



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-028

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1470 Interstate 30, Rockwall, TX 75087

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION IH 30 OV

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Office/Warehouse

PROPOSED ZONING Light Industrial

PROPOSED USE

ACREAGE 0.5

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Credit Services LC

APPLICANT M237 Services LLC

CONTACT PERSON Raymond Towers, President

CONTACT PERSON Chris West

ADDRESS PO Box 1870

ADDRESS PO Box 1744

CITY, STATE & ZIP Rockwall TX 75087-1870

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 972-679-9300

PHONE 214-499-3338

E-MAIL

E-MAIL cbwest8@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Christopher B West [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

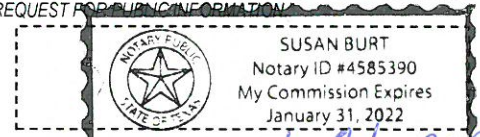
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15TH DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 2021

OWNER'S SIGNATURE


Chris West
Susan Burt

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 1-31-2022

0 30 60 120 180 240 Feet

SP2021-028- AMENDED SITE PLAN
FOR 1470 INTERSTATE 30
SITE PLAN - LOCATION MAP = 

INTERSTATE 30

INTERSTATE 30

INTERSTATE 30

INTERSTATE 30

KRISTIN



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

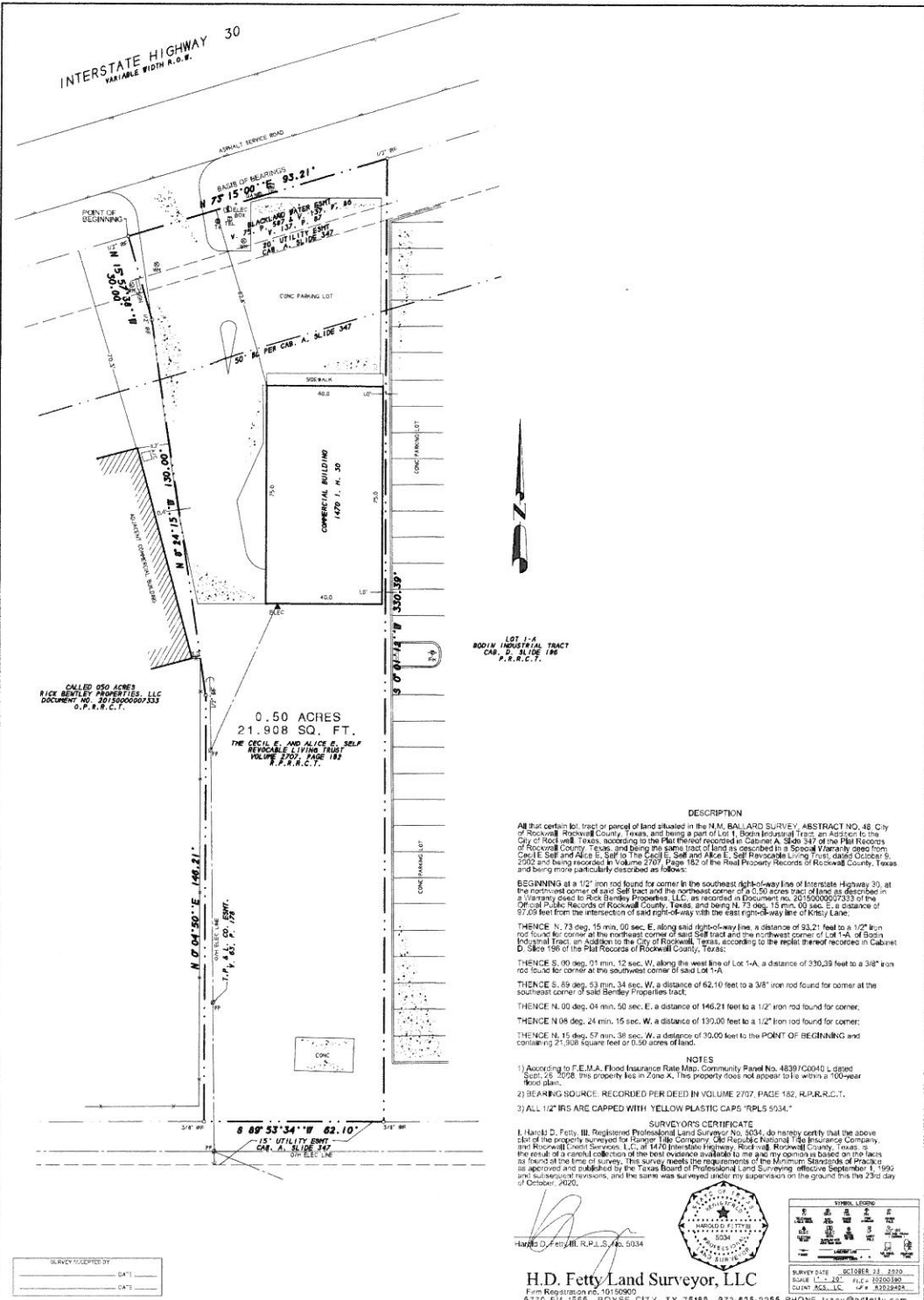
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Proposed Conceptual



INTERSTATE HIGHWAY 30
VARIABLE WIDTH A.O.B.



CALLED 050 ACRES
RICK BENTLEY PROPERTIES, LLC
DOCUMENT NO. 201500007333
O.P.R.R.C.T.

0.50 ACRES
21,908 SQ. FT.
THE CECIL E. AND ALICE E. SELF
REVOCABLE LIVING TRUST
VOLUME 277, PAGE 182
P.R.R.C.T.

LOT 1-A
BODIN INDUSTRIAL TRACT
CAB. D. SLIDE 186
P.R.R.C.T.

DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being a part of Lot 1, Bodin Industrial Tract, an Addict to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 187 of the Plat Records of Rockwall County, Texas, and being the same tract of land as described in a Special Warranty deed from Cecil E. Self and Alice E. Self to The Cecil E. Self and Alice E. Self Revocable Living Trust, dated October 3, 2002 and being recorded in Volume 277, Page 182 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the southeast right-of-way line of Interstate Highway 30, at the northwest corner of said Self tract and the northeast corner of a 0.50 acres tract of land as described in a Warranty deed to Rick Bentley Properties, LLC, as recorded in Document no. 201500007333 of the Official Public Records of Rockwall County, Texas, and being N. 73 deg. 15 min. 00 sec. E. a distance of 93.21 feet from the intersection of said right-of-way with the east right-of-way line of Kristy Lane.

THENCE N. 73 deg. 15 min. 00 sec. E. along said right-of-way line, a distance of 93.21 feet to a 1/2" iron rod found for corner at the northeast corner of said Self tract and the northeast corner of Lot 1-A, of Bodin Industrial Tract, an Addict to the City of Rockwall, Texas, according to the replat thereof recorded in Cabinet D, Slide 186 of the Plat Records of Rockwall County, Texas;

THENCE S. 00 deg. 01 min. 12 sec. W. along the west line of Lot 1-A, a distance of 330.39 feet to a 3/8" iron rod found for corner at the southwest corner of said Lot 1-A;

THENCE S. 69 deg. 53 min. 34 sec. W. a distance of 62.10 feet to a 3/8" iron rod found for corner at the southeast corner of said Bentley Properties tract;

THENCE N. 00 deg. 04 min. 50 sec. E. a distance of 146.21 feet to a 1/2" iron rod found for corner;

THENCE N. 08 deg. 24 min. 15 sec. W. a distance of 130.00 feet to a 1/2" iron rod found for corner;

THENCE N. 15 deg. 57 min. 38 sec. W. a distance of 30.00 feet to the POINT OF BEGINNING and containing 21,908 square feet or 0.50 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 483970040 L dated 8/25/09, this property lies in Zone X. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PER DEED IN VOLUME 277, PAGE 182, P.R.R.C.T.
- 3) ALL 1/2" IRs ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 6934"

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 6034, do hereby certify that the above plat of the property surveyed for Ranger Life Company, Old Republic National Life Insurance Company, and Rockwell Creek Services, L.L.C. at 1410 Interstate Highway, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as of the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed and my supervision on the ground this 23rd day of October, 2020.

Harold D. Fetty, III, R.P.L.S., No. 6034



H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10159900
6710 F.W. 1265 ROYSE CITY, TX 75188 972-635-2255 PHONE: hfetty@hdfetty.com

SYMBOL LEGEND

---	BOUNDARY
---	ADJACENT PROPERTY
---	ADJACENT TRACT
---	ADJACENT ROAD
---	ADJACENT RAILROAD
---	ADJACENT WATER
---	ADJACENT UTILITY
---	ADJACENT AIRPORT
---	ADJACENT PARK
---	ADJACENT SCHOOL
---	ADJACENT CHURCH
---	ADJACENT HOSPITAL
---	ADJACENT GOVERNMENT
---	ADJACENT MILITARY
---	ADJACENT INDUSTRIAL
---	ADJACENT RESIDENTIAL
---	ADJACENT AGRICULTURAL
---	ADJACENT FOREST
---	ADJACENT WETLAND
---	ADJACENT WOODLAND
---	ADJACENT PRAIRIE
---	ADJACENT DESERT
---	ADJACENT MOUNTAIN
---	ADJACENT COASTAL
---	ADJACENT TROPICAL

Survey Date: OCTOBER 23, 2020
Scale: 1" = 40' PL: 0200340
Drawn: H.D.F. PL: 0200340

SURVEY COPIED BY: _____ DATE: _____



1470
Interstate
30

PROPOSED EXTERIOR MODS

Objective

- Enhance the front façade area and height of bldg
 - Help draw attention to location
 - The site is currently almost un-noticeable
- Add blade canopy and lighting to enhance the entry appeal
- Add modern Signboard for future Tenant Signage
- Install new Storefront Windows across the face
- Utilize/Restripe current concrete paving for parking
- Ensure exterior site and access routes are ADA compliant
- Paint existing brick facade

1470 Interstate 30 – Existing Details



- Painted Cast-in-place Concrete Exterior with Brick-formed texture (over full exterior)
- Existing Building Shell is Currently Unoccupied and ready for new Tenant
- 3,000 Total Sq Ft
- Minimal I-30 service road frontage
- Minimal landscaping due to existing buried Utilities.

Interstate, Drive By View



Proposed Conceptual



Sign Conceptual & Example



- Signage mounted outboard on dark perforated metal
- Metal mounted to steel tube frame
- Sign will be installed once tenant is obtained
- Awnings above store front glass below new metal

Neighbors

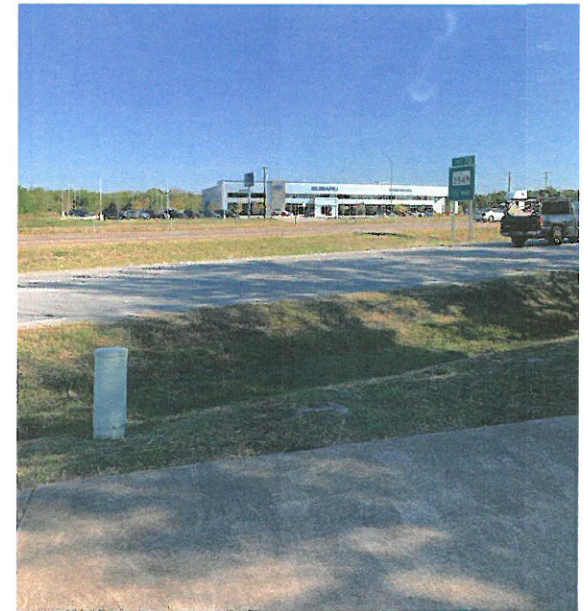
Just west



Just east



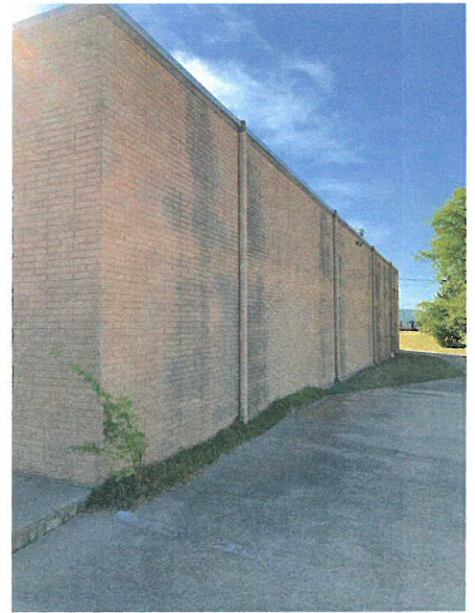
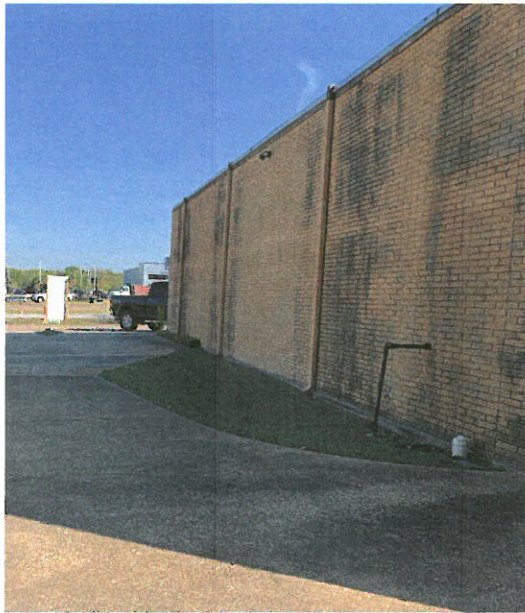
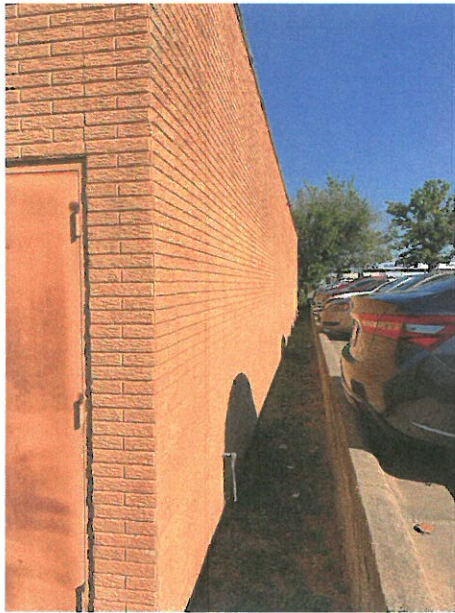
North across I30



Backup



Exterior Bldg Views



Shell Condition - Current

