



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2021-012

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 259 Ranch Trail

SUBDIVISION Rainbo Acres LOT 22 BLOCK

GENERAL LOCATION Ranch Trail & Horizon Road

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING Commercial CURRENT USE Commercial

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE 1.2 LOTS [CURRENT] 1.2 LOTS [PROPOSED] 1.2

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER Truman Heights LLC  APPLICANT Same

CONTACT PERSON Mike Prince CONTACT PERSON \_\_\_\_\_

ADDRESS 259 Ranch Trail ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Rockwall, Texas 75032 CITY, STATE & ZIP \_\_\_\_\_

PHONE 972-722-2408 PHONE \_\_\_\_\_

E-MAIL mike@rdmoormaninc.com E-MAIL \_\_\_\_\_

**NOTARY VERIFICATION [REQUIRED]**

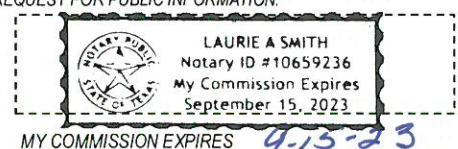
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYAN MOOLMAN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12<sup>th</sup> DAY OF APRIL, 2021

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





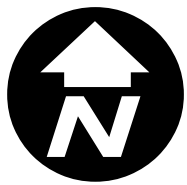
SP2021-012- AMENDED SITE PLAN FOR 259 RANCH TRAIL  
SITE PLAN - LOCATION MAP =

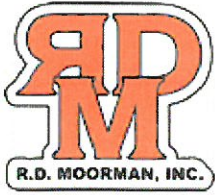


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Truman Heights

Date: 4/16/21

259 Ranch Trail

Rockwall, Texas 75032

Subject: Variance Request

We are asking for the following variances:

- Horizontal Articulation
- Roof Pitch

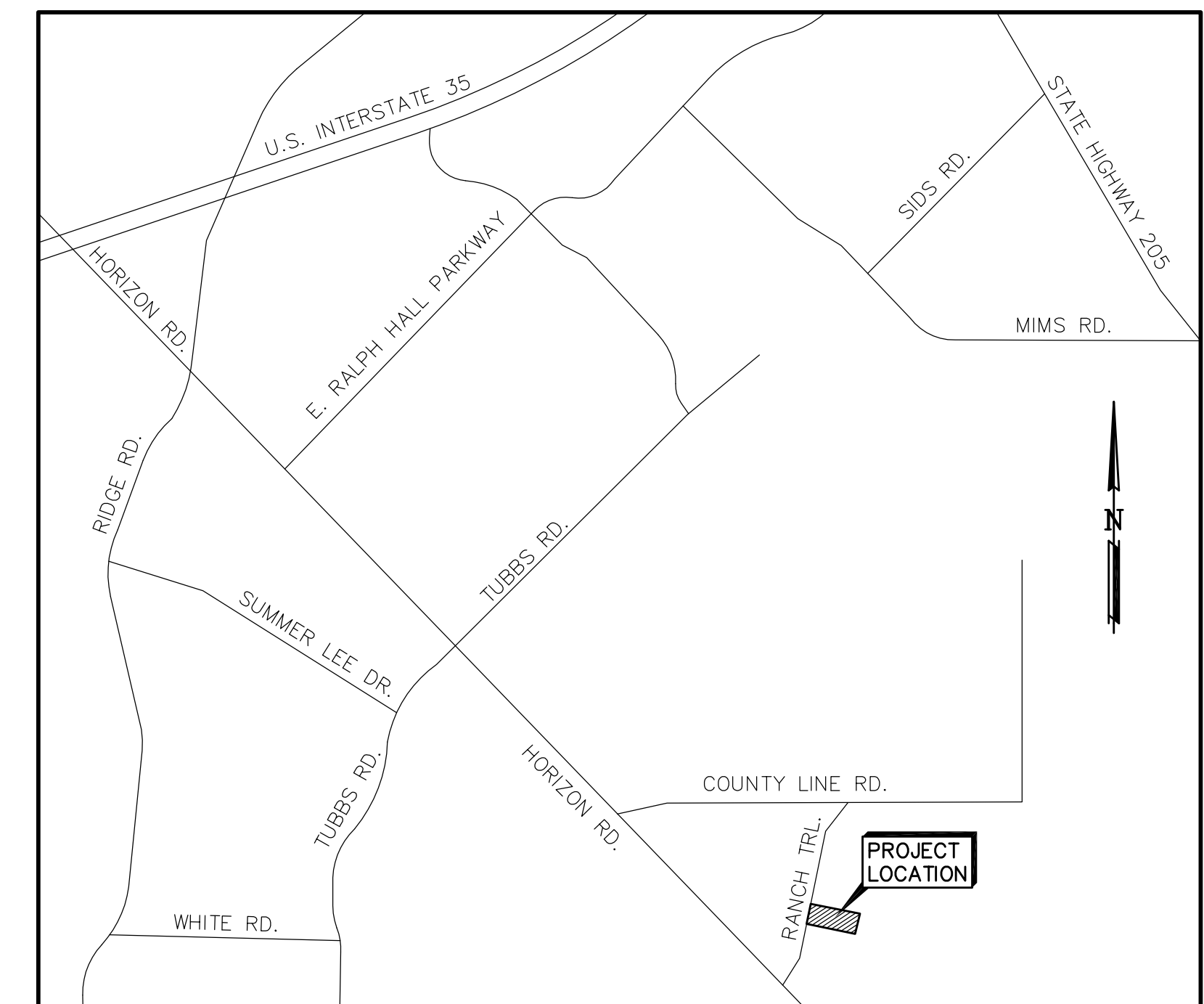
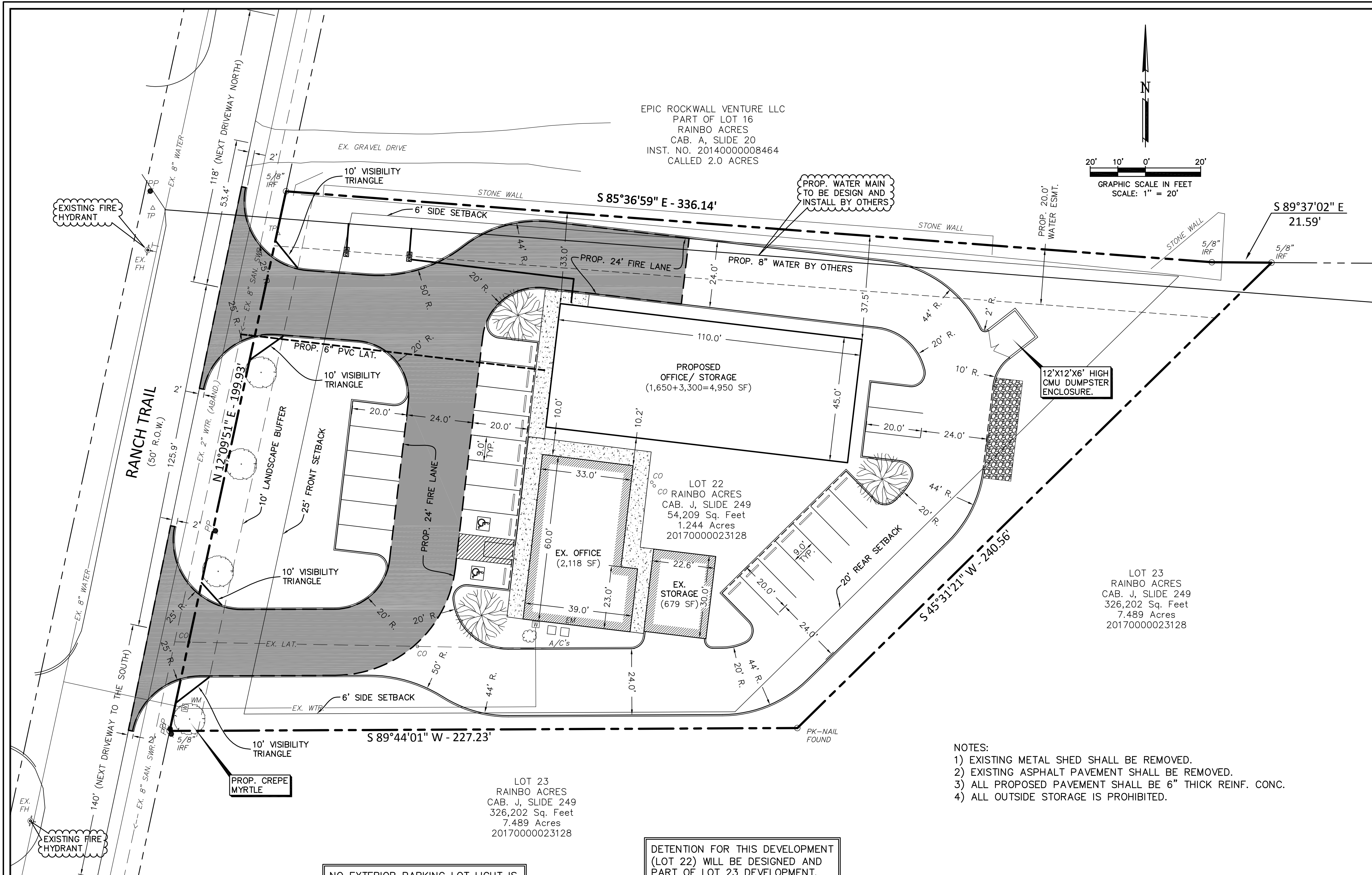
The following items are the compensatory measures we are offering:

- Dedicated 5' additional for ROW on Ranch Trail.
- Increased landscape buffer facing Ranch Trail.
- Increased the building articulation.
- Included 20% masonry.
- Added canopy over main entrance.
- Added 4 additional live oak trees.

Ryan Moorman

A handwritten signature in black ink, appearing to read 'Ryan Moorman', is written over a horizontal line.

259 Ranch Trail, Rockwall Texas 75032



VICINITY MAP  
N.T.S.

**SITE DATA**

LOT AREA	22,740.74
ZONING	COMMERCIAL
IMPERVIOUS AREA - BUILDING	7,747 SF
IMPERVIOUS AREA - PAVING	24,100 SF
TOTAL IMPERVIOUS AREA	31,847 SF (58.75%)
LANDSCAPE AREA	22,363 SF (41.25%)

**PARKING CALCULATION**

PARKING REQUIRED (OFFICE)	2,118/300 = 7 SPACES
PARKING REQUIRED (OFFICE)	1,650/300 = 6 SPACES
PARKING REQUIRED (STORAGE)	679/1000 = 1 SPACE
PARKING REQUIRED (STORAGE)	3,300/1000 = 3 SPACES
TOTAL PARKING REQUIRED	17 SPACES
PARKING PROVIDED	25 SPACES

- NOTES:**
- 1) EXISTING METAL SHED SHALL BE REMOVED.
  - 2) EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
  - 3) ALL PROPOSED PAVEMENT SHALL BE 6" THICK REINF. CONC.
  - 4) ALL OUTSIDE STORAGE IS PROHIBITED.

NO EXTERIOR PARKING LOT LIGHT IS PROPOSED FOR THIS DEVELOPMENT

DETTENTION FOR THIS DEVELOPMENT (LOT 22) WILL BE DESIGNED AND PART OF LOT 23 DEVELOPMENT, PER OWNERS AGREEMENT. ALL DETENTION SHALL BE IN PLACE BEFORE PAVING SHALL BE CONSTRUCTED.

**OWNER:**  
R.D. MOORMAN, INC.  
259 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
(972) 722-2408



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 10/16/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE# SP2019-031

**SITE PLAN**

**RAINBO ACRES - LOT 22**  
R.D. MOORMAN, INC.  
259 RANCH TRAIL  
ROCKWALL, TEXAS 75032

**LAM CONSULTING ENGINEERING**  
6804 WILHELMINA DRIVE  
SACHSE, TEXAS 75048  
Phone (214) 766-1011  
www.lamcivil.com  
Firm #F-9763

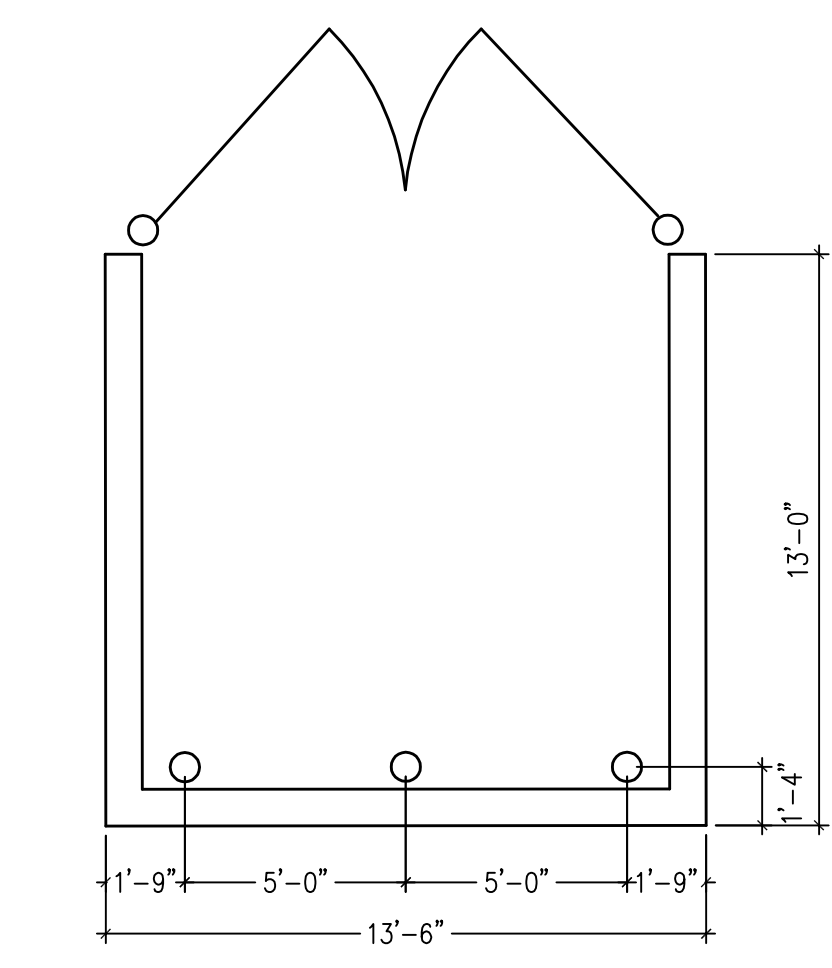
DESIGN:	LCE	CHECK:	LCE	SCALE:	AS NOTED
DRAWN:	CTL	DATE:	AUGUST 2019	PROJECT:	0643-19

2 of 9

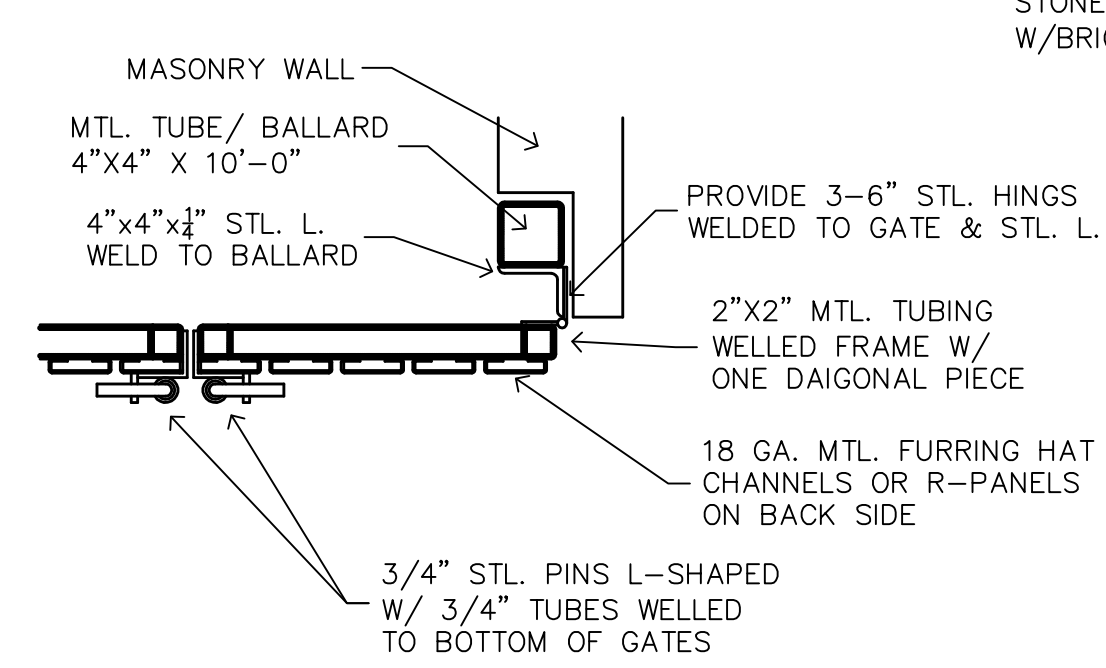
SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

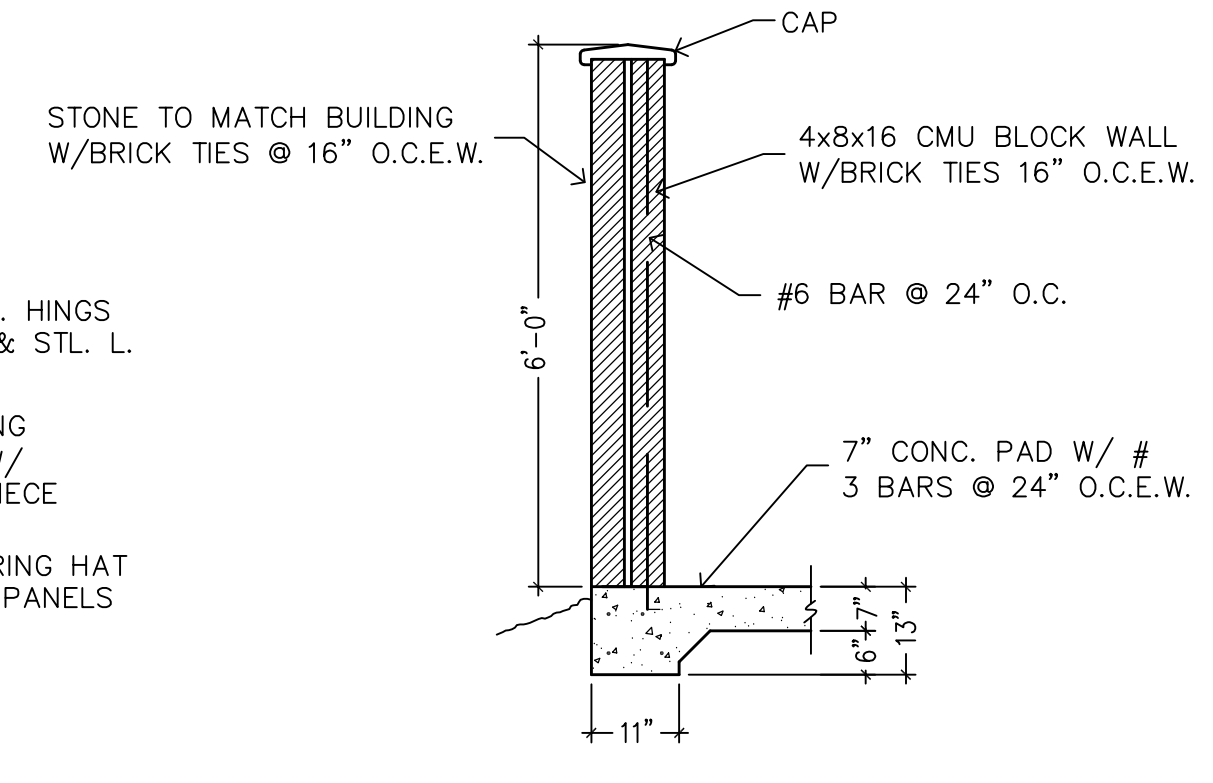
THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS



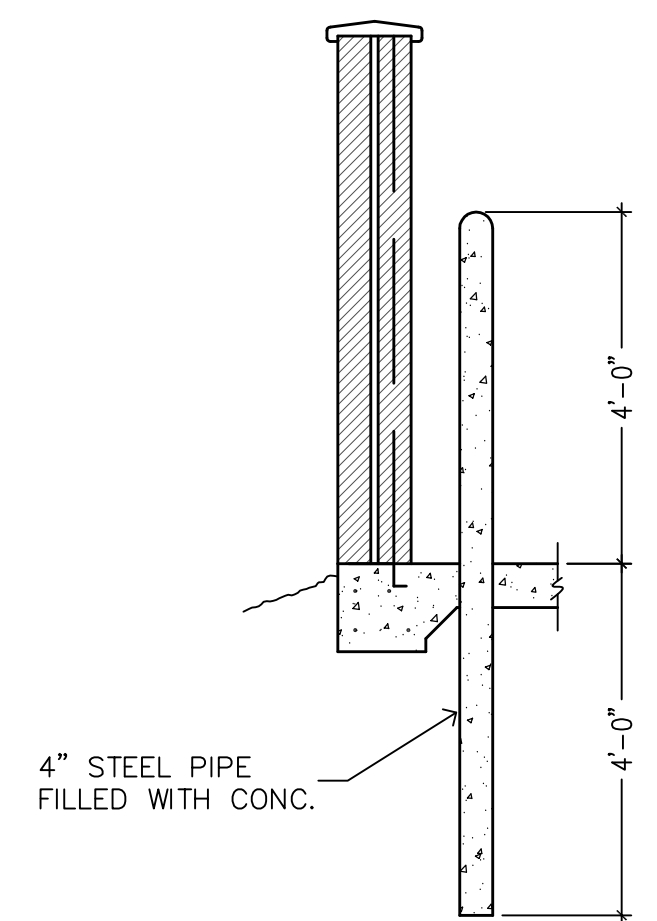
1 DUMPSTER PLAN  
N.T.S.



2 DETAIL @ BALLARD  
N.T.S.



3 SECTION @ DUMPSTER WALL  
N.T.S.



4 DETAIL @ BALLARD  
N.T.S.

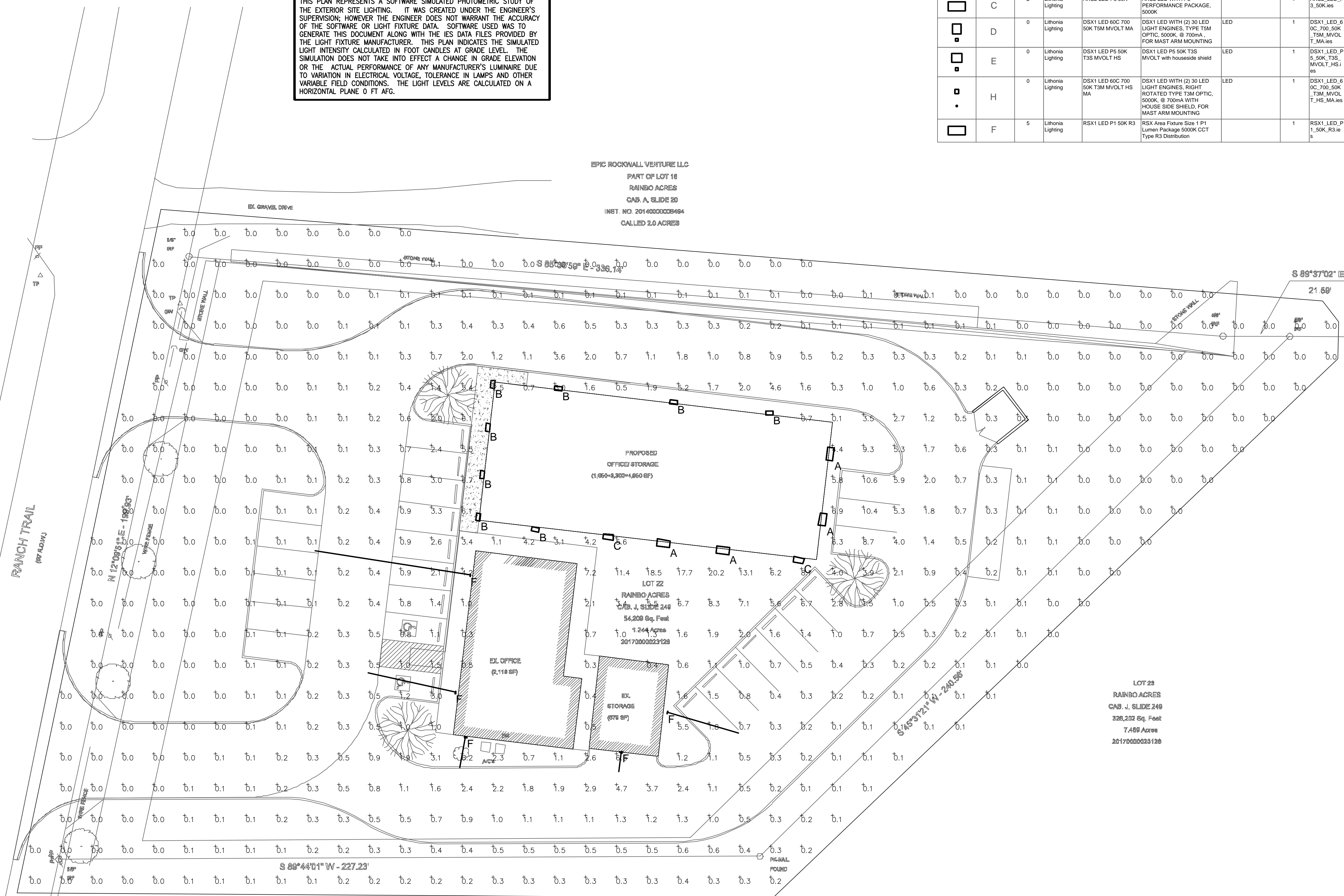
**PHOTOMETRIC DISCLAIMER**

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	20.2 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	4	Lithonia Lighting	ARC2 LED P5 50K	ARC2 LED WITH P5 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P5_50K.ies	6660	1	51.2609
□	B	8	Lithonia Lighting	ARC2 LED P1 50K	ARC2 LED WITH P1 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P1_50K.ies	1598	1	10.6112
□	C	2	Lithonia Lighting	ARC2 LED P3 50K	ARC2 LED WITH P3 - PERFORMANCE PACKAGE, 5000K		1	ARC2_LED_P3_50K.ies	3410	1	23.7345
□	D	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T3M OPTIC, 5000K, @ 700mA, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_MA.ies	15214	1	130.65
□	E	0	Lithonia Lighting	DSX1 LED P5 50K T3S MVOLT HS	DSX1 LED P5 50K T3S MVOLT with houside shield	LED	1	DSX1_LED_P5_50K_T3S_MVOLT_HS.ies	13311	1	138
□	H	0	Lithonia Lighting	DSX1 LED 60C 700 50K T3M MVOLT HS MA	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, RIGHT ROTATED TYPE T3M OPTIC, 5000K, @ 700mA WITH HOUSE SIDE SHIELD, FOR MAST ARM MOUNTING	LED	1	DSX1_LED_60C_700_50K_T3M_MVOLT_HS_MA.ies	10103	1	130.39
□	F	5	Lithonia Lighting	RSX1 LED P1 50K R3	RSX Area Fixture Size 1 P1 Lumen Package 5000K CCT Type R3 Distribution		1	RSX1_LED_P1_50K_R3.ies	7096	1	51.34

EPIC ROCKWALL VENTURE LLC  
 PART OF LOT 18  
 RAINBO ACRES  
 CAB. A, SLIDE 20  
 INST. NO. 2014000009464  
 CALLED 2.0 ACRES



LOT 23  
 RAINBO ACRES  
 CAB. J, SLIDE 248  
 328,202 Sq. Feet  
 7.488 Acres  
 20170000023128

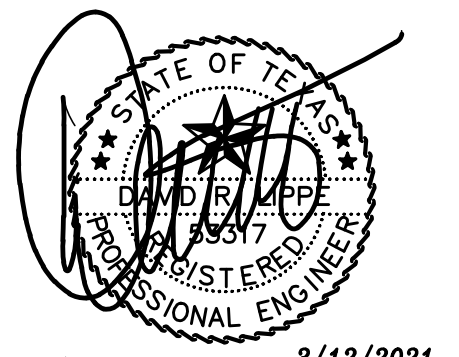
LOT 28  
 RAINBO ACRES  
 CAB. J, SLIDE 249  
 328,202 Sq. Feet  
 7.488 Acres  
 20170000023128

**1 SITE PLAN**  
 SCALE: 1/16" = 1'-0"

REVISIONS		
NO.	ITEM	DATE

PERMIT SET 02-11-21

**RAINBO ACRES**  
 Rockwall, Texas



3/12/2021  
**rtm**  
 engineering consultants  
 14901 Quorum Dr. #565  
 Dallas, TX 75254  
 rtmassociates.com  
 972.387.3500  
 firm registration# 17316

DRAWN BY: TJ  
 CHECKED BY: DL

DATE 02-11-21

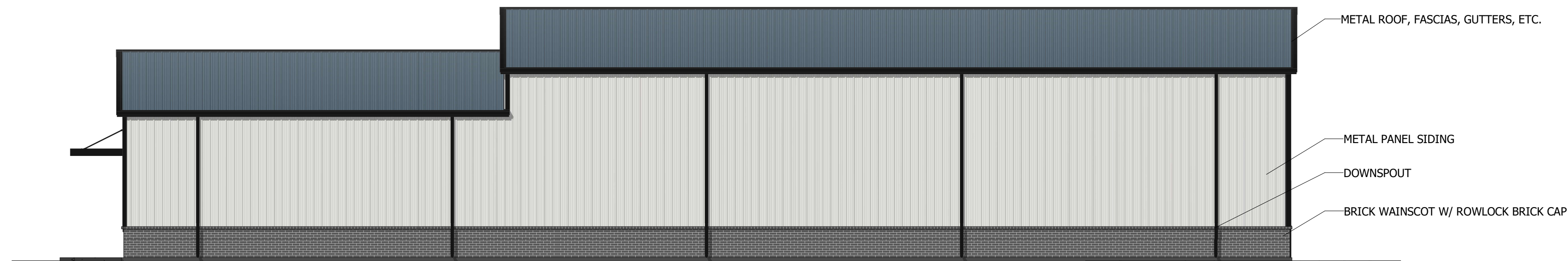
PROJECT 21.RDA.001

SITE PLAN  
 PHOTOMETRICS

SHEET **SL1**

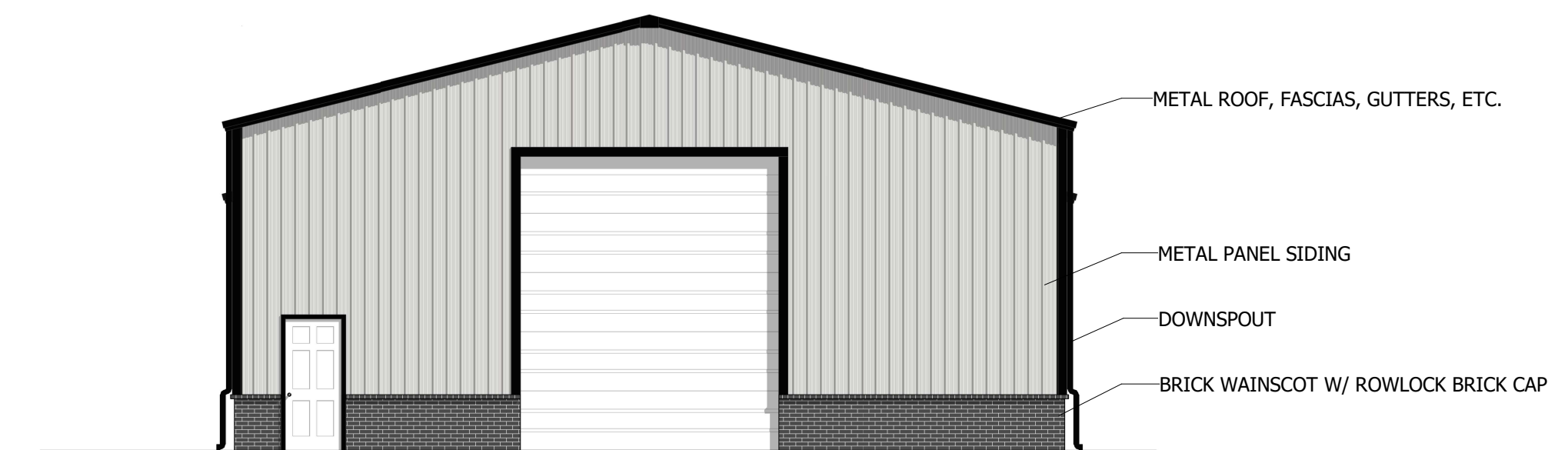
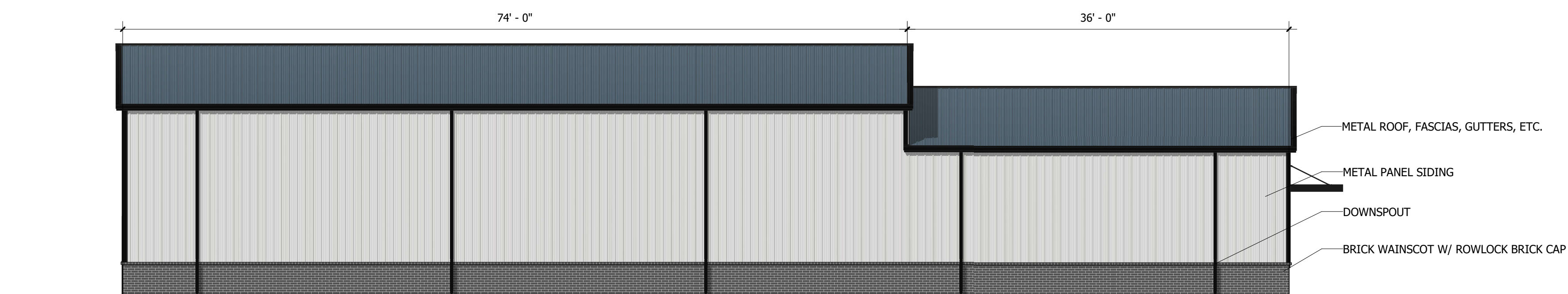
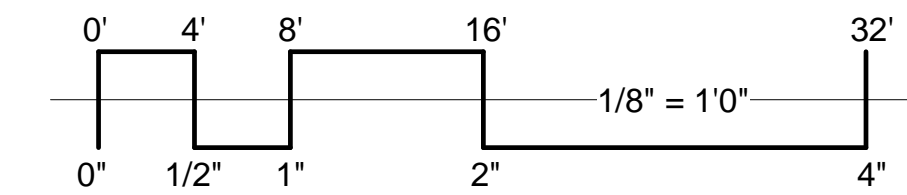


MIKHAYLA SMITH  
MIKHAYLA.SMITH@OUTLOOK.COM  
(972) 400-7016



SOUTH ELEVATION (SIDE)

WEST ELEVATION (FRONT)



NORTH ELEVATION (SIDE)

EAST ELEVATION (BACK)

No.	Description	Date

**R.D. MOORMAN, INC.**  
259 RANCH TRAIL  
ROCKWALL, TEXAS 75032  
(972) 722 2408

ISSUE DATE 04.08.2021  
STEEL BUILDING: OFFICE/STORAGE (4,950 SF)  
CONCEPTUAL ELEVATIONS

SHEET NO.: **SUP-3**  
SCALE 1/8" = 1'-0"

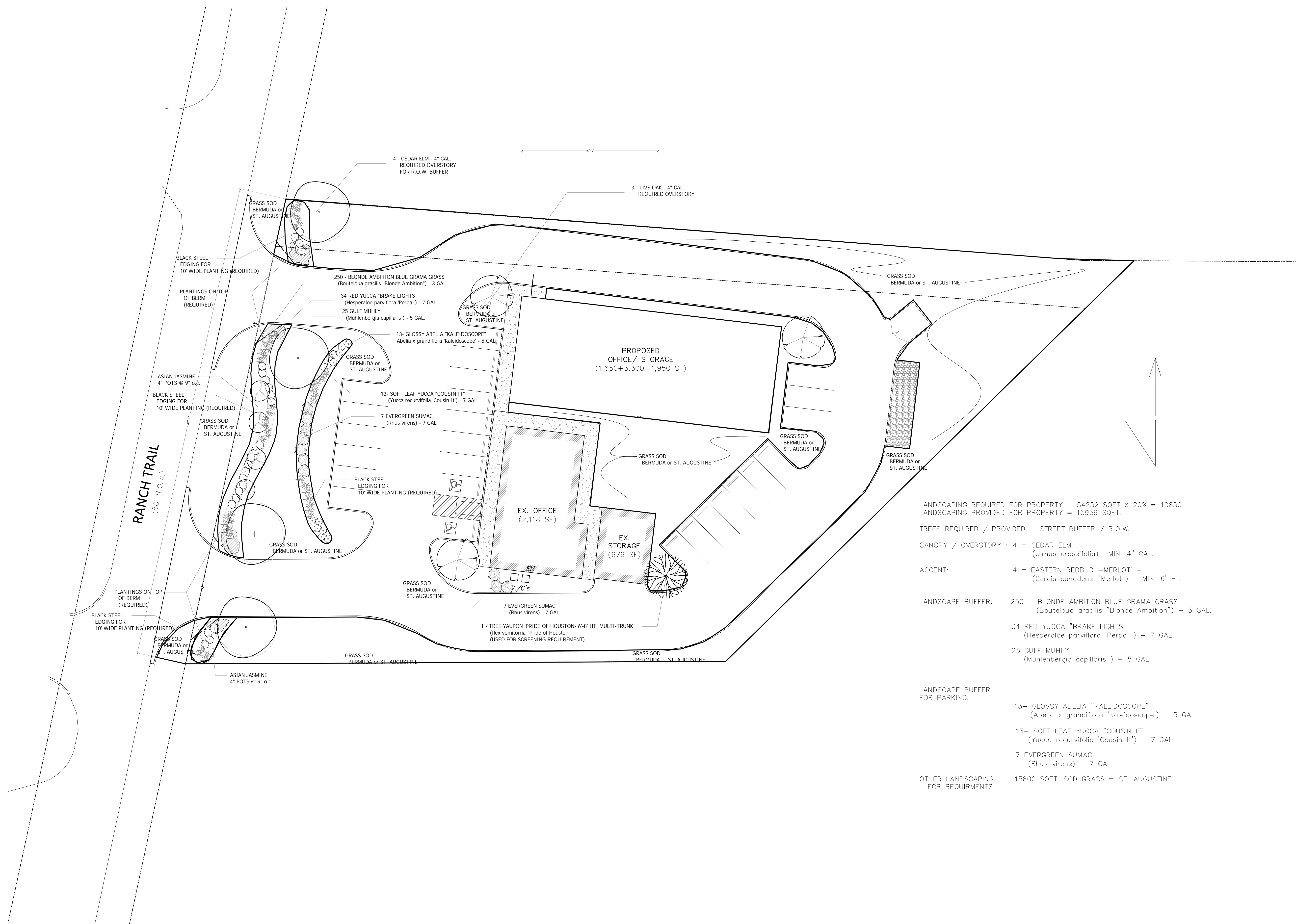


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LANDSCAPING REQUIRED FOR PROPERTY - 54252 SQFT X 20% = 10850  
 LANDSCAPING PROVIDED FOR PROPERTY = 15959 SQFT.

TREES REQUIRED / PROVIDED - STREET BUFFER / R.O.W.

CANOPY / OVERSTORY : 4 = CEDAR ELM  
 (Ulmus crassifolia) - MIN. 4" CAL.

ACCENT: 4 = EASTERN REDBUD -MERLOT-  
 (Cercis canadensis 'Merlot'); - MIN. 6' HT.

LANDSCAPE BUFFER: 250 - BLONDE AMBITION BLUE GRAMA GRASS  
 (Bouteloua gracilis "Blonde Ambition") - 3 GAL.

34 RED YUCCA "BRAKE LIGHTS  
 (Hesperaloe parviflora 'Perpa') - 7 GAL.

25 GULF MUHLY  
 (Muhlenbergia capillaris) - 5 GAL.

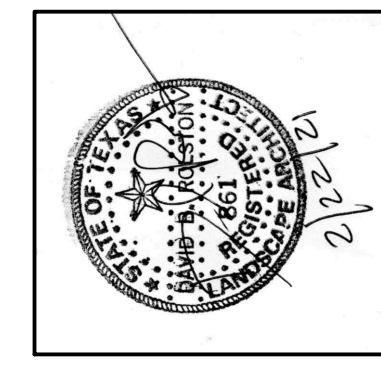
LANDSCAPE BUFFER FOR PARKING:

13- GLOSSY ABELIA "KALEIDOSCOPE"  
 (Abelia x grandiflora 'Kaleidoscope') - 5 GAL

13- SOFT LEAF YUCCA "COUSIN IT"  
 (Yucca recurvifolia 'Cousin It') - 7 GAL

7 EVERGREEN SUMAC  
 (Rhus virens) - 7 GAL.

OTHER LANDSCAPING FOR REQUIRMENTS  
 15600 SQFT. SOD GRASS = ST. AUGUSTINE



Date: 22 FEB 2021  
 Revisions:  
 Scale: 1/20 = 1'-0"