



DEVELOPMENT APPLICATION

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLANE/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **East Ralph Hall Parkway**

SUBDIVISION **Replat Flagstone Corners** LOT **9** BLOCK **A**

GENERAL LOCATION **Intersection of East Ralph Hall Parkway and Mims Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-54	CURRENT USE	Vacant
PROPOSED ZONING	PD-54	PROPOSED USE	Day Care
ACREAGE	1.743	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	BLBP Property Group	<input checked="" type="checkbox"/> APPLICANT	CBG Surveying Texas, LLC
CONTACT PERSON	Dr. Mary Courtin	CONTACT PERSON	Bryan Connally
ADDRESS	991 E I-30 #103	ADDRESS	12025 Shiloh Road, Suite 230
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Dallas, Texas 75228
PHONE	214-471-3810	PHONE	214-349-9485
E-MAIL	marycourtin@yahoo.com	E-MAIL	bryanc@cbgtxllc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mary Courtin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 340.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF February, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

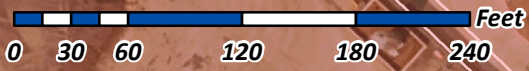
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF February, 2021.

OWNER'S SIGNATURE

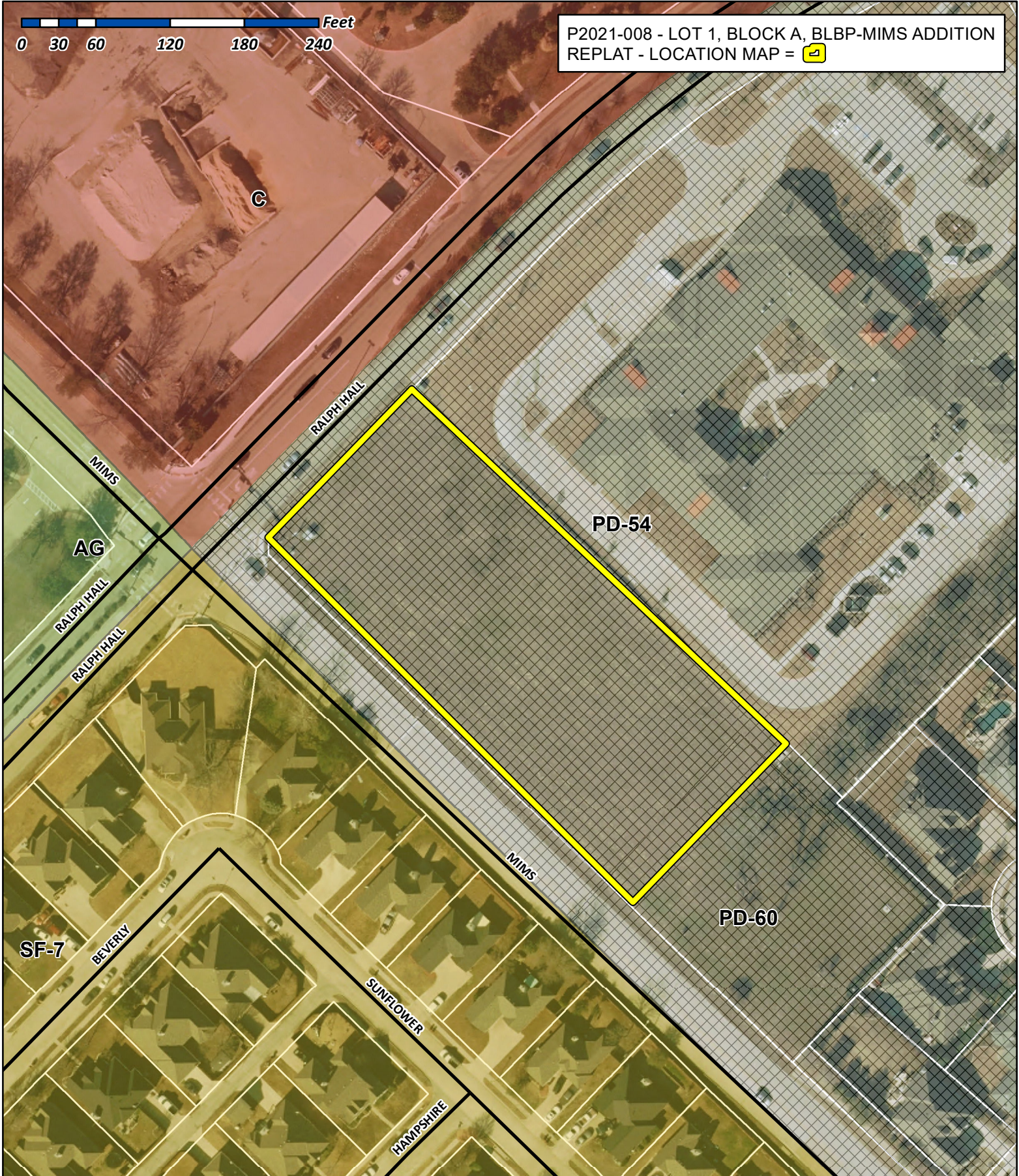
Mary Courtin
 E6229244FAB34E1

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





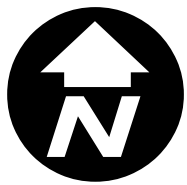
P2021-008 - LOT 1, BLOCK A, BLBP-MIMS ADDITION
REPLAT - LOCATION MAP =

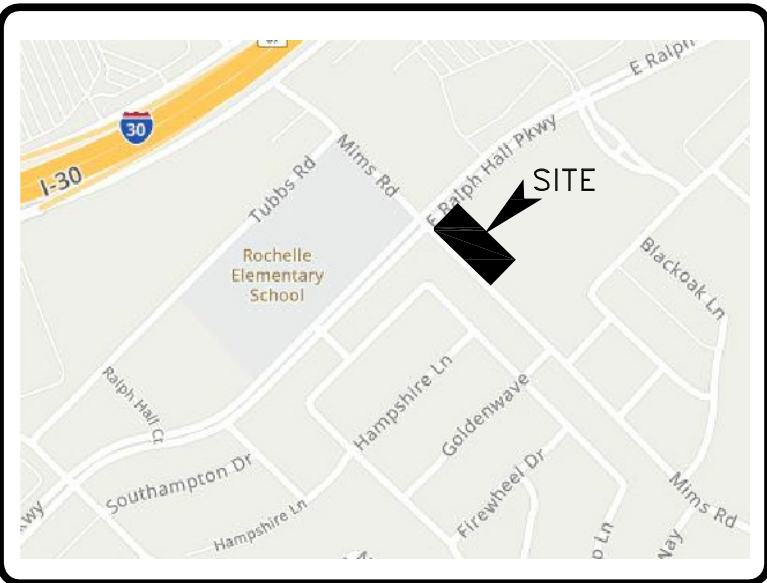


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





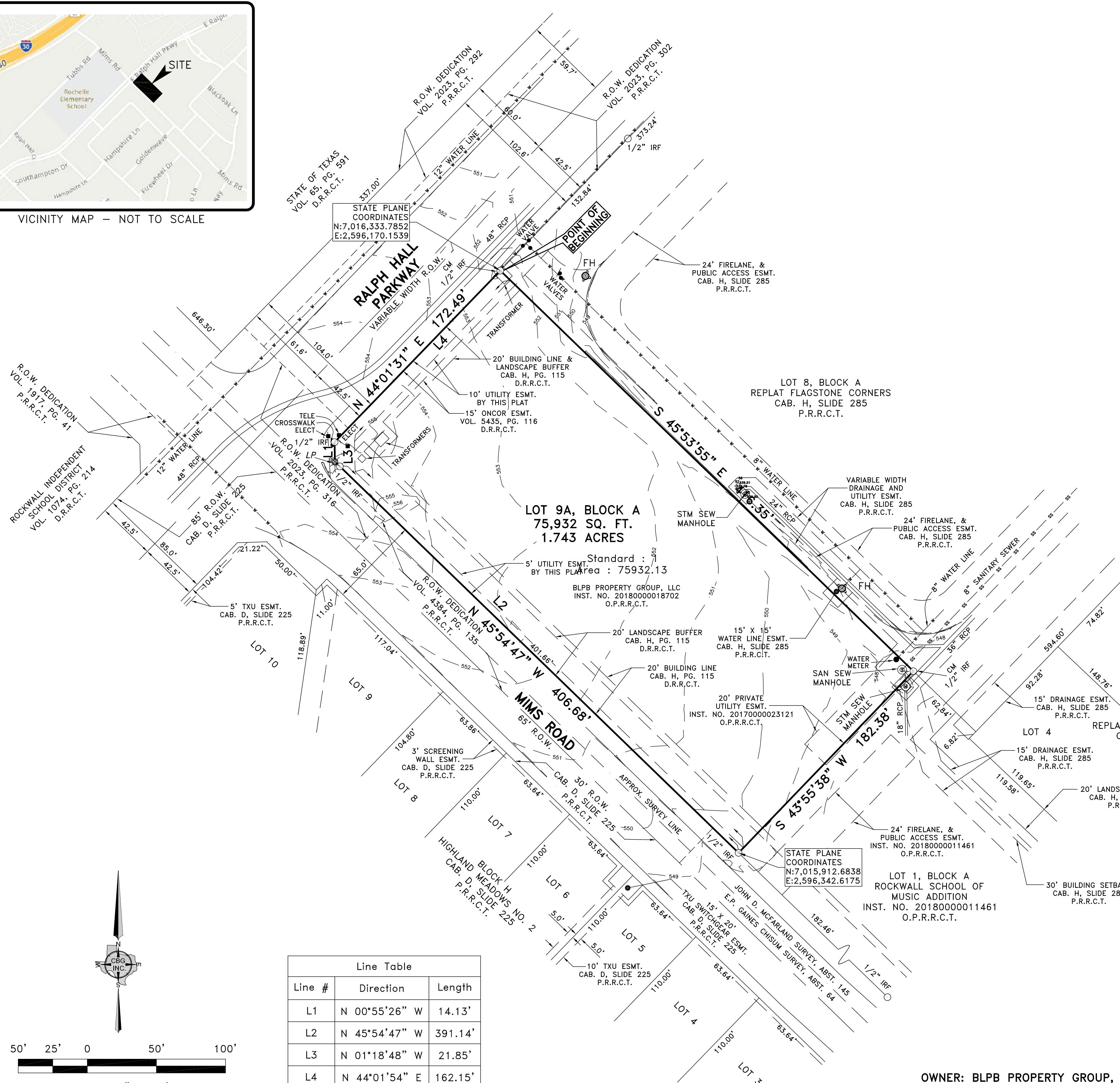
VICINITY MAP - NOT TO SCALE

LEGEND:

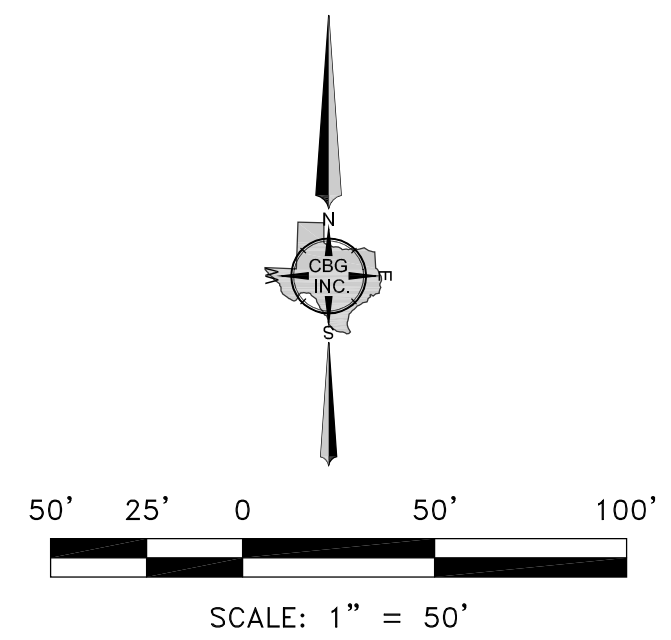
- 1/2 INCH IRON ROD FOUND WITH YELLOW PLASTIC CAP STAMPED "CBG SURVEYING"
- CM CONTROLLING MONUMENT
- VOL VOLUME
- PG PAGE
- R.O.W. RIGHT-OF-WAY
- SQ.FT. SQUARE FEET
- INST. NO. INSTRUMENT NUMBER
- SAN. SEW. SANITARY SEWER
- ESMT. EASEMENT
- APPROX. APPROXIMATE
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS

GENERAL NOTES:

- 1) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, (4202) GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS.
- 2) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.
- 3) THE PURPOSE OF THIS PLAT IS TO REPLAT A PORTION OF LOT 9, BLOCK A, FLAGSTONE CORNERS, CAB. H, SLIDE 285, P.R.R.C.T.
- 4) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0040L, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.
- 5) PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE, REPAIR, AND RECONSTRUCTION OF ALL DRAINAGE AND DETENTION SYSTEMS ON SITE.



Line Table		
Line #	Direction	Length
L1	N 00°55'26" W	14.13'
L2	N 45°54'47" W	391.14'
L3	N 01°18'48" W	21.85'
L4	N 44°01'54" E	162.15'



(SHEET 1 OF 2)

PRELIMINARY PLAT
LOT 9A, BLOCK A
BLPB-MIMS ADDITION
 BEING A REPLAT OF LOT 9, BLOCK A, REPLAT FLAGSTONE ADDITION
 75,932 SQ.FT. / 1.743 ACRES
 JOHN D. MCFARLAND SURVEY, ABSTRACT NO. 145
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PLANNING & SURVEYING
 Main Office
 12025 Shiloh Road, Ste. 230
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
 www.cbgtxl.com

OWNER: BLPB PROPERTY GROUP, LLC
 991 E. I-30, STE. 103
 ROCKWALL, ROCKWALL COUNTY, TEXAS 75032

SCALE: 1"=50' / DATE: 02-10-2021 / JOB NO. 1816813-1 / DRAWN BY: WTH

CASE NO. SP-2020-031

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas BLPB Property Group, LLC, BEING THE OWNER OF A TRACT OF LAND in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the John D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, same being a portion of Lot 9, Block A, Replat Flagstone Corners, an addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Cab. H, Slide 285, Plat Records, Rockwall County, Texas, same being that tract of land conveyed to said BLPB Property Group, LLC, by Special Warranty Deed with Vendor's Lien, recorded in Instrument No. 20180000018702, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for corner, being the West corner of Lot 8, of said Replat Flagstone Corners, and being in the Southeast Right-of-Way line of Ralph Hall Parkway (a variable width Right-of-Way)

THENCE South 45 degrees 53 minutes 55 seconds East, along the Southwest line of said Lot 8, a distance of 416.35 feet to a 1/2 inch iron rod found for corner, being the North corner of Lot 1, Block A, Rockwall School of Music Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Instrument No. 20180000011461, Official Public Records, Rockwall County, Texas;

THENCE South 43 degrees 55 minutes 38 seconds West, along the Northwest line of said Lot 1, a distance of 182.38 feet to a 1/2 inch iron rod found for corner, being the West corner of said Lot 1, and being in the Northeast Right-of-Way line of Mims Road (a 65 foot Right-of-Way);

THENCE North 45 degrees 54 minutes 47 seconds West, along the Northeast Right-of-Way line of said Mims Road, passing a 1/2 inch iron rod found for reference at a distance of 401.66 feet, and continuing a total distance of 406.68 feet to a light pole for corner, being at the intersection of the Northeast Right-of-Way line of said Mims Road, and the Southeast Right-of-Way line of said Ralph Hall Parkway;

THENCE 00 degrees 55 minutes 26 seconds West, a distance of 14.13 feet to a 1/2 inch iron rod found for corner;

THENCE North 44 degrees 01 minutes 31 seconds East, along the Southeast Right-of-Way line of said Ralph Hall Parkway, a distance of 172.49 feet to the POINT OF BEGINNING, and containing 75,932 square feet or 1.743 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner(s) of the land shown on this plat, and designated herein as the LOT 9A, BLOCK A, BLPB-MIMS ADDITION, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the LOT 9A, BLOCK A, BLPB-MIMS ADDITION, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

BLPB Property Group, LLC (Owner)
a Texas limited liability company

By: _____
Dr. Mary Courtin, Manager

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Dr. Mary Courtin, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of _____, 2021.

By: _____

printed name: _____
Notary Public in and for the State of Texas

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Bryan Connally, a Registered Professional Land Surveyor, licensed by the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Dated this the _____ day of _____, 2021.

RELEASED FOR REVIEW 02/11/2021 PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Bryan Connally
Texas Registered Professional Land Surveyor No. 5513

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2021.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2021.

Mayor, City of Rockwall

City Secretary

City Engineer

(SHEET 2 OF 2)

PRELIMINARY PLAT
LOT 9A, BLOCK A
BLPB-MIMS ADDITION
BEING A REPLAT OF LOT 9, BLOCK A, REPLAT FLAGSTONE ADDITION
75,932 SQ.FT. / 1.743 ACRES
JOHN D. MCFARLAND SURVEY, ABSTRACT NO. 145
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



OWNER: BLPB PROPERTY GROUP, LLC
991 E. I-30, STE. 103
ROCKWALL, ROCKWALL COUNTY, TEXAS 75032

SCALE: 1"=50' / DATE: 02-10-2021 / JOB NO. 1816813-1 / DRAWN BY: WTH

CASE NO. SP-2020-031

North: 7016044.0344' East: 2596469.1391'

Segment #1 : Line

Course: S43° 55' 37.90"W Length: 182.38'

North: 7015912.6803' East: 2596342.6141'

Segment #2 : Line

Course: N45° 54' 47.00"W Length: 406.68'

North: 7016195.6275' East: 2596050.5020'

Segment #3 : Line

Course: N00° 55' 26.00"W Length: 14.13'

North: 7016209.7557' East: 2596050.2742'

Segment #4 : Line

Course: N44° 01' 31.00"E Length: 172.49'

North: 7016333.7818' East: 2596170.1506'

Segment #5 : Line

Course: S45° 53' 55.00"E Length: 416.35'

North: 7016044.0312' East: 2596469.1354'

Perimeter: 1192.03' Area: 75932.13 Sq. Ft.

Error Closure: 0.0048 Course: S49° 35' 32.65"W

Error North: -0.00314 East: -0.00369

Precision 1: 248339.58