



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST. [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NONE - PARCEL ID: 1211

SUBDIVISION R.B. IRVINE SURVEY, ABSTRACT NO. 120

LOT

BLOCK

GENERAL LOCATION NEC OF CAPITAL BLVD AND DATA DRIVE, EAST OF CARRINGTON DRIVE AND SOUTH OF IH-30

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LIGHT INDUSTRIAL

CURRENT USE VACANT

PROPOSED ZONING LIGHT INDUSTRIAL

PROPOSED USE INDUSTRIAL

ACREAGE 22.234

LOTS [CURRENT] 2

LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER BAKER SCHWIMMER VENTURES LP

APPLICANT BGE ENGINEERING

CONTACT PERSON RANDALL SCHWIMMER

CONTACT PERSON NICK HOBBS

ADDRESS 2633 MCKINNEY AVE, STE 130-510

ADDRESS 2595 DALLAS PARKWAY, SUITE 101

CITY, STATE & ZIP DALLAS, TEXAS 75204

CITY, STATE & ZIP FRISCO, TEXAS 75034

PHONE 214-923-3554

PHONE 972-464-4800

E-MAIL THESCHWIMMER@GMAIL.COM

E-MAIL NHOBBS@BGEINC.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Randall Schwimmer, member Baker Schwimmer venture LLC [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11 DAY OF October, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

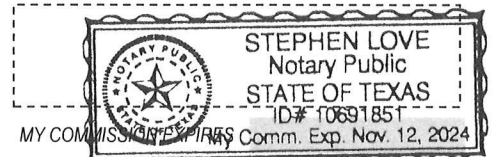
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF October, 2021.

OWNER'S SIGNATURE


Randall Schwimmer

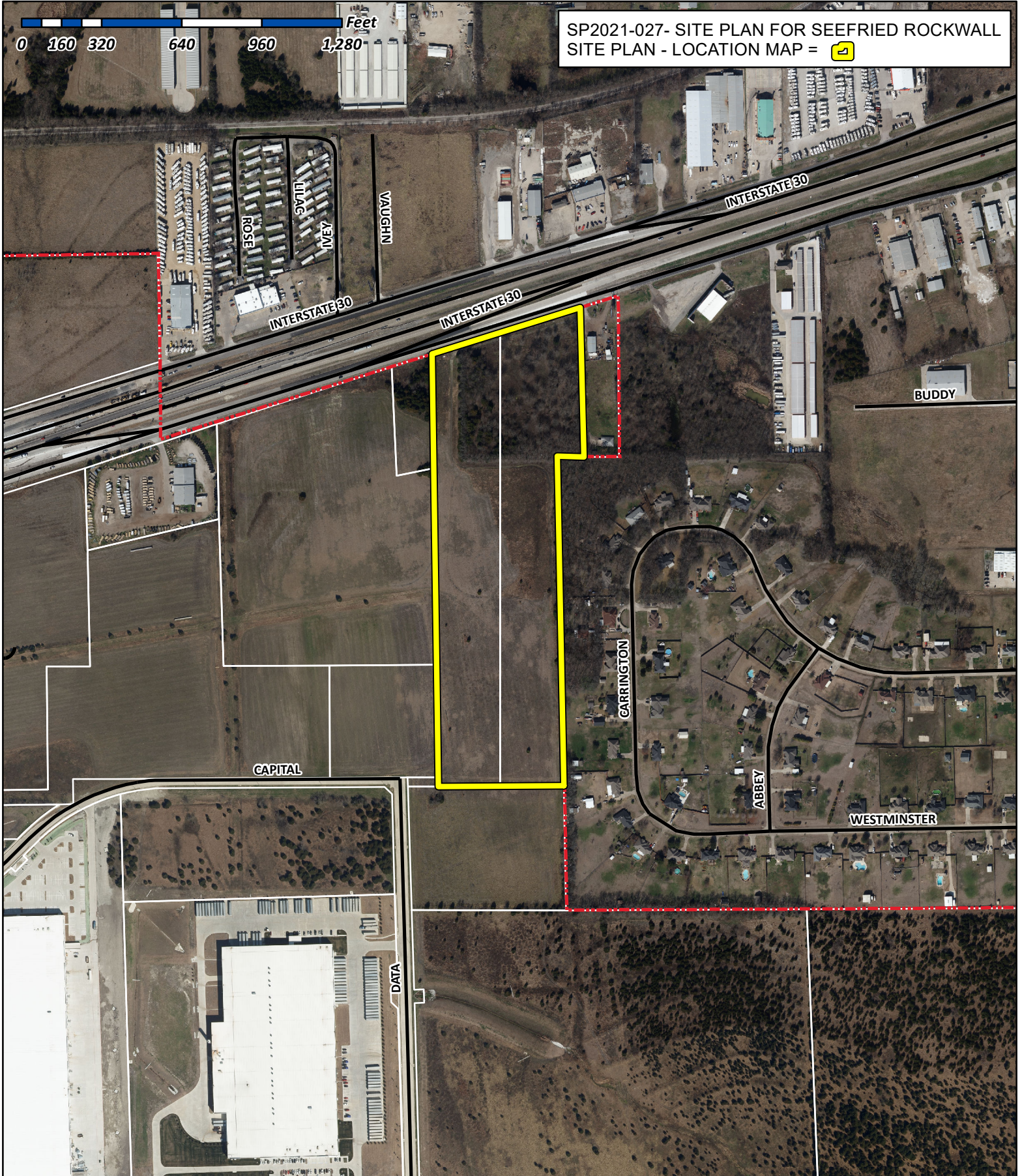
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Stephen Love



0 160 320 640 960 1,280 Feet

SP2021-027- SITE PLAN FOR SEEFRIED ROCKWALL
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



October 11, 2021

Mr. Rian C. Miller
AICP Director of Planning and Zoning
City of Rockwall
385 South Goliad St.
Rockwall, Texas 75087

Re: REQUESTED VARIANCES TO THE CITY OF ROCKWALL DEVELOPMENT
/ TWO (2) BUILDING SPEC WAREHOUSE PROJECT ROCKWALL, TX

Dear Mr. Miller,

As a part of the Site Plan submittal, the Owner, Seefried Properties is requesting variances from the required zoning development design standards for this project. The following are the requested variances.

1. Changed required 20% stone coverage to a reduced stone coverage using FAUX stone as indicated on the elevations.
2. A reduction for the articulation requirements as defined in the Zoning Ordinance. Including the use of tilt-wall as an exterior building material. Note: We have provided the following compensatory design additions.
 - a. Exterior patio area with adjacent landscaping.
 - b. Exterior seating.
 - c. Bicycle racks.
 - d. Provide additional canopies over center punched windows.

We believe that the current design meets the intent of the IH 30 overlay district and the Zoning Ordinance. Please see the corresponding elevations and color renderings for the materials and design of the project. Thank you for your considerations.

Sincerely



Mark W. Pross
C.E.O.



October 13, 2021

Mr. Ryan Miller
AICP Director of Planning & Zoning
City of Rockwall
385 South Goliad Street
Rockwall, Texas 75087

RE: 22.234-Acre Industrial Spec Site Tree Mitigation Hardship Request

Dear Mr. Miller,

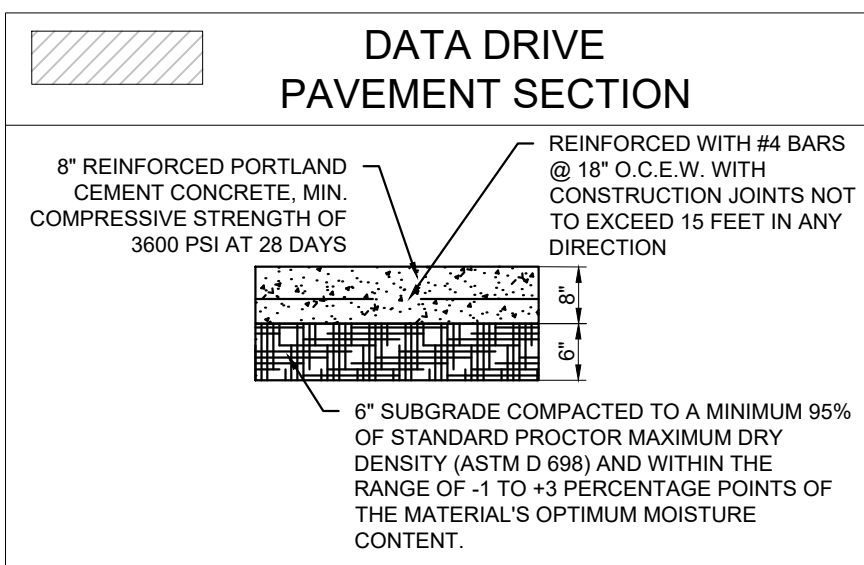
As part of the Site Plan submittal, we are requesting an alternative tree mitigation settlement agreement. This is due to the hardship created by the excessive caliper inches of protected trees that we are required to mitigate per the City's Unified Development Code (UDC). See table below for summary:

Protected Caliper Inches Removed Onsite	3,234
Required Caliper Inches Included on LS Plans (281 Trees x 4")	1,124
Remaining Caliper Inches to Mitigate	2,110

We request to negotiate a settlement that is less than the \$200 per caliper inch that is noted in the UDC. We feel that the fee of \$200 per caliper inch is an amount that creates an excessive financial burden on the development of this property. Thank you for your consideration.

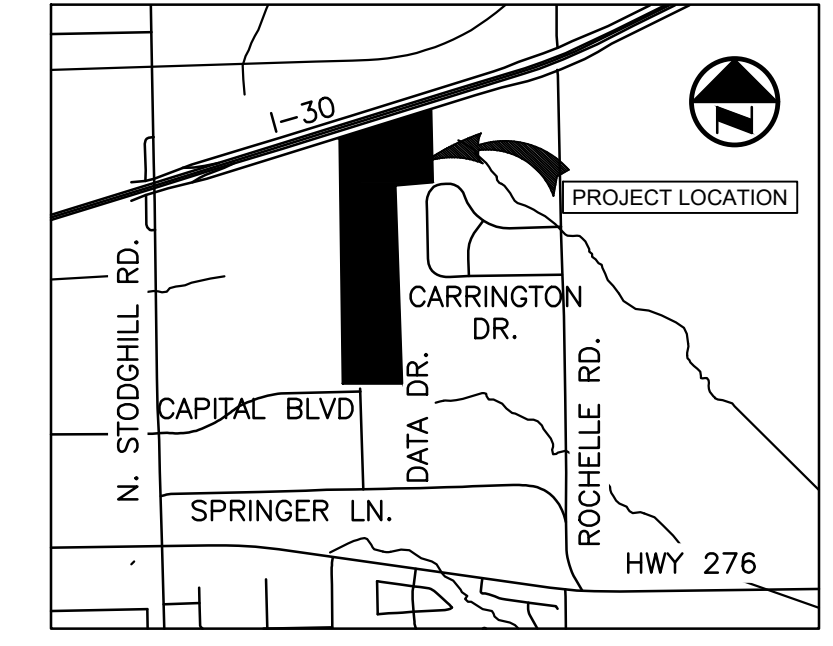
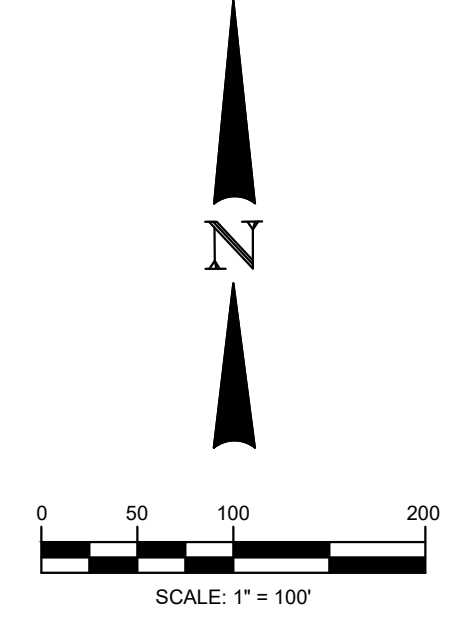
Sincerely,

Nick Hobbs, PE
Project Manager



PROJECT DATA			
LOT 1		LOT 2	
BUILDING 1 AREA	157,720 SF	BUILDING 2 AREA	157,720 SF
REQUIRED PARKING (1000 SF)	158 CARS	REQUIRED PARKING (1000 SF)	158 CARS
REQUIRED ADA PARKING	6 CARS	REQUIRED ADA PARKING	6 CARS
PROVIDED CAR PARKS	176 CARS	PROVIDED CAR PARKS	155 CARS (15 FUTURE)
PROVIDED HANDICAP SPACES	10 CARS	PROVIDED HANDICAP SPACES	10 CARS
BUILDING COVERAGE	32.70% BUILDING COVERAGE	BUILDING COVERAGE	32.7%

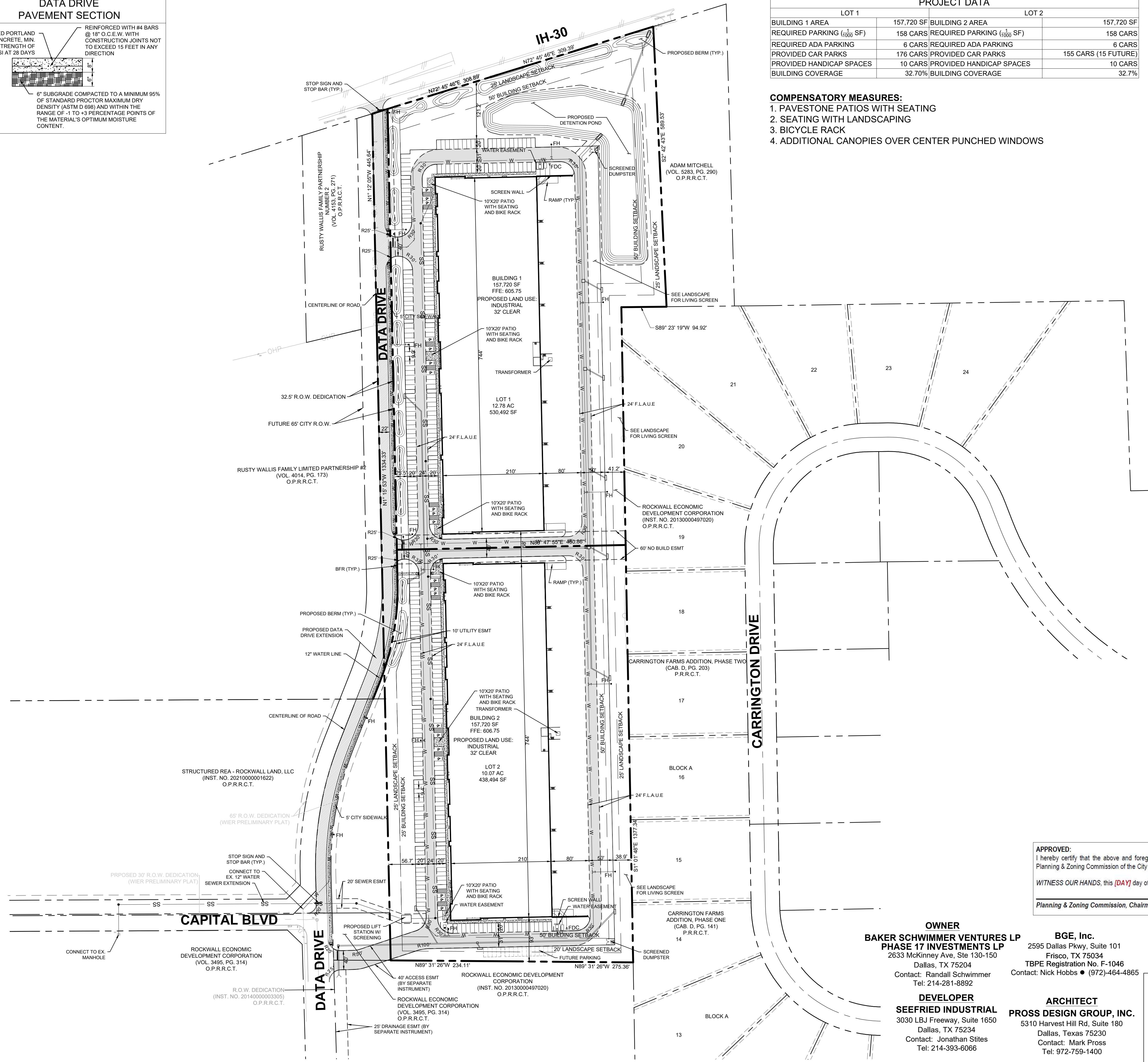
- COMPENSATORY MEASURES:**
1. PAVESTONE PATIOS WITH SEATING
 2. SEATING WITH LANDSCAPING
 3. BICYCLE RACK
 4. ADDITIONAL CANOPIES OVER CENTER PUNCHED WINDOWS



LEGEND

	PROPERTY LINE		EXISTING MANHOLE
	EASEMENT LINE		EXISTING FIRE HYDRANT
	EXISTING MANHOLE		BARRIER FREE RAMP
	EXISTING FIRE HYDRANT		POWER POLE
	BARRIER FREE RAMP		PROPOSED MANHOLE
	POWER POLE		PROPOSED IRRIGATION METER
	PROPOSED MANHOLE		PROPOSED DOMESTIC METER
	PROPOSED IRRIGATION METER		PROPOSED GATE VALVE
	PROPOSED DOMESTIC METER		FIRE DEPARTMENT CONNECTION
	PROPOSED GATE VALVE		PROPOSED FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION		PROPOSED WYE INLET
	PROPOSED FIRE HYDRANT ASSEMBLY		PROPOSED CURB INLET
	PROPOSED WYE INLET		BIKE RACKS
	PROPOSED CURB INLET		
	BIKE RACKS		

- KEY**
- | | | | |
|------|-------------------|------|----------------------------|
| TYP | TYPICAL | PP | POWER POLE |
| BFR | BARRIER FREE RAMP | ESMT | EASEMENT |
| FH | FIRE HYDRANT | ○ | NUMBER OF PARKING SPACES |
| SSMH | SEWER MANHOLE | STMH | STORM MANHOLE |
| LP | LIGHT POLE | WYE | WYE INLET |
| CI | CURB INLET | FDC | FIRE DEPARTMENT CONNECTION |
- NOTES**
1. CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
 2. ALL WORK AND MATERIALS SHALL COMPLY WITH CITY AND COUNTY REGULATIONS AS WELL AS O.S.H.A STANDARDS.
 3. ALL DIMENSIONS ARE TO THE FACE OR CURB UNLESS OTHERWISE NOTED.
 4. ALL FIRE LANE RADII ARE 25- FEET MINIMUM.
 5. ALL FIRE LANES ARE 24- FEET WIDE MINIMUM.
 6. HANDICAP PARKING AND MARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
 7. REFER TO CITY OF ROCKWALL CONSTRUCTION DETAILS AND SPECIFICATIONS.
 8. ALL SCREENING SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS.
 9. CONTRACTOR TO COORDINATE WITH CITY TRAFFIC ENGINEER PRIOR TO INSTALLING ROAD SIGNS OR PAVEMENT MARKINGS.
 10. REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR FINAL SIDEWALK LAYOUT.



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER
BAKER SCHWIMMER VENTURES LP
PHASE 17 INVESTMENTS LP
2633 McKinney Ave, Ste 130-150
Dallas, TX 75204
Contact: Randall Schwimmer
Tel: 214-281-8892

DEVELOPER
SEEFRIED INDUSTRIAL
3030 LBJ Freeway, Suite 1650
Dallas, Texas 75234
Contact: Jonathan Stites
Tel: 214-393-6066

BGE, Inc.
2595 Dallas Pkwy, Suite 101
Frisco, TX 75034
TBPE Registration No. F-1046
Contact: Nick Hobbs • (972)-464-4865

ARCHITECT
PROSS DESIGN GROUP, INC.
5310 Harvest Hill Rd, Suite 180
Dallas, Texas 75230
Contact: Mark Pross
Tel: 972-759-1400

SITE PLAN
(CITY CASE NO. XXX)
SEEFRIED ROCKWALL
11.126 ACRES AND 11.108 ACRES BEING SITUATED
IN THE R.B. IRVINE SURVEY, ABSTRACT NO. 120
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 15, 2021

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
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OWNER/DEVELOPER
SEEFRIED INDUSTRIAL
3030 LBJ Freeway, Suite 1650
Dallas, TX 75234
Contact: Jonathan Stites
Tel: 214-393-6066

ARCHITECT
PROSS DESIGN GROUP, INC.
5310 Harvest Hill Rd, Suite 180
Dallas, Texas 75230
Contact: Mark Pross
Tel: 972-759-1400

SEEFRIED ROCKWALL
SITE PLAN
SEEFRIED ROCKWALL
R.B. IRVINE SURVEY, ABSTRACT NO. 120
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
NICHOLAS D. HOBBS, P.E.
TEXAS REGISTRATION NO. 112949

!CAUTION!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION!!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

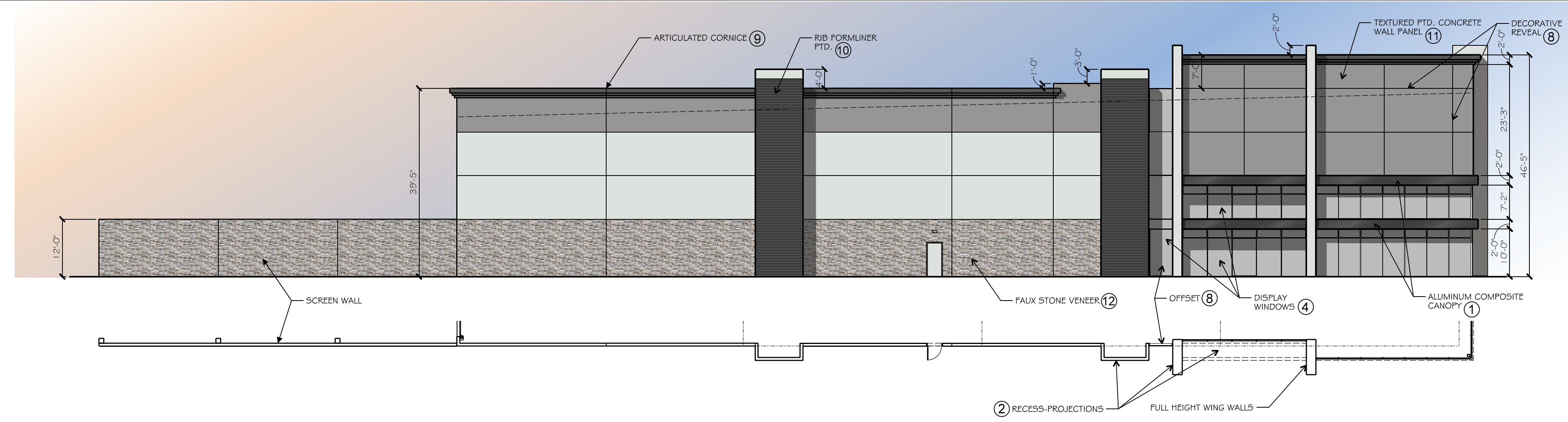
REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: NDH
DESIGNED BY: ABO
DATE: OCTOBER 2021
PROJECT NUMBER: 9028-00

SHEET NO.
SP-1

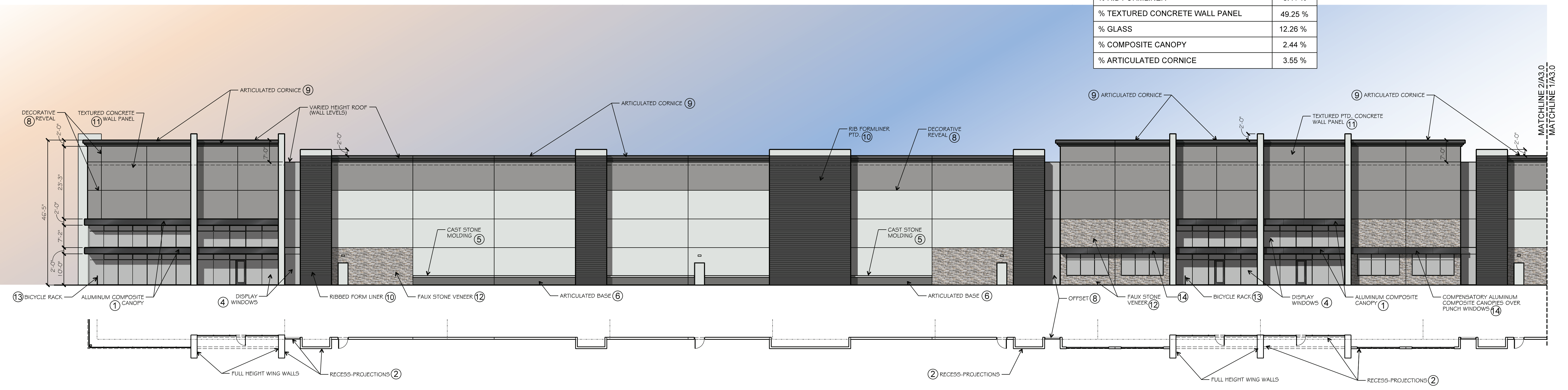
BGE, INC.

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 \$ TIMES \$
 \$ DATES \$
 \$ FILES \$



MATERIALS %	
% FAUX STONE VENEER	24.09 %
% RIB FORMLINER	8.41 %
% TEXTURED CONCRETE WALL PANEL	49.25 %
% GLASS	12.26 %
% COMPOSITE CANOPY	2.44 %
% ARTICULATED CORNICE	3.55 %

BUILDING 1 NORTH ELEVATION
 SCALE: 1/16"=1'-0"

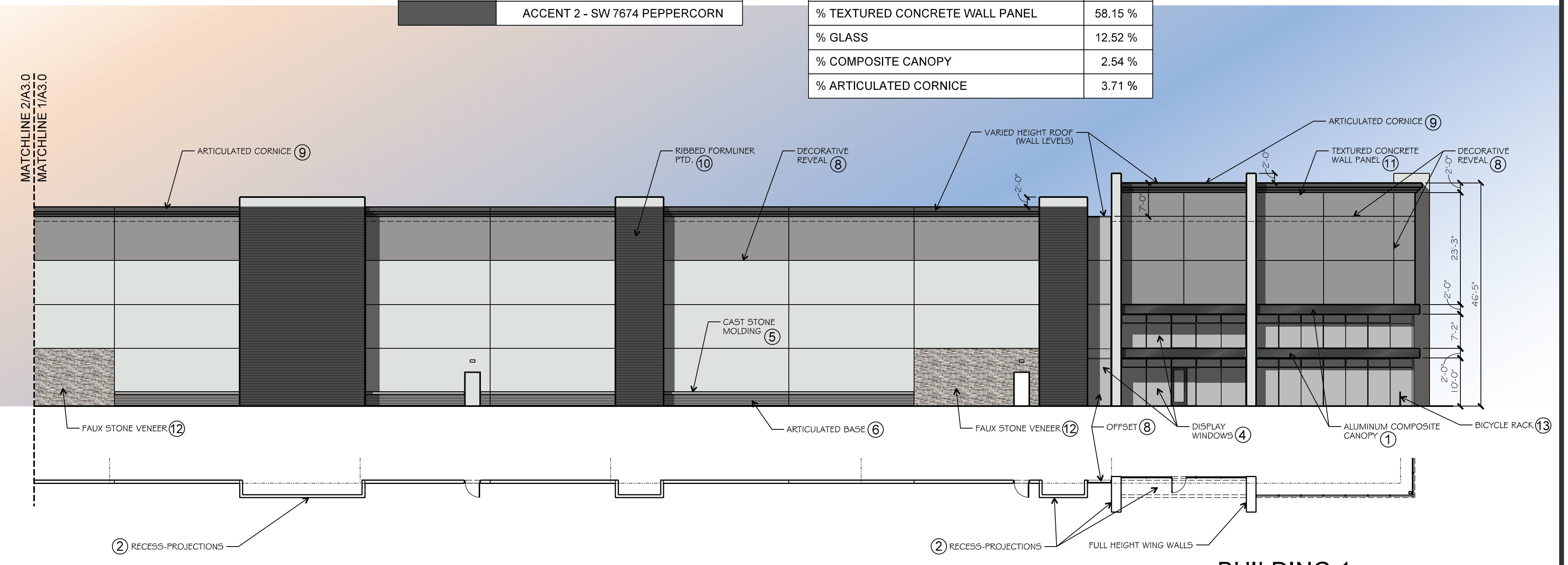


PAINT SCHEDULE	
	FIELD - SW 7656 RHINESTONE
	ACCENT 1 - SW 7669 SUMMIT GRAY
	ACCENT 2 - SW 7674 PEPPERCORN

MATERIALS %	
% FAUX STONE VENEER	6.50 %
% RIB FORMLINER	16.58 %
% TEXTURED CONCRETE WALL PANEL	58.15 %
% GLASS	12.52 %
% COMPOSITE CANOPY	2.54 %
% ARTICULATED CORNICE	3.71 %

BUILDING 1 PARTIAL WEST ELEVATION
 SCALE: 1/16"=1'-0"

ARCHITECTURAL ELEMENTS PROVIDED (3 REQ'D)	
①	CANOPIES, AWNINGS OR PORTICOS
②	RECESSES - PROJECTIONS
③	OUTDOOR PATIOS (SEE SITE PLAN) *COMPENSATORY MEASURE 1
④	DISPLAY WINDOWS
⑤	ARCHITECTURAL DETAIL - MOLDING
⑥	ARTICULATED BASE
⑦	LANDSCAPE AND SEATING AREAS (SEE SITE PLAN & LANDSCAPE PLAN) *COMPENSATORY MEASURE 2
⑧	OFFSETS AND REVEALS
⑨	ARTICULATED CORNICE
⑩	RIBBED FORMLINER PTD.
⑪	TEXTURED AND PTD. SMOOTH FINISH CONCRETE
⑫	FAUX STONE VENEER
⑬	BICYCLE RACK *COMPENSATORY MEASURE 3
⑭	*COMPENSATORY ALUMINUM CANOPIES OVER PUNCH WINDOWS



BUILDING 1 PARTIAL WEST ELEVATION
 SCALE: 1/16"=1'-0"

drawn: [blank]
 checked: MARK W. PROSS
 date: 10/09/2021

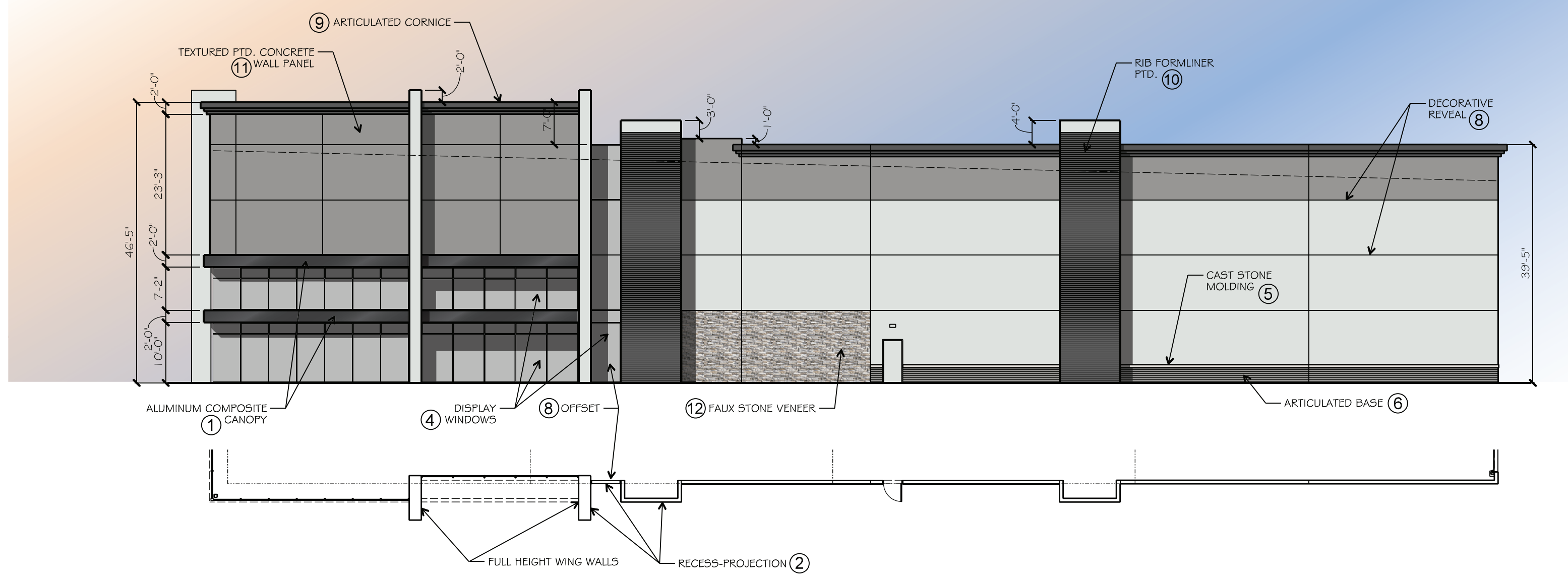
SEEFRIED PROPERTIES

PRELIMINARY ONLY

pross design group, incorporated
 5010 Harvest Hill Road, Suite 100, Dallas, Texas 75220, 972.7708.1400

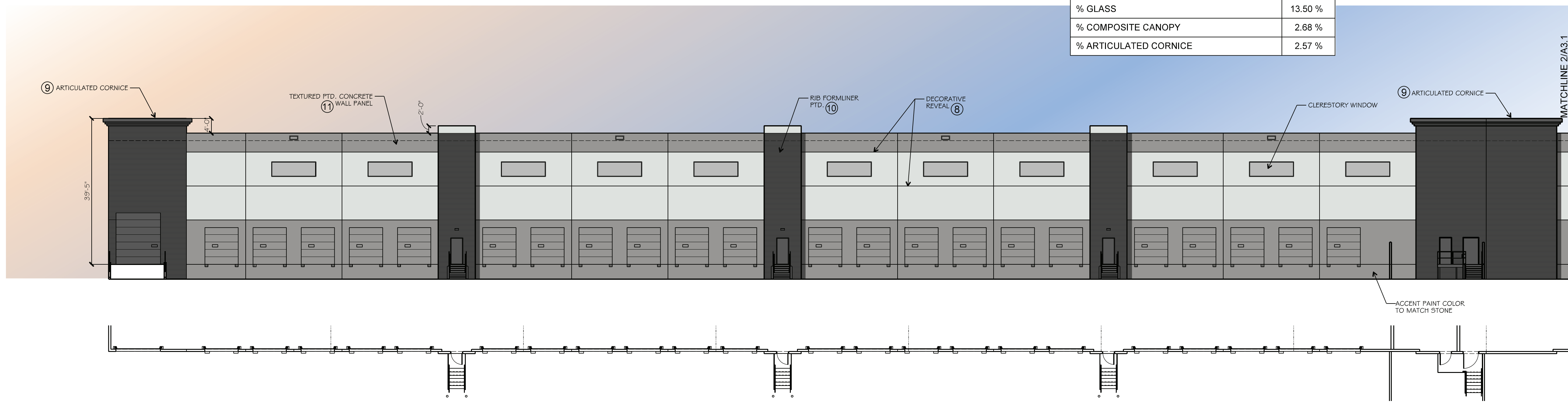
SPEC WAREHOUSES
BLDG 1 & 2
 ROCKWALL, TEXAS

job no 2152
 sheet A3.0



MATERIALS %	
% FAUX STONE	4.19 %
% RIB FORMLINER	12.26 %
% TEXTURED CONCRETE WALL PANEL	64.80 %
% GLASS	13.50 %
% COMPOSITE CANOPY	2.68 %
% ARTICULATED CORNICE	2.57 %

**BUILDING 1
3 SOUTH ELEVATION**
SCALE: 1/16"=1'-0"

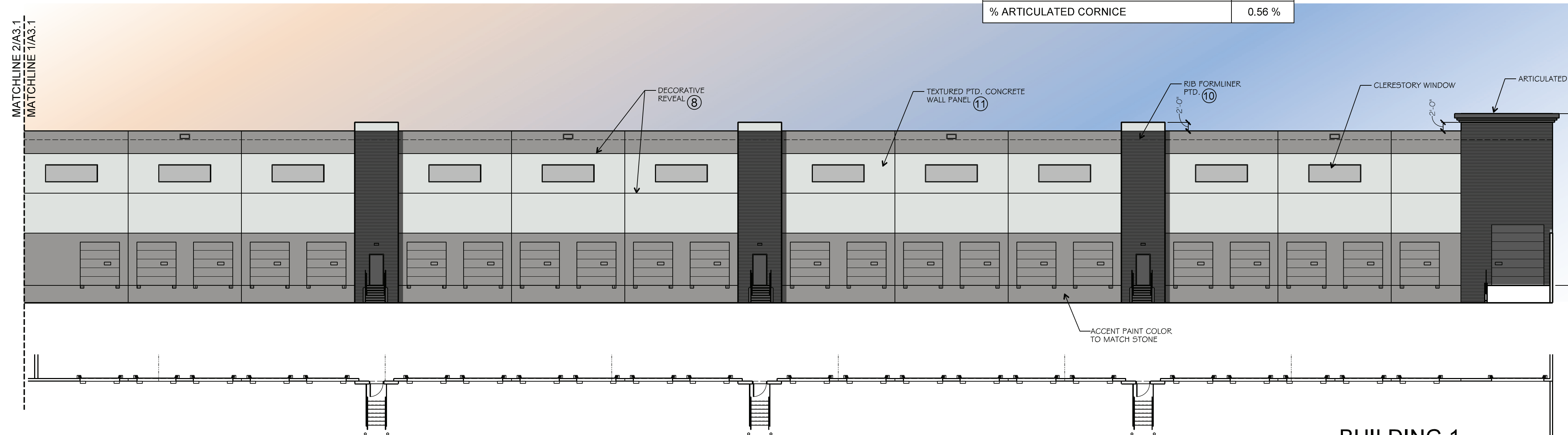


PAINT SCHEDULE	
[Color swatch]	FIELD - SW 7656 RHINESTONE
[Color swatch]	ACCENT 1 - SW 7669 SUMMIT GRAY
[Color swatch]	ACCENT 2 - SW 7674 PEPPERCORN

MATERIALS %	
% RIB FORMLINER	15.83 %
% TEXTURED CONCRETE WALL PANEL	64.93 %
% OVERHEAD DOORS / MAN DOORS	15.13 %
% GLASS	3.55 %
% ARTICULATED CORNICE	0.56 %

**BUILDING 1
2 PARTIAL EAST ELEVATION**
SCALE: 1/16"=1'-0"

ARCHITECTURAL ELEMENTS PROVIDED (3 REQ'D)	
①	CANOPIES, AWNINGS OR PORTICOS
②	RECESSES - PROJECTIONS
③	OUTDOOR PATIOS (SEE SITE PLAN) *COMPENSATORY MEASURE 1
④	DISPLAY WINDOWS
⑤	ARCHITECTURAL DETAIL - MOLDING
⑥	ARTICULATED BASE
⑦	LANDSCAPE AND SEATING AREAS (SEE SITE PLAN & LANDSCAPE PLAN) *COMPENSATORY MEASURE 2
⑧	OFFSETS AND REVEALS
⑨	ARTICULATED CORNICE
⑩	RIBBED FORMLINER PTD.
⑪	TEXTURED AND PTD. SMOOTH FINISH CONCRETE
⑫	FAUX STONE VENEER
⑬	BICYCLE RACK *COMPENSATORY MEASURE 3



**BUILDING 1
1 PARTIAL EAST ELEVATION**
SCALE: 1/16"=1'-0"

drawn: checked: MARK VI PROSS
date: 10/09/2021

SEEFRIED PROPERTIES

PRELIMINARY ONLY

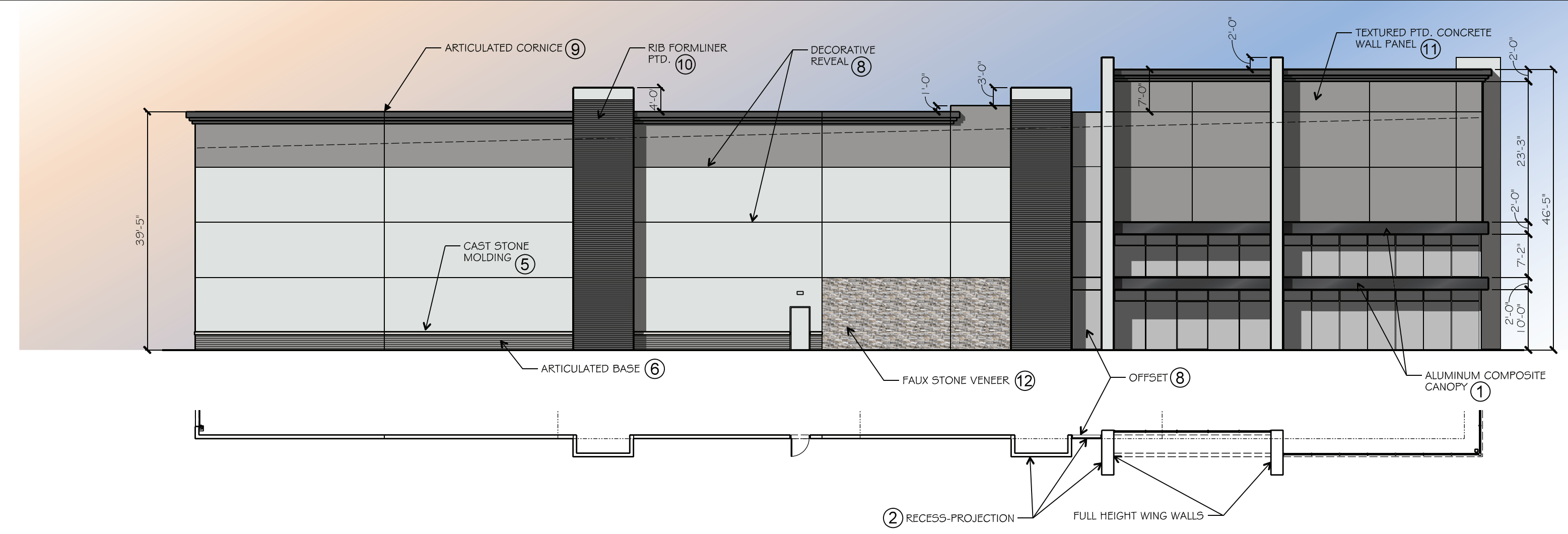
pross design group, incorporated
5010 Harvest Hill Road, Suite 100, Dallas, Texas 75220, 972.7788.440

**SPEC WAREHOUSES
BLDG 1 & 2**
ROCKWALL, TEXAS

job no 2152
sheet
A3.1

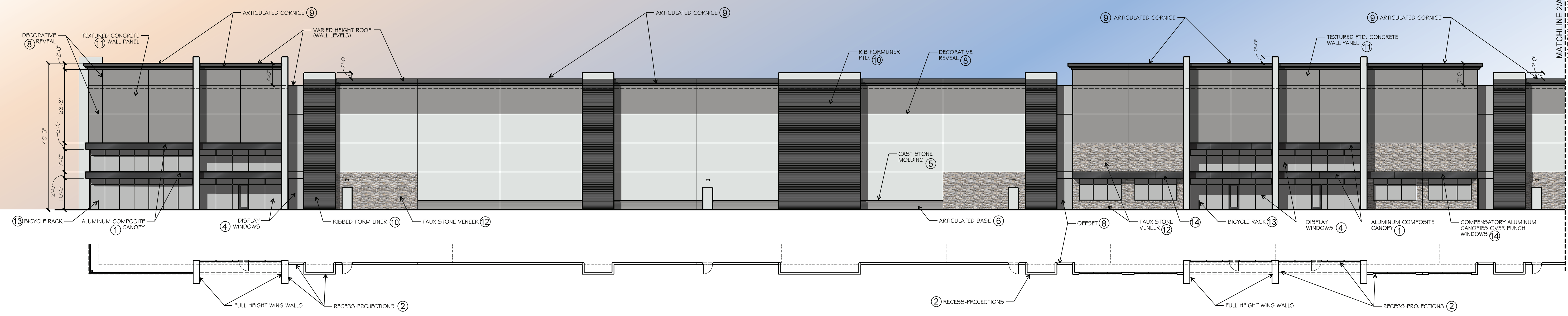
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\$ TIMES
\$ DATES
\$ FILES



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% TEXTURED CONCRETE WALL PANEL	64.80 %
% GLASS	13.50 %
% COMPOSITE CANOPY	2.68 %
% ARTICULATED CORNICE	2.57 %

3 BUILDING 2 NORTH ELEVATION
SCALE: 1/16"=1'-0"

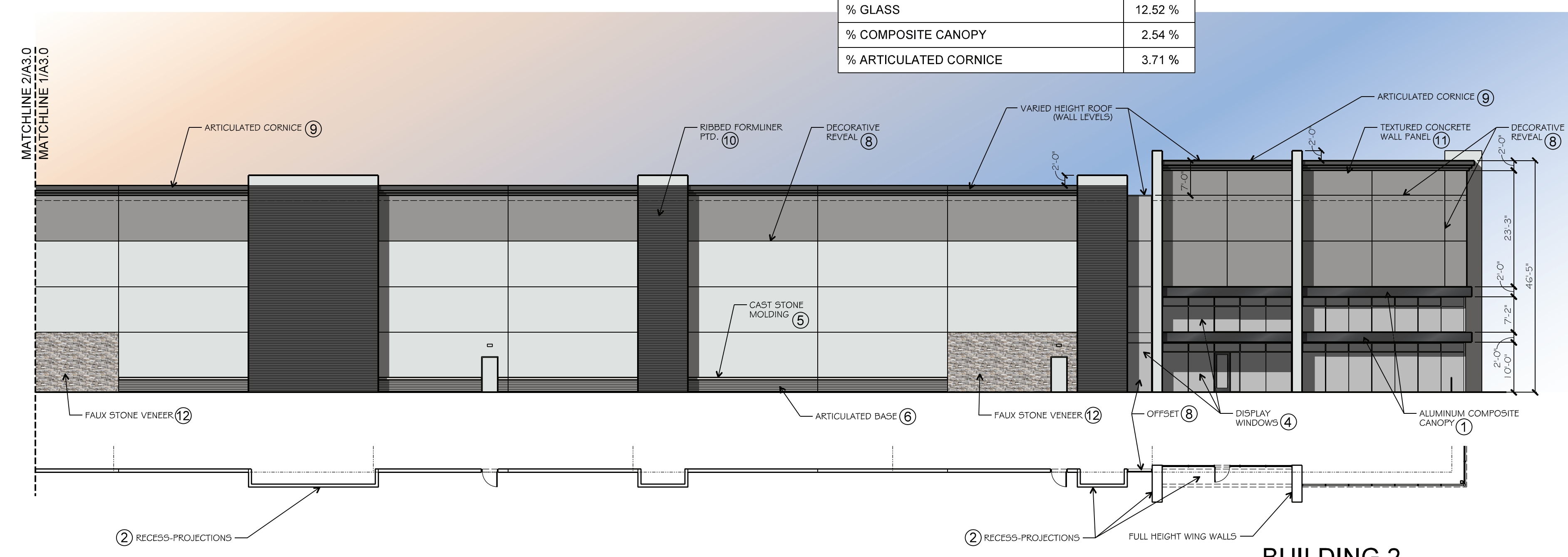


PAINT SCHEDULE	
	FIELD - SW 7656 RHINESTONE
	ACCENT 1 - SW 7669 SUMMIT GRAY
	ACCENT 2 - SW 7674 PEPPERCORN

MATERIALS %	
% FAUX STONE VENEER	6.50 %
% RIB FORMLINER	16.58 %
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% COMPOSITE CANOPY	2.54 %
% ARTICULATED CORNICE	3.71 %

2 BUILDING 2 PARTIAL WEST ELEVATION
SCALE: 1/16"=1'-0"

ARCHITECTURAL ELEMENTS PROVIDED (3 REQ'D)	
1	CANOPIES, AWNINGS OR PORTICOS
2	RECESSES - PROJECTIONS
3	OUTDOOR PATIOS (SEE SITE PLAN) *COMPENSATORY MEASURE 1
4	DISPLAY WINDOWS
5	ARCHITECTURAL DETAIL - MOLDING
6	ARTICULATED BASE
7	LANDSCAPE AND SEATING AREAS (SEE SITE PLAN & LANDSCAPE PLAN) *COMPENSATORY MEASURE 2
8	OFFSETS AND REVEALS
9	ARTICULATED CORNICE
10	RIBBED FORMLINER PTD.
11	TEXTURED AND PTD. SMOOTH FINISH CONCRETE
12	FAUX STONE VENEER
13	BICYCLE RACK *COMPENSATORY MEASURE 3
14	COMPENSATORY ALUMINUM CANOPIES OVER PUNCH WINDOWS



1 BUILDING 2 PARTIAL WEST ELEVATION
SCALE: 1/16"=1'-0"

drawn:
checked:
MARK W. PROSS
date:
10/09/2021

SEEFRIED PROPERTIES

PRELIMINARY ONLY

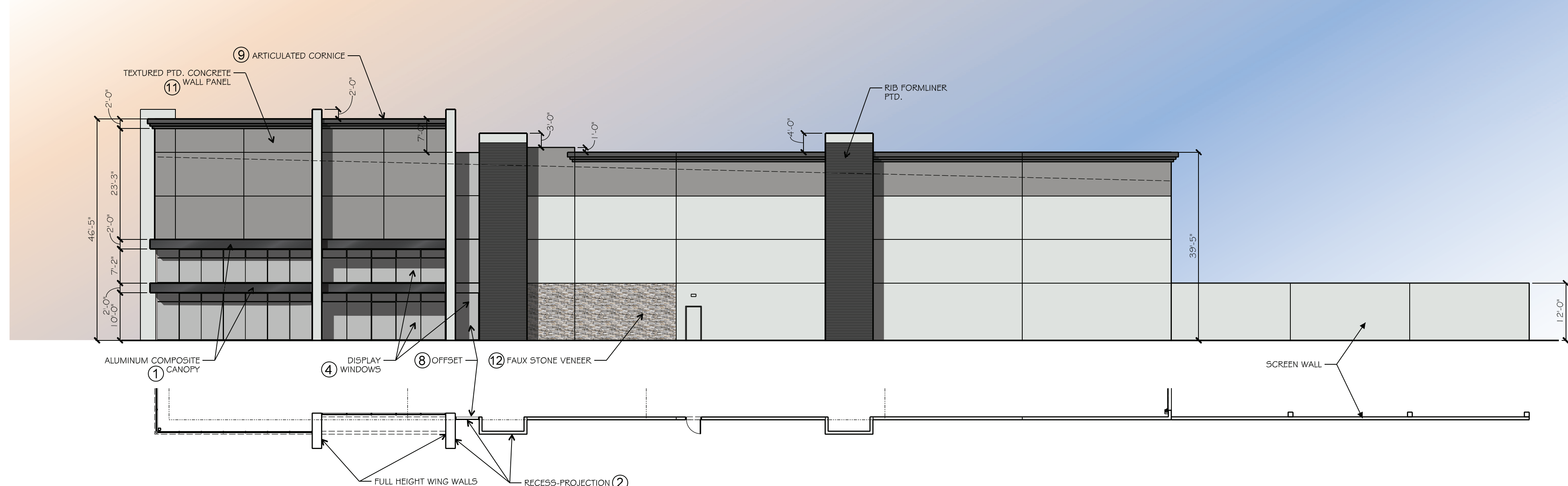
pross design group, inc.
3010 Harvest Hill Road, Suite 100, Dallas, Texas 75220, 972.7708.1400

SPEC WAREHOUSES
BLDG 1 & 2
ROCKWALL, TEXAS

job no
2152
sheet
A3.2

ARCHITECTURAL ELEMENTS PROVIDED (3 REQ'D)

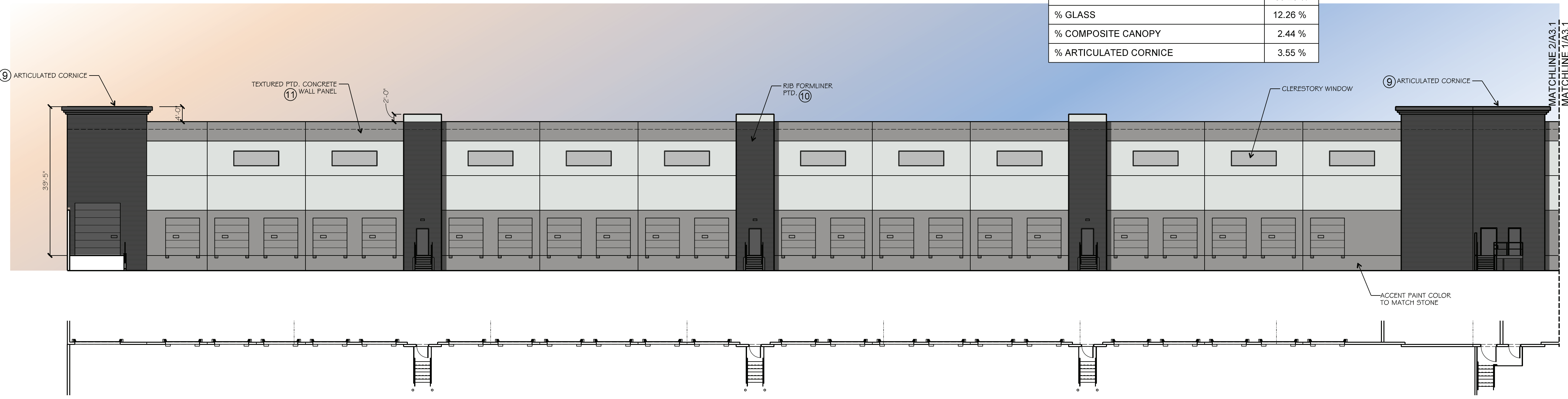
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⑫	FAUX STONE VENEER
⑬	BICYCLE RACK *COMPENSATORY MEASURE 3



MATERIALS %

% FAUX STONE VENEER	3.81 %
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% TEXTURED CONCRETE WALL PANEL	69.26 %
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% COMPOSITE CANOPY	2.44 %
% ARTICULATED CORNICE	3.55 %

3 BUILDING 2 SOUTH ELEVATION
SCALE: 1/16"=1'-0"



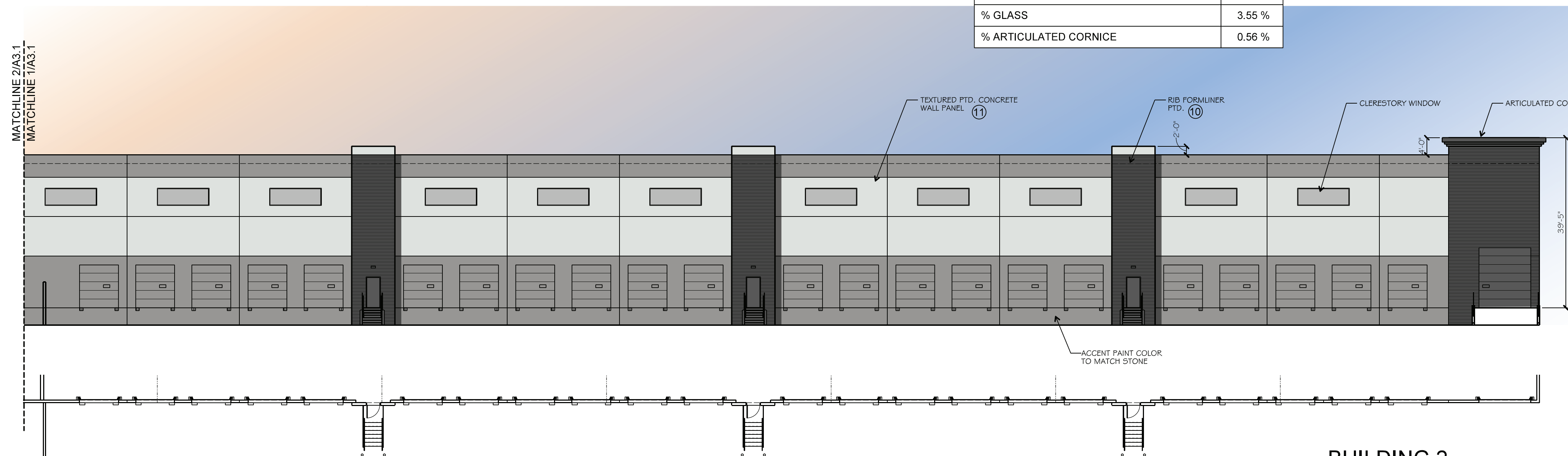
PAINT SCHEDULE

FIELD	- SW 7656 RHINESTONE
ACCENT 1	- SW 7669 SUMMIT GRAY
ACCENT 2	- SW 7674 PEPPERCORN

MATERIALS %

% RIB FORMLINER	15.83 %
% TEXTURED CONCRETE WALL PANEL	64.93 %
% OVERHEAD DOORS / MAN DOORS	15.13 %
% GLASS	3.55 %
% ARTICULATED CORNICE	0.56 %

2 BUILDING 2 PARTIAL EAST ELEVATION
SCALE: 1/16"=1'-0"



1 BUILDING 2 PARTIAL EAST ELEVATION
SCALE: 1/16"=1'-0"

drawn: checked: MARK W. PROSS
date: 10/09/2021

SEEFRIED PROPERTIES

PRELIMINARY ONLY

pross design group, incorporated
5010 Harvest Hill Road, Suite 100, Dallas, Texas 75220, 972.7788.440

SPEC WAREHOUSES BLDG 1 & 2
ROCKWALL, TEXAS

job no 2152
sheet
A3.3



01 | PERSPECTIVE A



02 | PERSPECTIVE B





BASE PAINT COLOR
SW7656 RHINESTONE



ACCENT COLOR 1
SW7669 SUMMIT GRAY



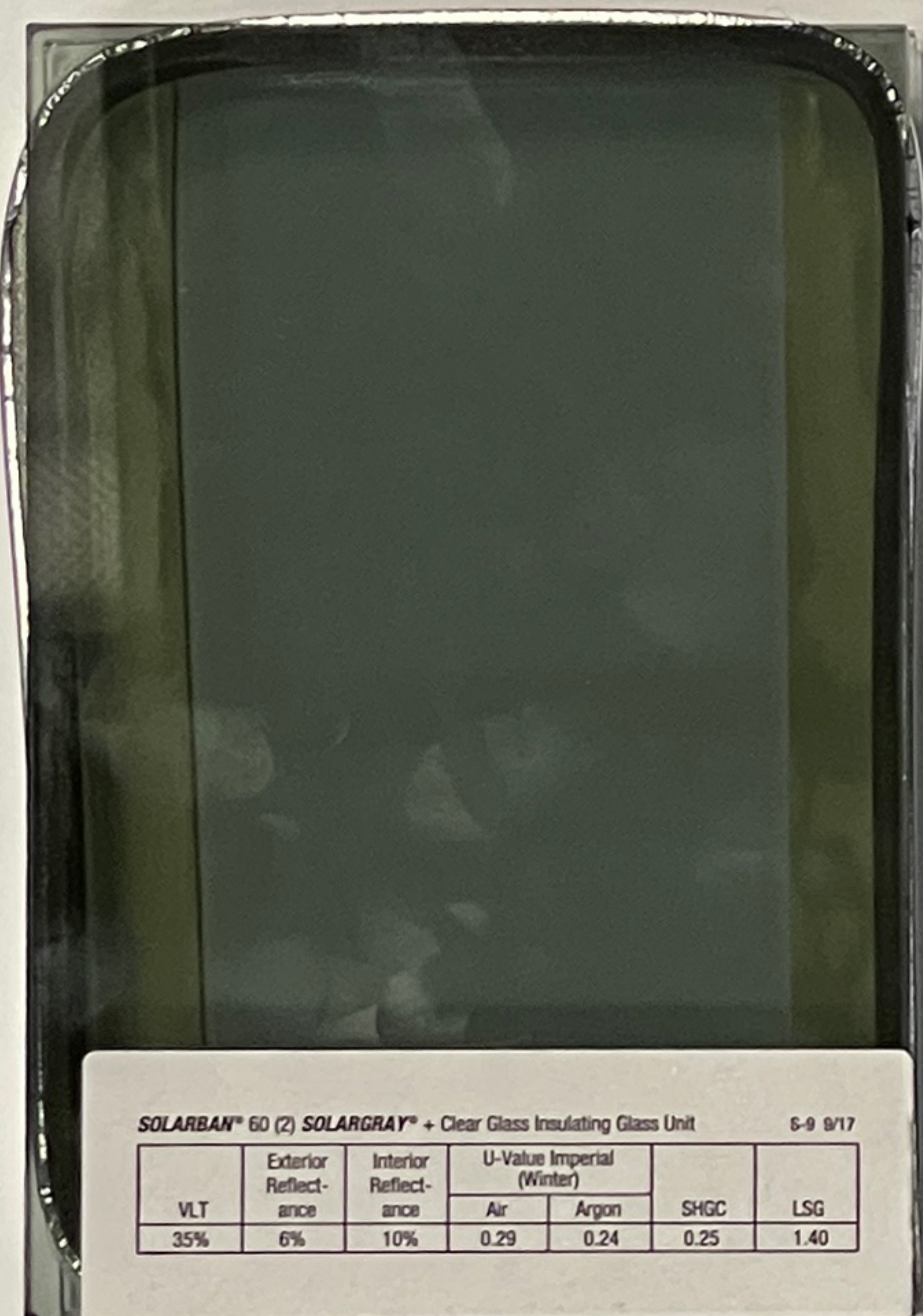
ACCENT COLOR 2
SW7674 PEPPERCORN



RENDERING
BUILDING 1 FRONT FACADE

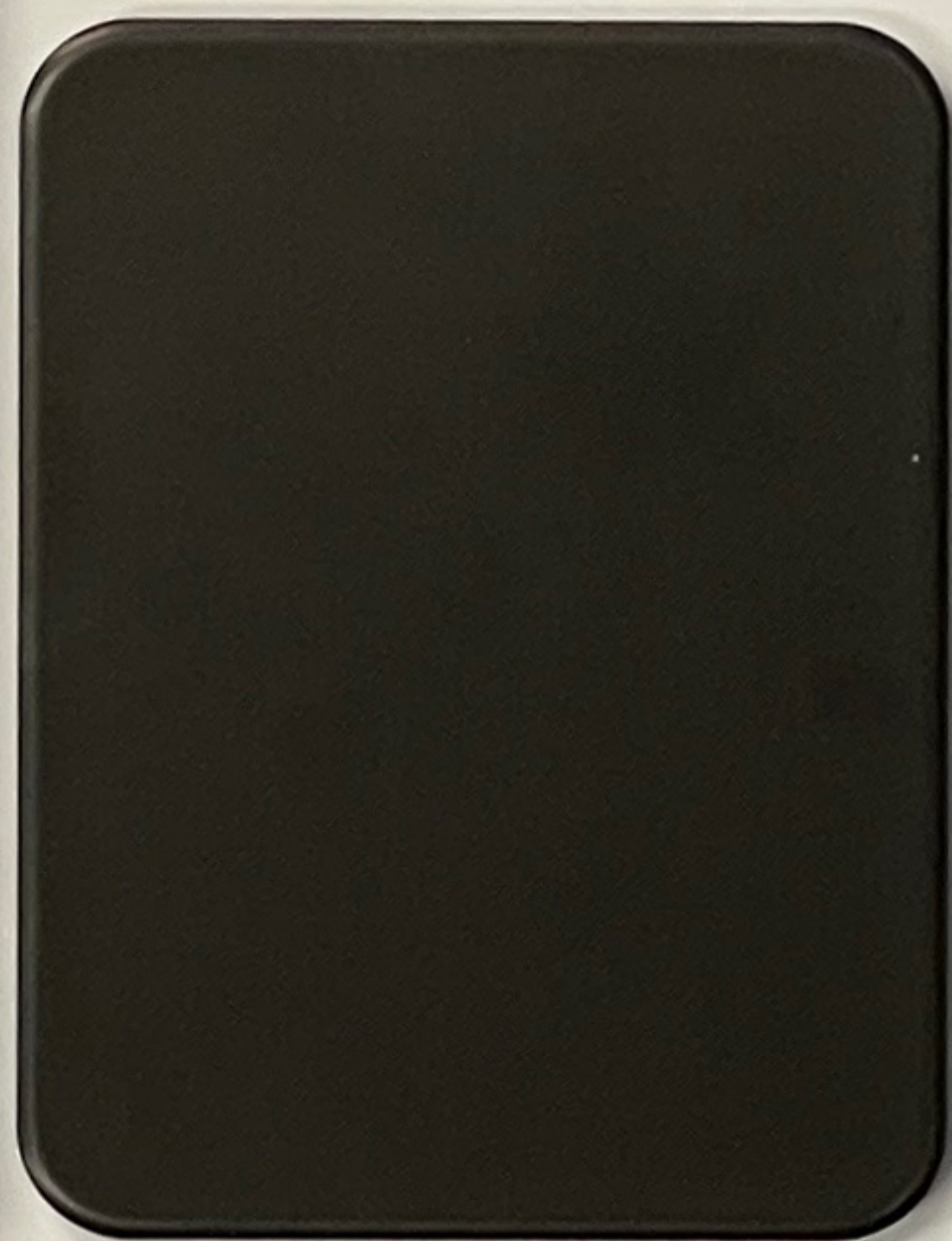


STOREFRONT
BLACK ANODIZED



GLAZING
SOLAR BAN 60 (2)
SOLAR GRAY

SOLARBAN® 60 (2) SOLARGRAY® - Clear Glass Insulating Glass Unit						
VLT	Exterior Reflectance	Interior Reflectance	U-Value Imperial (Winter)		SHGC	LSG
			Air	Argon		
35%	6%	10%	0.29	0.24	0.25	1.40



CANOPIES
BLACK ANODIZED



FORM LINER
SPLIT RIBBED
FORM LINER



STONE
DRY STACK

SPEC WAREHOUSES
BLDG 1 & 2
ROCKWALL, TEXAS

prody
pross design group incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230. 972/759-1400

SEEFRIED
INDUSTRIAL PROPERTIES

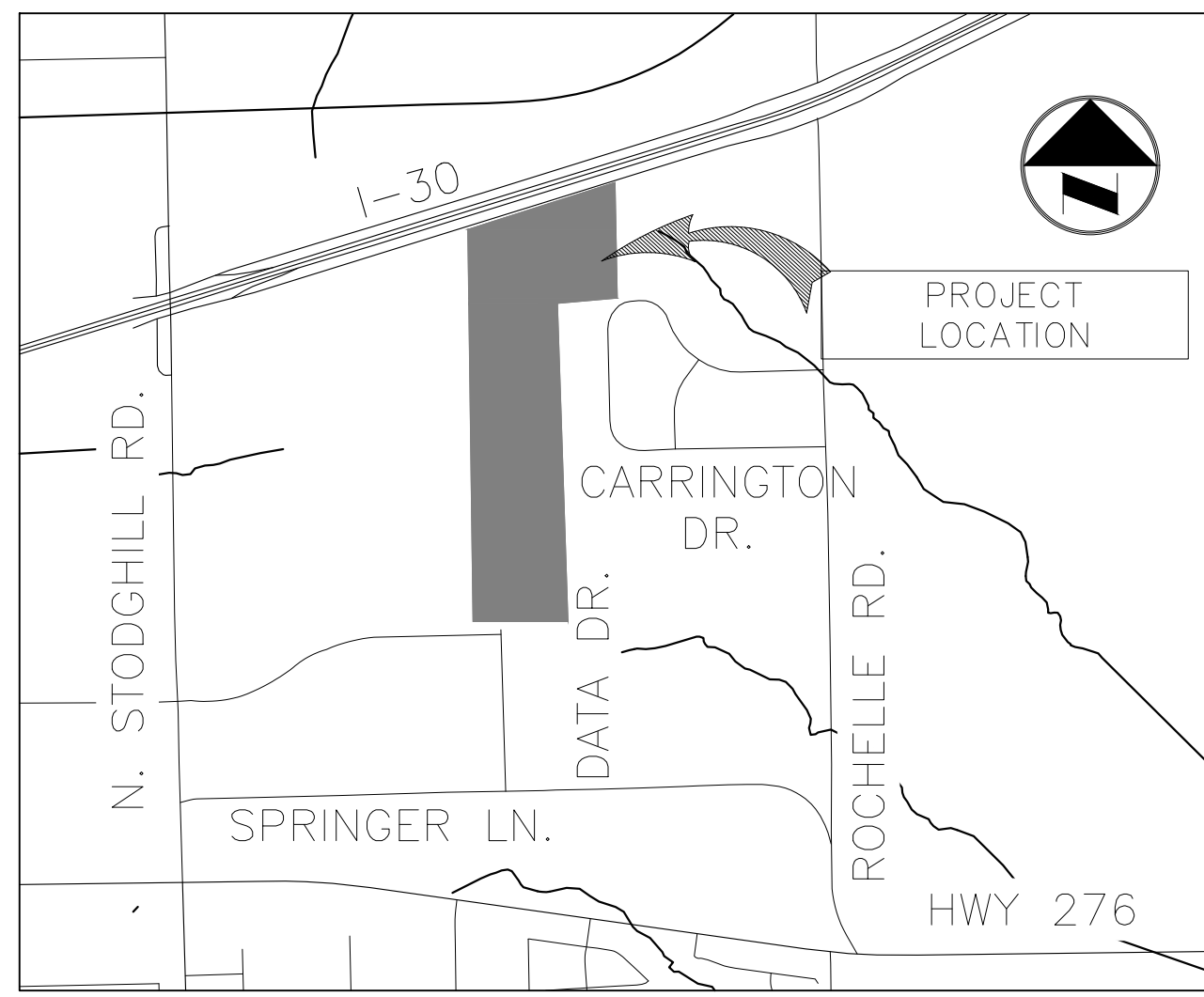
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10/15/2021



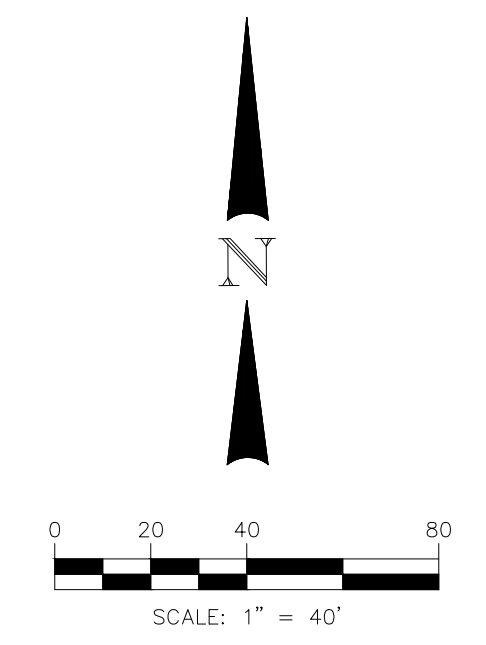
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SEEFRIED INDUSTRIAL
 3030 LBJ Freeway, Suite 1650
 Dallas, TX 75234
 Contact: Jonathan Stites
 Tel: 214-393-6066

ARCHITECT
PROSS DESIGN GROUP, INC.
 5310 Harvest Hill Rd, Suite 180
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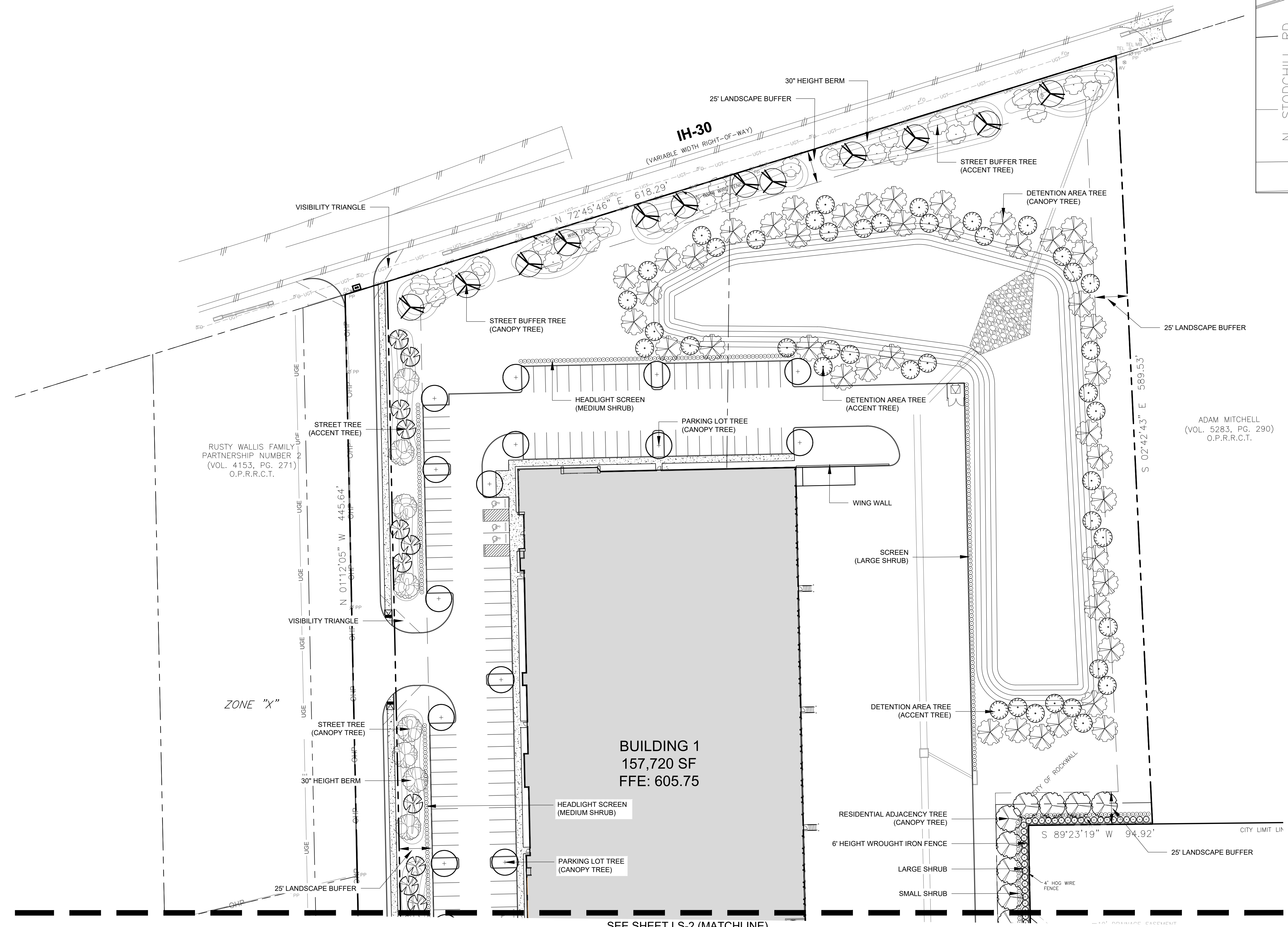


VICINITY MAP
(NOT TO SCALE)



LEGEND

- STREET TREE, 4" CAL.
- PARKING LOT TREE, 4" CAL.
- STREET BUFFER TREE, 4" CAL.
- RESIDENTIAL ADJACENCY TREE, 4" CAL.
- DETENTION AREA TREE, 4" CAL.



ADAM MITCHELL
 (VOL. 5283, PG. 290)
 O.P.R.R.C.T.

RUSTY WALLIS FAMILY
 PARTNERSHIP NUMBER 2
 (VOL. 4153, PG. 271)
 O.P.R.R.C.T.

SEE SHEET LS-2 (MATCHLINE)

PROJECT NAME

LANDSCAPE PLAN

**SEEFRIED ROCKWALL
 LOT AND BLOCK**

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 JUSTIN F. LOECKER, P.E.
 TEXAS REGISTRATION NO. 138868

!CAUTION!
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

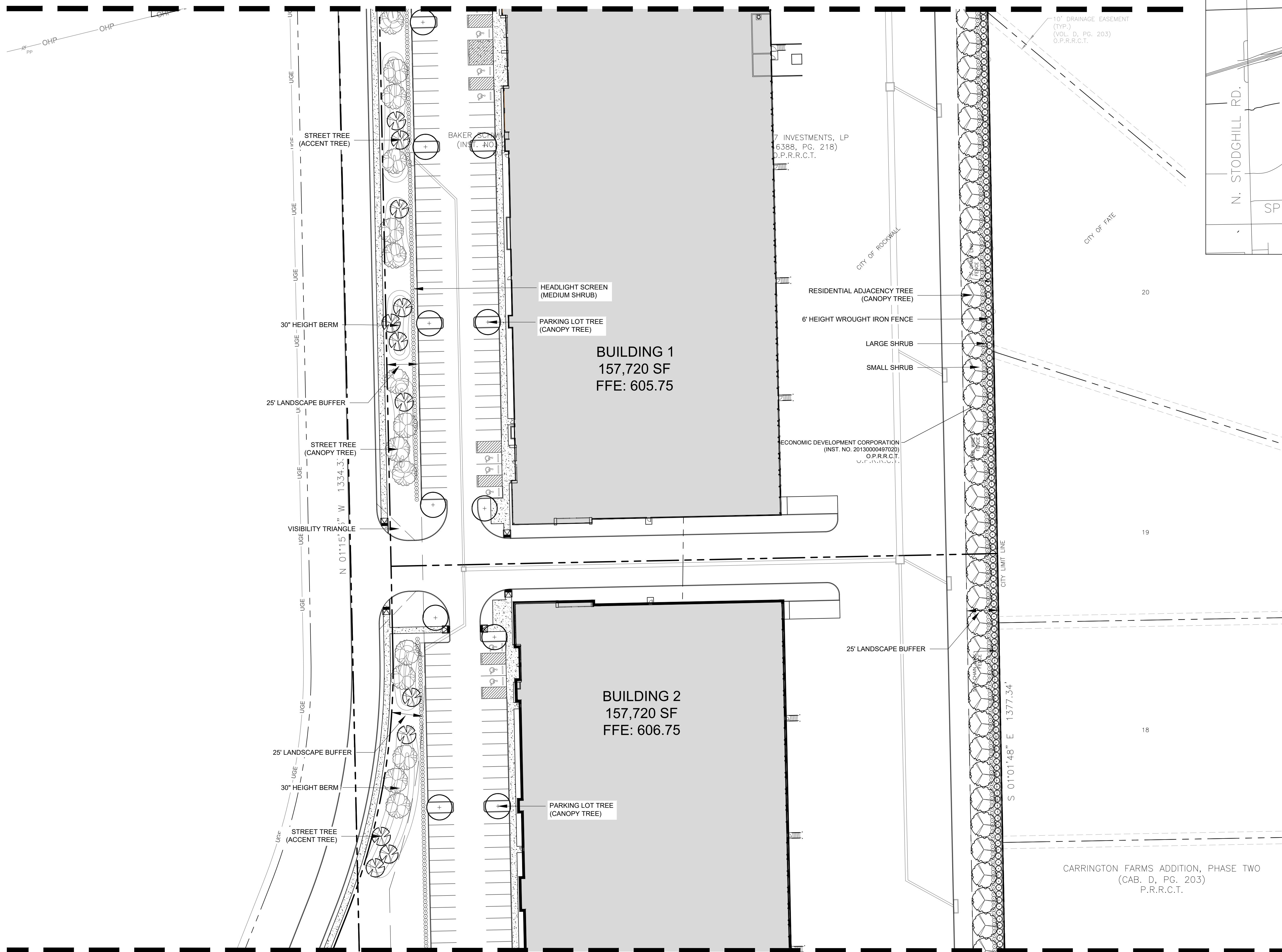
CAUTION!!!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

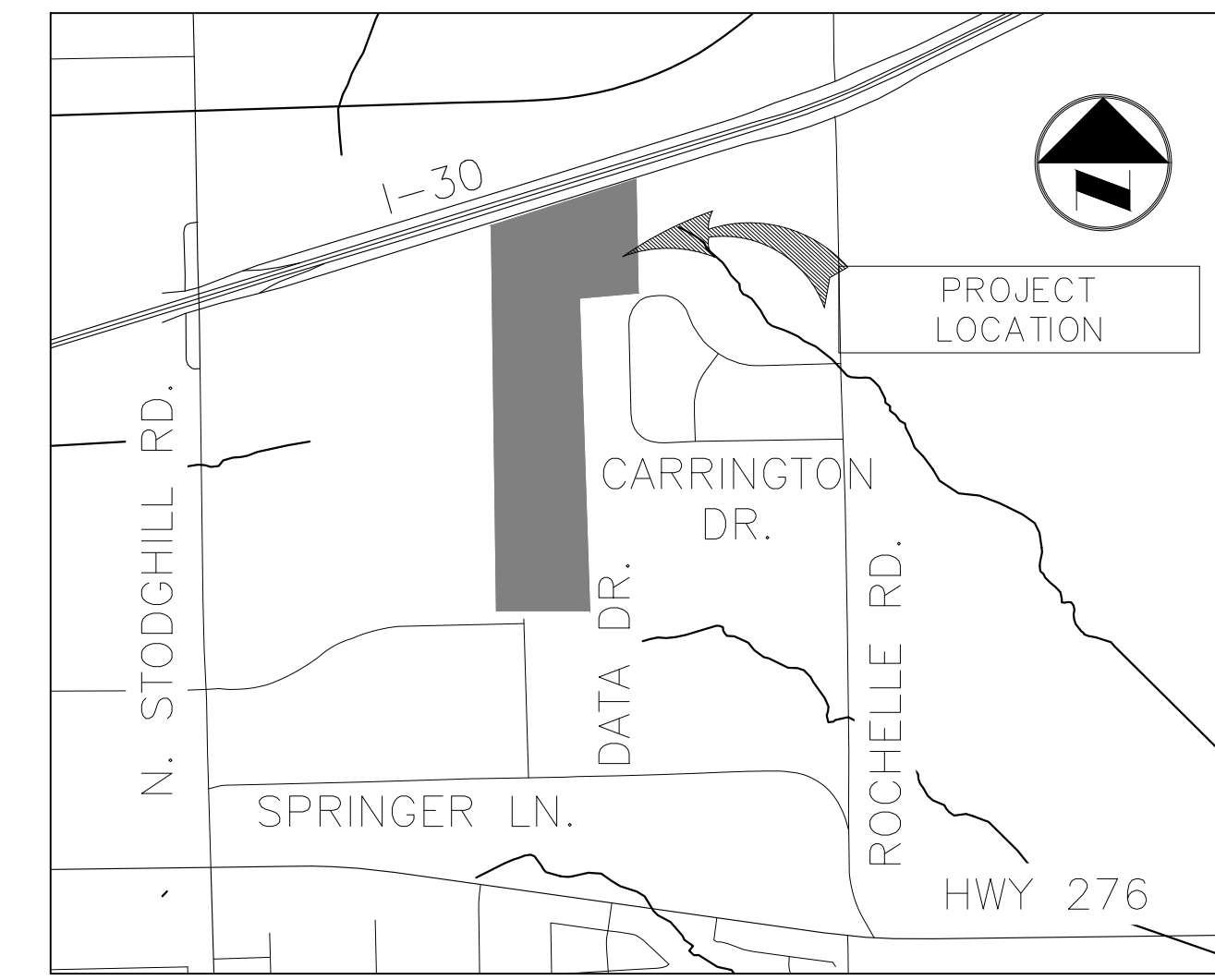
CHECKED BY: SRF
 DESIGNED BY: HEM
 DATE: OCTOBER 2021
 PROJECT NUMBER: 9028-00

SHEET NO.
 LS-1

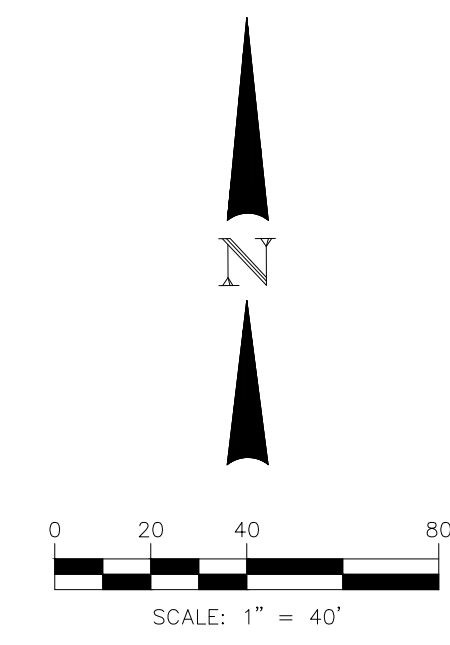
SEE SHEET LS-1 (MATCHLINE)



SEE SHEET LS-3 (MATCHLINE)



VICINITY MAP
(NOT TO SCALE)



LEGEND

- STREET TREE, 4" CAL.
- PARKING LOT TREE, 4" CAL.
- STREET BUFFER TREE, 4" CAL.
- RESIDENTIAL BUFFER TREE, 4" CAL.
- DETENTION AREA TREE, 4" CAL.

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ARCHITECT
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Dallas, Texas 75230
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PROJECT NAME

LANDSCAPE PLAN

SEEFRIED ROCKWALL
LOT AND BLOCK

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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DESIGNED BY: HEM
DATE: OCTOBER 2021
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SHEET NO.
LS-2

LANDSCAPE TABULATIONS

TOTAL SITE AREA (23.07 Acres; 1,004,958 SF)

OVERALL LANDSCAPE REQUIREMENT FOR LIGHT INDUSTRIAL:

15% OF TOTAL SITE AREA TO BE LANDSCAPE
1,004,958 SF X 15% = 150,743.7 SF

LANDSCAPE AREA REQUIRED: 150,744 SF (15%)
LANDSCAPE AREA PROVIDED: 279,027 SF (28%)

IH-30 OVERLAY REQUIREMENTS:

20' LANDSCAPE BUFFER

LANDSCAPE BUFFER REQUIRED: 20'
LANDSCAPE BUFFER PROVIDED: 25'

2 CANOPY TREES PER 100 LF OF STREET FRONTAGE

618 LF ALONG IH-30 / 100 = 6.18
6.18 X 2 = 12.36

CANOPY TREES REQUIRED: 12
CANOPY TREES PROVIDED: 12

4 ACCENT TREES PER 100 LF OF STREET FRONTAGE

618 LF ALONG IH-30 / 100 = 6.18
6.18 X 4 = 24.72

ACCENT TREES REQUIRED: 25
ACCENT TREES PROVIDED: 25

STREET TREE REQUIREMENTS:

10' BUFFER

BUFFER REQUIRED: 10'
BUFFER PROVIDED: 25'

1 CANOPY TREE PER 50 LF OF STREET FRONTAGE

1,169 LF ALONG DATA DRIVE / 50 = 23.38

CANOPY TREES REQUIRED: 23
CANOPY TREES PROVIDED: 23

1 ACCENT TREE PER 50 LF OF STREET FRONTAGE

1,169 LF ALONG DATA DRIVE / 50 = 23.38

ACCENT TREES REQUIRED: 23
ACCENT TREES PROVIDED: 23

PARKING LOT REQUIREMENTS:

AREA OF AT LEAST 5% OF TOTAL PARKING SPACE AREA TO BE LANDSCAPED

346 PARKING SPACES X (180 SF) = 65,700 SF
5% OF 62,280 SF = 3,114 SF

PARKING LOT LANDSCAPE REQUIRED: 3,114 SF (5%)
PARKING LOT LANDSCAPE PROVIDED: 8,749 SF (14%)

1 CANOPY TREE PER 10 PARKING SPACES

346 PARKING SPACES / 10 = 34.6

CANOPY TREES REQUIRED: 35
CANOPY TREES PROVIDED: 40

HEADLIGHT SCREEN OF PARKING FACING ROAD

HEADLIGHT SCREEN PROVIDED: YES

RESIDENTIAL ADJACENCY REQUIREMENTS:

20' BUFFER

REQUIRED BUFFER: 20'
PROVIDED BUFFER: 25'

THREE (3) TIERED SCREEN

SCREEN REQUIRED: CANOPY TREE-LARGE & SMALL SHRUBS - 6' IRON FENCE
SCREEN PROVIDED: CANOPY TREE-LARGE & SMALL SHRUBS - 6' IRON FENCE

1 CANOPY TREE PER 20 LF OF ADJACENCY

1,472 LF OF ADJACENCY / 20 = 73.6

CANOPY TREES REQUIRED: 74
CANOPY TREES PROVIDED: 74

DETENTION REQUIREMENTS:

1 CANOPY TREE PER 750 SF OF DETENTION AREA

31,369 SF OF DETENTION AREA / 750 = 41.8

CANOPY TREES REQUIRED: 42
CANOPY TREES PROVIDED: 42

1 ACCENT TREE PER 750 SF OF DETENTION AREA

31,369 SF OF DETENTION AREA / 750 = 41.8

ACCENT TREES REQUIRED: 42
ACCENT TREES PROVIDED: 42

LANDSCAPE NOTES

- ALL TREES MUST BE MINIMUM OF FOUR (4) INCH CALIPER AT TIME OF PLANTING.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM PROVIDING 100% COVERAGE OF ALL LANDSCAPE AREAS IS REQUIRED. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. IRRIGATION WILL MEET ALL REQUIREMENTS OF UDC.
- TREES SHALL BE PLANTED AS LEAST FOUR (4') FEET FROM ANY UTILITY LINE, CURB, SIDEWALK OR FIRE CONNECTION AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7') FEET.
- TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9') FEET.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1).

PLANT LIST

CANOPY TREE

- (4" caliper minimum @ DBH)
- Bald Cypress (*Taxodium distichum*)
- Bur Oak (*Quercus macrocarpa*)
- Cedar Elm (*Ulmus crassifolia*)
- Chinquapin Oak (*Quercus muhlenbergii*)
- Homestead Elm (*Ulmus 'Homestead'*)
- Lacebark Elm (*Ulmus parvifolia*)
- Live Oak (*Quercus virginiana*)
- October Glory Maple (*Acer rubrum 'October Glory'*)
- Texas Ash (*Fraxinus texensis*)
- Texas Red Oak (*Quercus buckleyi*)

ORNAMENTAL TREE

- (4' height minimum)
- Downy Hawthorn (*Crataegus mollis*)
- Eastern Redbud (*Cercis canadensis*)
- Mexican Plum (*Prunus mexicana*)
- Possumhaw Holly (*Ilex decidua*)
- Wax Myrtle (*Myrica cerifera*)
- Yaupon Holly (*Ilex vomitoria*)

SMALL SHRUB

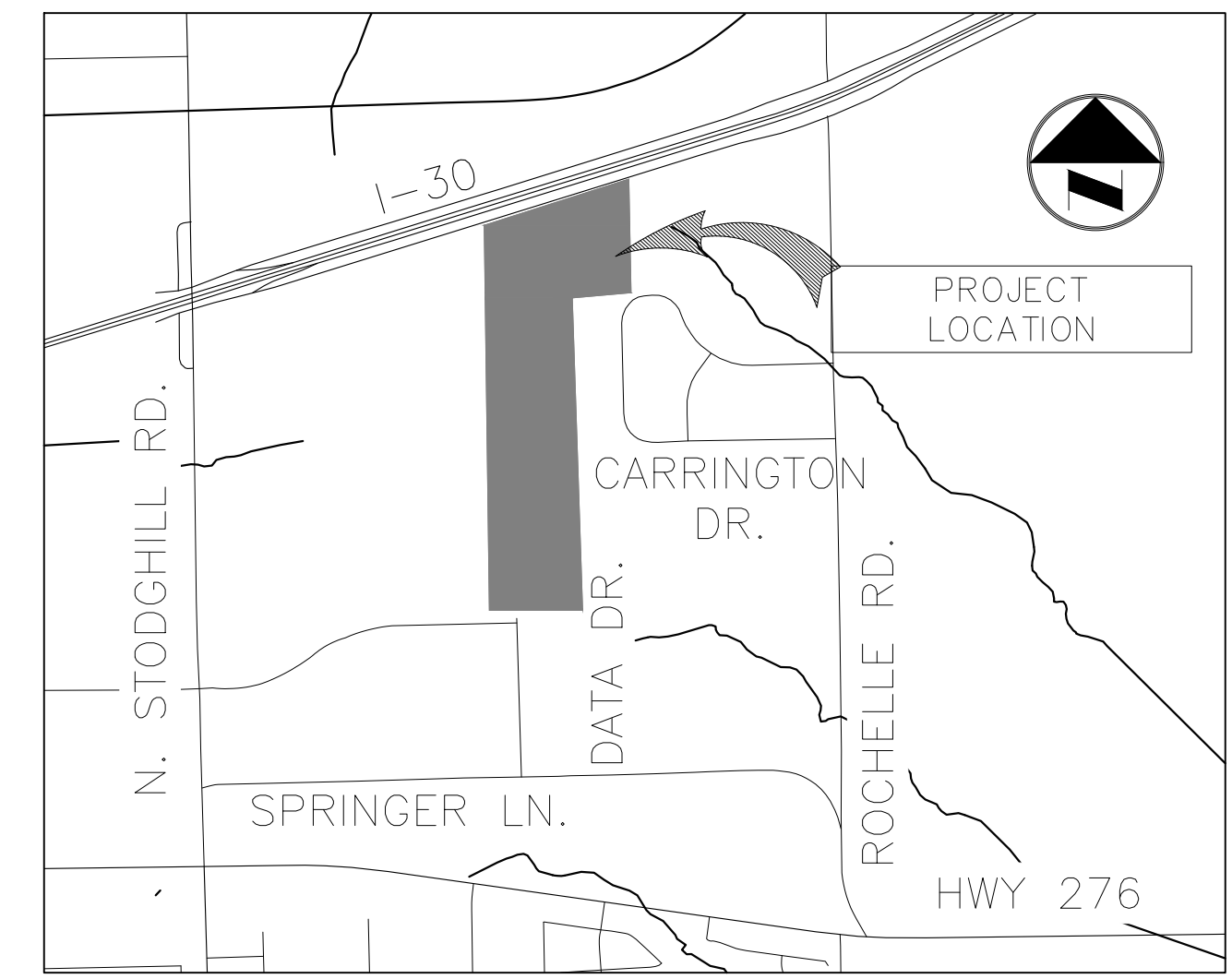
- (3 GALLON MINIMUM)
- Barberry (*Berberis thunbergii 'Crimson Pygmy'*)
- Dwarf Yaupon Holly (*Ilex vomitoria 'Nana'*)
- Yucca (*Yucca sp.*)
- Juniper (*Juniperus sp.*)
- Japanese Boxwood (*Buxus japonica*)
- Red Yucca (*Hesperaloe parvifolia*)

MEDIUM SHRUB

- (3 GALLON MINIMUM)
- Texas Sage (*Leucophyllum sp.*)
- Dwarf Burford Holly (*Ilex cornuta 'Burfordii Nana'*)

LARGE SHRUB

- (3 GALLON MINIMUM)
- Bridal Wreath Spirea (*Spiraea cantoniensis*)
- Chinese Fringe (*Loropetalum chinense*)
- Nellie R. Stevens Holly (*Ilex x 'Nellie R. Stevens'*)
- Oleander (*Nerium oleander*)
- Rose of Sharon (*Hibiscus syriacus*)



VICINITY MAP
(NOT TO SCALE)

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PROJECT NAME
LANDSCAPE PLAN
SEEFRIED ROCKWALL
LOT AND BLOCK
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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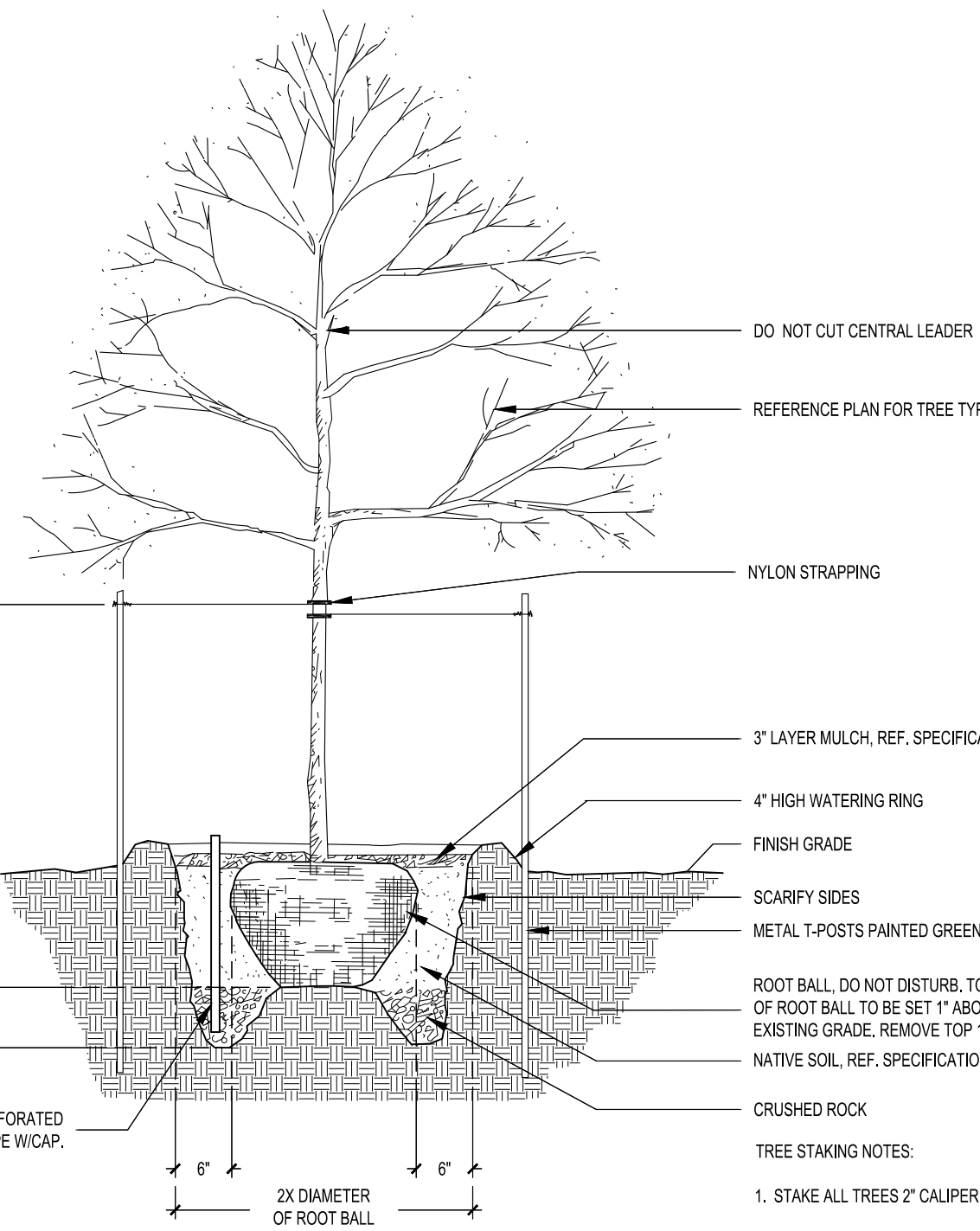
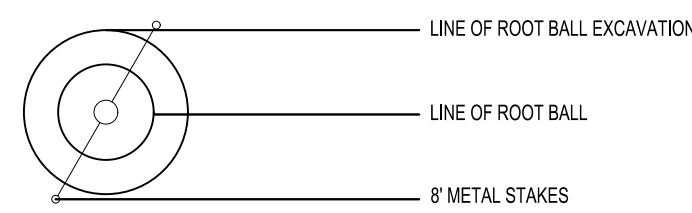
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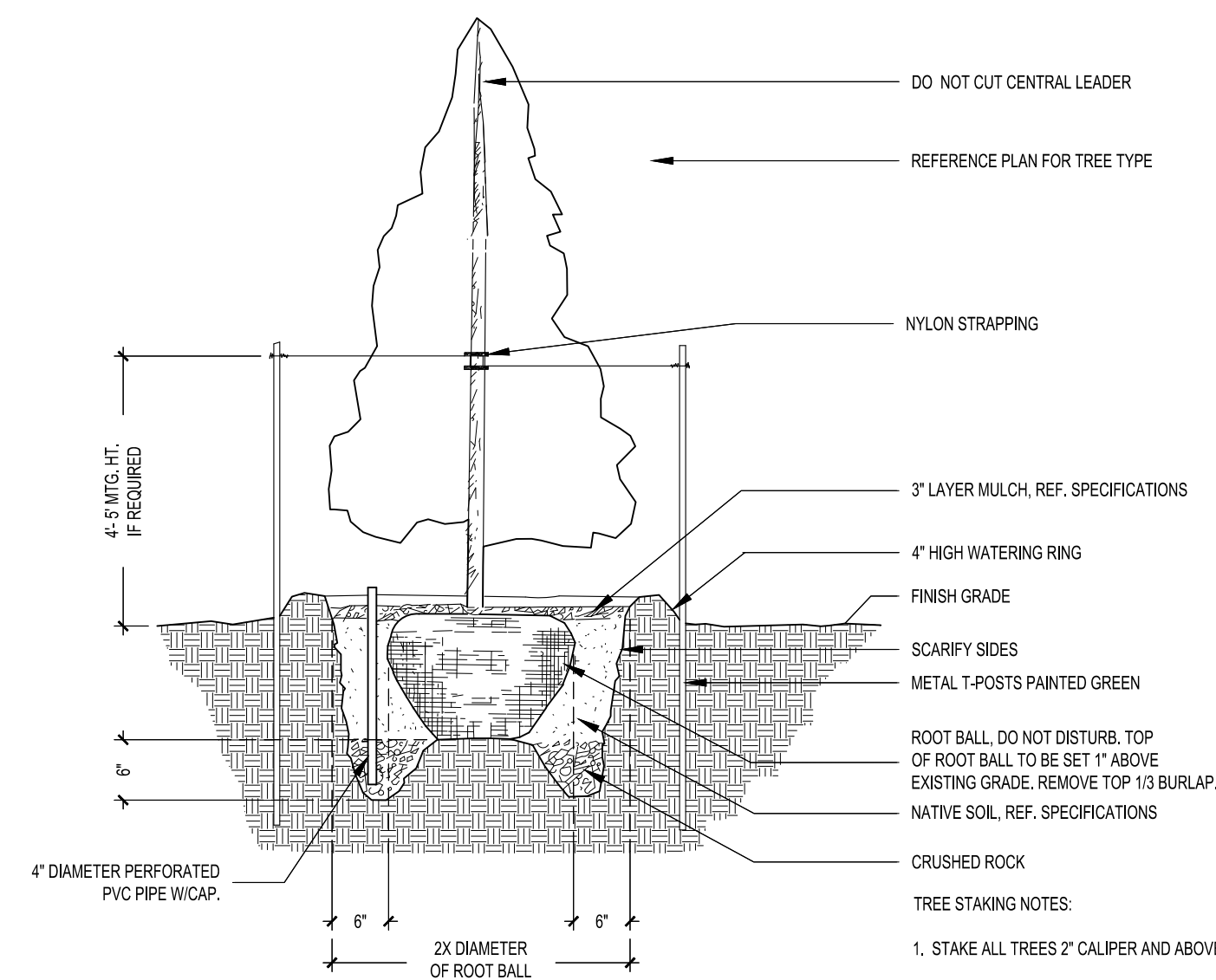
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SHEET NO.
LS-4

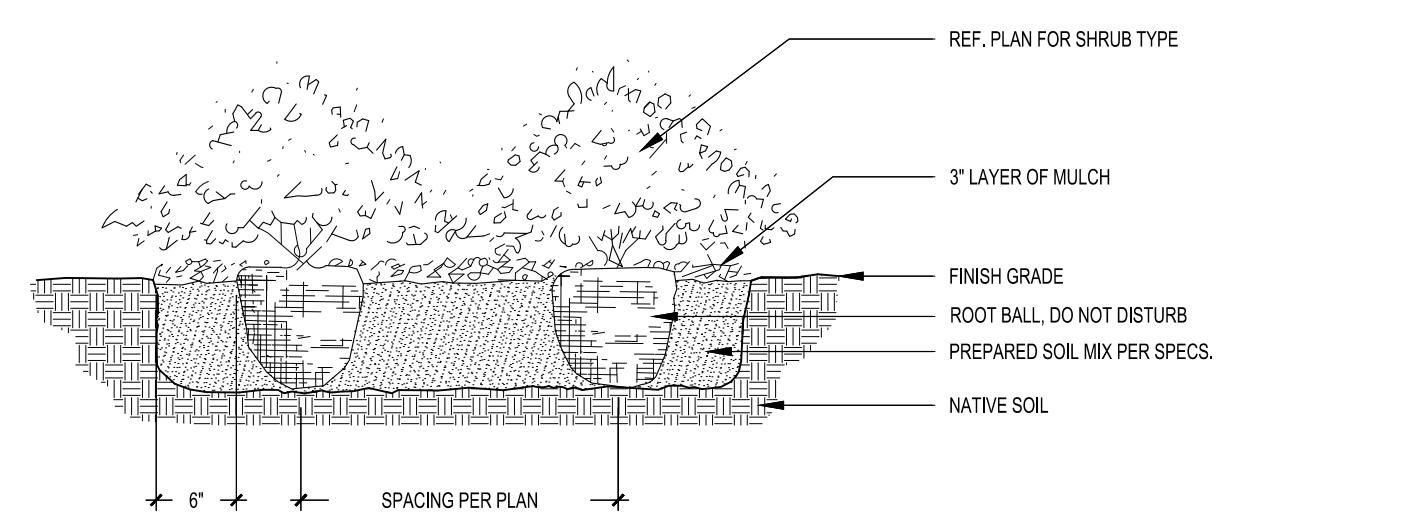
PLAN



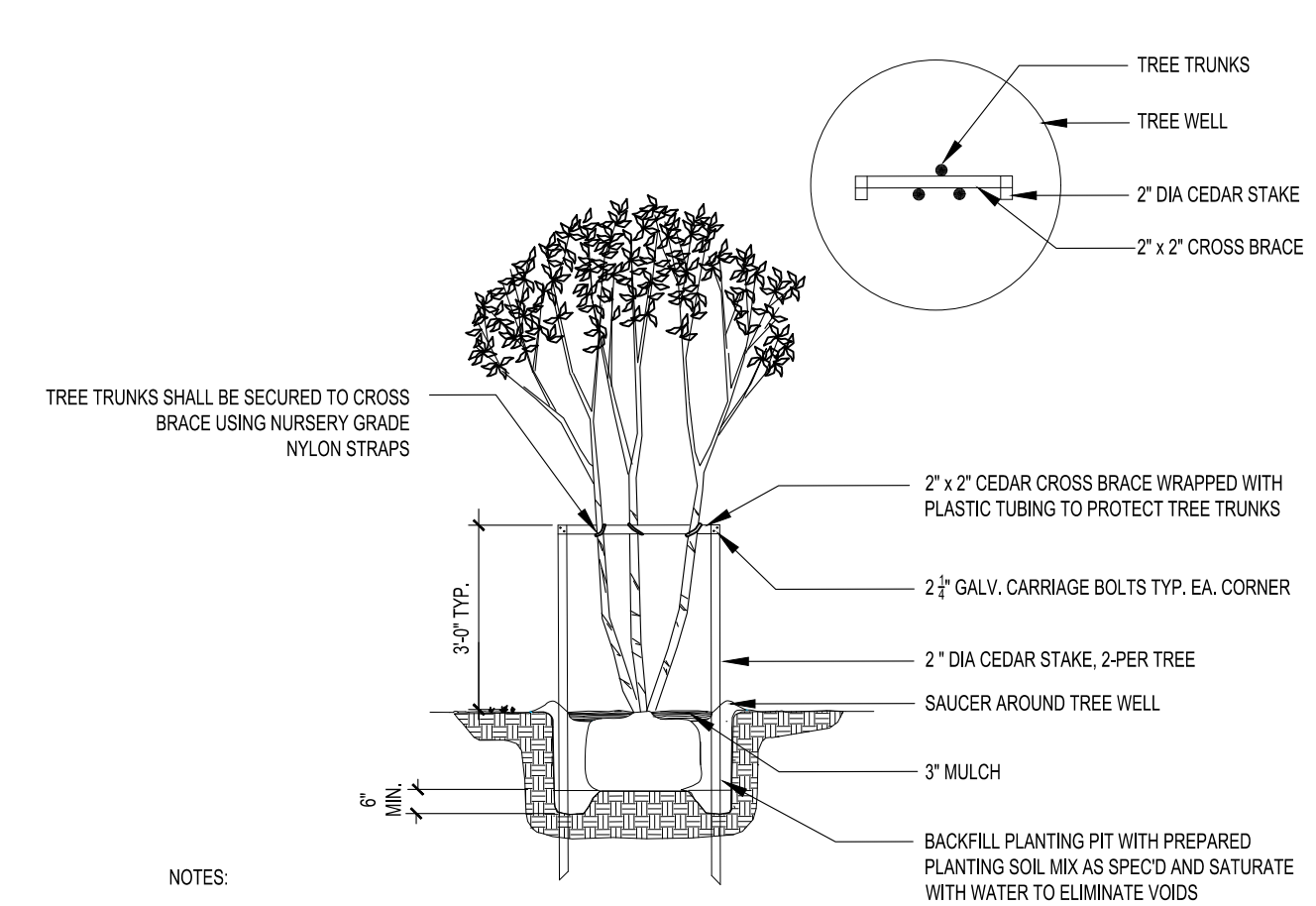
A SHADE TREE PLANTING
SECTION NOT TO SCALE



B EVERGREEN TREE PLANTING
SECTION NOT TO SCALE

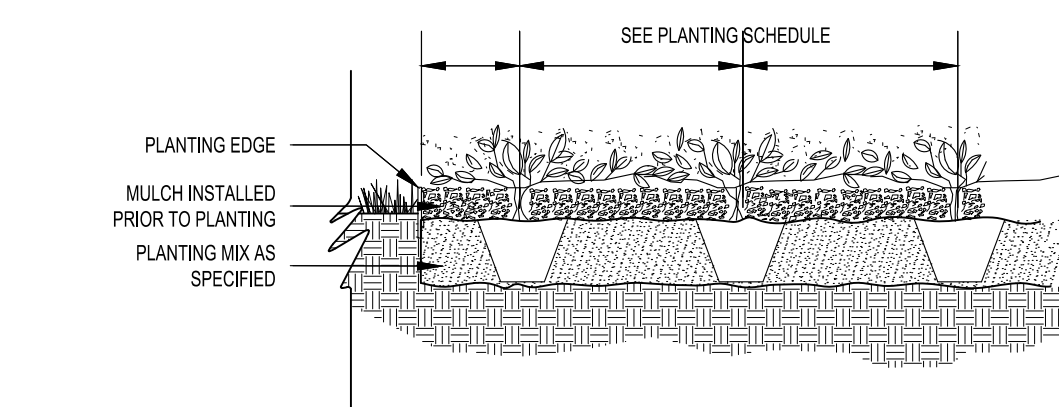


C SHRUB PLANTING
SECTION NOT TO SCALE



NOTES:
* TEMPORARY TREE WELL STAKES AND CROSS BRACE TO BE REMOVED AFTER ONE FULL GROWING SEASON
* APPROXIMATELY 1/3 OF THE BRANCH STRUCTURE SHALL BE REMOVED BY THINNING BUT THE NATURAL CHARACTER AND GENERAL SHAPE OF THE TREE SHALL BE PRESERVED

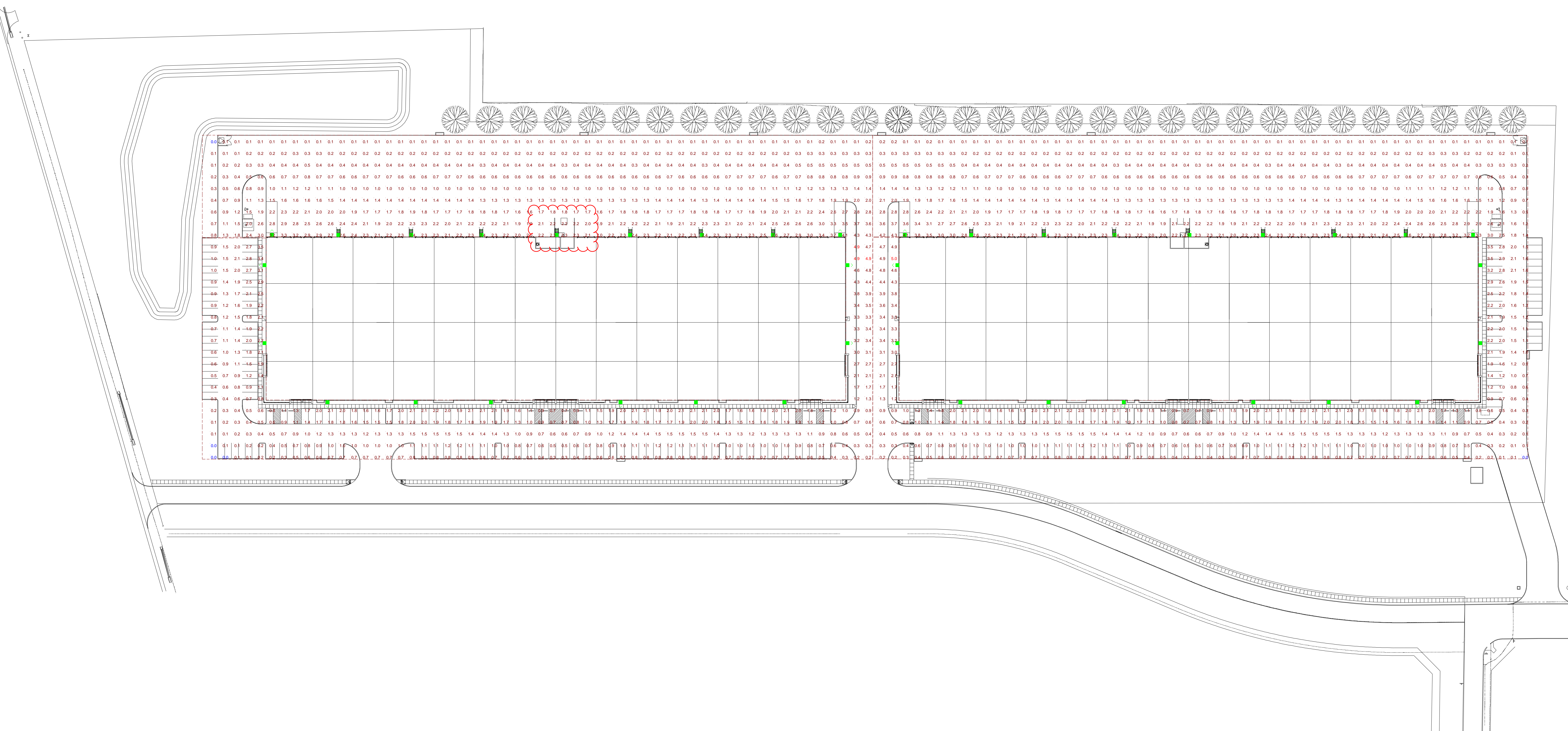
D ORNAMENTAL / MULTI-TRUNK TREE PLANTING
SECTION / ELEVATION NOT TO SCALE



E GROUNDCOVER PLANTING
SECTION NOT TO SCALE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	38	Lithonia Lighting	RSX2 LED P4 40K R5	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R5 Distribution		1	RSX2_LED_P4_40_K_R5.ies	25667	1	189.54
	B	0	Lithonia Lighting	RSX2 LED P4 40K R4	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R4 Distribution		1	RSX2_LED_P4_40_K_R4.ies	25328	1	189.54

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.2 fc	4.9 fc	0.0 fc	N/A	N/A
Calc Zone #3	+	1.3 fc	5.0 fc	0.0 fc	N/A	N/A



Plan View
Scale - 1" = 60ft

ROCKWALL SPEC

Designer: IK
Date: 9/23/2021
Scale: Not to Scale
Drawing No.:
Summary