



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NONE - PARCEL ID: 60700

SUBDIVISION R.B. IRVINE SURVEY, ABSTRACT NO. 120

LOT

BLOCK

GENERAL LOCATION NEC OF CAPITAL BLVD AND DATA DRIVE, EAST OF CARRINGTON DRIVE AND SOUTH OF IH-30

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LIGHT INDUSTRIAL

CURRENT USE VACANT

PROPOSED ZONING LIGHT INDUSTRIAL

PROPOSED USE INDUSTRIAL

ACREAGE 22.234

LOTS [CURRENT] 2

LOTS [PROPOSED] 2

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER PHASE 17 INVESTMENTS LP

APPLICANT BGE ENGINEERING

CONTACT PERSON RANDALL SCHWIMMER

CONTACT PERSON NICK HOBBS

ADDRESS 2633 MCKINNEY AVE, STE 130-510

ADDRESS 2595 DALLAS PARKWAY, SUITE 101

CITY, STATE & ZIP DALLAS, TEXAS 75204

CITY, STATE & ZIP FRISCO, TEXAS 75034

PHONE 214-923-3554

PHONE 972-464-4800

E-MAIL THESCHWIMMER@GMAIL.COM

E-MAIL NHOBBS@BGEINC.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Randall Schwimmer, Manager TMLL14 LLC, General Partner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

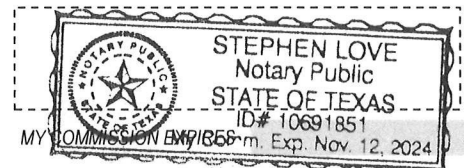
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF October, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21 DAY OF October, 2021.

OWNER'S SIGNATURE

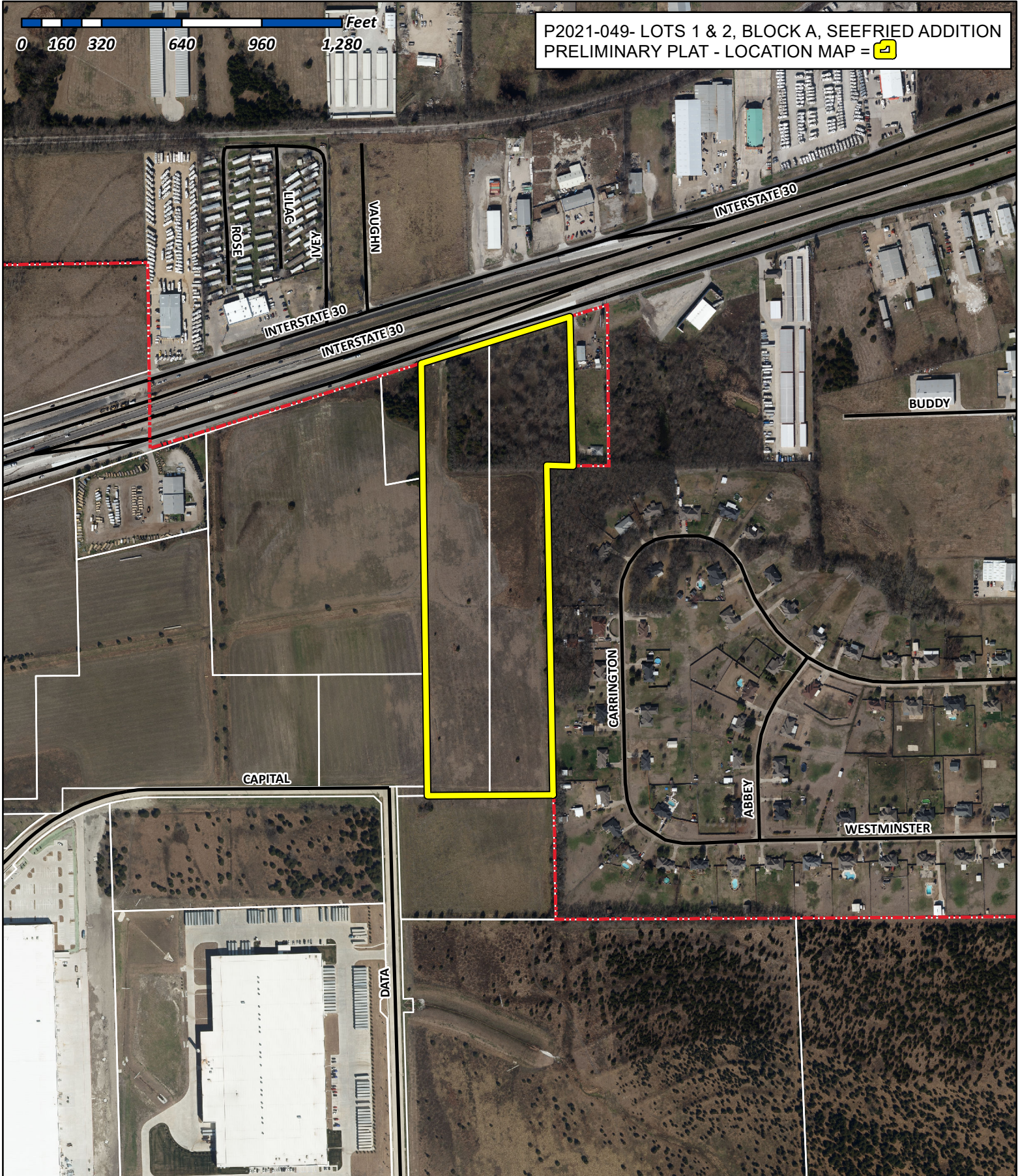
Randall Schwimmer

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 160 320 640 960 1,280 Feet

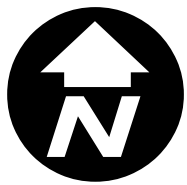
P2021-049- LOTS 1 & 2, BLOCK A, SEEFRIED ADDITION
PRELIMINARY PLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



GIRDLEY VENTURES - ROCKWALL, LLC
(INST. NO. 2019000016748)
O.P.R.R.C.T.

ADAM MITCHELL
(VOL. 5283, PG. 290)
D.R.R.C.T.

10' DRAINAGE
EASEMENT (TYP.)
(VOL. D, PG. 203)
O.P.R.R.C.T.

CARRINGTON FARMS ADDITION
PHASE TWO
(CAB. D, PG. 203)
P.R.R.C.T.

CARRINGTON FARMS ADDITION
PHASE ONE
(CAB. D, PG. 141)
P.R.R.C.T.

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(INST. NO. 2013000497020)
O.P.R.R.C.T.

PHASE 17 INVESTMENTS, LP
(VOL. 6388, PG. 218)
D.R.R.C.T.

BAKER SCHWIMMER VENTURES, LP
(INST. NO. 2018000018084)
O.P.R.R.C.T.

REMAINDER OF
ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
(VOL. 3495, PG. 314)
D.R.R.C.T.

RUSTY WALLIS FAMILY
PARTNERSHIP NUMBER 2
(VOL. 4153, PG. 271)
D.R.R.C.T.

RUSTY WALLIS FAMILY LIMITED PARTNERSHIP #2
(VOL. 4014, PG. 173)
D.R.R.C.T.

STRUCTURED REA - ROCKWALL LAND, LLC
(INST. NO. 2021000001622)
O.P.R.R.C.T.

TOTAL GROSS AREA
23.071 ACRES
(1,004,958 SQ. FT.)

TOTAL NET AREA
22.245 ACRES
(968,985 SQ. FT.)

LOT 1, BLOCK 1
12.178 ACRES
(530,492 SQ. FT.)

LOT 2, BLOCK 1
10.068 ACRES
(438,494 SQ. FT.)

PROPOSED RIGHT-OF-WAY DEDICATION
0.826 ACRES (35,972 SQ. FT.)

ZONE "X"

DATA DRIVE

PRELIMINARY PLAT
SEEFRIED ADDITION
LOTS 1 AND 2, BLOCK 1

2 LOTS - 23.071 ACRES
BEING SITUATED IN THE
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 2021
SHEET 1 OF 2

DEVELOPER
SEEFRIED INDUSTRIAL
PROPERTIES, INC.
3030 LBJ Freeway, Suite 1650
Dallas, TX 75234

SURVEYOR
BGE, Inc.
2595 Dallas Parkway, Suite 101, Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPELS Registration No. 10193953

Contact: Mark Peace, R.P.L.S.
Telephone: 972-464-4884 • Email: mpeace@bgeinc.com

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GENERAL NOTES:

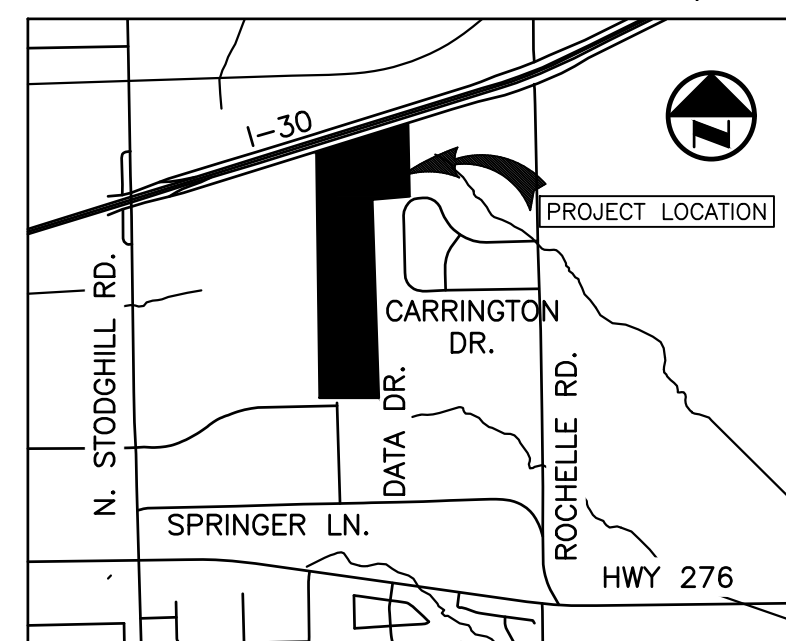
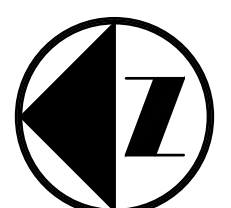
- Bearing system for this survey is based on the Texas State Plane Coordinate System - NAD 83, North Central Zone 4202, based on observations made on July 14, 2021 with an applied combined scale factor of 1.000146135.
- The floodplain boundaries shown hereon are approximate and are not depicted as a result of an on-the-ground survey. The subject tract lies with Zone X as delineated on Flood Insurance Rate Map for Rockwall County, Texas and Incorporated Areas, Map Number 48397C0045L with Map Revised September 28, 2008.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain
- The square footage value shown hereon is a mathematical value calculated from the boundary data shown hereon. This value in no way represents the precision of closure of this survey or the accuracy of corner monuments found or placed.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

LEGEND

● CBL	U/G CABLE MARKER
● FO	U/G FIBER OPTIC MARKER
◆ FH	FIRE HYDRANT
■ MB	MAILBOX
⊗ PP	POWER POLE
⊙ SD	STORM DRAIN MANHOLE
⊞ TEL	TELEPHONE HANDHOLE
■ TEL	TELEPHONE PEDESTAL
■ WV	WATER VALVE
CAB.	CABINET
(C.M.)	CONTROLLING MONUMENT
NO.	NUMBER
PG.	PAGE
P.O.B.	POINT OF BEGINNING
VOL.	VOLUME
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
---	PROPERTY LINE
- - -	EASEMENT LINE
- · - · -	FIBER OPTIC LINE
—O—E—	OVERHEAD ELECTRIC LINE

INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)



VICINITY MAP
(NOT TO SCALE)

G:\TXN\Projects\Seefried_Industrial_Props\9028-00-Seefried_Rockwall\SW04_CAD\9028-00_PPLT.dwg 2021-10-13-14:49 j_\jondon

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Phase 17 Investments, LP, Rockwall Economic Development Corporation, and Baker Schwimmer Ventures, LP, being the owners of a 23.071-acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

DESCRIPTION, of a 23.071-acre (1,000,958-square-foot) tract of land situated in the Robert Boyd Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas; said tract being all of that certain tract of land described in Warranty Deed to Phase 17 Investments, LP as recorded in Volume 6388, Page 218 of the Deed Records of Rockwall County, Texas, all of that certain tract of land described in General Warranty Deed to Baker Schwimmer Ventures, LP as recorded in Instrument No. 2018000018084 of the Official Public Records of Rockwall County, Texas, and all of that certain tract of land described in Special Warranty Deed to Rockwall Economic Development Corporation as recorded in Instrument No. 20130000497020 of said Official Public Records; said 23.071-acre tract being more particularly described by metes and bounds as follows:

BEGINNING, at a point for corner in the southeast right-of-way line of Interstate Highway 30 (a variable-width public right-of-way); said point being the northwest corner of said Baker Schwimmer Ventures tract and the northeast corner of that certain tract of land described in Special Warranty Deed to Rusty Wallis Family Limited Partnership Number 2 as recorded in Volume 4153, Page 271 of said Deed Records; from which a leaning 5/8-inch iron rod bears South 48 degrees 06 minutes West, a distance of 0.4 feet;

THENCE, North 72 degrees 45 minutes 46 seconds East, with the said southeast right-of-way line of Interstate Highway 30, the north line of said Baker Schwimmer Ventures tract, and the north line of said Phase 17 Investments tract, a distance of 618.29 feet to a 1/2-inch iron rod found for corner; said point being the northeast corner of said Phase 17 Investments tract and the northwest corner of that certain tract of land described in General Warranty Deed to Adam Mitchell as recorded in Volume 5283, Page 290 of said Deed Records;

THENCE, South 02 degrees 42 minutes 43 seconds East, departing the said southeast right-of-way line of Interstate Highway 30 and with an east line of said Phase 17 Investments tract and the west line of said Mitchell tract, a distance of 589.53 feet to a 5/8-inch iron rod found for corner; said point being the northernmost southeast corner of said Rockwall Economic Development Corporation tract and in the north line of Carrington Farms Phase Two, an addition to the City of Fate according to the plat recorded in Cabinet C, Page 203 of the Plat Records of Rockwall County, Texas;

THENCE, South 89 degrees 23 minutes 19 seconds West, with a south line of said Rockwall Economic Development Corporation tract and the said north line of Carrington Farms Phase Two, a distance of 94.92 feet to a leaning 3/4-inch iron rod found for corner; said point being an interior ell corner of said Rockwall Economic Development Corporation tract and the northwest corner of said Carrington Farms Phase Two;

THENCE, South 01 degrees 01 minutes 48 seconds East, with the east line of said Rockwall Economic Development Corporation tract and the west line of said Carrington Farms Phase Two, a distance of 1,377.34 feet to a point for corner;

THENCE, North 89 degrees 31 minutes 26 seconds West, departing the said east line of said Rockwall Economic Development Corporation tract and the said west line of said Carrington Farms Phase Two, at a distance of 25.22 feet passing at a 1/2-inch iron rod found for an interior ell corner of said Rockwall Economic Development Corporation tract and the southeast corner of said Phase 17 Investments tract, continuing with the south line of said Phase 17 Investments tract, the south line of said Baker Schwimmer Ventures tract, and the southernmost north line of said Rockwall Economic Development Corporation tract a total distance of 509.47 feet to a 3/4-inch iron rod found for corner; said point being the southwest corner of said Baker Schwimmer Ventures tract and the northernmost southeast corner of that certain tract of land described in Special Warranty Deed to Rockwall Economic Development Corporation as recorded in Volume 3495, Page 314 of said Deed Records;

THENCE, North 01 degrees 15 minutes 53 seconds West, with the west line of said Baker Schwimmer tract, the east line of the second-referenced Rockwall Economic Development Corporation tract, the east line of that certain tract of land described in Special Warranty Deed to Structured REA - Rockwall Land, LLC tract as recorded in Instrument No. 2021000001622 of said Official Public Records, and the east line of that certain tract of land described in Special Warranty Deed to Rusty Wallis Family Limited Partnership #2 as recorded in Volume 4014, Page 173 of said Deed Records, at a distance of 100.08 feet passing a 1/2-inch iron rod with illegible cap found for the northeast corner of the second-referenced Rockwall Economic Development Corporation tract and the southeast corner of said Structured REA tract, at a distance of 549.68 feet passing a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for the easternmost northeast corner of said Structured REA tract and the southeast corner of the second-referenced Rusty Wallis Family Limited Partnership tract, continuing in all a total distance of 1,334.33 feet to a 1/2-inch iron rod found for corner; said point being a northeast corner of the second-referenced Rusty Wallis Family Limited Partnership tract and the southeast corner of the first-referenced Rusty Wallis Family Limited Partnership tract;

THENCE, North 01 degrees 12 minutes 05 seconds West, with the said west line of Baker Schwimmer tract and the east line of the first-referenced Rusty Wallis Family Partnership tract, a distance of 445.64 feet to the POINT OF BEGINNING;

CONTAINING: 23.071 acres or 1,004,958 square feet of land, more or less.

SURVEYOR'S CERTIFICATE

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, I Gregory Mark Peace, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Gregory Mark Peace, RPLS No. 6608

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Gregory Mark Peace, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this day of _____, 2021.

Notary Public in and for the State of Texas

My Commission Expires:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date _____

APPROVED

I hereby certify that the above and foregoing plat of **SEEFRIED ADDITION, LOTS 1 AND 2, BLOCK 1**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the county clerk, within 180 days from said date of final approval by the city engineer. Said addition shall be subject to all the requirements of these subdivision regulations.

WITNESS OUR HANDS, this day of _____, 2021.

Mayor, City of Rockwall City Secretary, City of Rockwall City Engineer, City of Rockwall

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the SEEFRIED ADDITION, LOTS 1 AND 2, BLOCK 1 subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the SEEFRIED ADDITION, LOTS 1 AND 2, BLOCK 1 subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Witness, my hand this the _____ day of _____, 2021.

By: _____

Authorized Signature

Printed Name and Title

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this day of _____, 2021.

Notary Public in and for the State of Texas

My Commission Expires:

**PRELIMINARY PLAT
SEEFRIED ADDITION
LOTS 1 AND 2, BLOCK 1
2 LOTS - 23.071 ACRES
BEING SITUATED IN THE
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 2021
SHEET 2 OF 2**

DEVELOPER
**SEEFRIED INDUSTRIAL
PROPERTIES, INC.**
3030 LBJ Freeway, Suite 1650
Dallas, TX 75234



SURVEYOR
BGE, Inc.
2595 Dallas Parkway, Suite 101, Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPELS Registration No. 10193953

Contact: Mark Peace, R.P.L.S.
Telephone: 972-464-4884 • Email: mpeace@bgeinc.com

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9028-00 Seefried Rockwall

Preliminary Plat

Closure Report

Wed Oct 13 12:44:10 2021

Northing	Easting	Angle	Distance
7025576.42	2610382.63	N 72°45'46" E	618.29
7025759.64	2610973.14	S 02°42'43" E	589.53
7025170.77	2611001.04	S 89°23'19" W	94.92
7025169.76	2610906.12	S 01°01'48" E	1377.34
7023792.64	2610930.88	N 89°31'26" W	509.47
7023796.87	2610421.43	N 01°15'53" W	1334.33
7025130.87	2610391.97	N 01°12'05" W	445.64

Closure Error Distance > 0.0000

Total Distance > 4969.52

Polyline Area: 1004958 sq ft, 23.071 acres