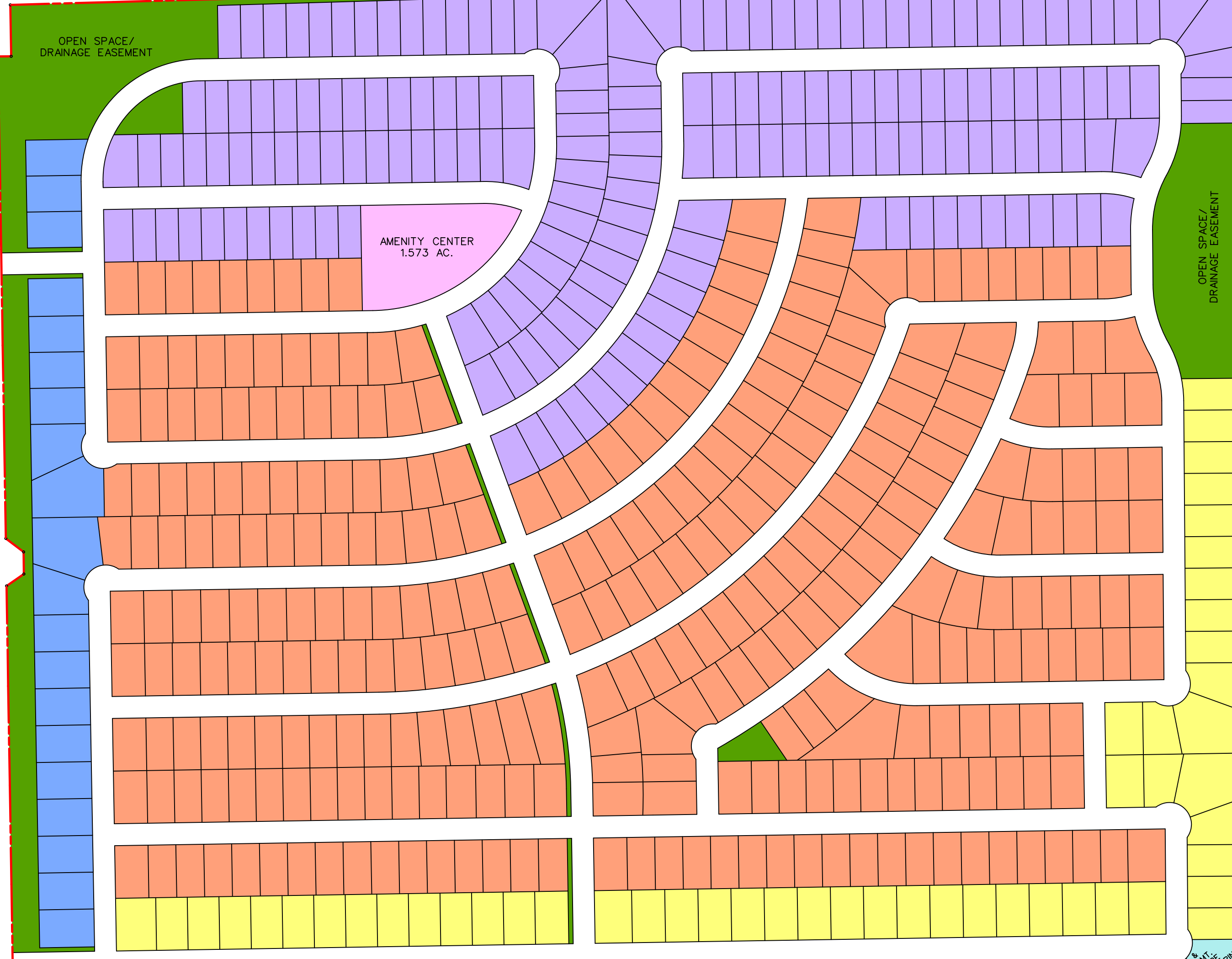
Kevin Harrell
Land Acquisition Manager



F.M. 549

WILLOW RIDGE CIRCLE

HILLVIEW ACRES
CAB, F, PG. 1



DRAINAGE & DETENTION ESMT. FINAL SIZE TO BE DETERMINED AT ENGINEERING

DRAINAGE & DETENTION ESMT. FINAL SIZE TO BE DETERMINED AT ENGINEERING

PARKLAND (REGIONAL PARK) 51.8 AC.

F.M. 1139

CEMETARY

AMENITY CENTER 1.573 AC.

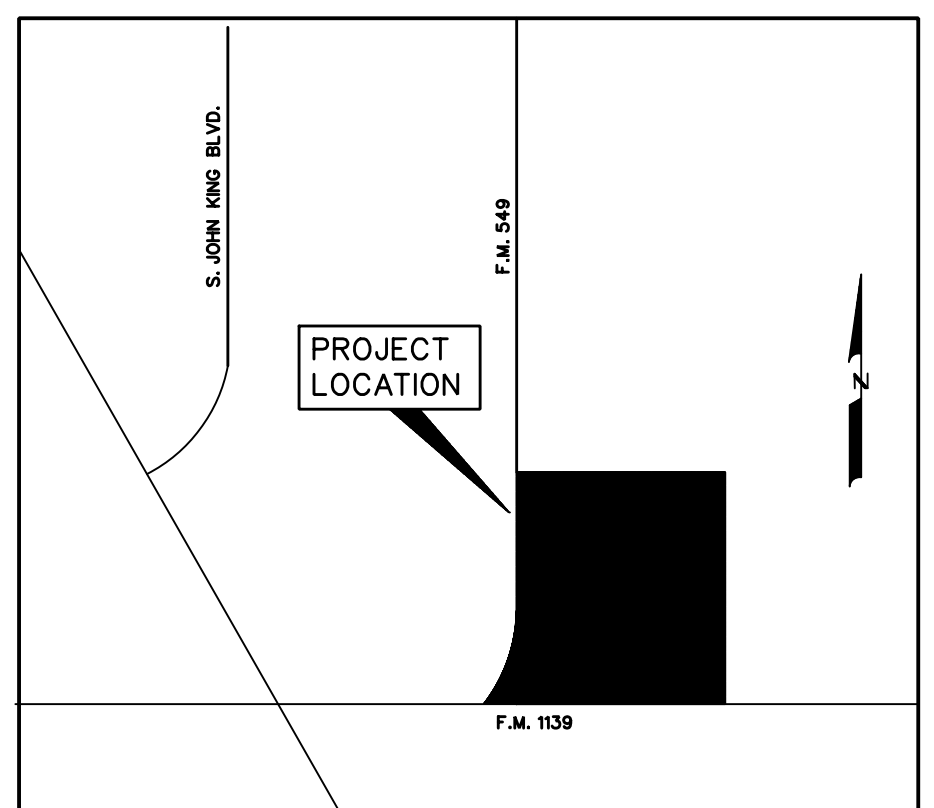
Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan)	A	B	C	D
Minimum Lot Width ⁽¹⁾	52'	62'	72'	82'
Minimum Lot Depth	120'	120'	120'	120'
Minimum Lot Area	6,240 SF	7,240 SF	8,640 SF	9,840 SF
Minimum Front Yard Setback ^{(2), (3) & (4)}	25'	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) ^{(1) & (5)}	20'	20'	20'	20'
Minimum Length of Driveway Pavement	20'	20'	20'	20'
Maximum Height ⁽⁶⁾	36'	36'	36'	36'
Minimum Rear Yard Setback ⁽⁴⁾	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space] ⁽⁷⁾	2,000 SF	2,200 SF	2,200 SF	2,200 SF
Maximum Lot Coverage	65%	65%	65%	65%

General Notes to Table 2:

1. Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the Front Yard Building Setback. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent but shall meet the minimum lot size for each lot type referenced in Table 1.
2. The location of the Front Yard Building Setback as measured from the front property line.
3. The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home.
4. The location of the Rear Yard Building Setback as measured from the rear property line.
5. Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property, however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
6. Flat front entry garage configurations are permitted on all Lot Type 'A' lots, plus up to 35% of the total number of Lot Type 'B' Lots (i.e. a total maximum of 290 lots may have a flat front entry only garage configuration between all lot types) provided that: [1] no more than 35% (i.e. a maximum of 110 lots) of the lots for Lot Type 'B' have a flat front entry garage, and [2] the front yard building setback for all lots with a flat front entry garage is increased to a minimum of 25-feet. All Lot Type 'C' and Lot Type 'D' lots shall be oriented in a traditional swing (or j-swing) (i.e. where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration). On traditional swing (or j-swing) garage configurations, a second single or double garage door facing the street is permitted if it is located behind the width of the double garage door.
7. A maximum of 20% of the Type 'A' lots may have a minimum area/dwelling unit (SF) [Air-Conditioned Space] of 1,800 SF.

LEGEND	
TYPICAL LOT SIZES	
	- TYPE A LOTS 52' X 120' - 180 LOTS
	- TYPE B LOTS 62' X 120' - 311 LOTS
	- TYPE C LOTS 72' X 120' - 51 LOTS
	- TYPE D LOTS 82' X 120' - 20 LOTS
	- OPEN SPACE - 8.771 Ac.
	- AMENITY CENTER - 1.517 Ac.
	- PARKLAND (REGIONAL PARK) - 51.8 Ac.



LOCATION MAP
N.T.S.

CONCEPT PLAN
OF
HOMESTEAD
SITUATED IN THE
J.A. RAMSEY SURVEY, ABSTRACT NO. 186
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
OWNER
KLUTTS FARM, LLC.
1604 NORTH HILLS DR.
ROCKWALL, TX 75087

TOTAL ACRES 196.009
TOTAL RESIDENTIAL LOTS 562
RESIDENTIAL DENSITY 2.867

MARCH 2021 SCALE 1" = 200'

CASE NO. XXXX



Google Earth

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Lofland Lake

549

1139

Winding Ridge Ln

