



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. P2021-021

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS Olive St and Fannin St

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION Area that is composed of 201 Olive St, the back portion of both 405 N Fanin and 503 N Fannin and land behind 601 N Fannin St

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING Part commercial, part residential CURRENT USE Residential

PROPOSED ZONING No changes PROPOSED USE No changes

ACREAGE 1.65 LOTS [CURRENT] 4 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER Jay Odom  APPLICANT Same a owner

CONTACT PERSON Jay Odom CONTACT PERSON \_\_\_\_\_

ADDRESS 405 N Fannin St ADDRESS \_\_\_\_\_

CITY, STATE & ZIP Rockwall, TX 75087 CITY, STATE & ZIP \_\_\_\_\_

PHONE 214-202-4226, cell PHONE \_\_\_\_\_

E-MAIL jay@jayodom.com E-MAIL \_\_\_\_\_

**NOTARY VERIFICATION [REQUIRED]**

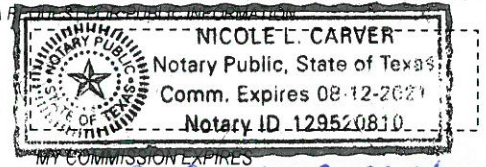
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jay Odom [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 300.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30th DAY OF April, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30th DAY OF April, 2021.

OWNER'S SIGNATURE [Signature]

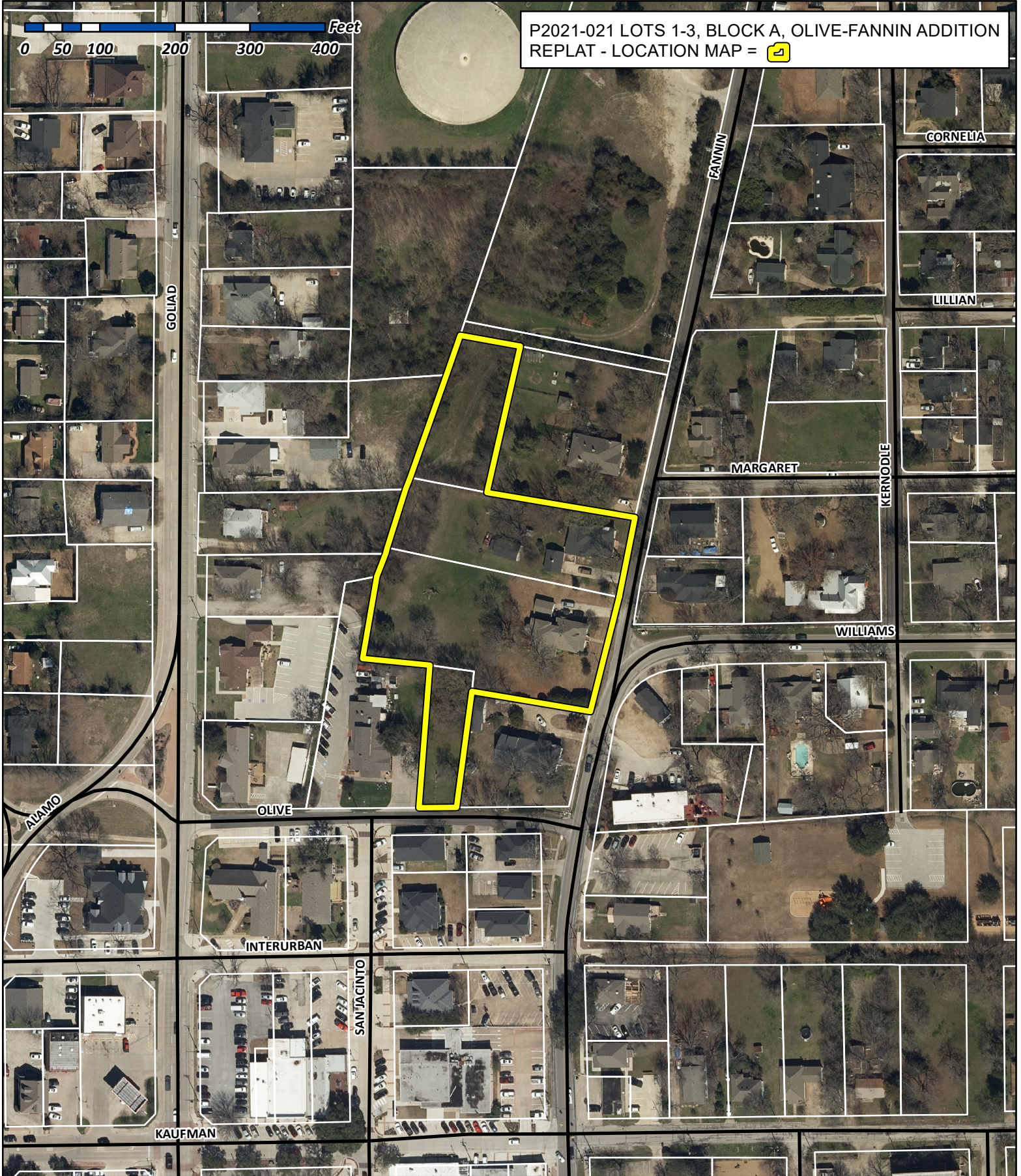
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES Aug 12, 2021



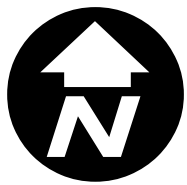
P2021-021 LOTS 1-3, BLOCK A, OLIVE-FANNIN ADDITION  
REPLAT - LOCATION MAP =

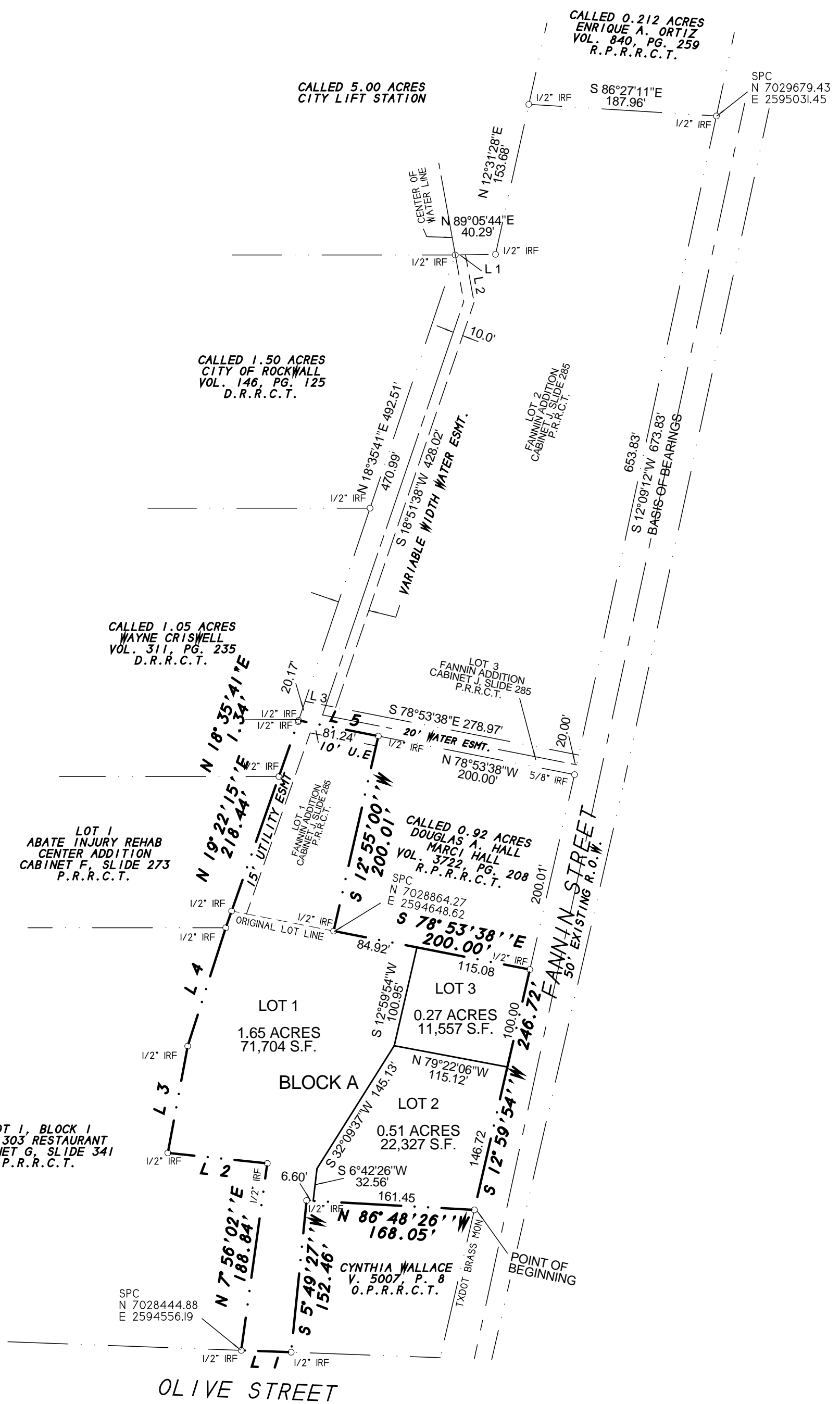


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

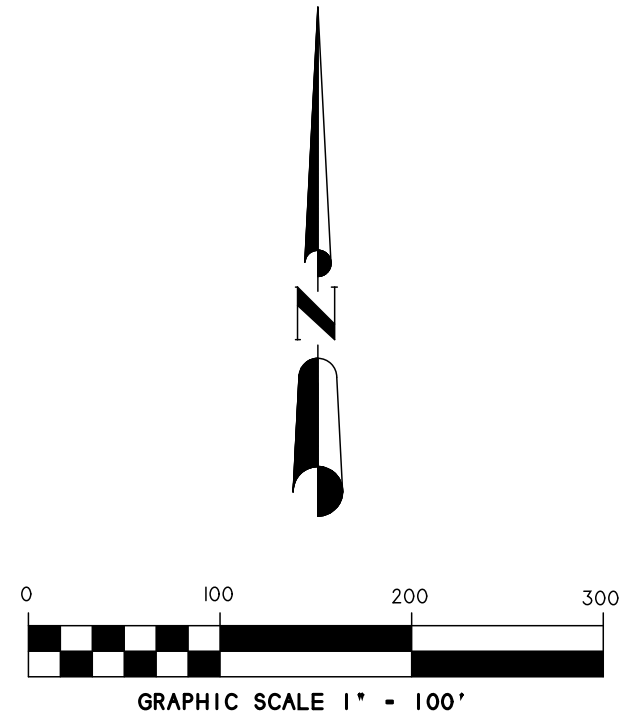
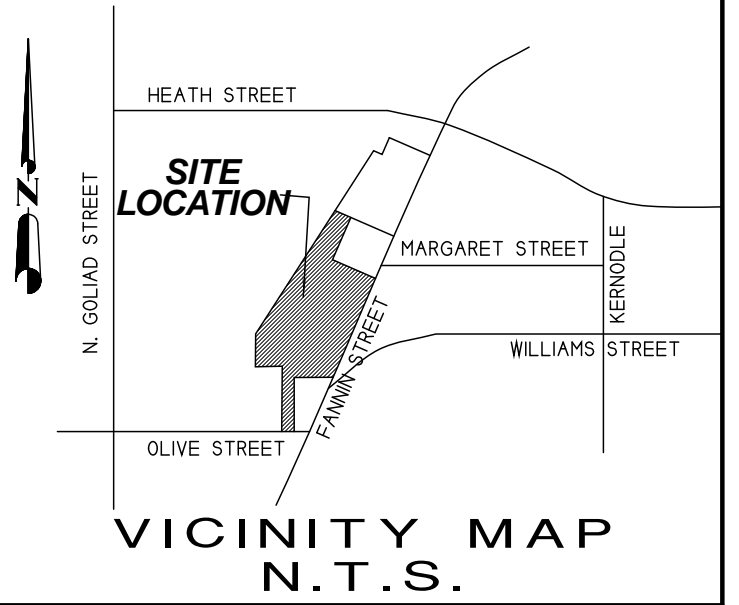
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VARIABLE WIDTH EASEMENT LINE TABLE		
Line	Bearing	Distance
1	N 89°05'44"E	10.27'
2	S 10°13'14"E	48.32'
3	N 78°53'38"W	31.25'

BOUNDARY LINE TABLE		
Line	Bearing	Distance
1	N 87°53'14"W	49.97'
2	N 84°00'06"W	100.00'
3	N 10°32'01"E	108.67'
4	N 17°49'48"E	124.23'
5	S 78°53'38"E	81.24'



CONVEYANCE PLAT  
**OLIVE-FANNIN ADDITION**  
**LOTS 1, 2 & 3, BLOCK A**

2.42 ACRES OR 105,589 S.F.  
 ( 3 LOTS )  
 BEING A REPLAT OF  
 LOT 1, BLOCK A, FANNIN ADDITION  
 LOTS B-1, D-1 AND A, BLOCK 122  
 B. F. BOYDSTON SURVEY, ABSTRACT NO. 14  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:  
 JAY ODOM  
 405 N. FANNIN STREET  
 ROCKWALL, TEXAS 75087

SYMBOL LEGEND			

SURVEY DATE APRIL 27, 2021  
 SCALE 1" = 100' FILE # 20120458RP  
 CLIENT ODOM

**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

OWNER'S CERTIFICATE  
(Public Dedication)  
STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, Jay Odom and Alison Odom, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTON SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being Lot 1, Block A, Fannin Addition, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet J, Slide 285 of the Plat Records of Rockwall, County, Texas, and being all of those tracts of land as described in a Warranty deed from Cedo Rakich and Julia Rakich to Jay Odom and Alison Odom, as recorded in Document no. 2014000005613 of and Volume 7190, Page 296 of the Official Public Records of Rockwall County, Texas, and all of a tract of land as described in a Warranty deed from Polly Redden to Jay Odom and Alison Odom, as recorded in Document no. 2015000014075 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a TXDOT brass disk monument found for corner in the west right-of-way line of N. Fannin Street, said point being at the southeast corner of said Rakch to Odom tract per Document no. 2015000014075 and at the northeast corner of a tract of land as described in a Warranty deed from Ronald D. Austin to Cynthia Wallace, as recorded in Volume 5007, Page 8 of the Official Public Records of Rockwall County, Texas;

THENCE N. 86 deg. 50 min. 34 sec. W. along the north boundary line of said Wallace tract, a distance of 168.05 feet to a 1/2" iron rod found for corner;

THENCE S. 05 deg. 49 min. 27 sec. W. a distance of 152.46 feet to a 1/2" iron rod found for corner in the north right-of-way line of Olive Street;

THENCE N. 87 deg. 53 min. 14 sec. W. along the north line of Olive Street, a distance of 49.97 feet to a 1/2" iron rod found for corner;

THENCE N. 07 deg. 56 min. 02 sec. E. a distance of 188.84 feet to a 1/2" iron rod found for corner;

THENCE N. 84 deg. 00 min. 06 sec. W. a distance of 100.00 feet to a 1/2" iron rod found for corner;

THENCE N. 10 deg. 32 min. 01 sec. E. a distance of 108.67 feet to a 1/2" iron rod found for corner;

THENCE N. 17 deg. 49 min. 48 sec. E. a distance of 124.29 feet to a 1/2" iron rod found for corner;

THENCE N. 19 deg. 22 min. 15 sec. E. a distance of 218.44 feet to a 1/2" iron rod found for corner;

THENCE N. 18 deg. 35 min. 41 sec. E. a distance of 1.34 feet to a 1/2" iron rod found for corner at the northwest corner of Lot 1;

THENCE S. 78 deg. 53 min. 38 sec. E. a distance of 81.24 feet to a 1/2" iron rod found for corner at the northeast corner of Lot 1;

THENCE S. 12 deg. 55 min. 00 sec. W. a distance of 200.01 feet to a 1/2" iron rod found for corner at the southeast corner of said Lot 1;

THENCE S. 78 deg. 53 min. 38 sec. E. a distance of 200.00 feet to a 1/2" iron rod found for corner in the west right-of-way line of N. Fannin Street;

THENCE S. 12 deg. 59 min. 54 sec. W. along said right-of-way line, a distance of 246.72 feet to the POINT OF BEGINNING and containing 105,589 square feet or 2.42 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as OLIVE-FANNIN ADDITION, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in OLIVE-FANNIN ADDITION, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall, or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

JAY ODOM \_\_\_\_\_

ALISON ODOM \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared JAY ODOM known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ALISON ODOM known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

APPROVED

I hereby certify that the above and foregoing plat of OLIVE-FANNIN ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor, City of Rockwall \_\_\_\_\_

City Secretary City of Rockwall \_\_\_\_\_

City Engineer \_\_\_\_\_

Date \_\_\_\_\_

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

CONVEYANCE PLAT  
**OLIVE-FANNIN ADDITION**  
**LOTS 1, 2 & 3, BLOCK A**

2.42 ACRES OR 105,589 S.F.  
( 3 LOTS )  
BEING A REPLAT OF  
LOT 1, BLOCK A, FANNIN ADDITION  
LOTS B-1, D-1 AND A, BLOCK 122  
B. F. BOYDSTON SURVEY, ABSTRACT NO. 14  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:  
JAY ODOM  
ALISON ODOM  
405 N. FANNIN STREET  
ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND	
TV	TELEVISION CABLE BOX
GAS	GAS METER
PHONE	PHONE METER
TEL	TEL
FI	FIRE HYDRANT
PP	POWER POLE
ELEC	ELECTRIC METER
BOX	ELECTRIC BOX
WATER	WATER METER
LP	L.P. GAS METER
RF	RADIO FREQUENCY IDENTIFICATION
IR	IRON ROD FOUND
CORNER	CORNER
EMERGENCY LINE	EMERGENCY LINE
PROPANE TANK	PROPANE TANK

SURVEY DATE APRIL 27, 2021  
SCALE 1" = 100' FILE # 20120458RP  
CLIENT ODOM

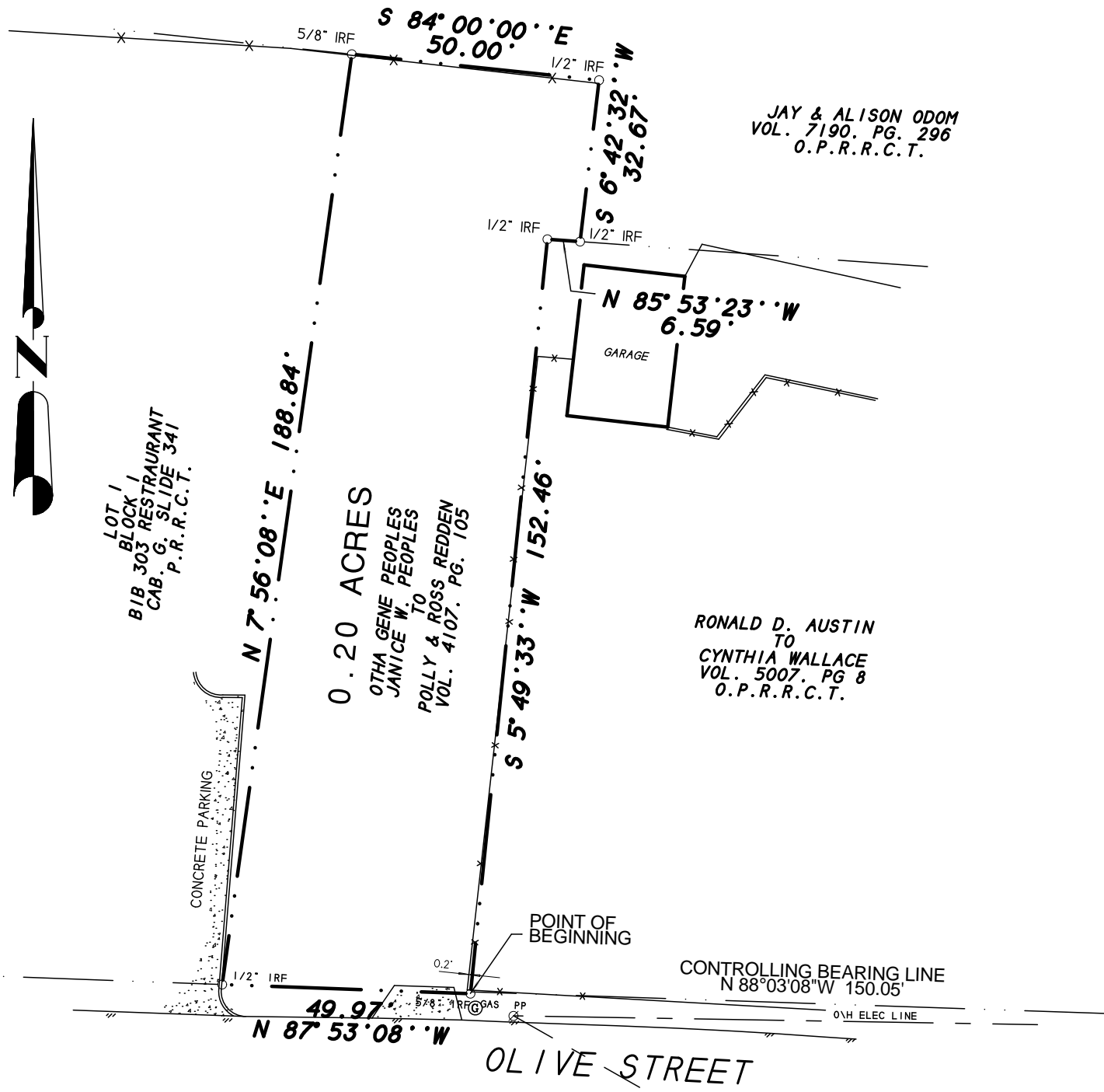
PLAT OF SURVEY

JAY & ALISON ODOM  
VOL. 7190, PG. 296  
O.P.R.R.C.T.

JAY & ALISON ODOM  
VOL. 7190, PG. 296  
O.P.R.R.C.T.

RONALD D. AUSTIN  
TO  
CYNTHIA WALLACE  
VOL. 5007, PG 8  
O.P.R.R.C.T.

0.20 ACRES  
OTHA GENE PEOPLES  
JANICE W. PEOPLES  
TO  
POLLY & ROSS REDDEN  
VOL. 4107, PG. 105



DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being part of a tract of land as described in a Warranty deed from Othe Gene and Janice W. Peoples to Polly Peoples Redden and Ross Redden, dated July 17, 2005 and being recorded in Volume 4107, Page 105 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8" iron rod found for corner in the north right-of-way line of Olive Street, at the southwest corner of a tract of land as described in a Warranty deed from Ronald D. Austin to Cynthia Wallace, as recorded in Volume 5007, Page 8, of the Official Public Records of Rockwall County, Texas, and being N. 88 deg. 03 min. 08 sec. W. a distance of 150.05 feet from the intersection of said right-of-way with the west right-of-way of N. Fannin Street;

THENCE N. 87 deg. 53 min. 08 sec. W. along the north line of Olive Street, a distance of 49.97 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 1, Block 1, BIN 303 RESTAURANT, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet G. Slide 341 of the Plat Records of Rockwall County, Texas;

THENCE N. 07 deg. 56 min. 08 sec. E. along the east line of said Addition, a distance of 188.84 feet to a 5/8" iron rod found for corner at the northeast corner of said Lot 1, Block 1, and being in the south boundary line of a 1.05 acres tract of land as described in a Warranty deed to Jay Odom and Alison Odom, as recorded in Volume 7190, Page 296, of the Official Public Records of Rockwall County, Texas;

THENCE S. 84 deg. 00 min. 00 sec. E. along the south line of said Odom tract, a distance of 50.00 feet to a 1/2" iron rod found for corner at an inner "L" corner of same;

THENCE S. 06 deg. 42 min. 32 sec. W. along a west boundary line of said Odom tract, a distance of 32.67 feet to a 1/2" iron rod found for corner at the south most southwest corner of same and in the north boundary line of said Wallace tract;

THENCE N. 85 deg. 53 min. 23 sec. W. along the north line of said Wallace tract, a distance of 6.59 feet to a 1/2" iron rod found for corner at the northwest corner of same;

THENCE S. 05 deg. 49 min. 33 sec. W. along the west line of said Wallace tract, a distance of 152.46 feet to the POINT OF BEGINNING and containing 0.20 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED IN VOL. 804, PG. 43, R.P.R.R.C.T.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for ROCKWALL COUNTY ABSTRACT & TITLE COMPANY, NORTHSTAR BANK OF TEXAS, and JAY ODOM at 201 OLIVE STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 24th day of August, 2015.

*[Signature]*  
Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
⊙	⊕	⊕	⊕	⊕	⊕
TELEVISION CABLE RISER	GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	FP POWER POLE	⊕
▲	⊕	⊕	⊕	⊕	⊕
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	⊕	⊕	⊕	⊕
—X—	—	—	—	—	—
FENCE	EASEMENT LINE	PROPERTY LINES	A/C AIR COND. UNIT	PROPANE TANK	⊕
					1/2" IRF IRON ROD FOUND CORNER

SURVEY ACCEPTED BY:

\_\_\_\_\_ DATE \_\_\_\_\_

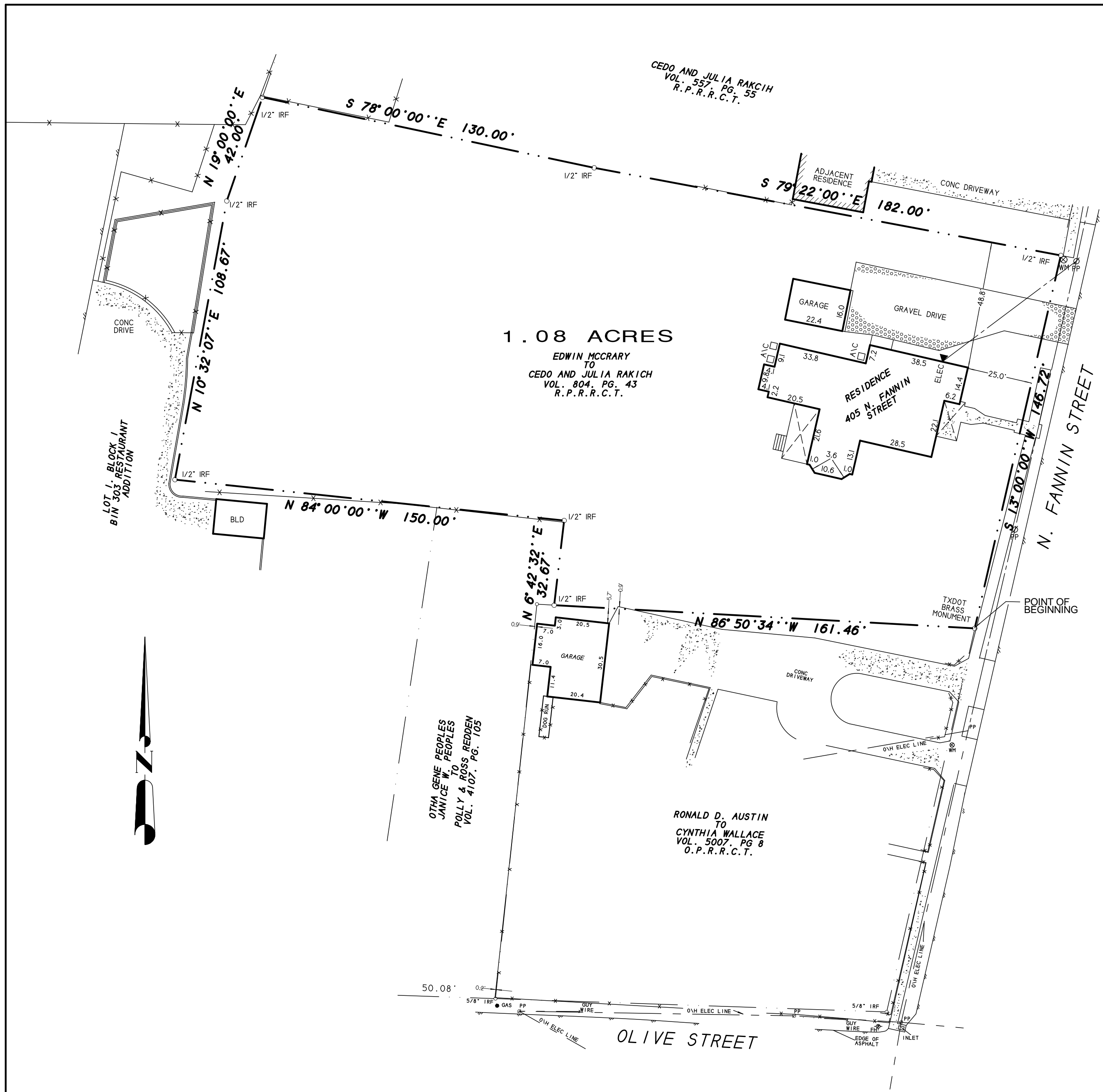
\_\_\_\_\_ DATE \_\_\_\_\_

SURVEY DATE AUGUST 24, 2015

SCALE 1" = 30' FILE # 20150311

CLIENT ODOM GF # 201508868

**H.D. Fetty Land Surveyor, LLC**  
Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



**1.08 ACRES**  
 EDWIN MCCRARY  
 TO  
 CEDO AND JULIA RAKICH  
 VOL. 804, PG. 43  
 R.P.R.R.C.T.

RONALD D. AUSTIN  
 TO  
 CYNTHIA WALLACE  
 VOL. 5007, PG 8  
 O.P.R.R.C.T.

OTHA GENE PEOPLES  
 JANICE W. PEOPLES  
 POLLY A. ROSS REDDEN  
 VOL. 4107, PG. 105

CEDO AND JULIA RAKICH  
 VOL. 557, PG. 55  
 R.P.R.R.C.T.

**DESCRIPTION**

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of a tract of land as described in a Warranty deed from Edwin McCrary to Cedo Rakich and Julia Rakich, dated July 8, 1993 and being recorded in Volume 804, Page 43 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a TXDOT brass disk monument found for corner in the west right-of-way line of N. Fannin Street, said point being at the southeast corner of said Rakich tract and at the northeast corner of a tract of land as described in a Warranty deed from Ronald D. Austin to Cynthia Wallace, as recorded in Volume 5007, Page 8 of the Official Public Records of Rockwall County, Texas;

- THENCE N. 86 deg. 50 min. 34 sec. W. along the north boundary line of said Wallace tract, a distance of 161.46 feet to a 1/2" iron rod found for corner;
- THENCE N. 06 deg. 42 min. 32 sec. E. a distance of 32.67 feet to a 1/2" iron rod found for corner;
- THENCE N. 84 deg. 00 min. 00 sec. W. a distance of 150.00 feet to a 1/2" iron rod found for corner;
- THENCE N. 10 deg. 32 min. 07 sec. E. a distance of 108.67 feet to a 1/2" iron rod found for corner;
- THENCE N. 19 deg. 00 min. 00 sec. E. a distance of 42.00 feet to a 1/2" iron rod found for corner;
- THENCE S. 78 deg. 00 min. 00 sec. E. a distance of 130.00 feet to a 1/2" iron rod found for corner;
- THENCE S. 79 deg. 22 min. 00 sec. E. a distance of 182.00 feet to a 1/2" iron rod found for corner in the west right-of-way line of N. Fannin Street;
- THENCE S. 13 deg. 00 min. 00 sec. W. along said right-of-way line, a distance of 146.72 feet to the POINT OF BEGINNING and containing 1.08 acres of land.

**NOTES**

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED IN VOL. 804, PG. 43, R.P.R.R.C.T.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
- 4) THE FOLLOWING EASEMENTS DO NOT APPEAR TO AFFECT THIS LOT: (i) V 2423, PG. 80

**SURVEYOR'S CERTIFICATE**

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY and JAY ODOM at 405 N. Fannin Street, Rockwall Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of March, 2015.

*Harold D. Fetty III*  
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
⊗	TELEPHONE CABLE RISER
⊙	GAS METER
⊕	PHONE RISER
⊖	FIRE HYDRANT
⊚	POWER POLE
⊛	ELECTRIC METER
⊜	ELECTRIC SUBSTATION BOX
⊝	WATER METER
⊞	LIGHT POLE
⊟	1/2" IRON ROD FOUND IN CORNER
⊠	PROFANE TANK
---	EASEMENT LINE
---	PROPERTY LINES

SURVEY DATE MARCH 18, 2015  
 SCALE 1" = 30' FILE # 20120458-F  
 CLIENT ODOM GF # NONE

**H.D. Fetty Land Surveyor, LLC**  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 \_\_\_\_\_ DATE \_\_\_\_\_



**DESCRIPTION**

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of the First and Second tract of land as described in a Warranty deed to Cedo Rakich and Julia Rakich, dated July 30, 1990 and being recorded in Volume 557, Page 55 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the west right-of-way line of N. Fannin Street, said point being at the southeast corner of said Rakich tract and at the northeast corner of a tract of land as described in a Warranty deed from Edwin McCrary to Cedo Rakich and Julia Rakich, dated July 8, 1993 and being recorded in Volume 804, Page 43 of the Real Property Records of Rockwall County, Texas;

THENCE N. 79 deg. 22 min. 00 sec. W. along the north boundary line of said McCrary to Rakich tract, a distance of 182.00 feet to a 1/2" iron rod found for corner;

THENCE N. 78 deg. 00 min. 00 sec. W. a distance of 130.00 feet to a 1/2" iron rod found for corner;

THENCE N. 17 deg. 14 min. 08 sec. E. a distance of 100.00 feet to a 1/2" iron rod found for corner;

THENCE S. 78 deg. 53 min. 32 sec. E. a distance of 304.61 feet to a 1/2" iron rod found for corner in the west right-of-way line of N. Fannin Street;

THENCE S. 13 deg. 00 min. 00 sec. W. along said right-of-way line, a distance of 100.00 feet to the POINT OF BEGINNING and containing 0.71 acres of land.

**NOTES**

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED IN VOL. 804, PG. 43, R.P.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

**SURVEYOR'S CERTIFICATE**

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY and JAY ODOM at 503 N. FANNIN STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of April, 2014.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
TV	TELEVISION CABLE RIERS
GA	GAS METER
PH	PHONE METER
EL	ELECTRIC METER
EL	ELECTRIC JUNCTION BOX
EL	ELECTRIC SUBSURFACE METER
EL	ELECTRIC WATER METER
EL	ELECTRIC LIGHT POLE
EL	ELECTRIC BOX NO FOUND
EL	ELECTRIC ORDER
EL	ELECTRIC PROPERTY LINES
EL	ELECTRIC EXISTENT LINE
EL	ELECTRIC AIR COND. UNIT
EL	ELECTRIC PROpane TANK

SURVEY DATE APRIL 18, 2014  
 SCALE 1" = 30'  
 CLIENT ODOM FILE # 20140131  
 GF # 14-182554-RL

**H.D. Fetty Land Surveyor, LLC**  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:

\_\_\_\_\_  
 DATE \_\_\_\_\_

\_\_\_\_\_  
 DATE \_\_\_\_\_

CALLED 1.05 ACRES  
WAYNE CRISWELL  
VOL. 311. PG. 235  
D.R.R.C.T.

LOT 3  
FANNIN ADDITION  
CABINET J, SLIDE 285  
P.R.R.C.T.

LOT 1  
INJURY REHAB  
ER ADDITION  
T F. SLIDE 273  
P.R.R.C.T.

LOT 1  
FANNIN ADDITION  
CABINET J, SLIDE 285  
P.R.R.C.T.

CALLER 0.92 ACRES  
DOUGLAS A. HALL  
VOL. 3722. PG. 208  
R.P.R.R.C.T.

SPC  
N 7028864.27  
E 2594648.62

LOT 1  
1.65 ACRES  
71,704 S.F.

BLOCK A

LOT 2  
0.51 ACRES  
22,327 S.F.

LOT 3  
0.27 ACRES  
11,557 S.F.

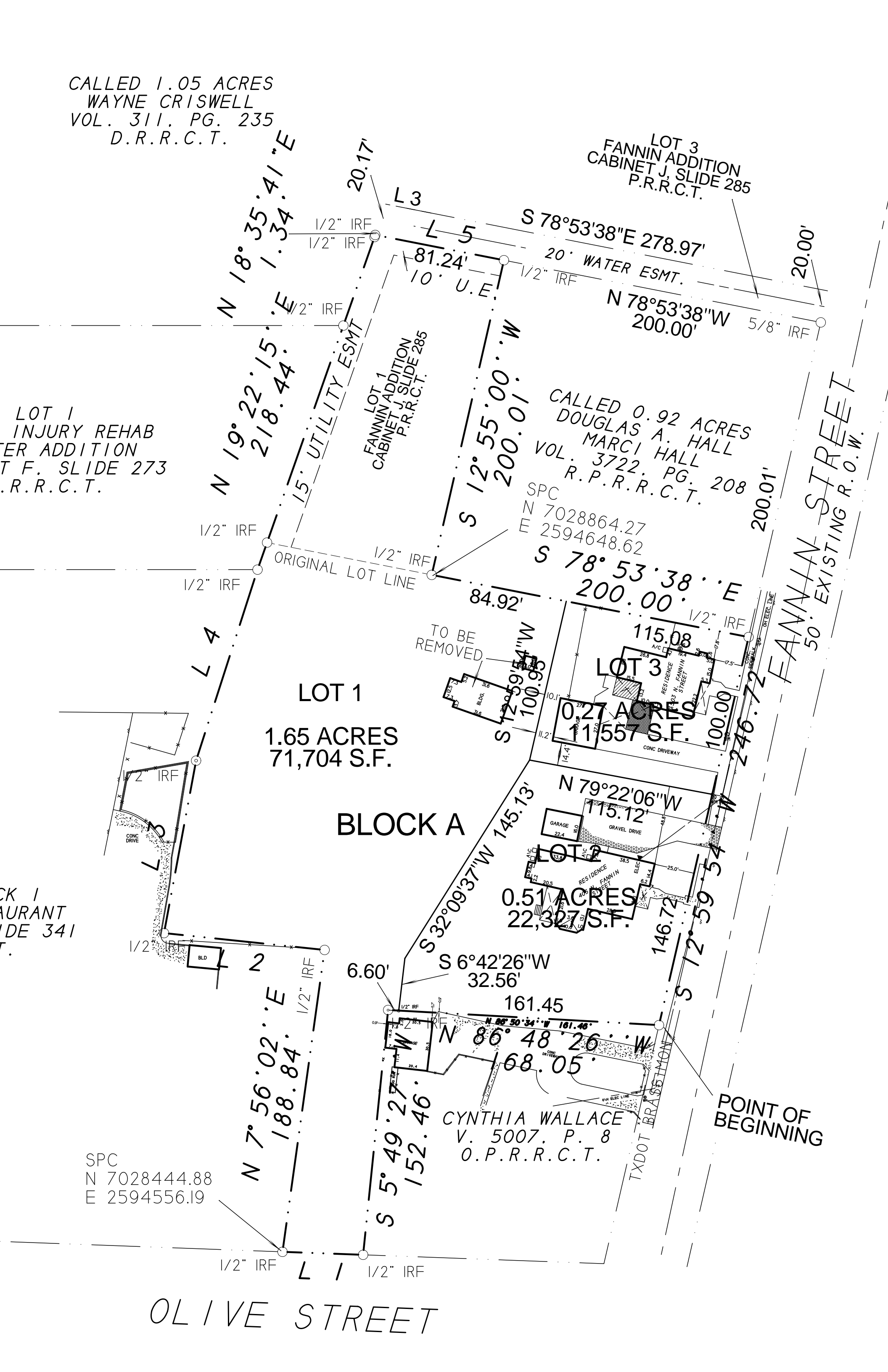
CYNTHIA WALLACE  
V. 5007. P. 8  
O.P.R.R.C.T.

SPC  
N 7028444.88  
E 2594556.19

OLIVE STREET

FANNIN STREET  
50' EXISTING R.O.W.

POINT OF BEGINNING





May 11, 2021

From: Jay Odom  
405 N Fannin S  
Rockwall, TX 75086

This letter is to state that the two structures located on the eastern portion of proposed Lot 1, Block A, of the Fannin addition Will be torn down and removed from the property no later than May 15, 2021.

Thank you,

A handwritten signature in cursive script, appearing to read "Jay Odom". The signature is written in dark ink and is positioned to the left of the page.