



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING # _____ PLANNING CASE NO. 22020-053

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: [Signature]
CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 1700 JUSTIN ROAD

Subdivision: CHANNELL SUBDIVISION Lot: 3 Block: A

General Location: NORTHWEST CORNER OF JUSTIN ROAD & JOHN KING BLVD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: LIGHT INDUSTRIAL Current Use: LIGHT INDUSTRIAL

Proposed Zoning: SAME Proposed Use: SAME

Acreage: 18.762 Lots [Current]: 1 Lots [Proposed]: 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>CHANNELL CORPORATION</u>	<input type="checkbox"/> Applicant	<u>MEINHARDT & ASSOC. ARCH.</u>
Contact Person	<u>MR. ED BURKE</u>	Contact Person	<u>DAVID MEINHARDT</u>
Address	<u>1700 JUSTIN ROAD</u>	Address	<u>14643 DALLAS PARKWAY</u> <u>SUITE 636</u>
City, State & Zip	<u>ROCKWALL, TEXAS, 75087</u>	City, State & Zip	<u>DALLAS, TEXAS 75254</u>
Phone	<u>951-587-7884</u>	Phone	<u>972-934-5406</u>
E-Mail	<u>eburke@channell.com</u>	E-Mail	<u>dmeinhardt@m-aarchi.com</u>

NOTARY VERIFICATION [REQUIRED]

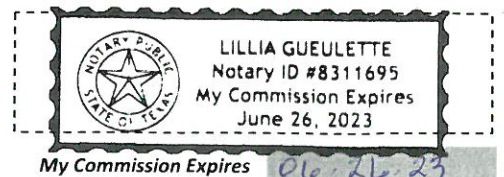
Before me, the undersigned authority, on this day personally appeared DAVID MEINHARDT [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 481.43, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of NOVEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of NOVEMBER, 20 20.

Owner's Signature [Signature]

Notary Public in and for the State of Texas [Signature]





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

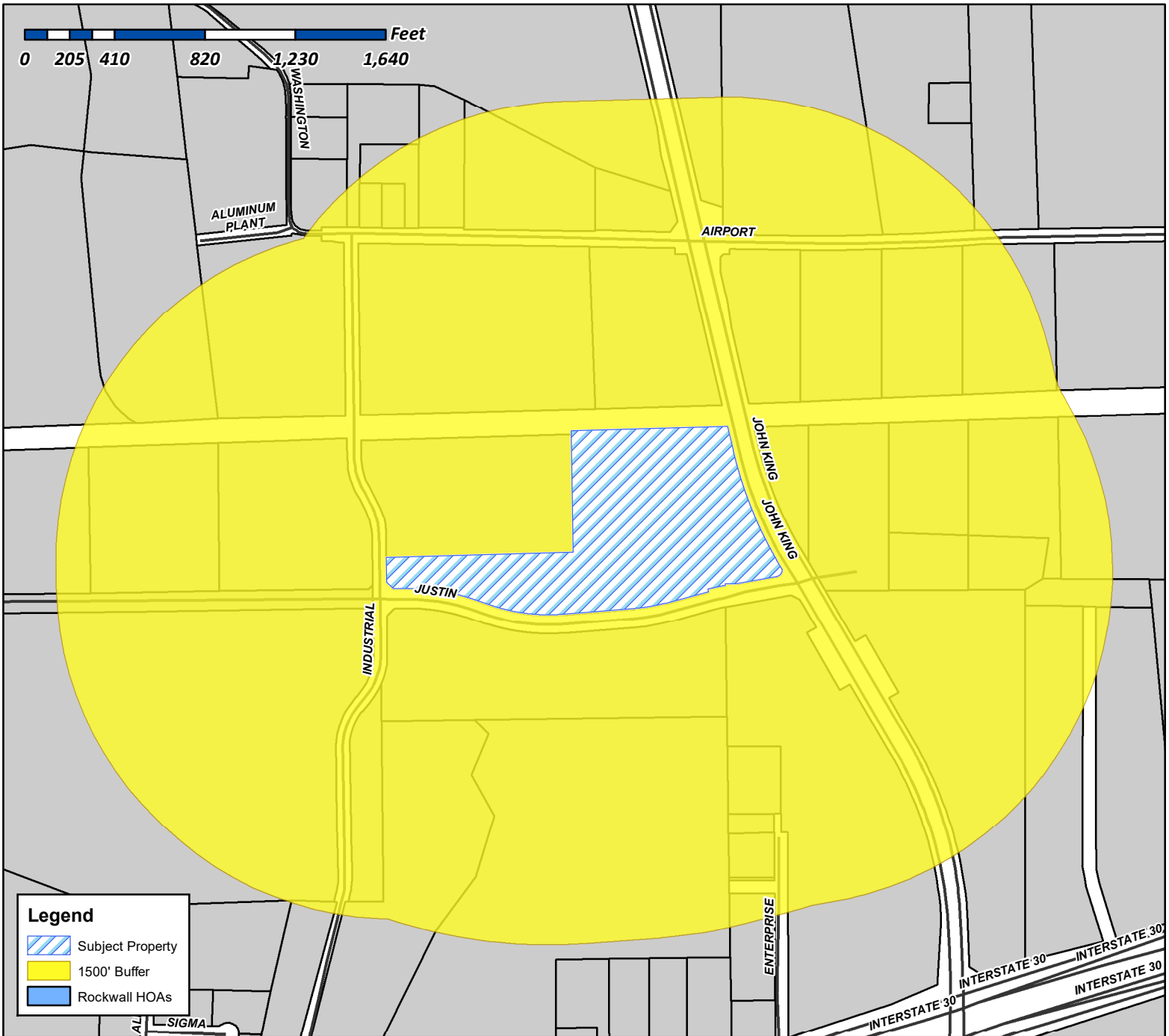
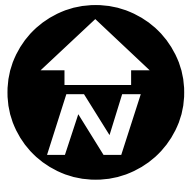




City of Rockwall

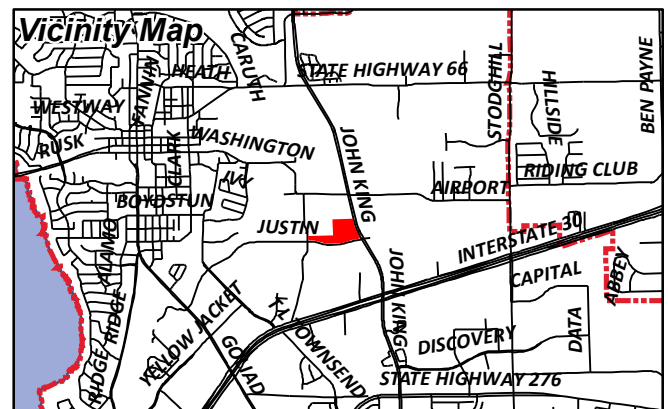
Planning & Zoning Department
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Case Number: Z2020-053
Case Name: Zoning Change from LI to PD
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1700 Justin Road

Date Created: 11/13/2020
 For Questions on this Case Call (972) 771-7745

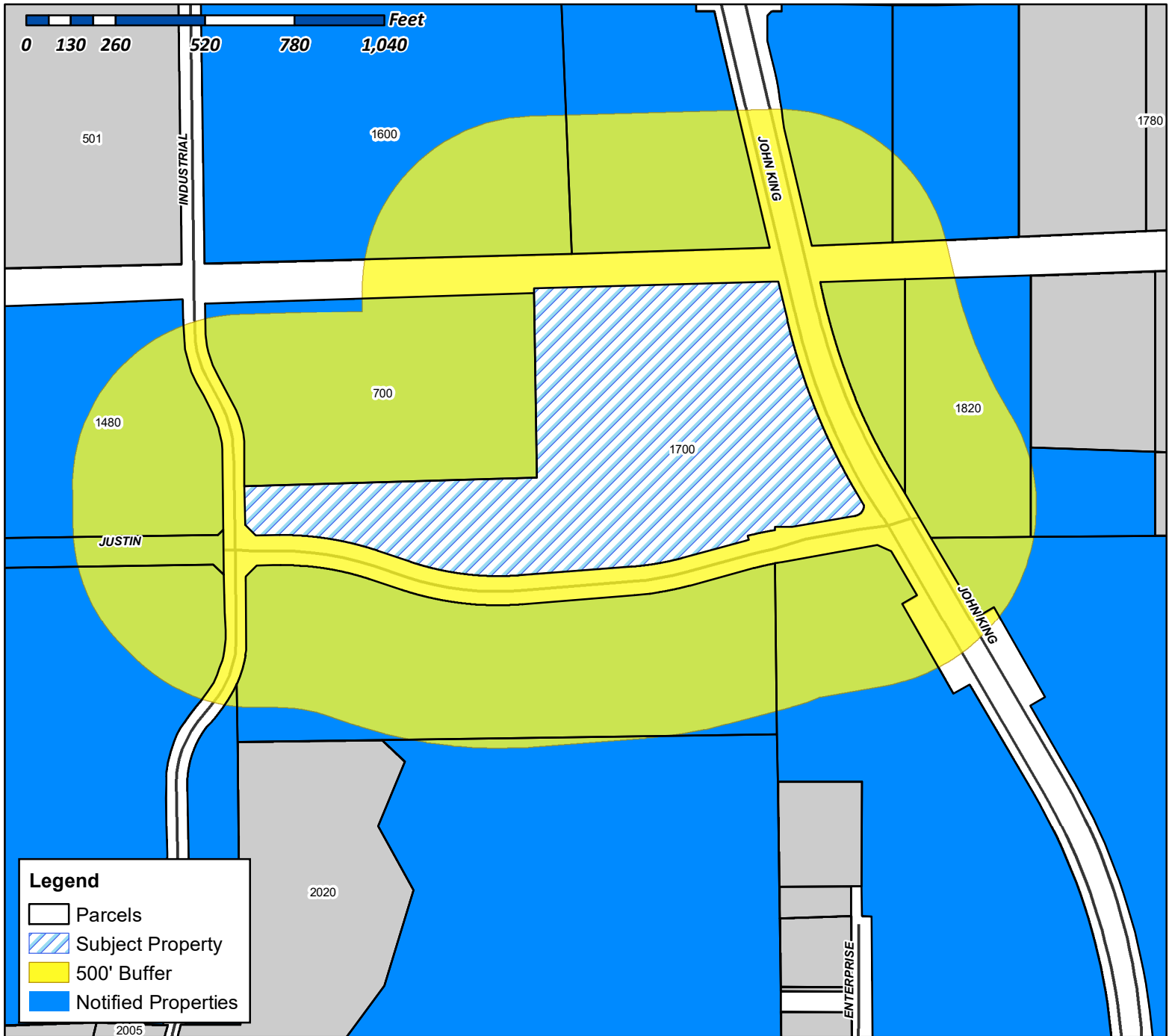




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SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

ALVAPLAST US DEVELOPMENT LLC
1480 JUSTIN ROAD
ROCKWALL, TX 75087

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
1700 JUSTINRD
ROCKWALL, TX 75087

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
1820 JUSTINRD
ROCKWALL, TX 75087

TEMUNOVIC PARTNERSHIP LTD
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
5651 STATE HIGHWAY 276
ROYSE CITY, TX 75189

CONTINENTAL PET TECHNOLOGY
%GRAHAM PACKAGING PET TECH INC
700 INDIAN SPRINGS DR STE 100
LANCASTER, PA 17601

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
P O BOX 9022
TEMECULA, CA 92589

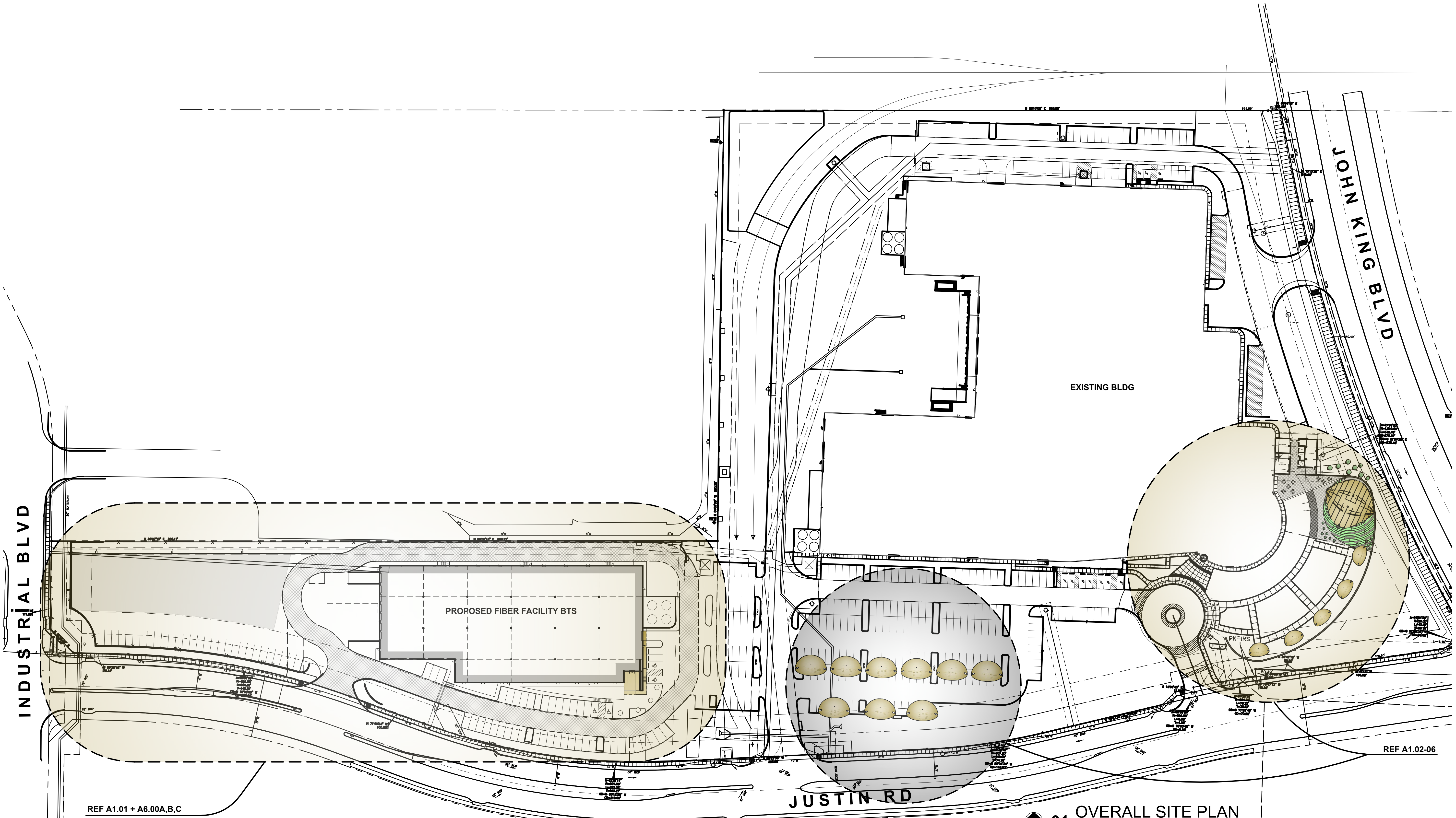
ATHEY JACKIE R
P.O. BOX 219
LAVON, TX 75166

ROCKWALL STEEL CO INC
PO BOX 729
TERRELL, TX 75160

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS

1700 JUSTIN ROAD



REF A1.01 + A6.00A,B,C

REF A1.02-06



01 OVERALL SITE PLAN

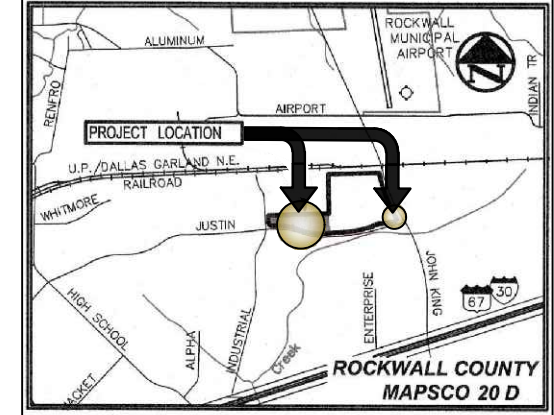
SCALE: 1" = 60'-0"



GRAPHIC SCALE IN FEET

SITE DATA

PROPOSED LAND USE = INDUSTRIAL
 PROPERTY BOUNDARY = 817,294 SF | 18.762 AC
 PERIMETER BOUNDARY = 2073'-10 1/2" LENGTH
 BUILDING FOOTPRINT = 55,760 SF + 817,294 SF = 6.8% LOT COVERAGE



VICINITY MAP (NOT TO SCALE)

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

 Planning & Zoning Commission, Chairman

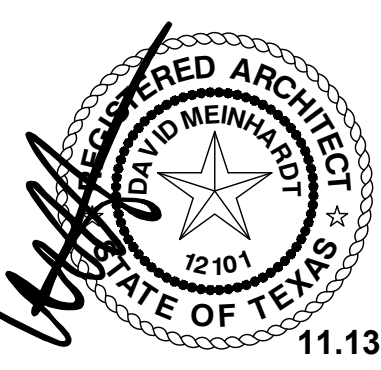
 Director of Planning and Zoning

SP-20-2020-011

OWNER | DEVELOPER
 CHANNELL
 26040 YNEZ ROAD | P.O. BOX 9022
 TEMECULA, CA-USA 92589-9022
 951-719-2600
 BILL CHANNELL JR - bchannelljr@channell.com



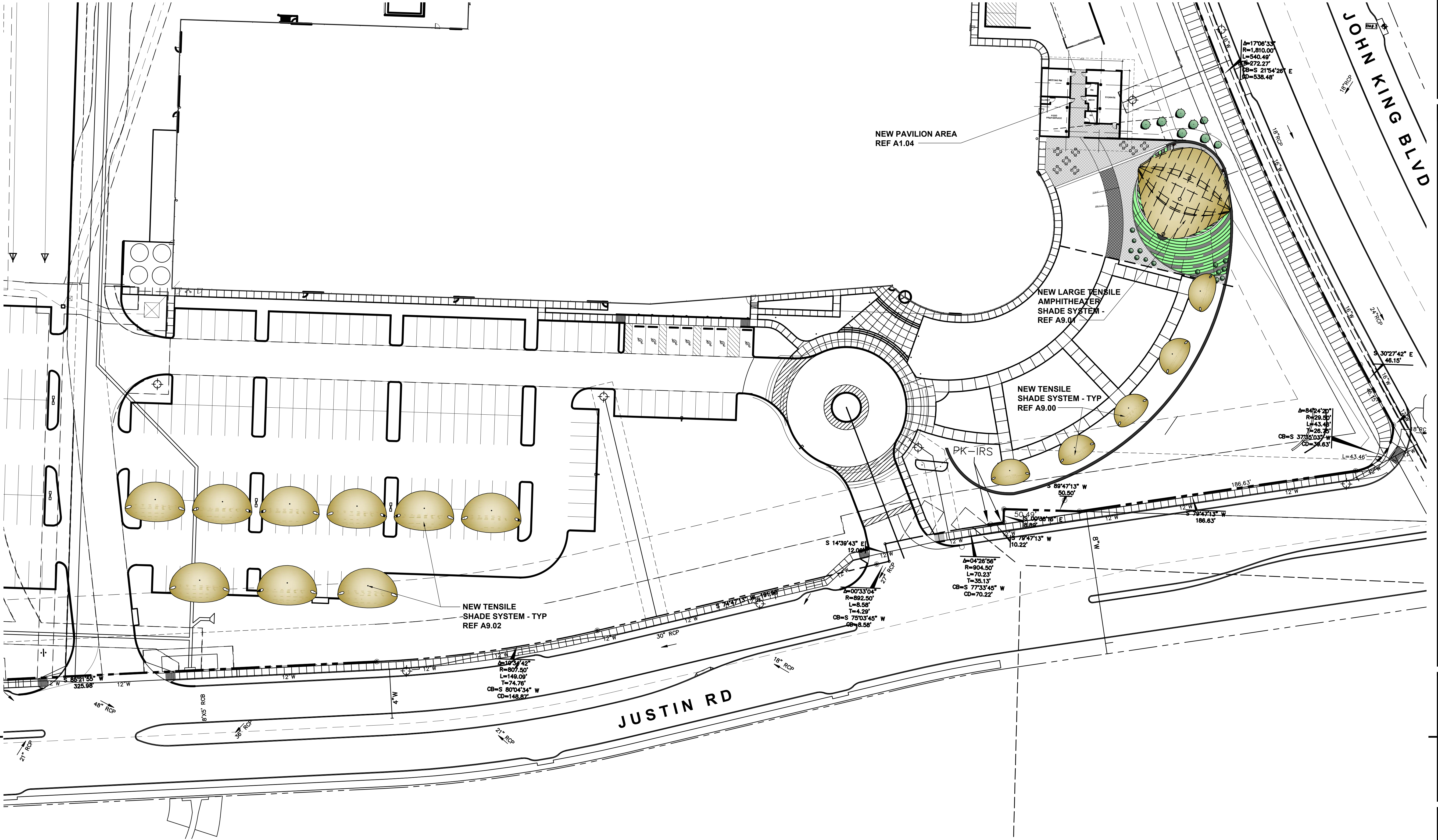
MEINHARDT & ASSOCIATES
 ARCHITECTS, P.L.L.C.
 1840 DALLAS PARKWAY
 SUITE 500
 DALLAS TEXAS 75244
 469.960.8880



11.13.2020

PROJECT NO: 20-205
 DATE: 11.13.2020
 DRAWN BY: DBC
 CHECKED BY: DDM
 SHEET: SITE PLAN

A1.00



01 PARTIAL SITE PLAN
 SCALE: 1" = 30'-0"
 GRAPHIC SCALE IN FEET

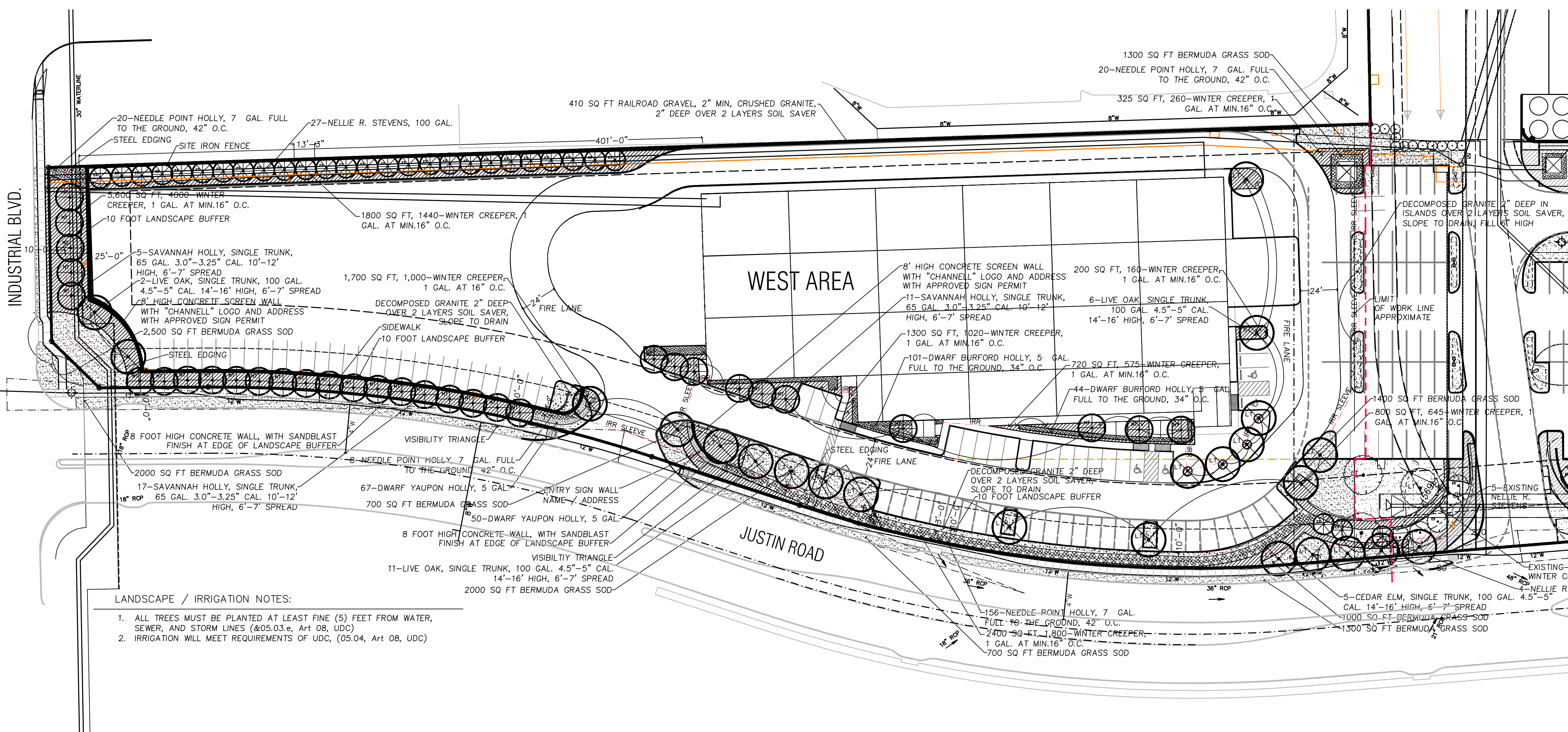
CHANNELL CAMPUS IMPROVEMENTS
 ROCKWALL, TEXAS

1700 JUSTIN ROAD



PROJECT NO: 20-205
 DATE: 11.13.2020
 DRAWN BY: DBC
 CHECKED BY: DDM
 SHEET: SITE PLAN

A1.02



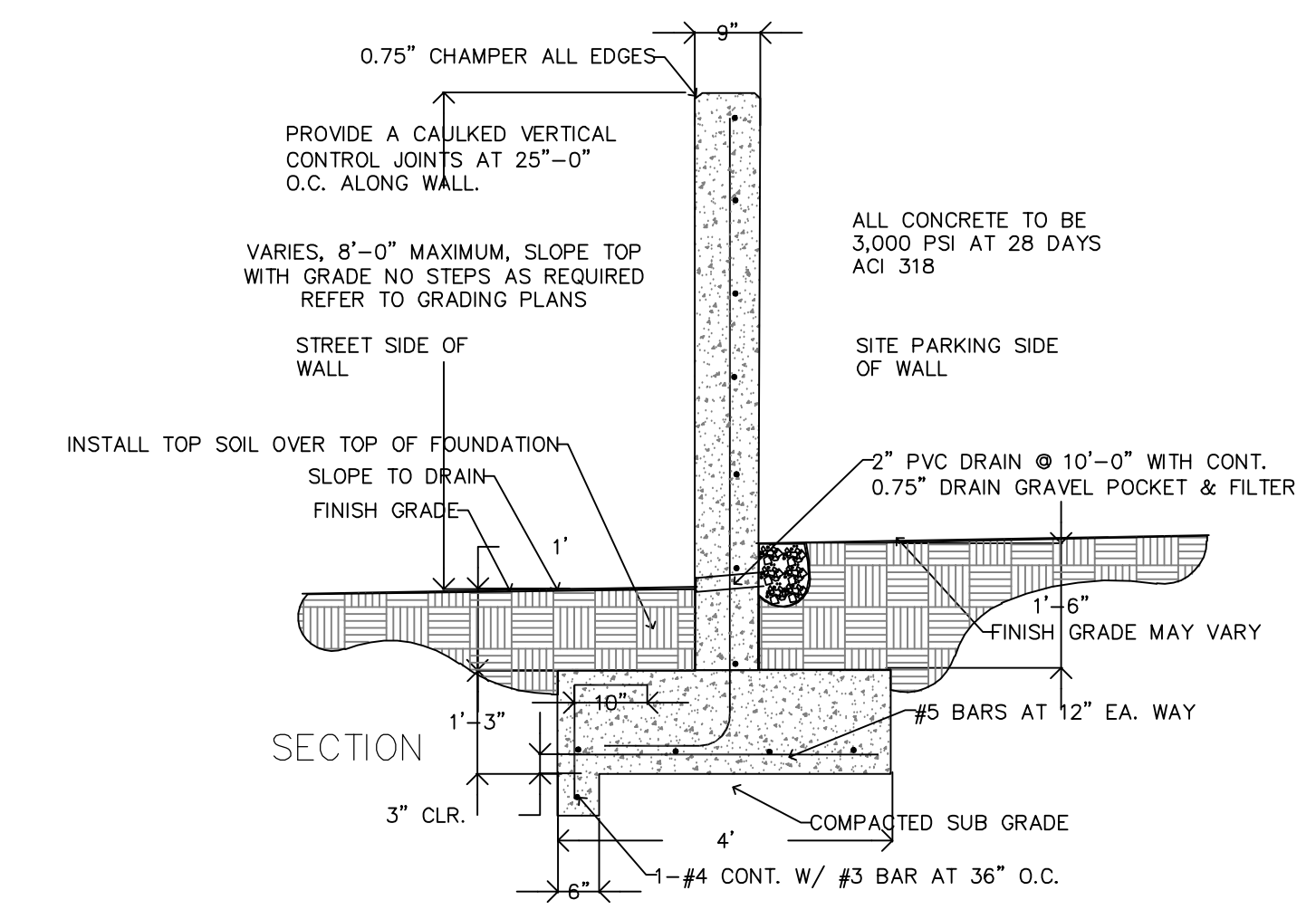
LANDSCAPE PLAN LEGEND

$\frac{1}{2}$ CT	QUANTITY
[Symbol]	SYMBOL KEY TO PLANT LIST
IRR SLEEVE	IRRIGATION SLEEVE: IRRIGATION WATER SUPPLY 4", WIRES 2" OR AS NOTED ON PLAN

LANDSCAPE TREE SYMBOLS

PROPOSED TREES	EXISTING TREES	DESCRIPTION
LARGE (Symbol)	LARGE (Symbol)	SITE TREES LARGE PER TYPE AND SIZE NOTED ON PLAN. INSTALL (2) TWO ADJUSTABLE BUBBLERS ON EACH TREE WITH 4" WATER RING AND 3" MULCH OVER TREE BALL.
MEDIUM (Symbol)	MEDIUM (Symbol)	SITE TREES MEDIUM PER TYPE AND SIZE NOTED ON PLAN. INSTALL (2) TWO ADJUSTABLE BUBBLERS ON EACH TREE WITH 4" WATER RING AND 3" MULCH OVER TREE BALL.
SMALL (Symbol)	SMALL (Symbol)	SITE TREES SMALL PER TYPE AND SIZE NOTED ON PLAN. INSTALL (1) ONE ADJUSTABLE BUBBLERS ON EACH TREE.
12'-0" (Symbol)	12'-0" (Symbol)	EVERGREEN SCREENING SHRUBS, NELLIE R. STEVENS HOLLY. WITH 4" TREE RING AND 3" MULCH. INSTALL (2) TWO ADJUSTABLE BUBBLER ON EACH SHRUB.
6'-0" (Symbol)	6'-0" (Symbol)	EVERGREEN SHRUBS FOR SCREENING.
[Symbol]	[Symbol]	EVERGREEN SHRUBS SEE PLAN FOR SIZE AND TYPE.
[Symbol]	[Symbol]	EVERGREEN GROUND COVER WITH STEEL EDGING.
[Symbol]	[Symbol]	BERMUDA GRASS-ON SITE, ROLL TWO TIMES, SEE DETAILS.
[Symbol]	[Symbol]	PARKING LOT ISLAND AND TRANSFORMERS, INSTALL DECOMPOSED GRANITE 3" DEEP WITH STEEL EDGING ON LANDSCAPE SIDES OF BED FILL ISLAND WITH SITE SOIL TO BACK OF CURB AND SLOPE UP INTO MIDDLE 6". INSTALL DECOMPOSED GRANITE TO SLOPE TO DRAIN OVER TOP OF CURB TO LOW SIDE.

- LANDSCAPE / IRRIGATION NOTES:**
- ALL TREES MUST BE PLANTED AT LEAST FIVE (5) FEET FROM WATER, SEWER, AND STORM LINES (&05.03.e, Art 08, UDC)
 - IRRIGATION WILL MEET REQUIREMENTS OF UDC, (05.04, Art 08, UDC)



- 1 SITE SCREEN WALL DETAILS**
- N.T.S.
- NOTE:
- CONCRETE COLOR MIX TO BE APPROVED BY CLIENT
 - STEP FOOTING AS REQUIRED IN 8" STEPS
 - BACK FILL SOIL AFTER FORM WORK REMOVAL TO GRADES SHOWN.
 - CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS, FORM WORK, CONCRETE WASH OUT FROM SITE.
- SAND BLASTING NOTE:
- ALL EXPOSED SURFACES TO BE SAND BLASTED.
 - SAMPLE TO BE APPROVED BY CLIENT.
 - SAND BLAST SAND MAY USED ON LANDSCAPE BEDS. NO CLEAN UP EXCEPT ON PAVING SURFACES.

LANDSCAPE IRRIGATION WARRANTEE

1. LANDSCAPE CONTRACTOR SHALL WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM TIME OF FINAL ACCEPTANCE AND PAYMENT OF THE COMPLETED WORK.

2. IRRIGATION SYSTEM SHALL BE WARRANTED FOR ONE YEAR PARTS AND LABOR FOR NEW ITEMS.

ROOT BARRIERS AT UTILITIES AND PAVING EDGES

- NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELEC, CABLE, STORM, ECT.
- ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. PROVIDE ON ALL TREES SHOWN, UNLESS NOTED 3" DEEP ROOT BARRIERS, 1-800-458-7668, INSTALL UB-48-2 PER SPECIFICATIONS AT EACH TREE ON SIDE OF PAVING OR UTILITY. INCLUDE 2" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 24" DEEP. BARRIER TO EXTEND 1" ABOVE GRADE.

CITY OF ROCKWALL MAINTENANCE NOTE:

MAINTENANCE: THE CURRENT OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS, REQUIRED BUFFER YARD AREAS AND MATERIALS AND REQUIRED SCREENING MATERIALS. SAID AREAS MUST BE MAINTAINED AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. MAINTENANCE WILL INCLUDE REPLACEMENT OF ALL DEAD PLANT MATERIAL IF THAT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THE UDC. ALL SUCH PLANTS SHALL BE REPLACED WITHIN (6) SIX MONTHS OF NOTIFICATION, OR BY THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. A PROPERTY/HOMEOWNERS ASSOCIATION MAY ASSUME RESPONSIBILITY FOR MAINTENANCE OF COMMON AREAS.

IRRIGATION AFFIDAVIT

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUAL PROFESSIONAL AND INSTALLED LICENSED IRRIGATOR.

BERMUDA SOD NOTES

- WATER SETTLE ALL TRENCHING ON SITE IN SOD AREA.
- SITE SOIL TO BE TILLED, 6" DEEP BY MECHANICAL TILLER, BREAKING DOWN CLODS TO MAX 1" SIZES. REMOVING ALL ROCKS OVER 1" DIA AND DEBRIS IN ALL AREAS.
- LEVEL TO DRAIN FINE GRADE SMOOTH TO DRAIN. FINISH WITH LARGE HAND RAKE SURFACE.
- INSTALL 1" COMPOST, RAKE SMOOTH.
- APPLY SLOW RELEASE FERTILIZER, PER MANUFACTURER INSTRUCTIONS.
- INSTALL SOD, IN LARGE ROLLS, STAGGERING EDGES AND FITTING WITH NO GAPS ARE ALLOWED.
- WATER (3) TIMES A DAY (4) FOUR MINUTES A DAY FOR 7 DAYS TO NOT LET ROOTS DRY OUT. ADJUST TIME AS REQUIRED TO NOT OVER WATER.
- CONTRACTOR TO MAINTAIN GRASS AND INCLUDE (1) ONE MOWING IN BASE BID AFTER SOI REACHES 1.5"-2" HIGH..

CHANNELL, ROCKWALL TEXAS

VARIANCE REQUEST FOR ALTERNATE LANDSCAPE PLAN DATED 07062020

The Phase One Channell Project Landscape Plan was installed per an Alternate Landscape Plan Dated 03/04/2016. The City of Rockwall Planning Department Approved this plan.

As this approved Alternate Landscape Plan included several designs that were considered to meet or exceeded the City of Rockwall Landscape Ordinance Intent. We desire to continue the same style of landscape along the Justin Road

- These same Landscape Designs are shown on the SP2020-011 Alternative Landscape Plan.
- The plan shows and edge of large evergreen holly shrubs along the parking lot edges as a living screen that will grow up and become a solid screen.
 - There are large shade trees spaced behind the Nellie R. Stevens Shrubs were use and not ornamental trees were provided.
 - The 03/04/2016 plan had a 6 foot high concrete wall to screen spaces or outside storage on site. This is shown as a 400 foot long 8 foot high wall for screening.
 - The plans both will have curved entry concrete walls 8 feet high with signage.

- Per City or Rockwall Comments for landscape this plan as drawn should be considered as an Alternate Landscape Plan in keeping with the Style of the Channell Project Campus.
- Provide the necessary screening associates with outside storage requirement along Justin Road. The Plan utilizes a row or large shrubs, Needle Point Holly and Row of Burford Holly and Large Live Oak Trees and solid 6 foot high concrete screening wall to suffice for the solid screening that exceeds a row of canopy trees at 20-foot centers. The Shrubs will be maintained at 8-9 feet high.
 - The 10 foot wide Landscape Buffer is dimensioned as shown on the plans along Justin Road Frontage
 - The fire Lane is labeled on the Plan
 - The 10 foot wide Landscape Buffer is shown on the plans along Justin Road Frontage
 - Provide trees in the required street landscape buffer along Justin Road in numbers equal to one (1) canopy tree and one (1) accent tree for every 50 feet of street frontage. This would require 17 canopy trees and 17 Accent Trees. The Alternate Landscape Plan shows 17 canopy trees along the 850 foot Justin Road Edge Area and with the 400 foot long 8 foot high concrete wall and 6-8 foot high holly shrubs lue of the 17 accent trees. The Alternate Landscape Plan dated 7/06/2020 provides a screened edge that will provide a dense screen that exceeds only using trees.
 - Landscape Notes have been added to the plan.
 - Irrigation Notes have been added to the plan.

SITE PLAN SIGNATURE BLOCK

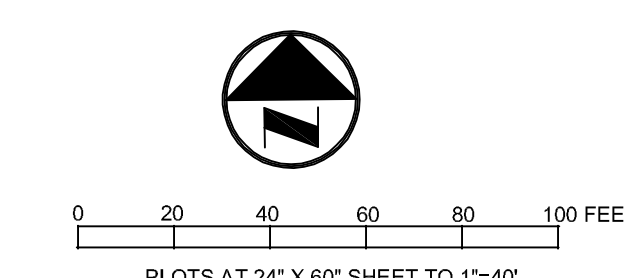
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



NO.	DATE	REVISION

TP T. H. Pritchett / Associates
LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.869.3535

ALTERNATE LANDSCAPE PLAN WEST

CHANNELL COMMERCIAL CORP.

WEST PARKING & STORAGE LAYOUT

1700 JUSTIN ROAD

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

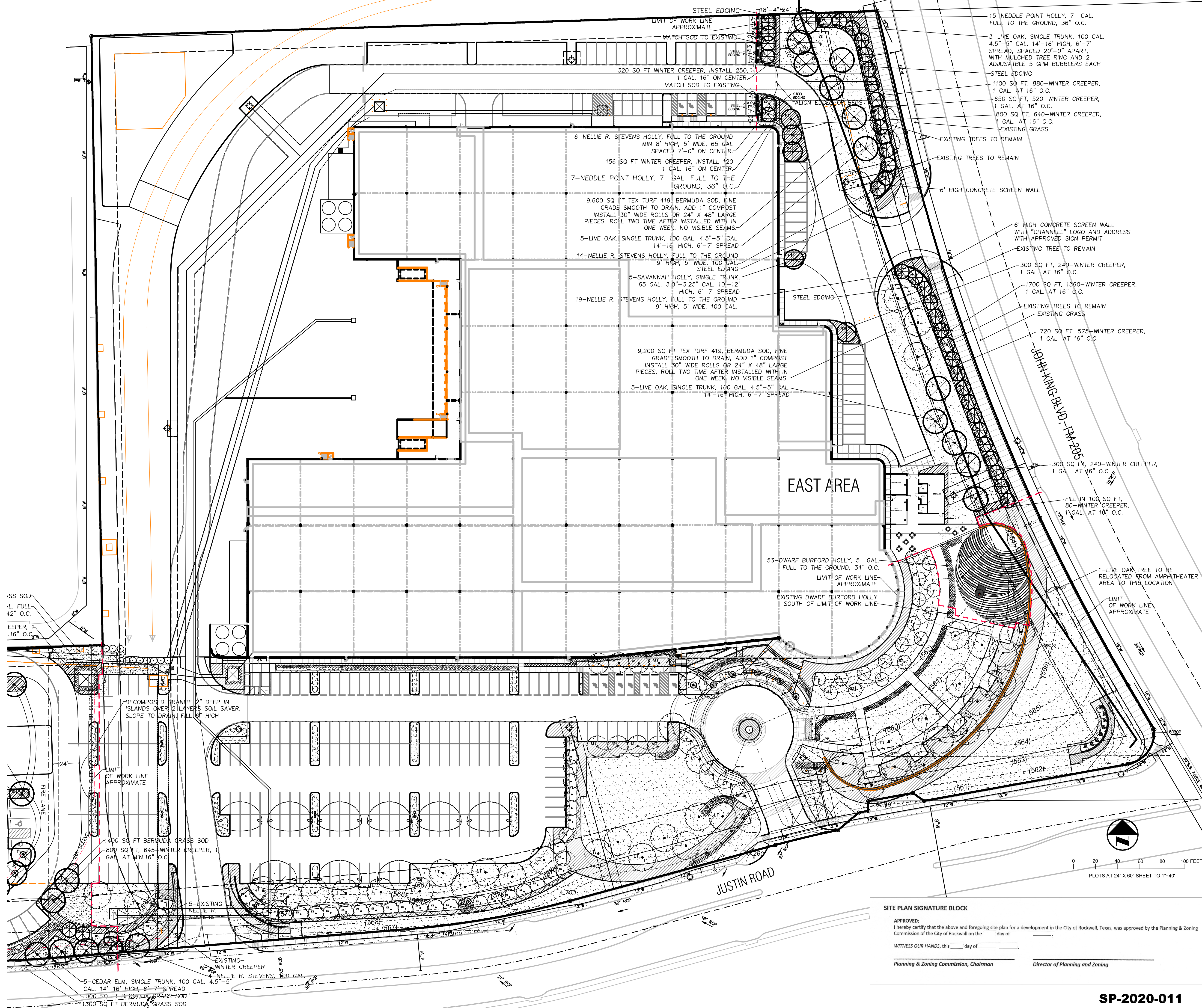
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	11/13/2020	1"=30'			LAW-1

© 2020, T.H. PRITCHETT ASSOCIATES
LANDSCAPE ARCHITECTS AND PLANNERS

THESE DRAWINGS AND/OR SPECIFICATIONS PROVIDED WITHIN THIS DOCUMENT ARE HEREBY SPECIFICALLY FOR THE PROJECT NOTED HEREIN. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSES OR FOR ANY OTHER PARTIES OTHER THAN THOSE PURPOSES OR CONTRACT OR AGREEMENT SPECIFICALLY WRITTEN FOR THESE DRAWINGS FROM T.H. PRITCHETT ASSOCIATES. REPRODUCTION IS PROHIBITED.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 11/13/2020

SP-2020-011



- 15-NEEDLE POINT HOLLY, 7 GAL. FULL TO THE GROUND, 36" O.C.
- 3-LIVE OAK, SINGLE TRUNK, 100 GAL. 4.5"-5" CAL. 14"-16" HIGH, 6"-7" SPREAD, SPACED 20'-0" APART, WITH MULCHED TREE RING AND 2 ADJUSTABLE 5 GPM BUBBLERS EACH
- STEEL EDGING
- 1100 SQ FT, 880-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 650 SQ FT, 520-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 800 SQ FT, 640-WINTER CREEPER, 1 GAL. AT 16" O.C.
- EXISTING GRASS
- EXISTING TREES TO REMAIN
- EXISTING TREES TO REMAIN
- 6' HIGH CONCRETE SCREEN WALL
- 6' HIGH CONCRETE SCREEN WALL WITH "CHANNELL" LOGO AND ADDRESS WITH APPROVED SIGN PERMIT
- EXISTING TREE TO REMAIN
- 300 SQ FT, 240-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 1700 SQ FT, 1360-WINTER CREEPER, 1 GAL. AT 16" O.C.
- EXISTING TREES TO REMAIN
- EXISTING GRASS
- 720 SQ FT, 576-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 300 SQ FT, 240-WINTER CREEPER, 1 GAL. AT 16" O.C.
- FILL IN 100 SQ FT, 80-WINTER CREEPER, 1 GAL. AT 18" O.C.
- 1-LIVE OAK TREE TO BE RELOCATED FROM AMPHITHEATER AREA TO THIS LOCATION
- LIMIT OF WORK LINE APPROXIMATE

- 6-NELLIE R. STEVENS HOLLY, FULL TO THE GROUND MIN 8' HIGH, 5" WIDE, 65 GAL SPACED 7'-0" ON CENTER
- 156 SQ FT WINTER CREEPER, INSTALL 120 1 GAL. 16" ON CENTER
- 7-NEEDLE POINT HOLLY, 7 GAL. FULL TO THE GROUND, 36" O.C.
- 9,600 SQ FT TEX TURF 419, BERMUDA SOD, FINE GRADE SMOOTH TO DRAIN, ADD 1" COMPOST INSTALL 30" WIDE ROLLS OR 24" X 48" LARGE PIECES, ROLL TWO TIME AFTER INSTALLED WITH IN ONE WEEK, NO VISIBLE SEAMS
- 5-LIVE OAK, SINGLE TRUNK, 100 GAL. 4.5"-5" CAL. 14"-16" HIGH, 6"-7" SPREAD
- 14-NELLIE R. STEVENS HOLLY, FULL TO THE GROUND 9' HIGH, 5" WIDE, 100 GAL. STEEL EDGING
- 5-SAVANNAH HOLLY, SINGLE TRUNK, 65 GAL. 3.0"-3.25" CAL. 10"-12" HIGH, 6"-7" SPREAD
- 19-NELLIE R. STEVENS HOLLY, FULL TO THE GROUND 9' HIGH, 5" WIDE, 100 GAL.
- 9,200 SQ FT TEX TURF 419, BERMUDA SOD, FINE GRADE SMOOTH TO DRAIN, ADD 1" COMPOST INSTALL 30" WIDE ROLLS OR 24" X 48" LARGE PIECES, ROLL TWO TIME AFTER INSTALLED WITH IN ONE WEEK, NO VISIBLE SEAMS
- 5-LIVE OAK, SINGLE TRUNK, 100 GAL. 4.5"-5" CAL. 14"-16" HIGH, 6"-7" SPREAD

- SS SOD
- 1 GAL. FULL TO THE GROUND, 42" O.C.
- WINTER CREEPER, 1 GAL. AT 16" O.C.
- DECOMPOSED GRANITE 1/2" DEEP IN ISLANDS OVER 2 LAYERS SOIL SAVER, SLOPE TO DRAIN, FILL 18" HIGH
- LIMIT OF WORK LINE APPROXIMATE
- 1400 SQ FT BERMUDA GRASS SOD
- 800 SQ FT, 645-WINTER CREEPER, 1 GAL. AT 16" O.C.
- 5-EXISTING NELLIE R. STEVENS
- EXISTING WINTER CREEPER
- 5-CEDAR ELM, SINGLE TRUNK, 100 GAL. 4.5"-5" CAL. 14"-16" HIGH, 6"-7" SPREAD
- 1000 SQ FT BERMUDA GRASS SOD
- 1300 SQ FT BERMUDA GRASS SOD

SITE PLAN SIGNATURE BLOCK

APPROVED: _____
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

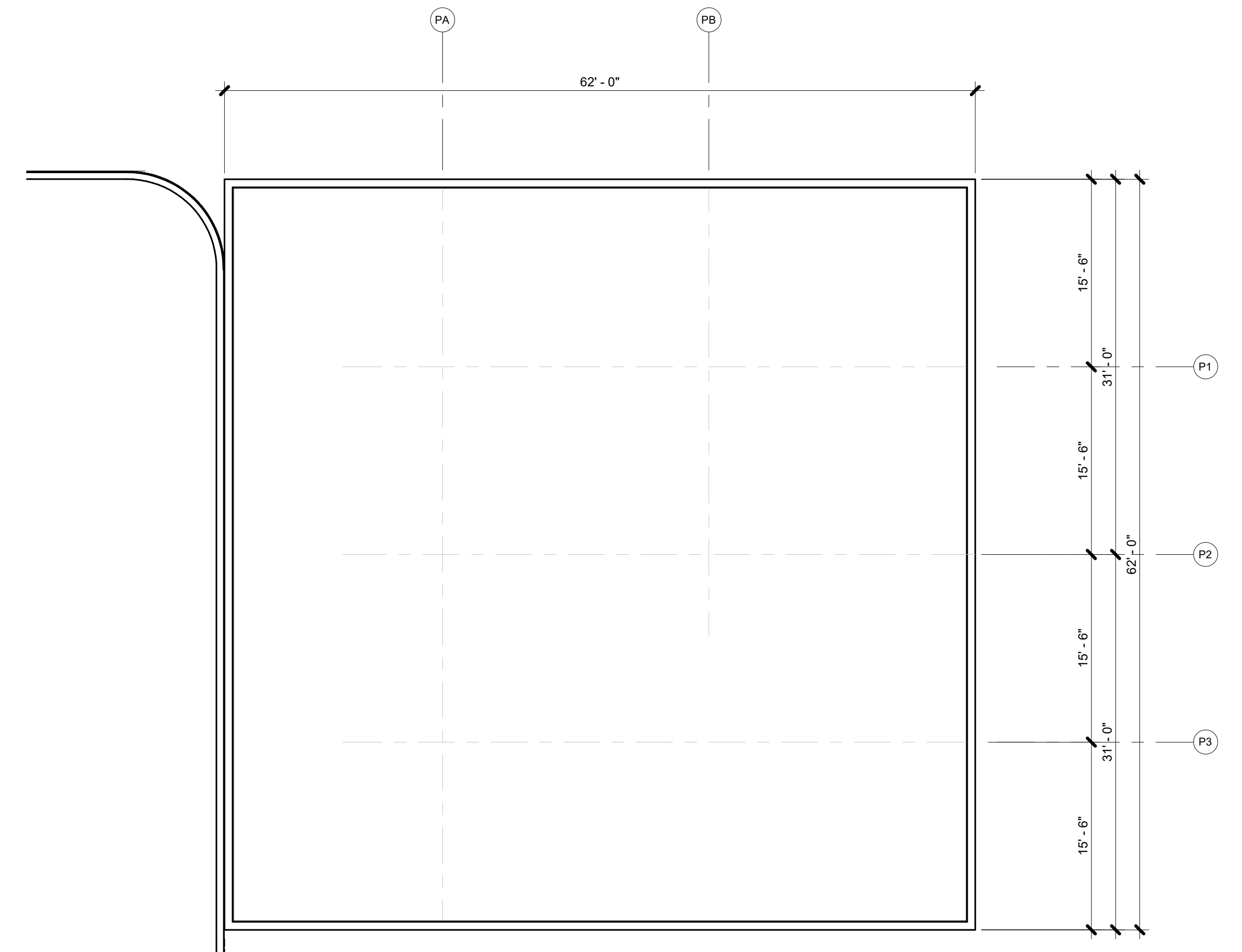
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 LANDSCAPE ARCHITECTS AND PLANNERS

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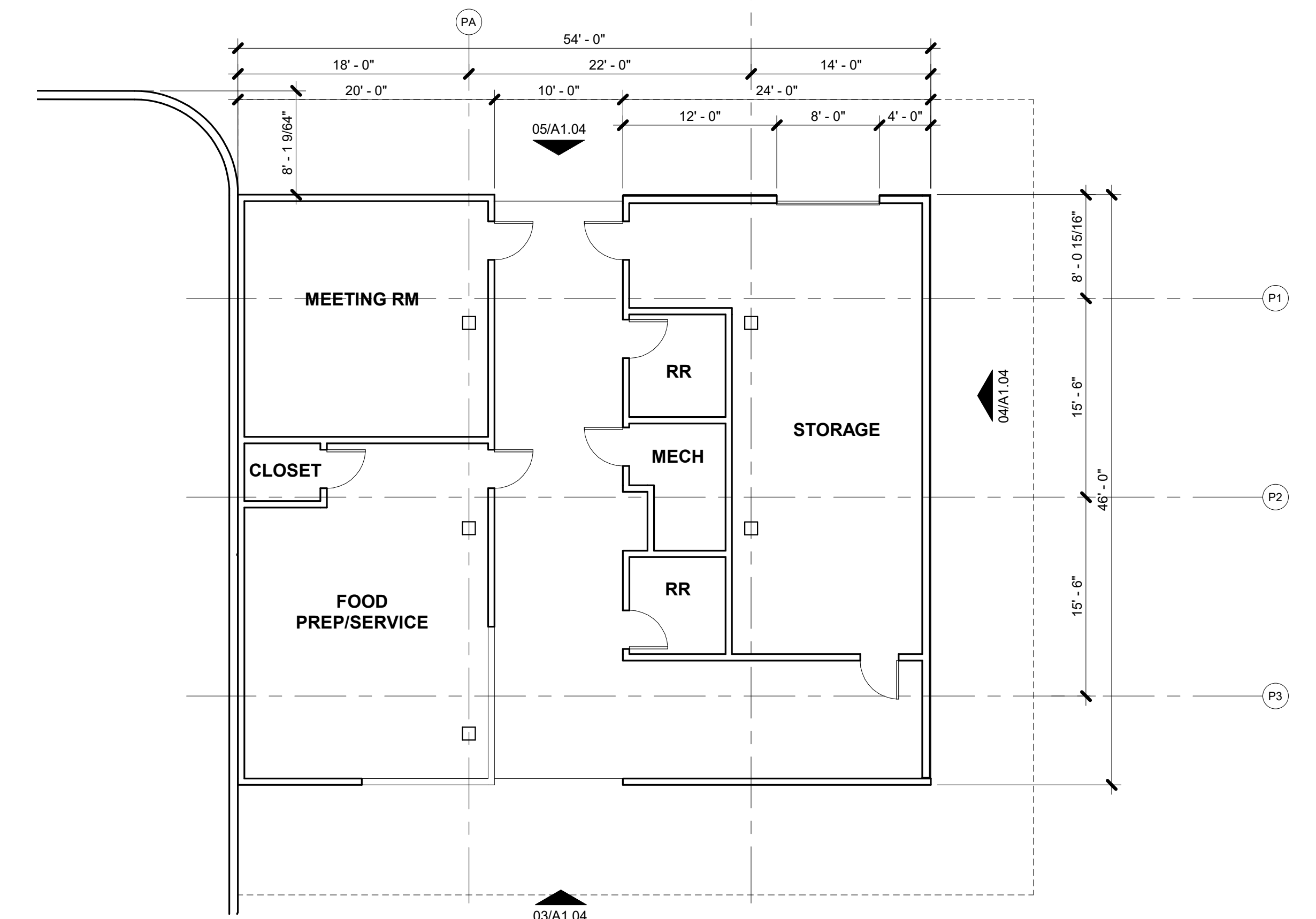
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 11/13/2020

NO.	DATE	REVISION				
<p>TP T. H. Pritchett / Associates LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.969-3535</p>						
<p>ALTERNATE LANDSCAPE PLAN EAST</p>						
<p>CHANNELL COMMERCIAL CORP.</p>						
<p>WEST PARKING & STORAGE LAYOUT</p>						
<p>1700 JUSTIN ROAD</p>						
<p>CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS</p>						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	11/13/2020	1"=30'			LAE-1

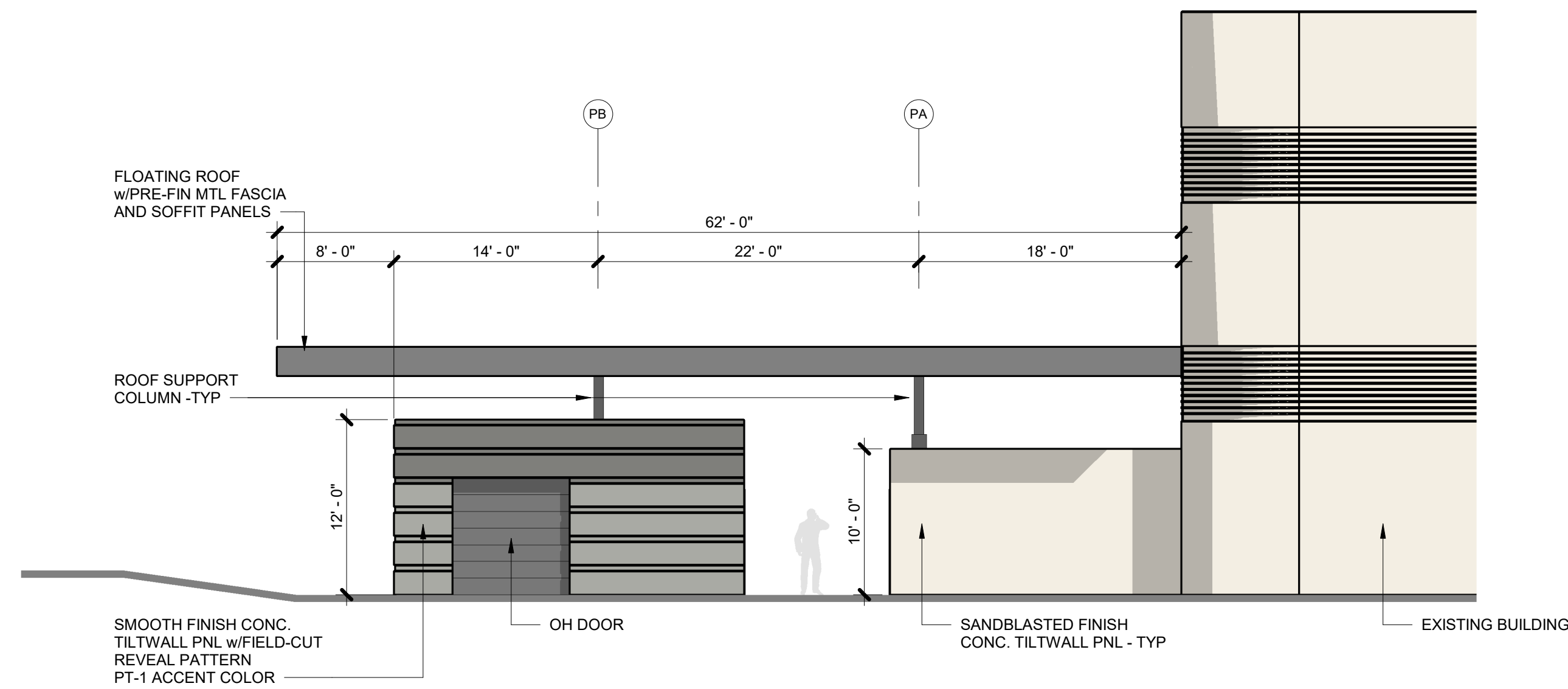
SP-2020-011



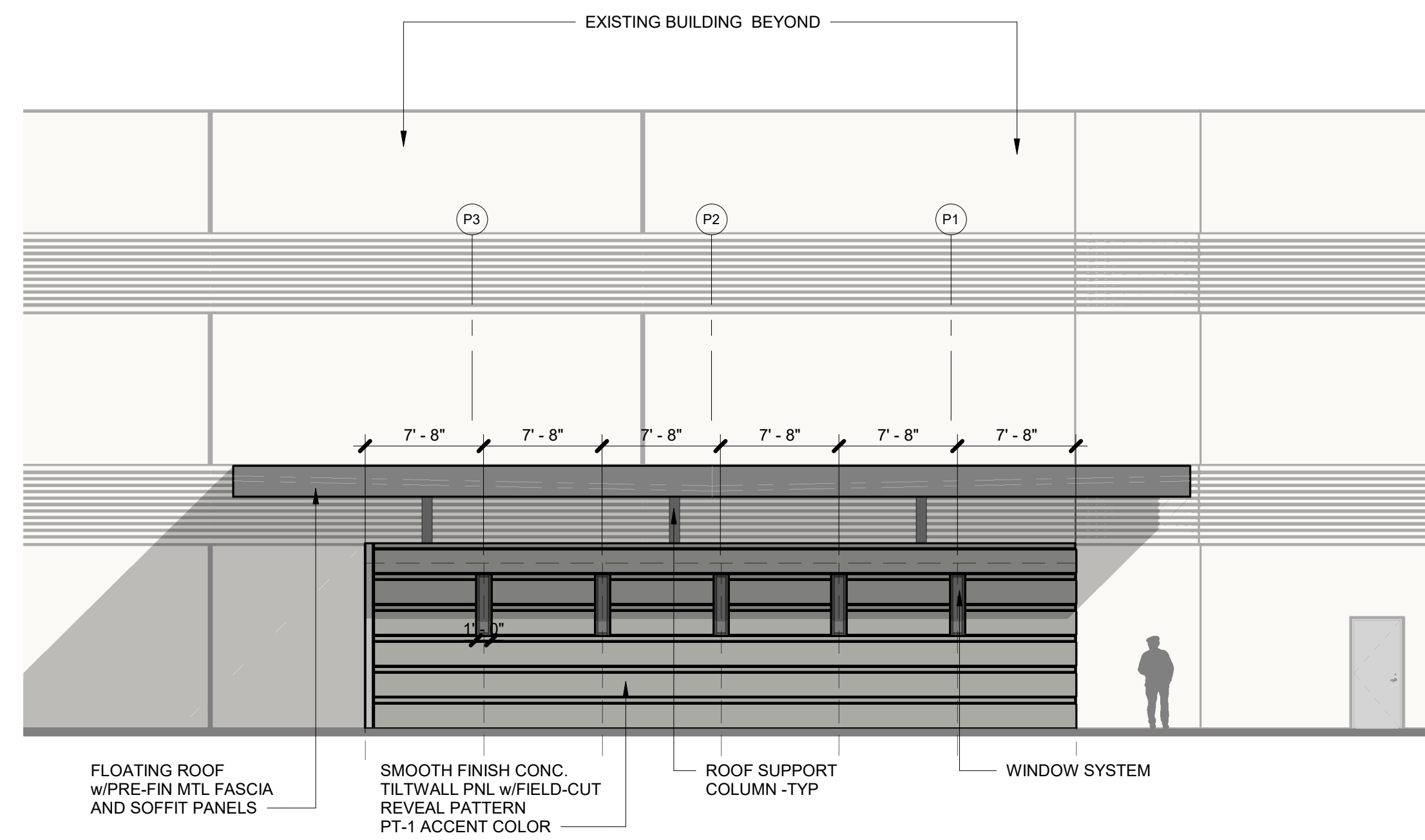
02 PAVILION ROOF
SCALE: 1/8" = 1'-0"
TRUE 3/2 PLAN



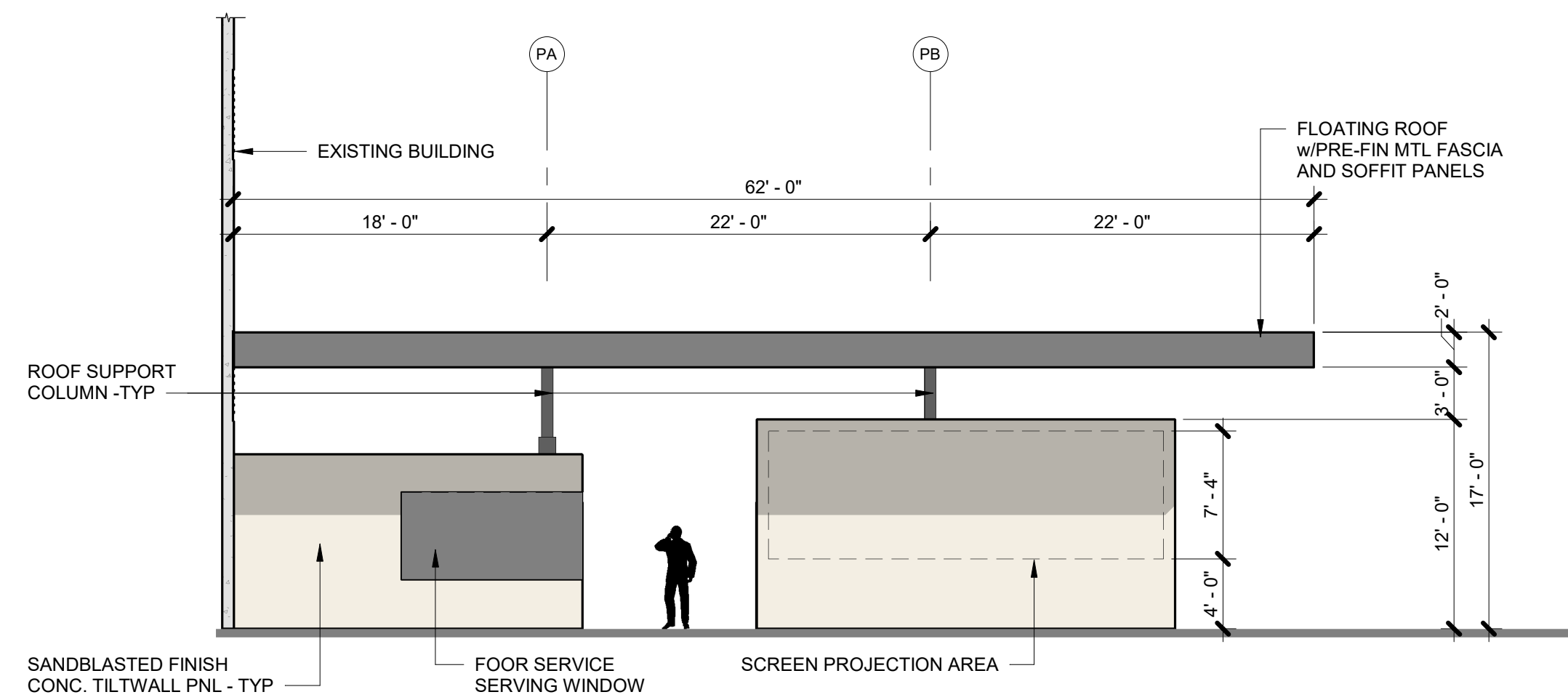
01 PAVILION PLAN
SCALE: 1/8" = 1'-0"
TRUE 3/2 PLAN



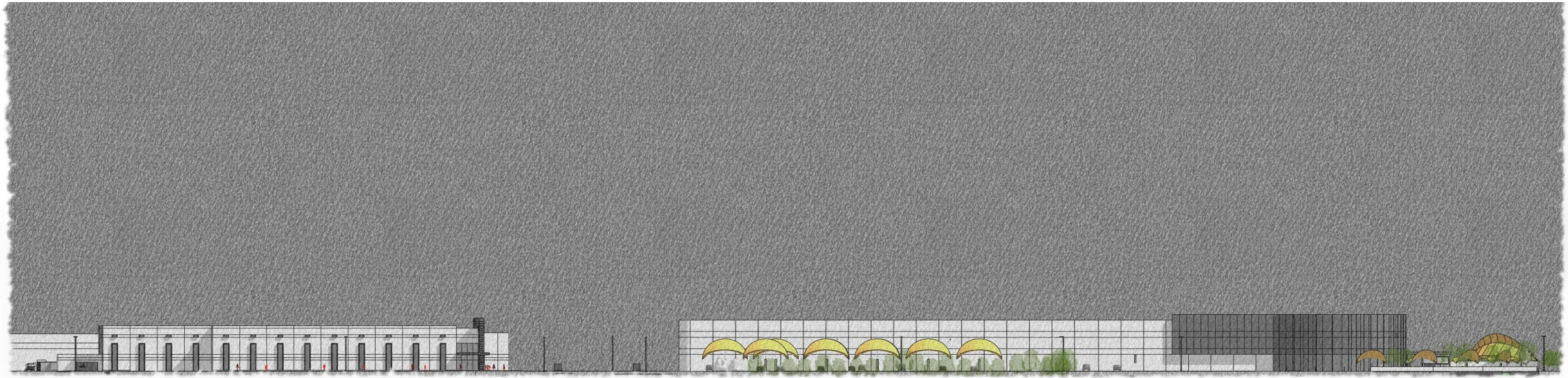
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SCALE: 1/8" = 1'-0"



04 EAST ELEVATION PAVILION
SCALE: 1/8" = 1'-0"



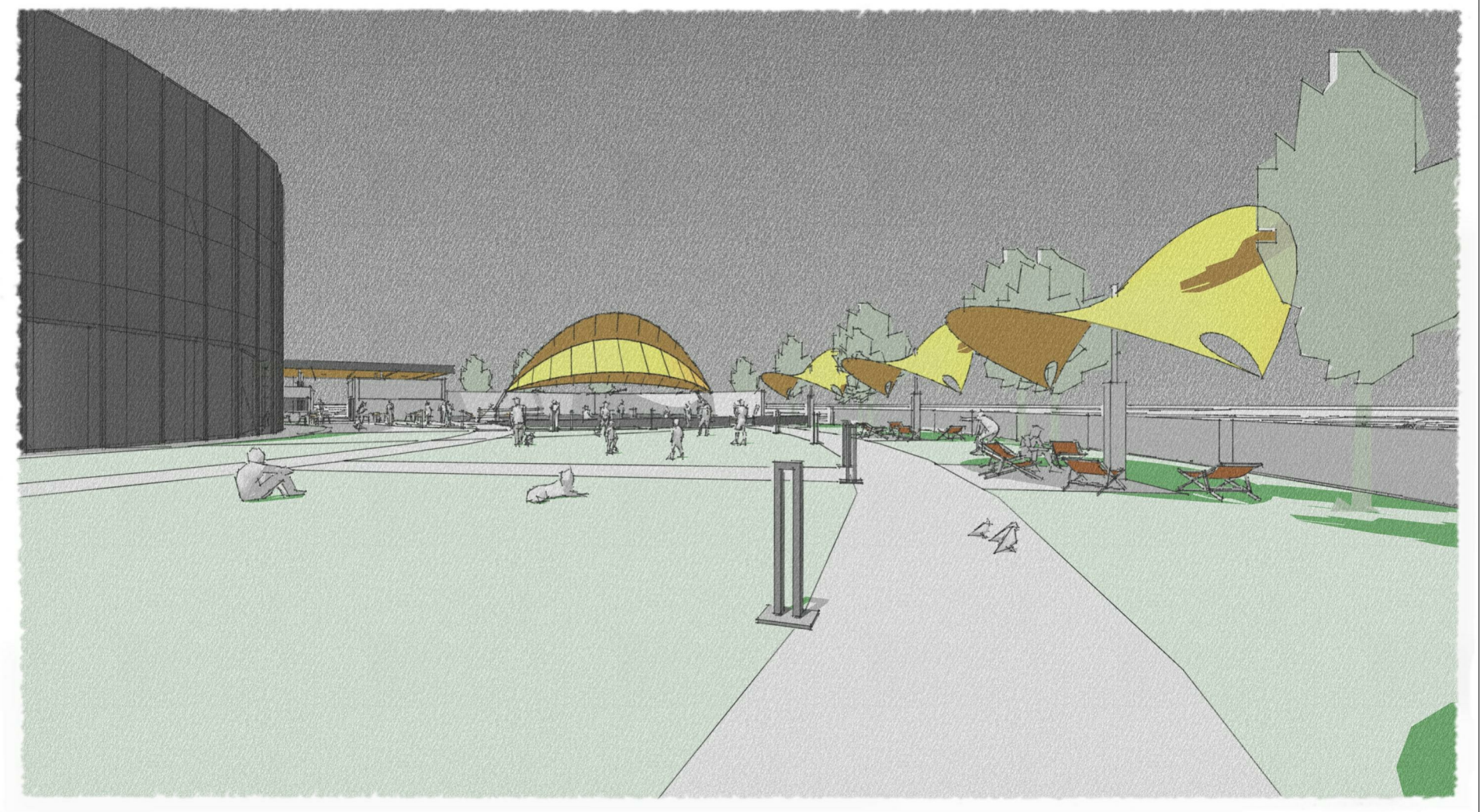
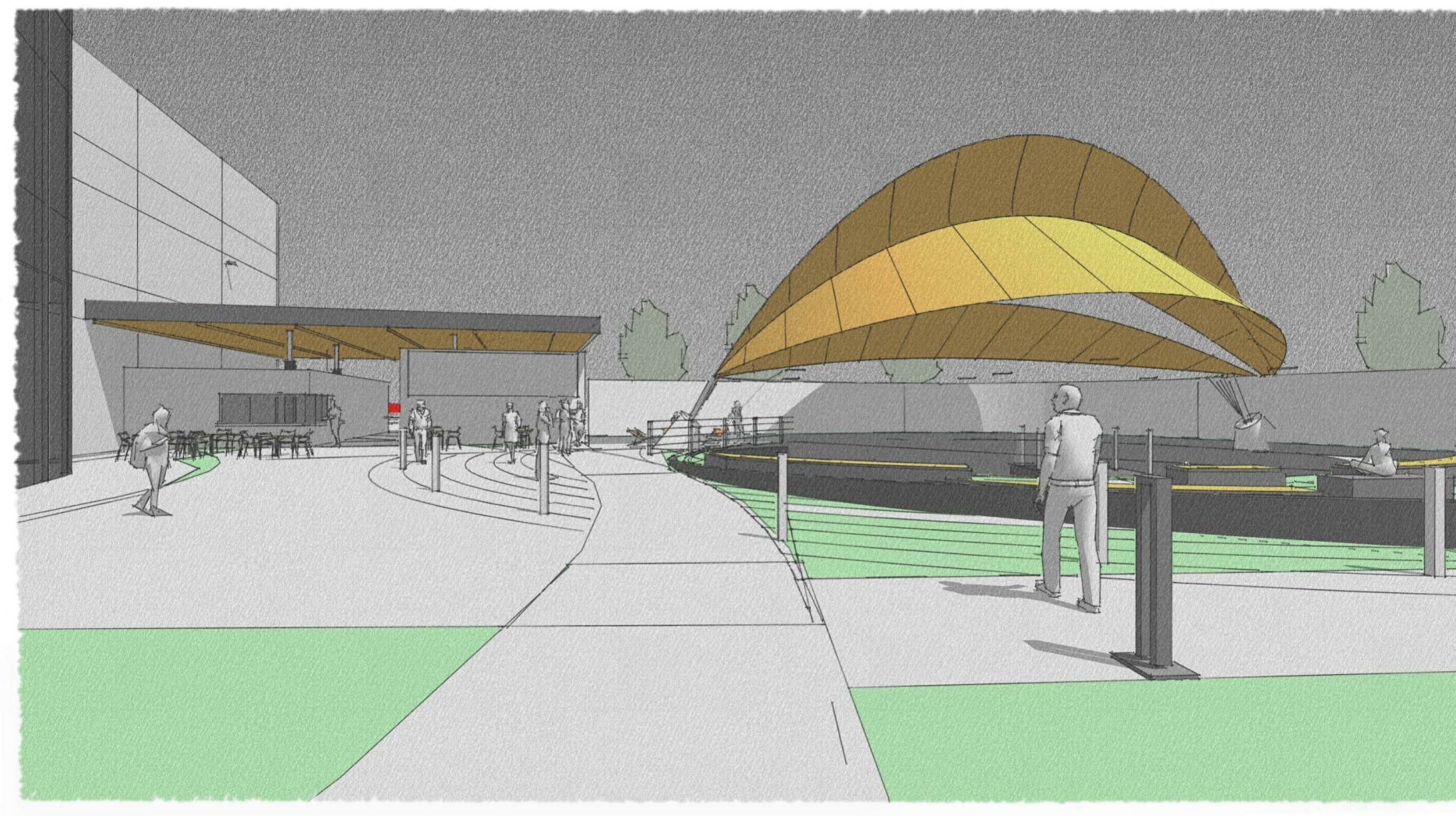
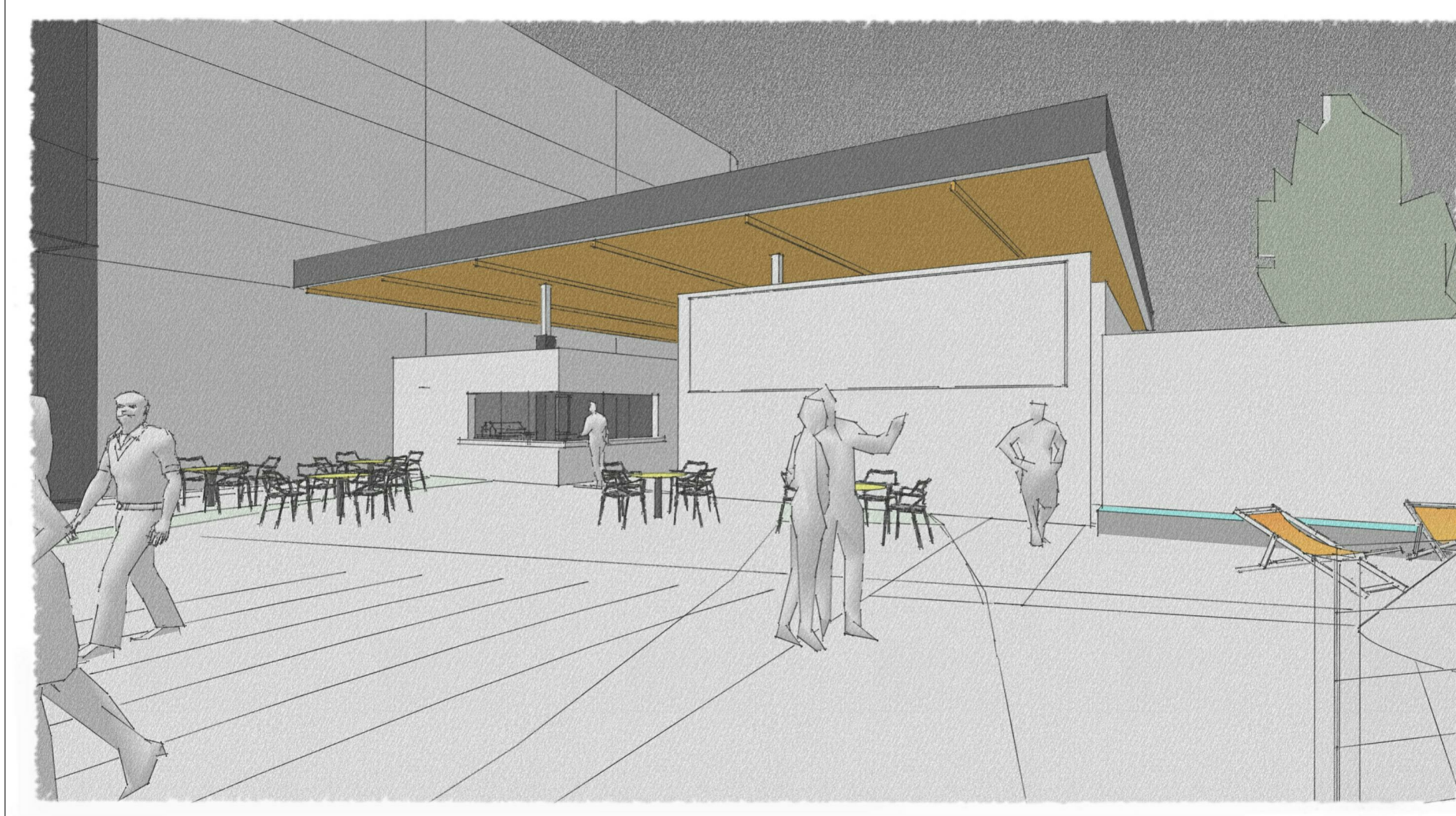
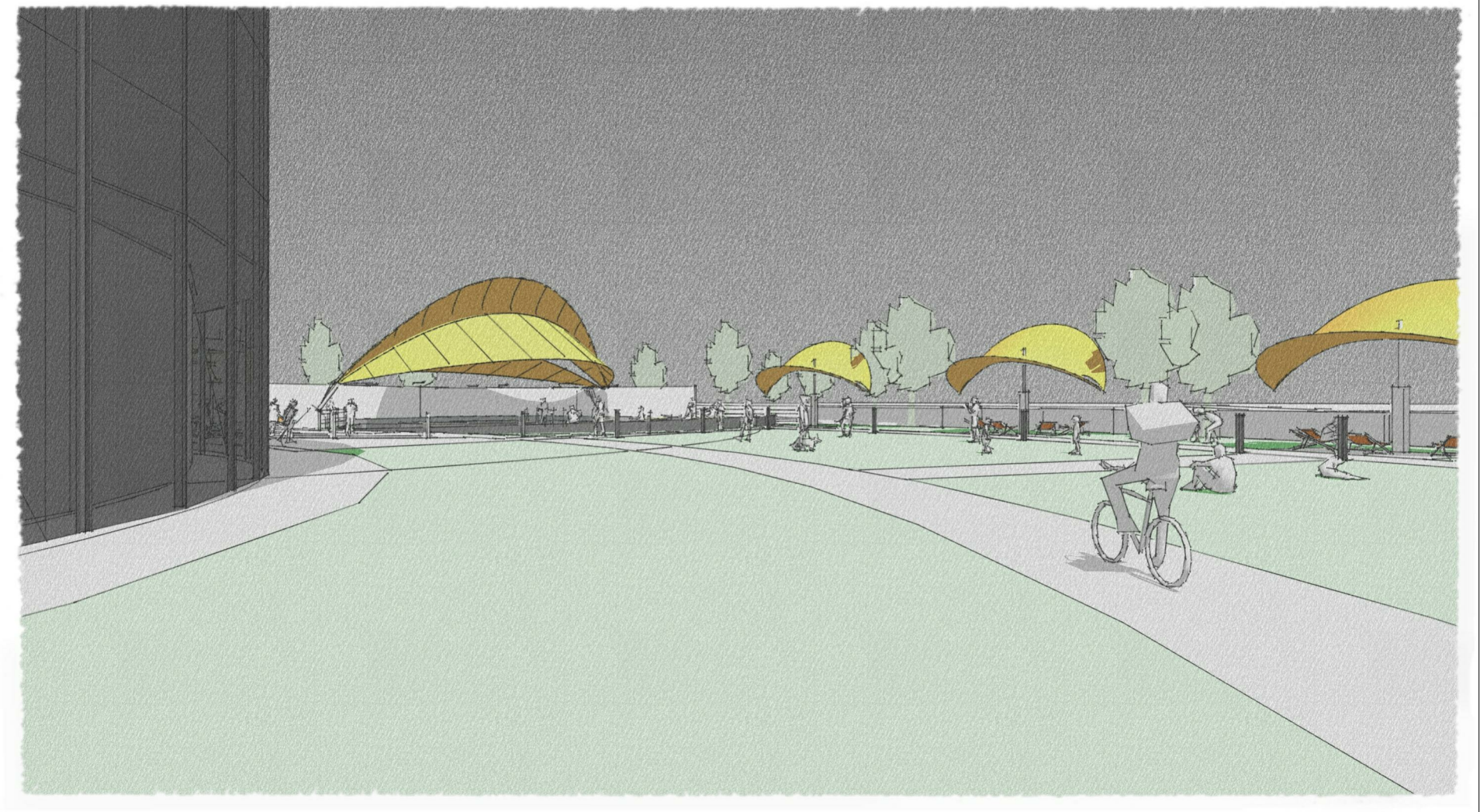
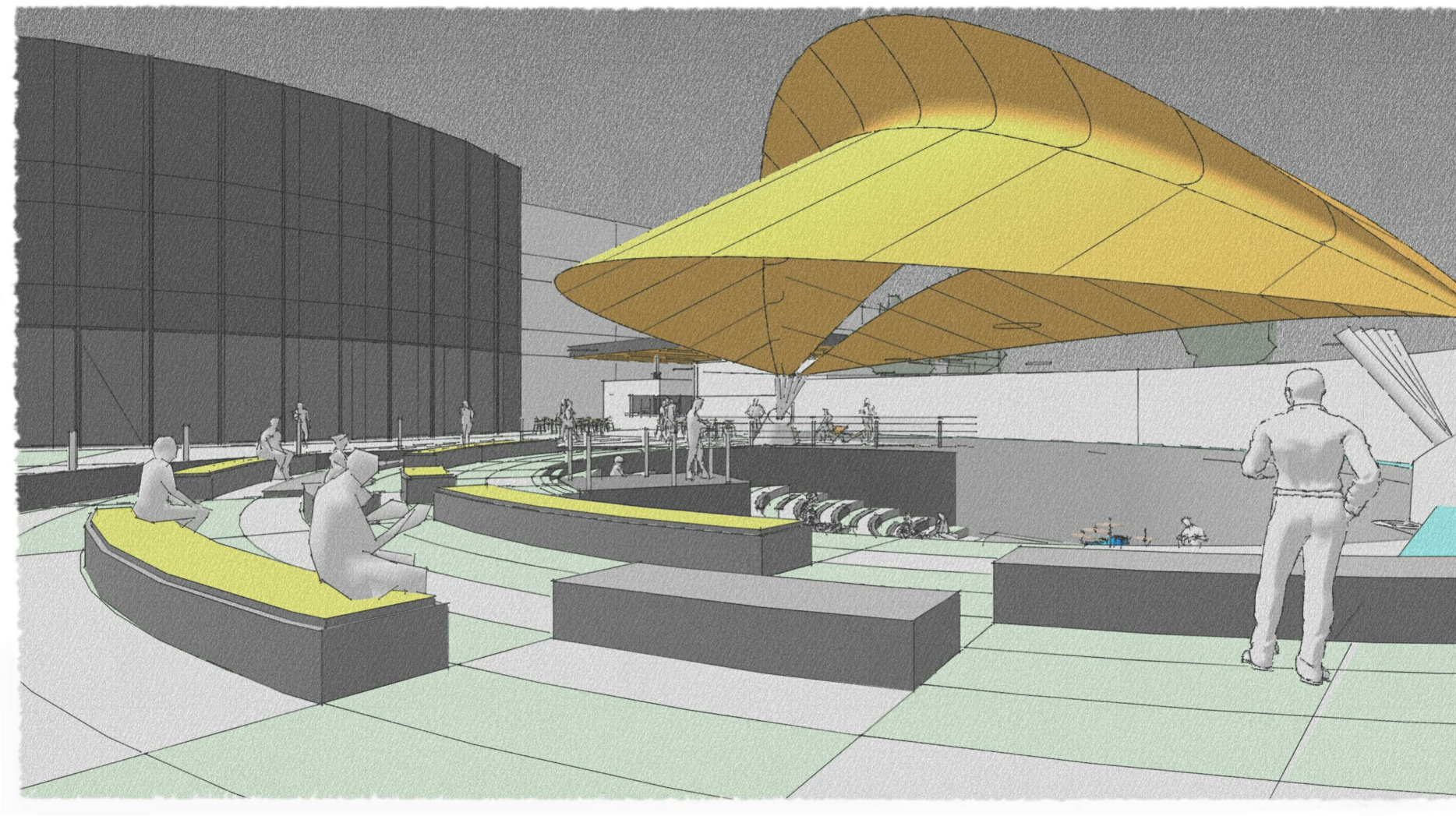
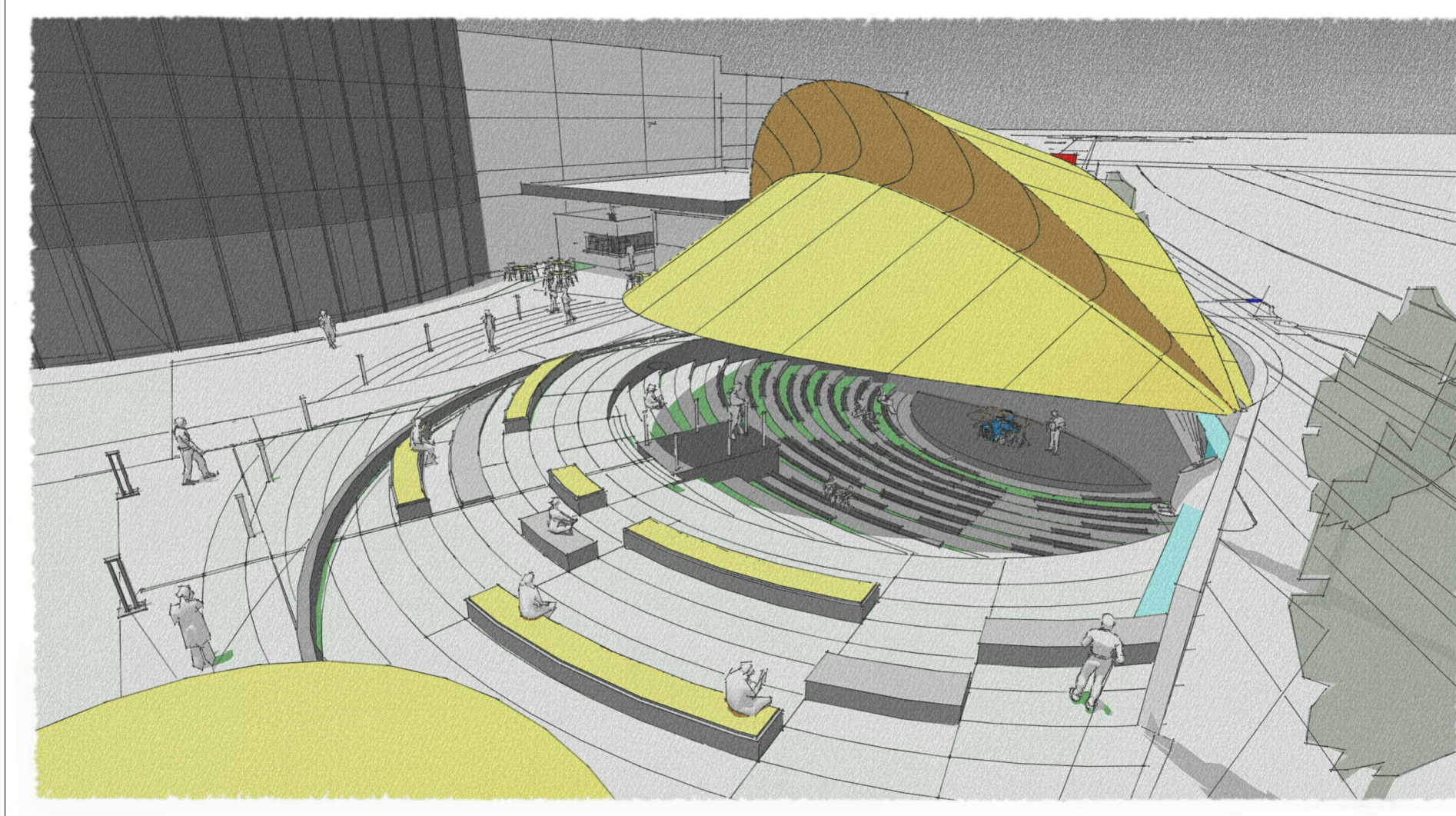
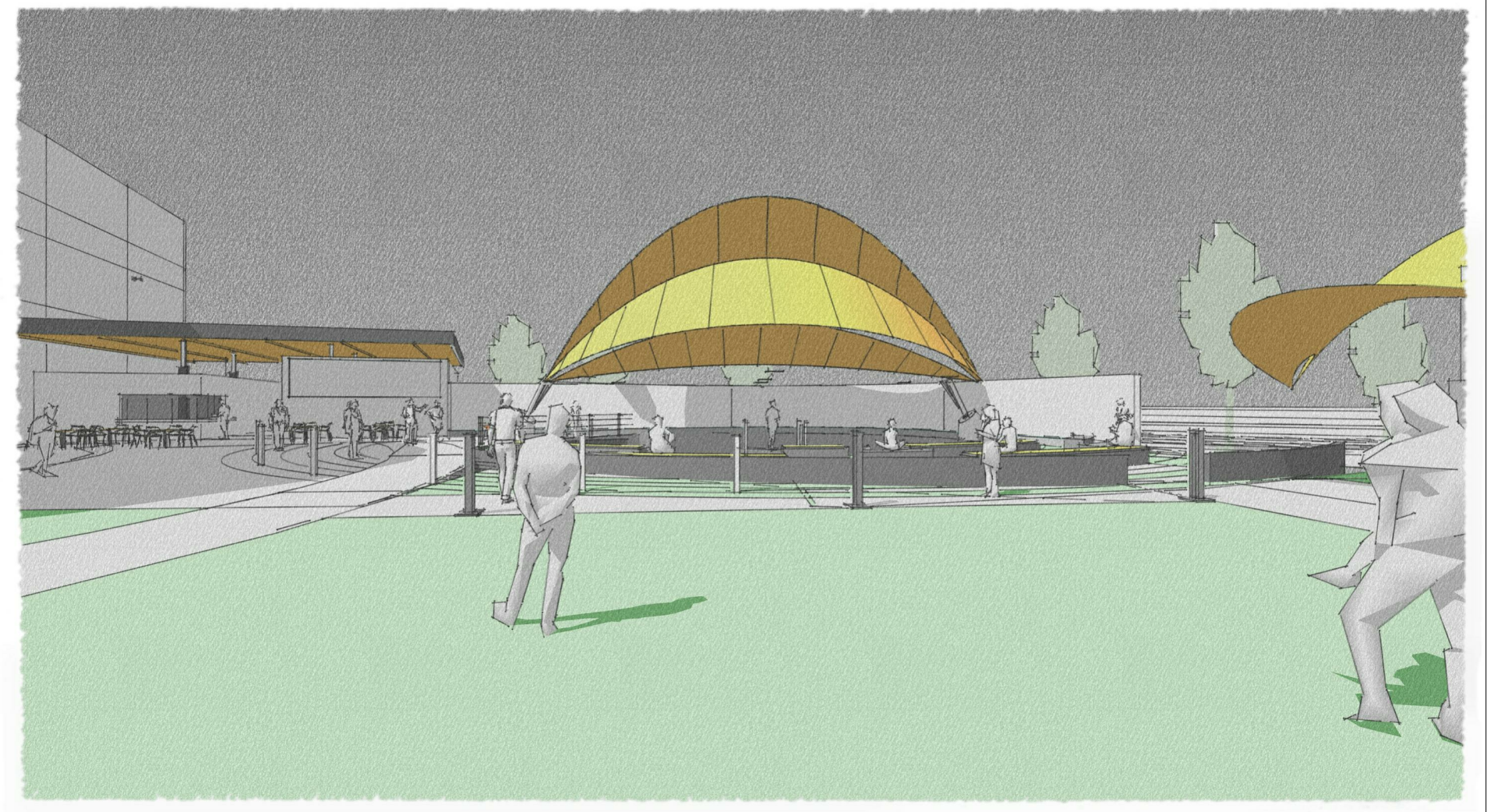
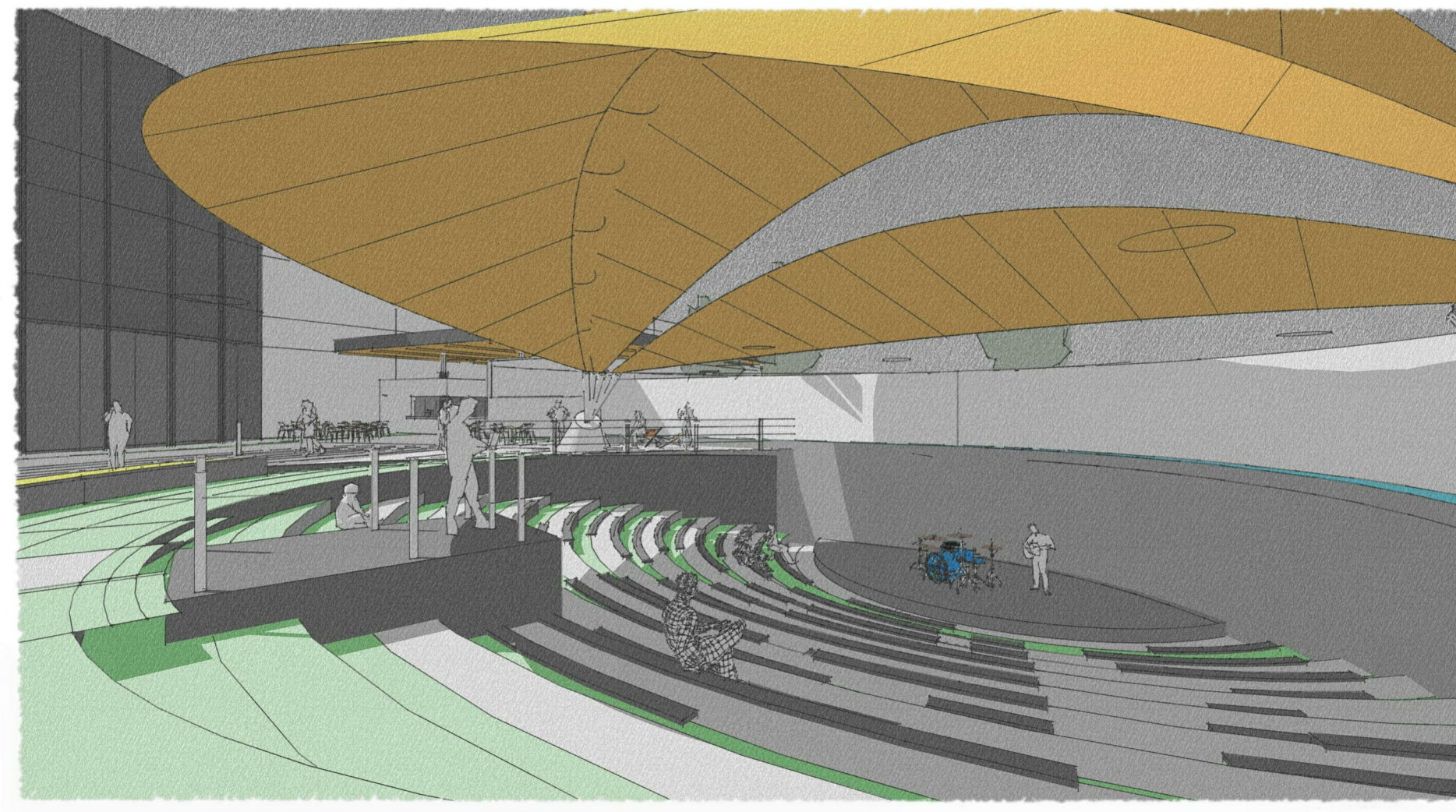
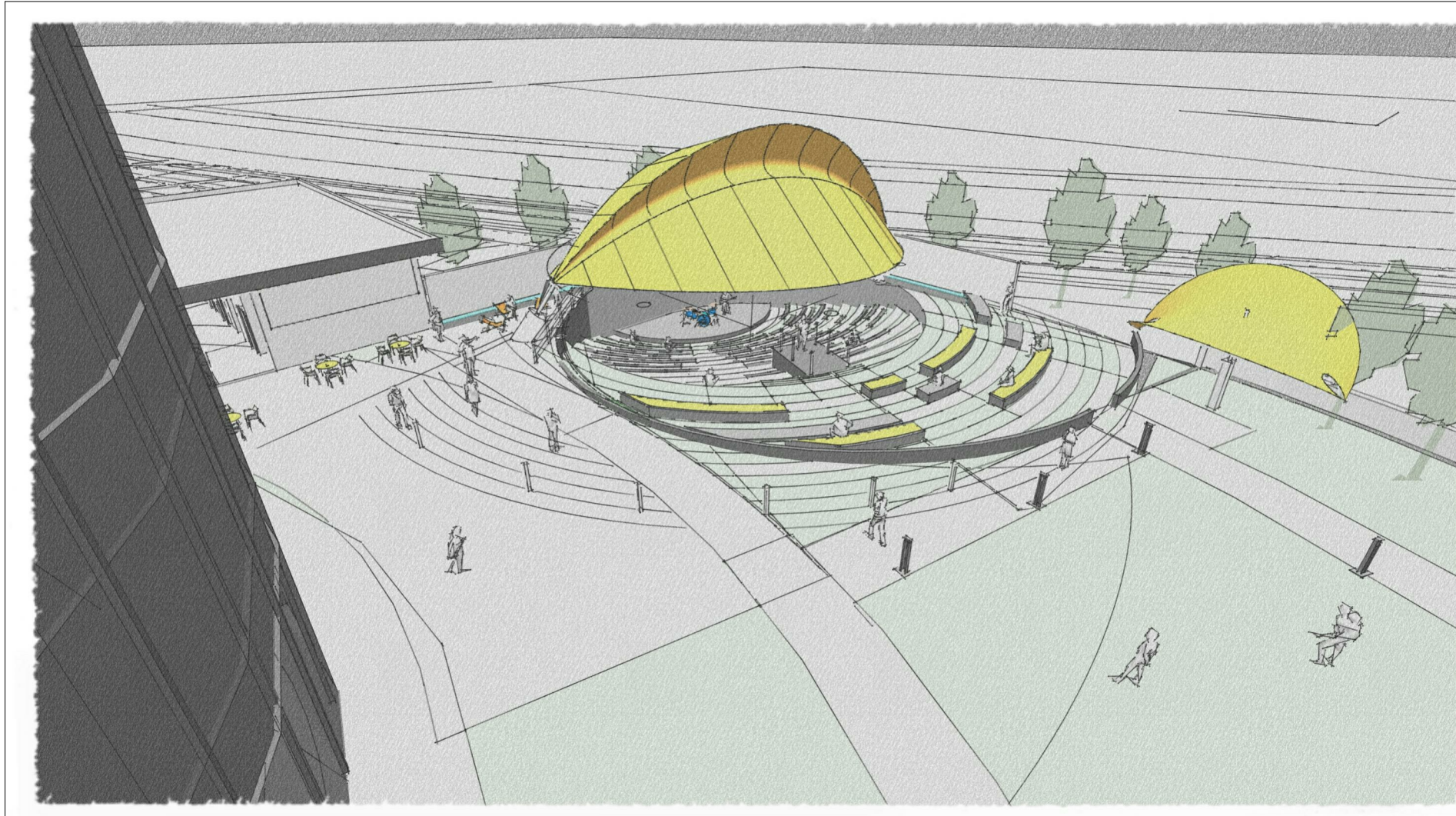
03 SOUTH ELEVATION PAVILION
SCALE: 1/8" = 1'-0"



SOUTH CAMPUS ELEVATION - JUSTIN RD

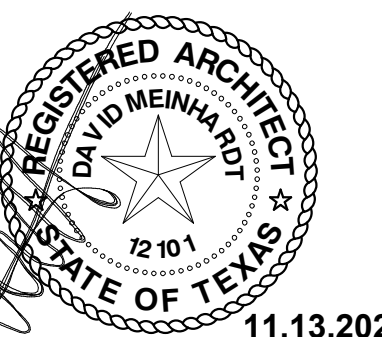


EAST CAMPUS ELEVATION - JOHN KING BLVD

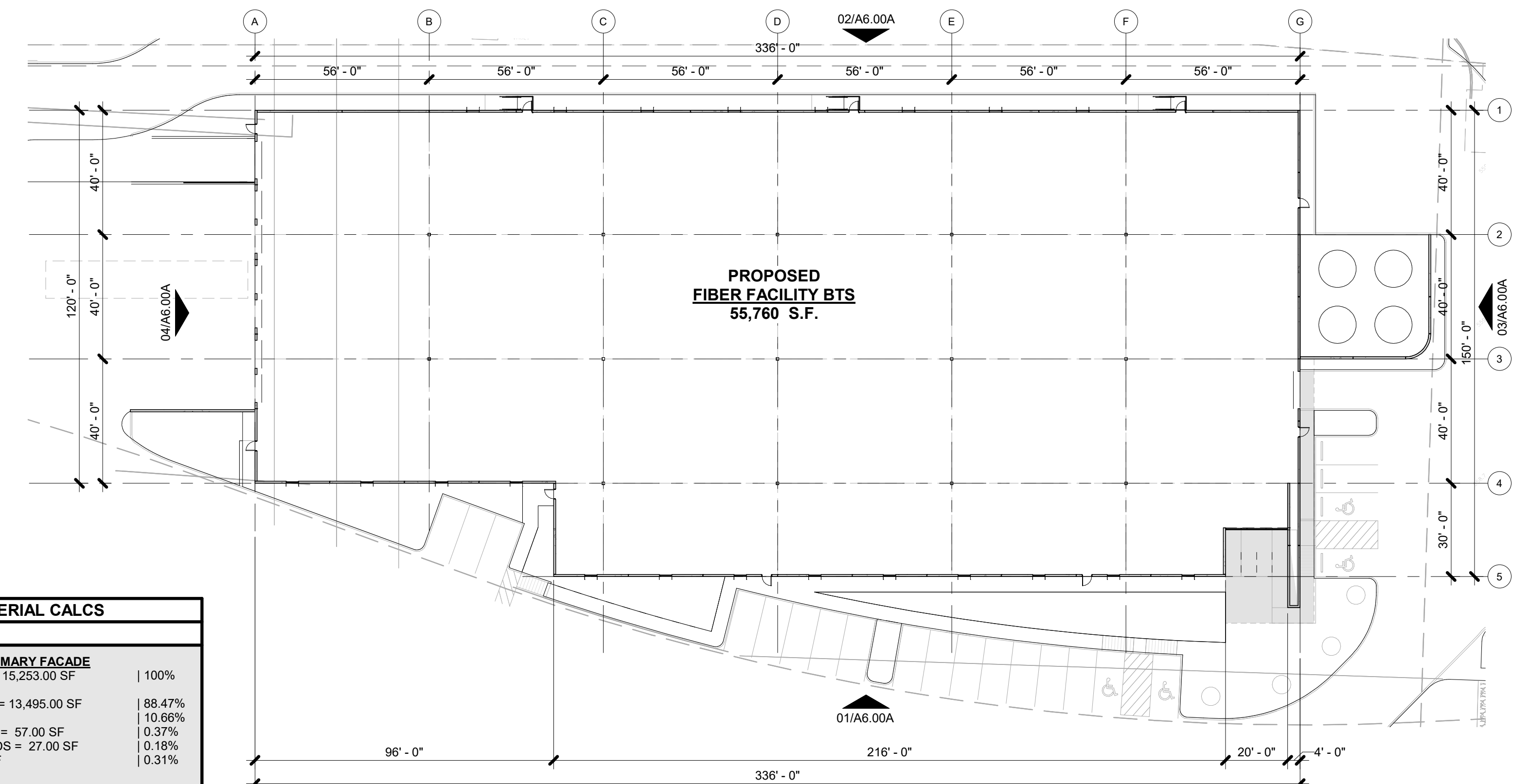


CHANNELL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS

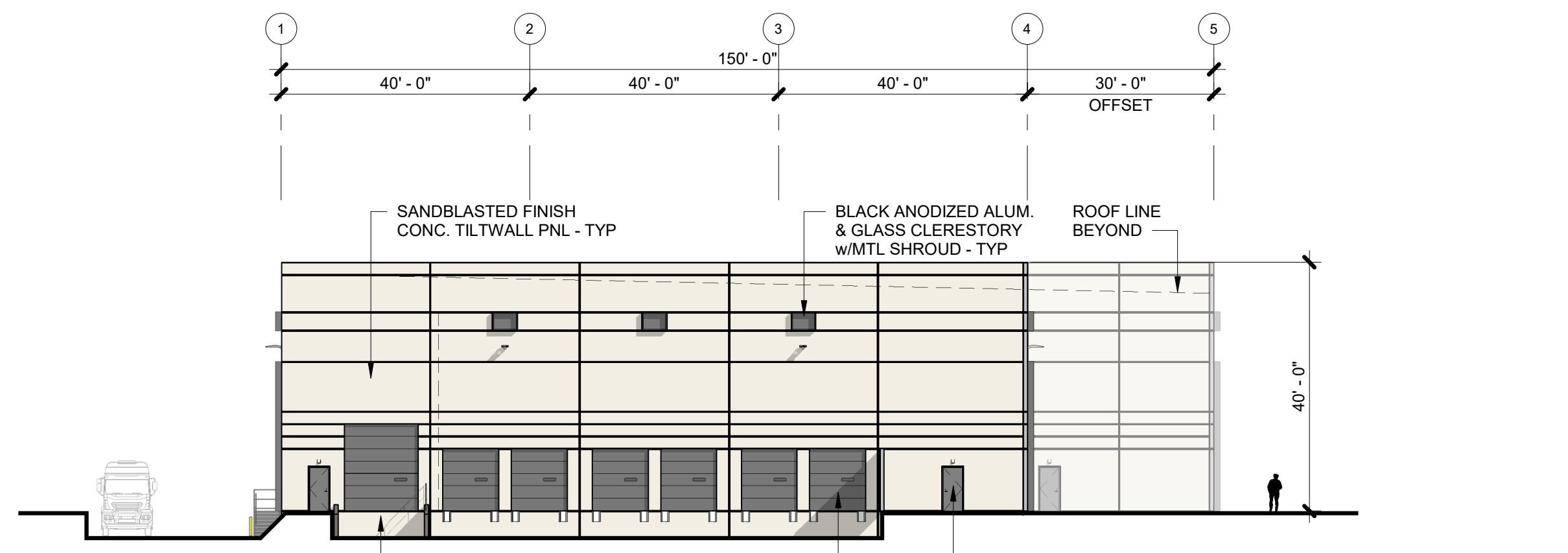
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1100 DALLAS PARKWAY
SUITE 500
DALLAS TEXAS 75244
P: 214.760.0000



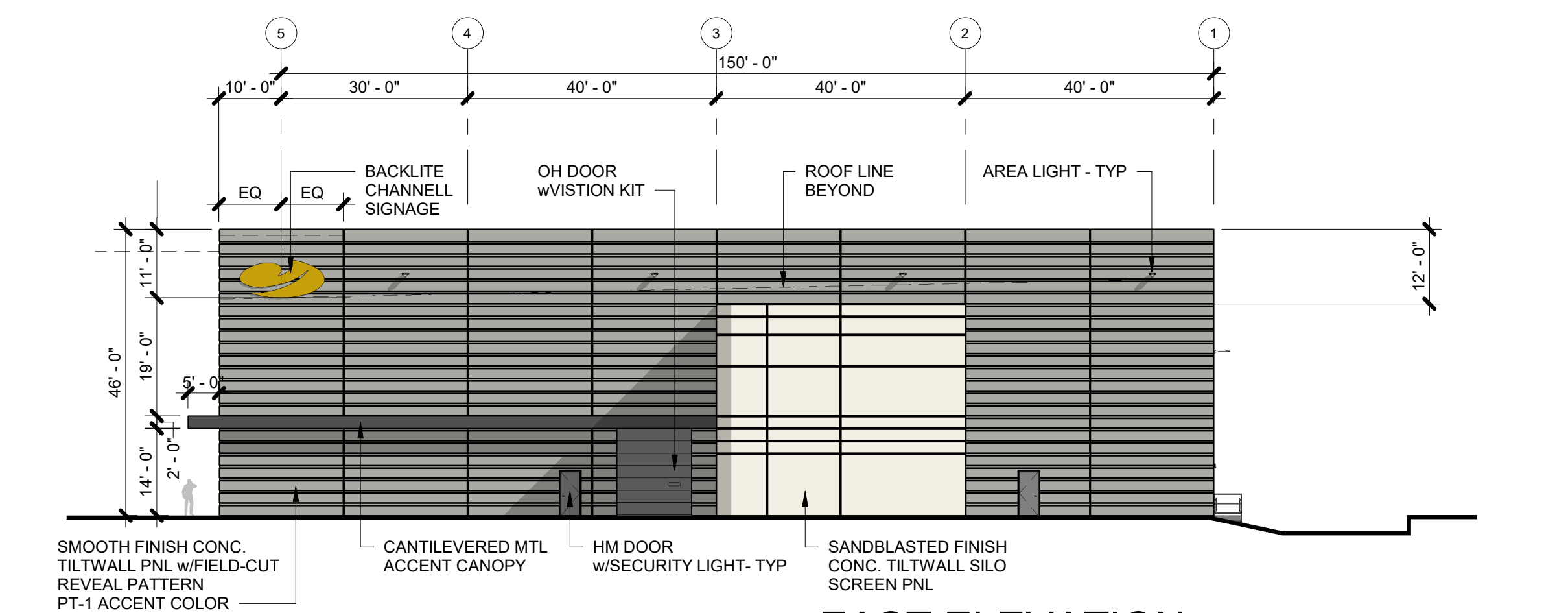
PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z CONCEPT IMAGES



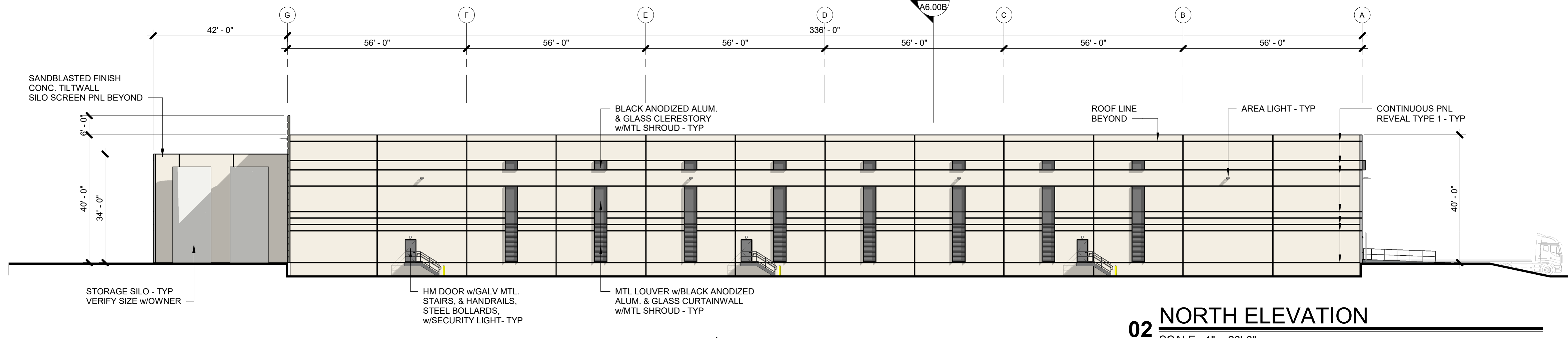
05 OVERALL SHELL FLOOR PLAN
SCALE: 1" = 30'-0"



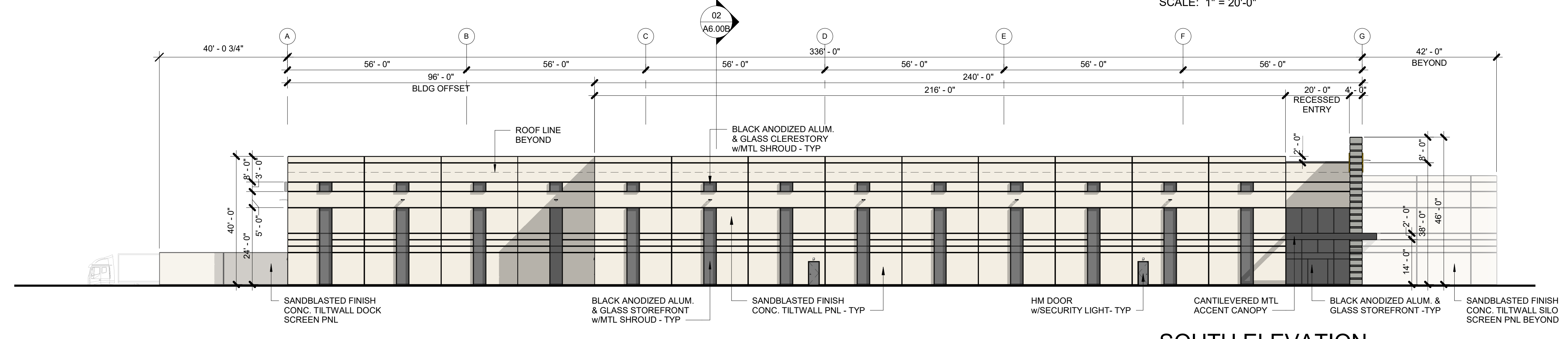
04 WEST ELEVATION
SCALE: 1" = 20'-0"



03 EAST ELEVATION
SCALE: 1" = 20'-0"



02 NORTH ELEVATION
SCALE: 1" = 20'-0"



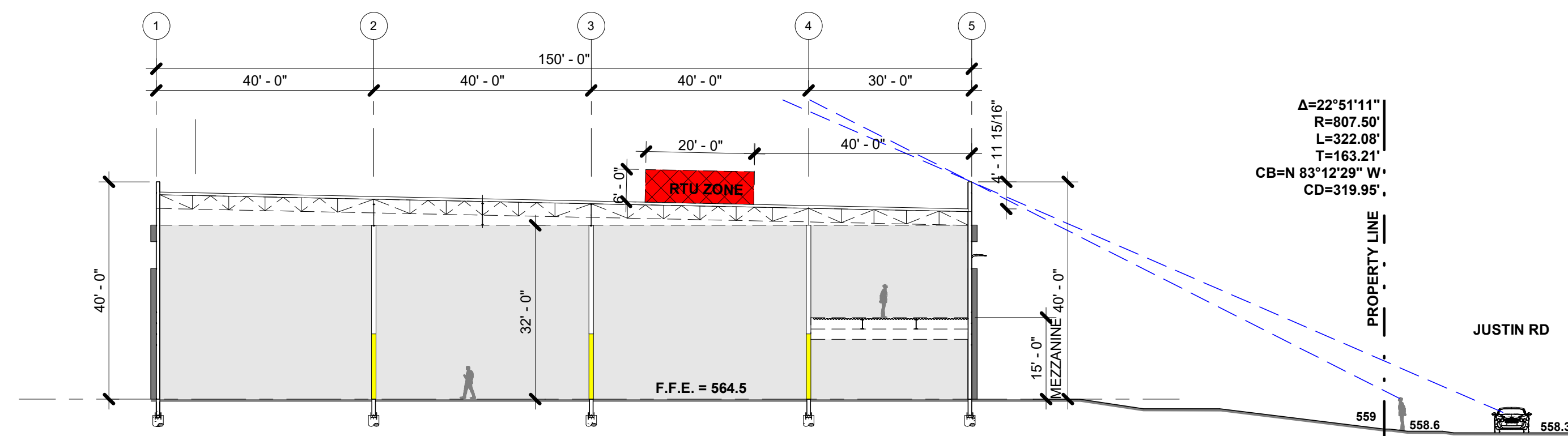
01 SOUTH ELEVATION
SCALE: 1" = 20'-0"

ELEVATION + MATERIAL CALCS	
SOUTH ELEVATION - PRIMARY FACADE	
TOTAL FACADE AREA = 15,253.00 SF	100%
• CONCRETE TILT WALL = 13,495.00 SF	88.47%
• GLASS = 1,626.00 SF	10.66%
• MTL ACCENT CANOPY = 57.00 SF	0.37%
• MTL WINDOW SHROUDS = 27.00 SF	0.18%
• HM DOORS = 48.00 SF	0.31%
WEST ELEVATION - PRIMARY FACADE	
TOTAL FACADE AREA = 6,290.00 SF	100%
• CONCRETE TILT WALL = 5,473.00 SF	87.01%
• GLASS = 36 SF	0.57%
• MTL WINDOW SHROUDS = 1.00 SF	0.02%
• HM DOORS = 72.00 SF	1.14%
• OH DOORS = 708.00 SF	11.26%
NORTH ELEVATION	
TOTAL FACADE AREA = 16,216.00 SF	100%
• CONCRETE TILT WALL = 15,371.00 SF	97.79%
• GLASS = 419.00 SF	2.58%
• MTL WINDOW SHROUDS = 17.00 SF	0.10%
• MTL LOUVERS = 337.00 SF	2.08%
• HM DOORS = 72.00 SF	0.44%
EAST ELEVATION	
TOTAL FACADE AREA = 4,935.00 SF	100%
• CONCRETE TILT WALL = 1,613.00 SF	80.65%
• GLASS = 1.00 SF	0.05%
• MTL ACCENT CANOPY = 170.00 SF	8.50%
• HM DOORS = 48.00 SF	2.40%
• OH DOORS = 168.00 SF	8.40%

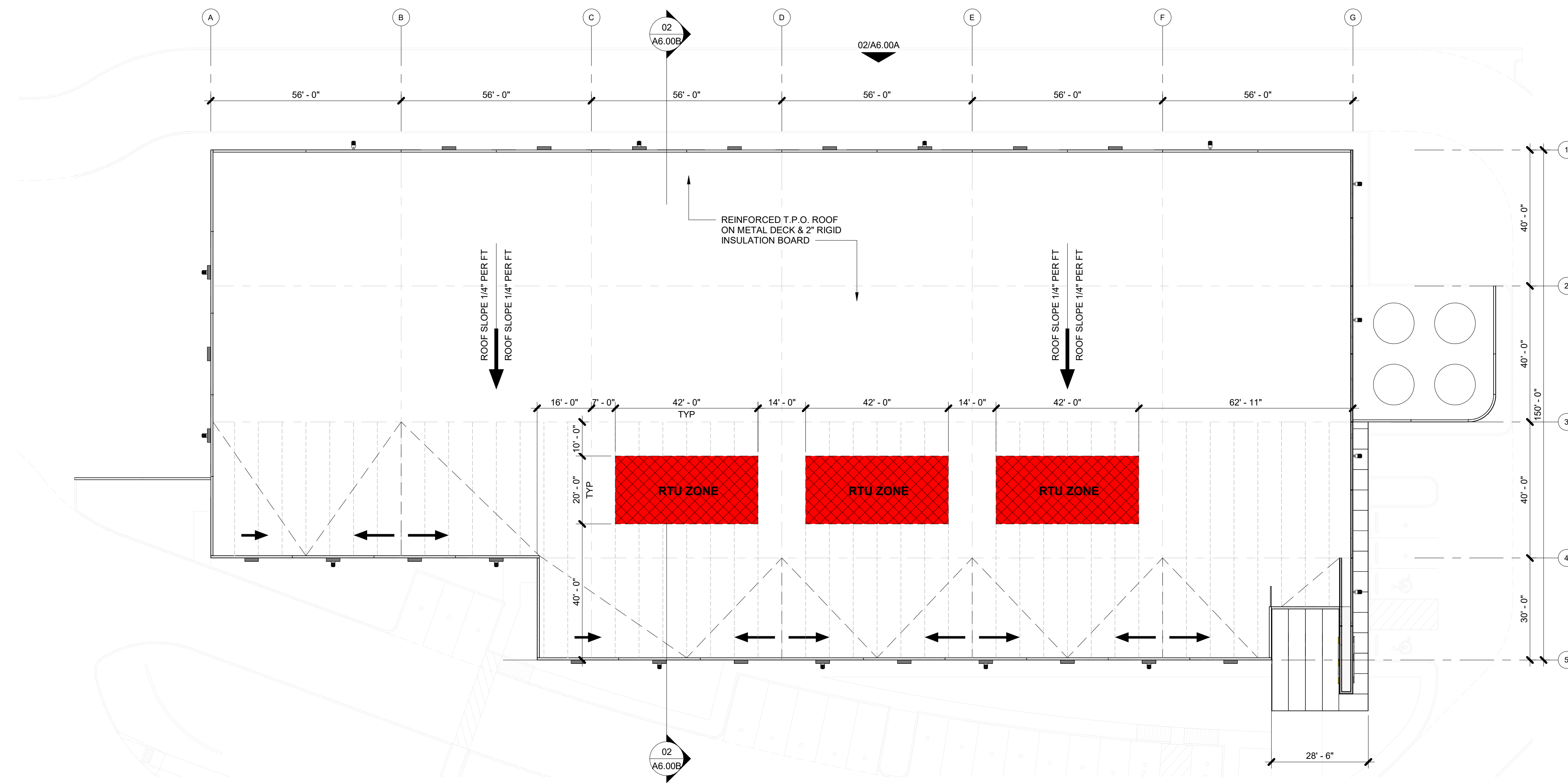
ARTICULATION CALCS	
SOUTH ELEVATION - PRIMARY FACADE	
1. WALL HEIGHT = 40'-0"	216'-0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	15'-0" PROVIDED
3. WALL PROJECTION = 25% X 40'-0" = 10'-0" MIN	20'-0" PROVIDED
4. ENTRY / ARCH ELEMENT LENGTH = 33% x 40'-0" = 13'-2 3/8" MIN	8'-0" PROVIDED
5. PROJECTION HEIGHT = 25% x 40'-0" = 10'-0" MIN	25'-0" PROVIDED
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x 40'-0") = 20'-0"	
WEST ELEVATION - PRIMARY FACADE	
1. WALL HEIGHT = 40'-0"	N/A
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	N/A
3. WALL PROJECTION = 25% X HEIGHT = N/A	N/A
4. ENTRY / ARCH ELEMENT LENGTH = 33% x LENGTH = N/A	N/A
5. PROJECTION HEIGHT = 25% x HEIGHT = N/A	N/A
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x H)	N/A
NORTH ELEVATION - SECONDARY FACADE	
1. WALL HEIGHT = 40'-0"	336'-0" PROVIDED
2. WALL LENGTH = 3 x 40'-0" = 120'-0" MAX	N/A
3. ENTRY / ARCH ELEMENT LENGTH = 15% x LENGTH = N/A	N/A
4. ENTRY / ARCH ELEMENT WIDTH = 15% x HEIGHT = N/A	N/A
5. PROJECTION HEIGHT = 15% x HEIGHT	N/A
EAST ELEVATION - SECONDARY FACADE	
1. WALL HEIGHT = 46'-0"	80'-0" PROVIDED
2. WALL LENGTH = 3 x 46'-0" = 138'-0" MAX	40'-0" PROVIDED
3. ENTRY / ARCH ELEMENT LENGTH = 15% x 80'-0" = 12'-0" MIN	42'-0" PROVIDED
4. ENTRY / ARCH ELEMENT WIDTH = 15% x 46'-0" = 6'-10 13/16" MIN	12'-0" PROVIDED
5. PROJECTION HEIGHT = 15% x 46'-0" = 6'-10 13/16" MIN	

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02 BUILDING SECTION
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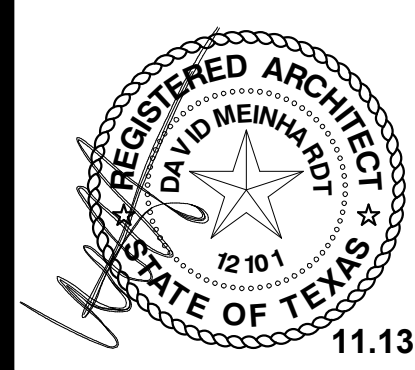


01 OVERALL ROOF PLAN
SCALE: 1" = 20'-0"

REVISIONS

CHANNELL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1810 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75244
P.O. BOX 4000



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z DIAGRAMS

A6.00B

SP-20-2020-011



**PROPOSED
FIBER FACILITY BTS
55,760 S.F.**

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

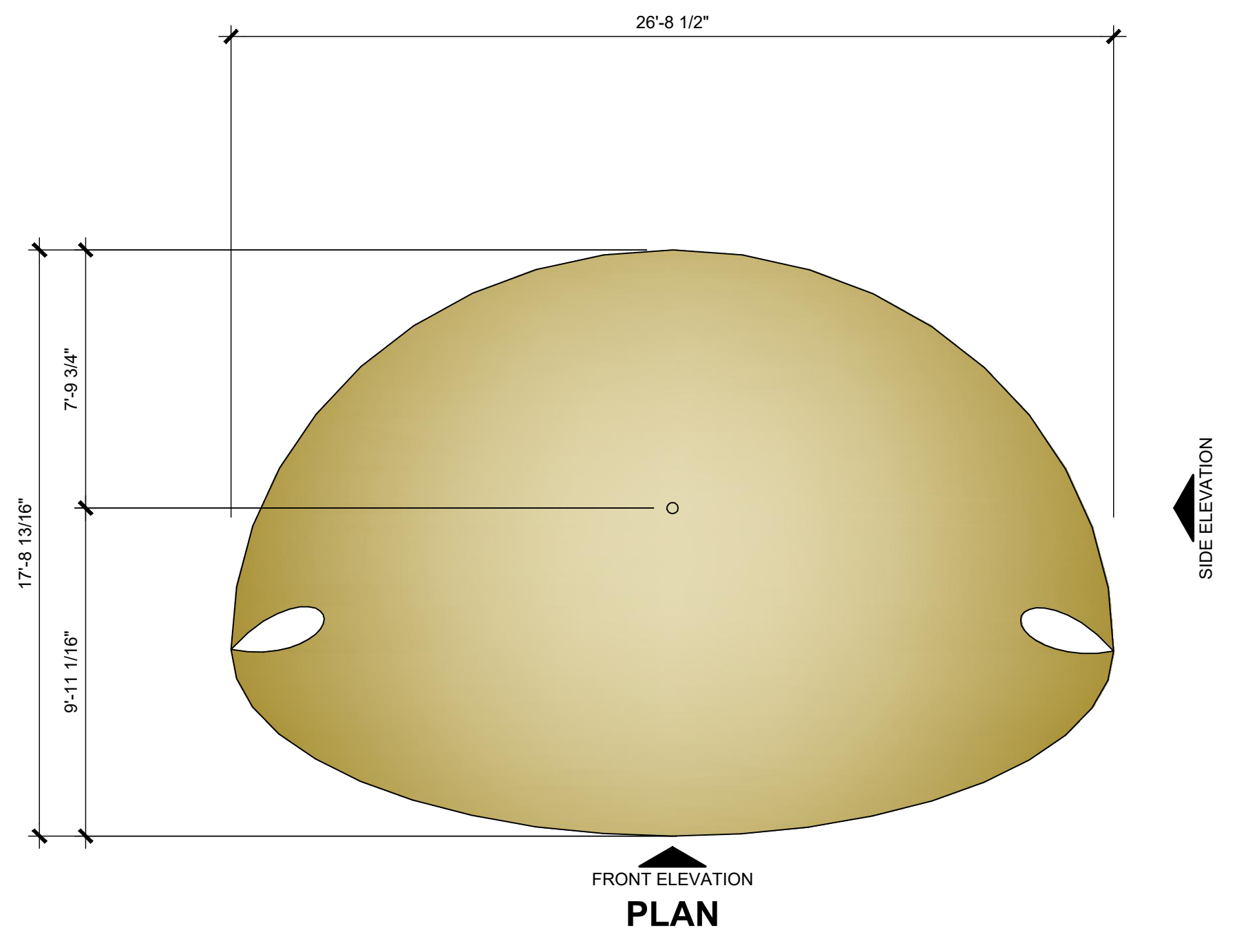
**MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.**
1815 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75201
P.O. BOX 4889



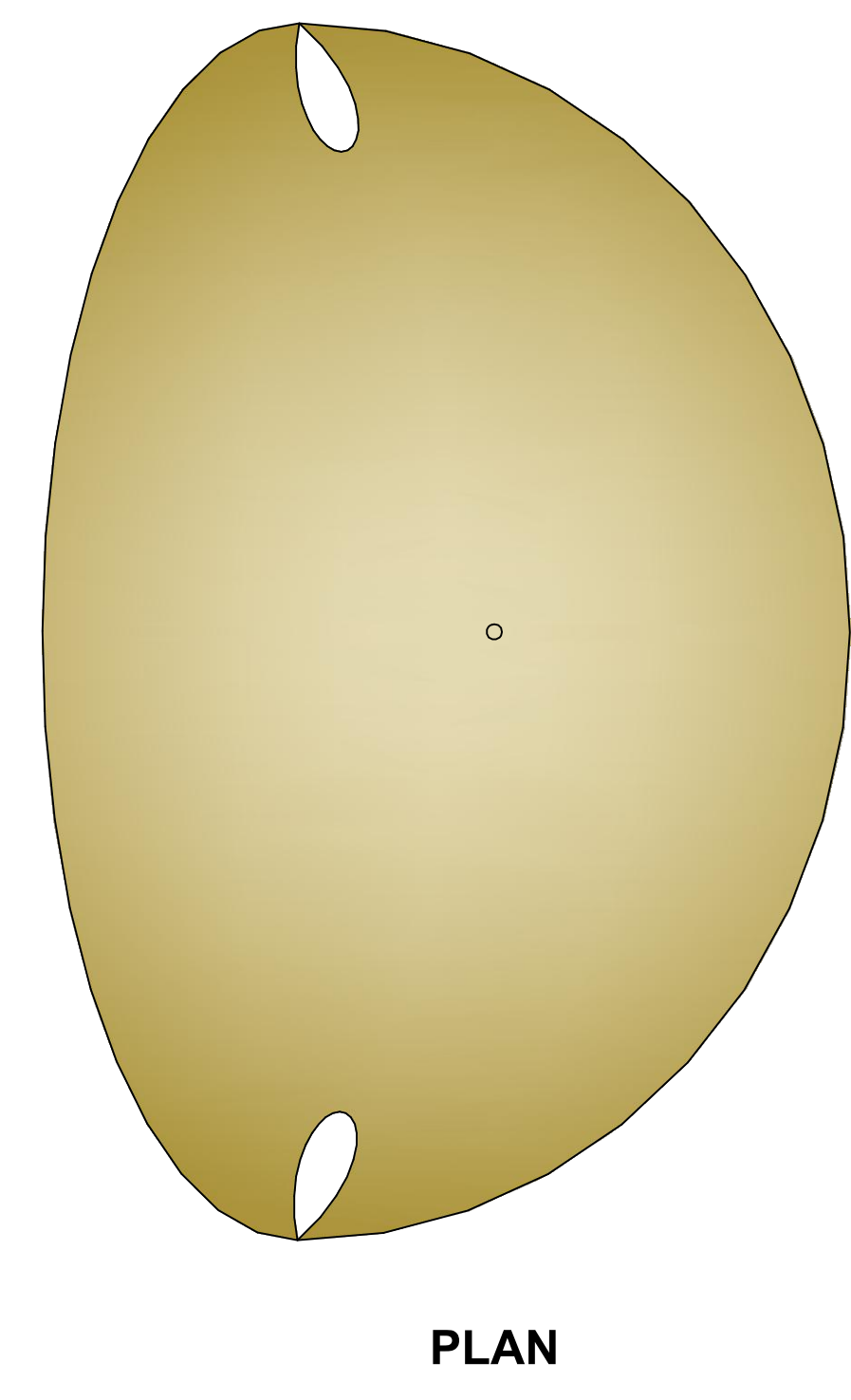
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DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z VISUALIZATION

A6.00C

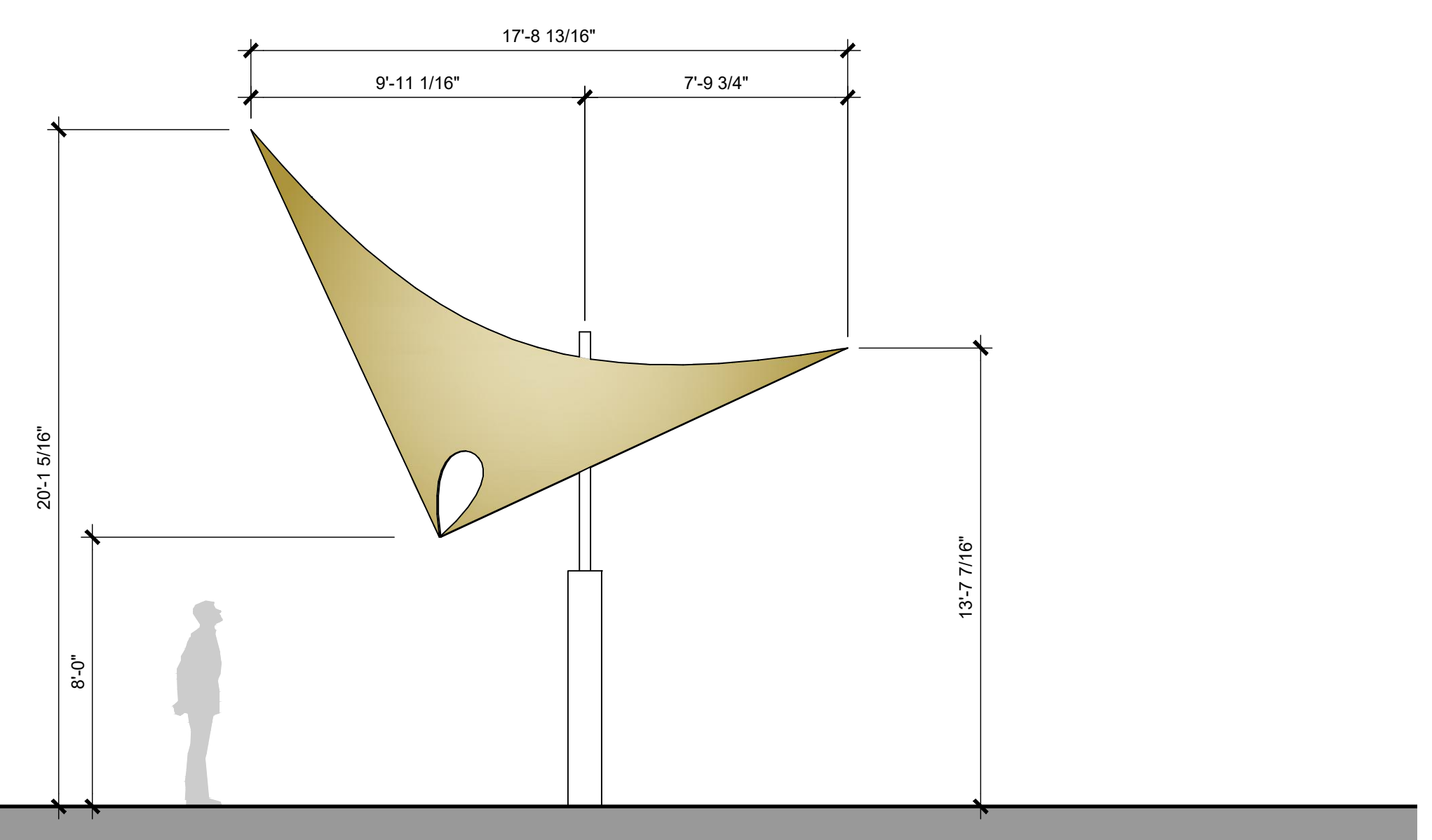
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FRONT ELEVATION



PLAN



SIDE ELEVATION

01 **SMALL TENSILE**
 SCALE: 1/4" = 1'-0"

SP-20-2020-011

REVISIONS:

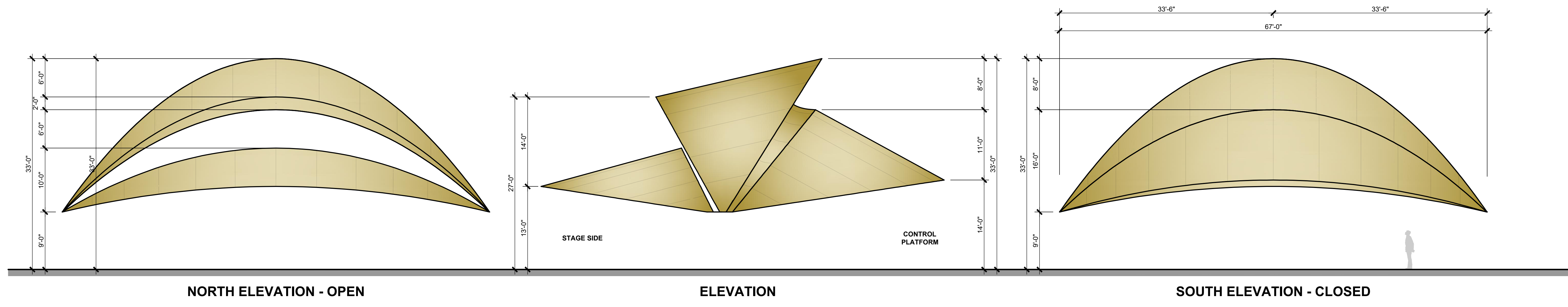
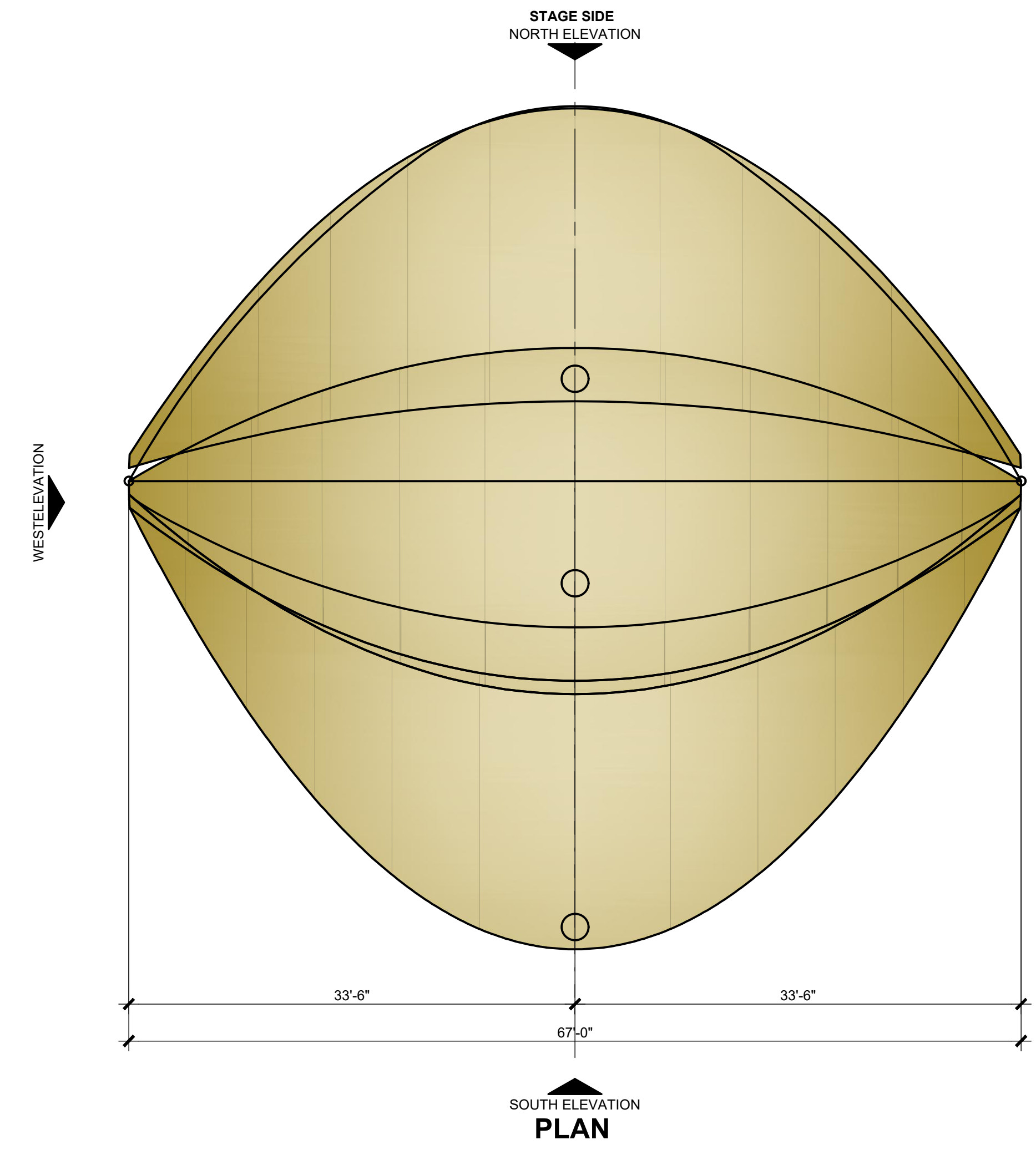
CHANNELL CAMPUS IMPROVEMENTS
 ROCKWALL, TEXAS
 1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
 ARCHITECTS, P.L.L.C.
1400 DALLAS PARKWAY
 SUITE 200
 DALLAS TEXAS 75244
 972.960.8800



PROJECT NO: 20-205
 DATE: 11.13.2020
 DRAWN BY: DBC
 CHECKED BY: ---
 SHEET: TENSILE CONCEPT

A9.00



\\WA-SERVER-02\Projects\MISC\2020\5-CHANNELL Corp\Cds Sheil\205-Channel Tensile.dwg, 11/13/2020 9:52:44 AM

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C
HEAD OFFICE: 1700 JUSTIN ROAD, ROCKWALL, TEXAS 75087
DALLAS OFFICE: 1700 JUSTIN ROAD, ROCKWALL, TEXAS 75087



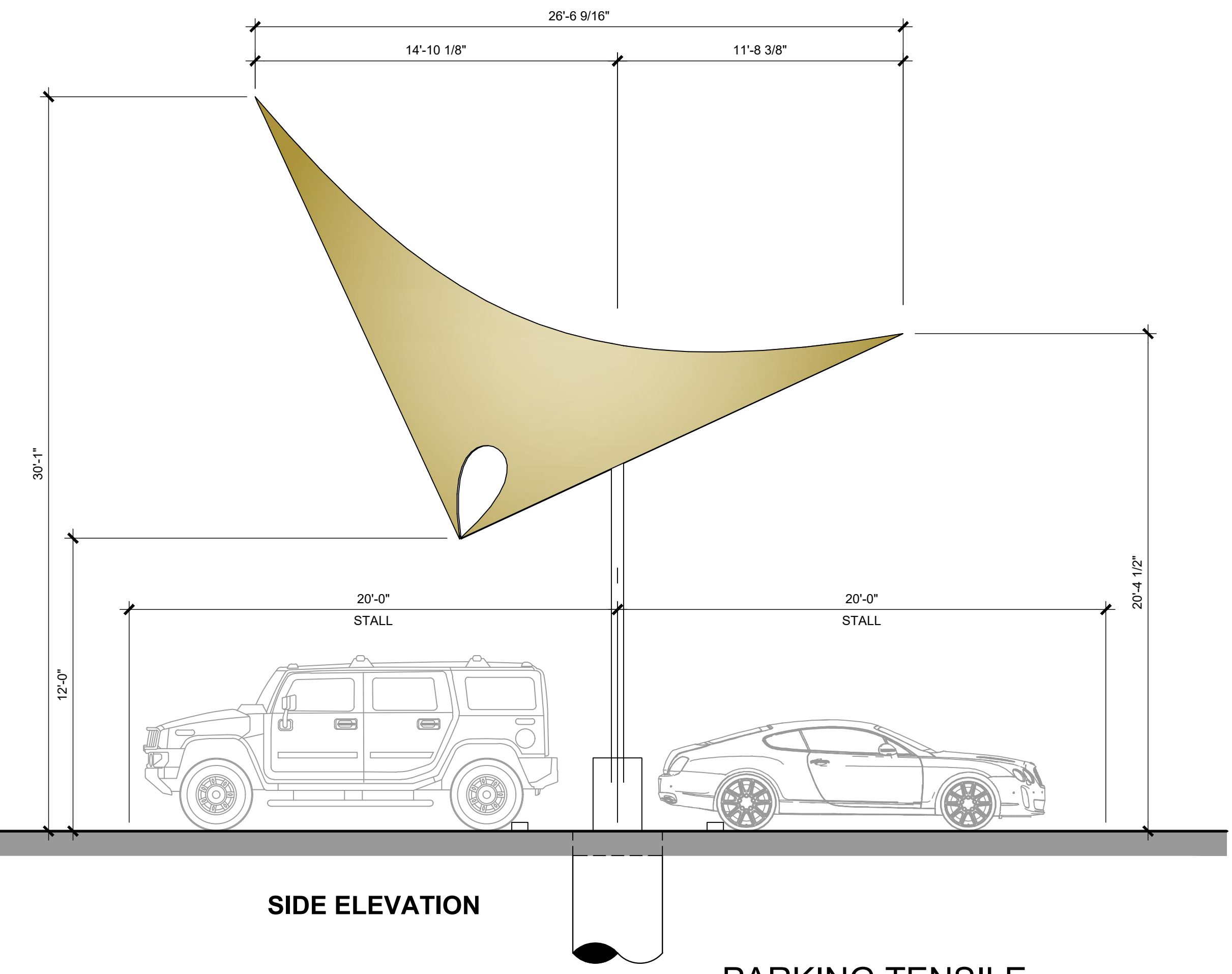
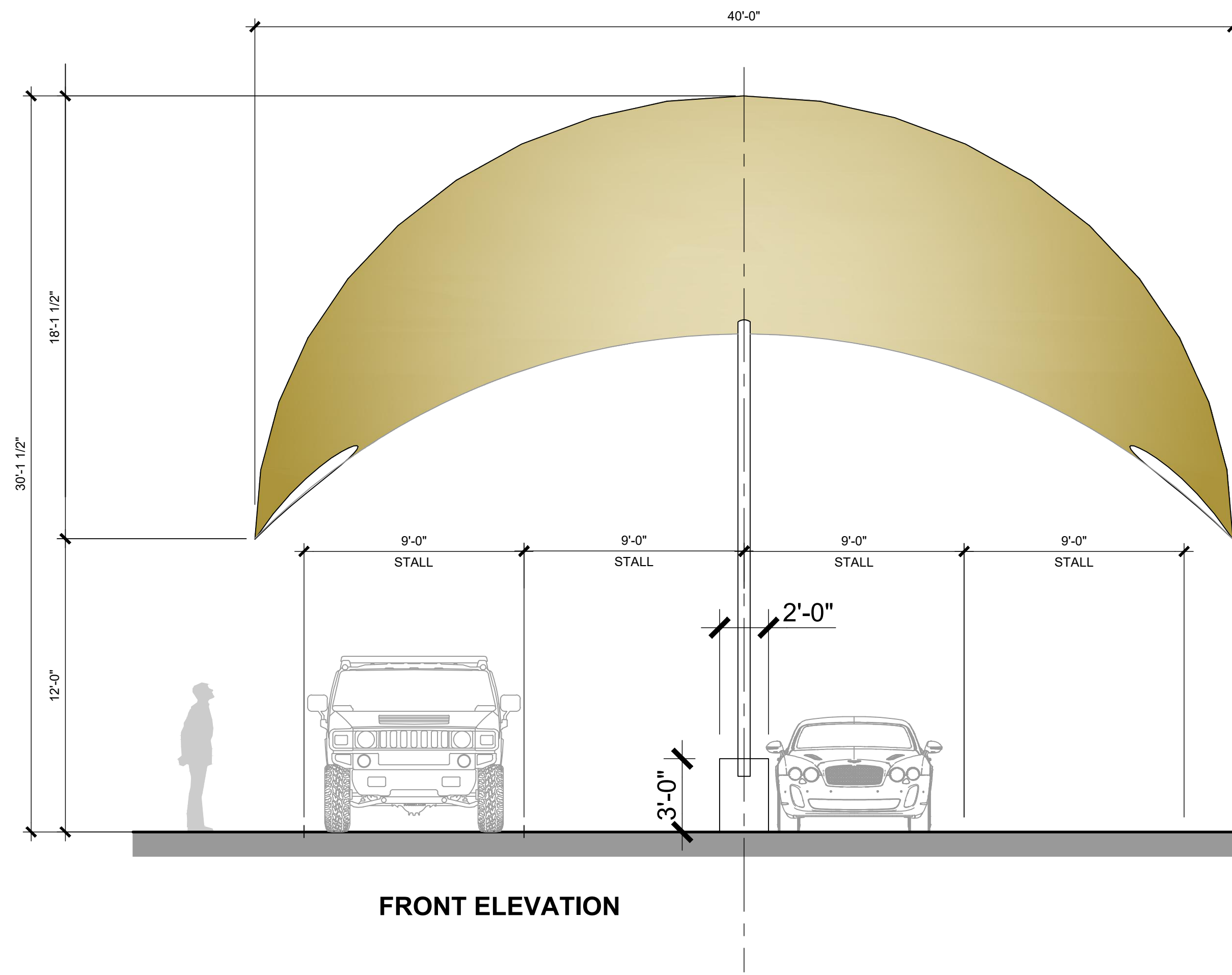
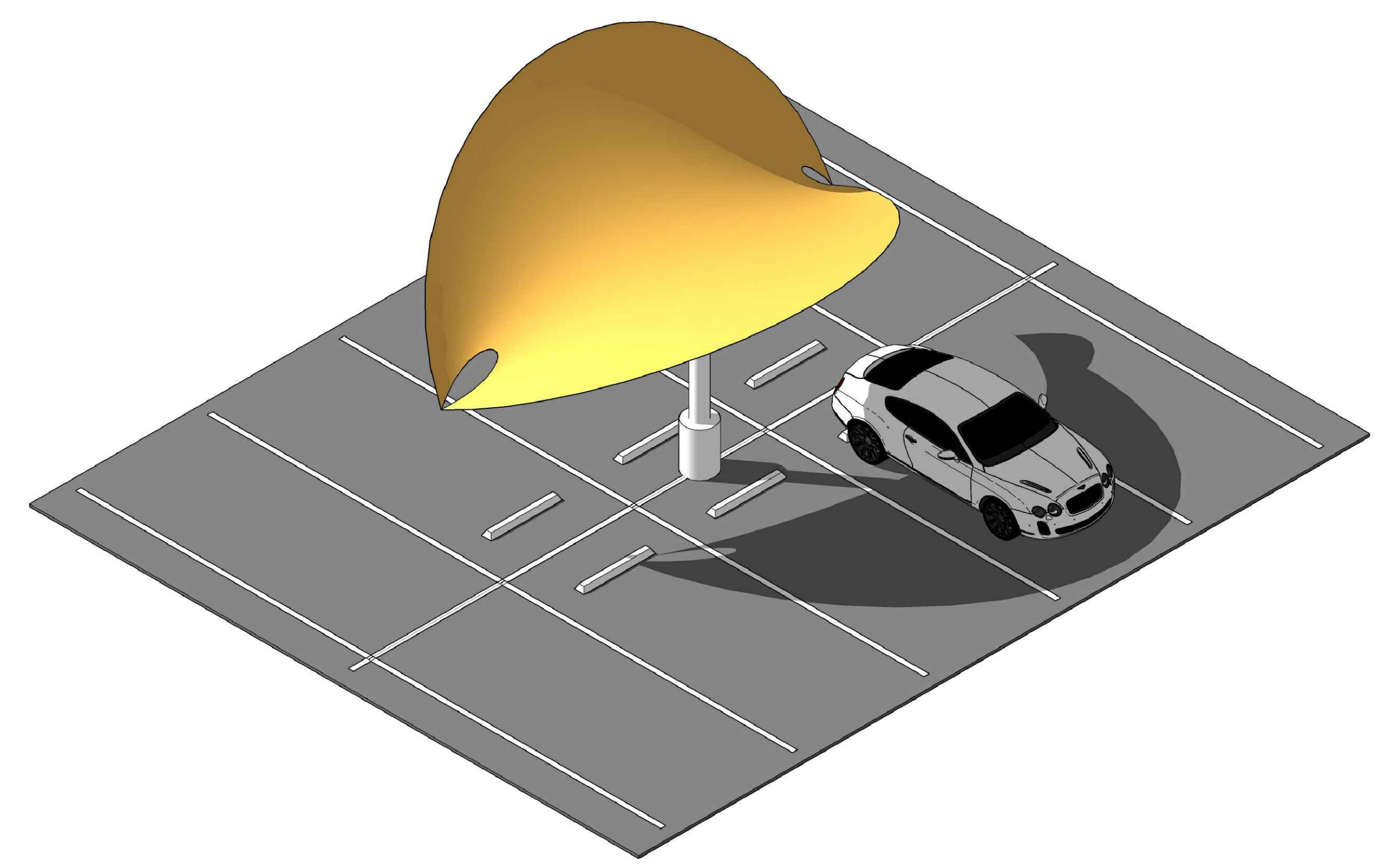
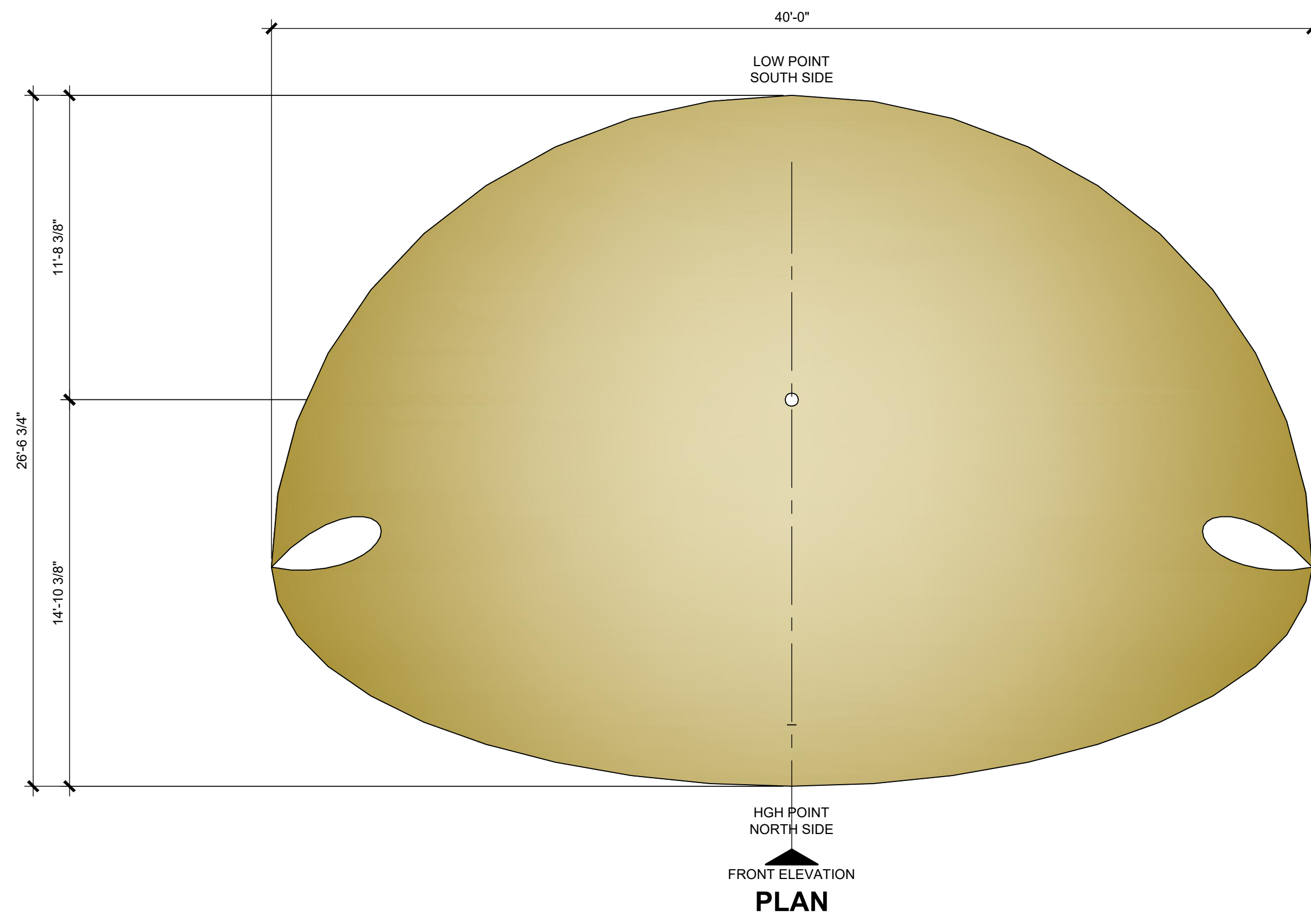
11.13.2020

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: ---
SHEET: TENSILE CONCEPT

01 AMPHITHEATER TENSILE
SCALE: 1/8" = 1'-0"

SP-20-2020-011

A9.01



01 PARKING TENSILE
SCALE: 1/4" = 1'-0"

\\WA-SERVER-02\Projects\MISC\20205-CHANNELL Corp\Cds Shell\205-Channel Tensile.dwg, 11/13/2020 9:52:44 AM

REVISIONS:

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C
HEAD OFFICE: 1700 JUSTIN ROAD, ROCKWALL, TEXAS 75087
PHONE: 972.962.1000



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: ---
SHEET: TENSILE CONCEPT

A9.02

SP-20-2020-011

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond N Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Car Parking	+	1.1 fc	8.2 fc	0.1 fc	82.0:1	11.0:1
Drive	+	1.9 fc	8.8 fc	0.3 fc	29.3:1	6.3:1

NO. 3 BARS ON 24" CTRS. BOTH WAYS ON PARKING AREAS AND FIRE LANES.
NO. 3 BARS ON 15" CTRS. BOTH WAYS ON TRUCK AND DUMPSTER AREAS.

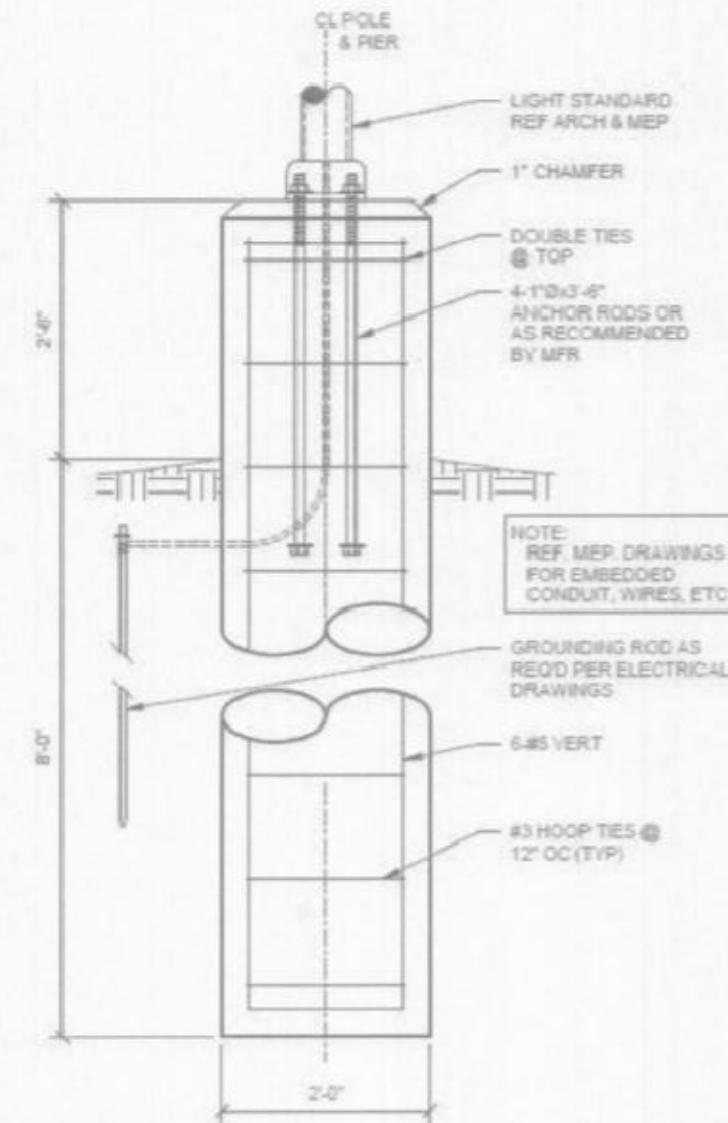


SCARIFY AND COMPACT SUBGRADE BETWEEN 95% AND 98% MAX. DRY DENSITY (STD. PROCTOR USING SHEEP'S FOOT ROLLER) AT A MOISTURE CONTENT BETWEEN +2% AND +3% ABOVE OPTIMUM.

T = 5" PARKING AREAS
T = 6" FIRE LANES
T = 7" TRUCK AREAS
T = 8" DUMPSTER AREAS

NOTE: REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.

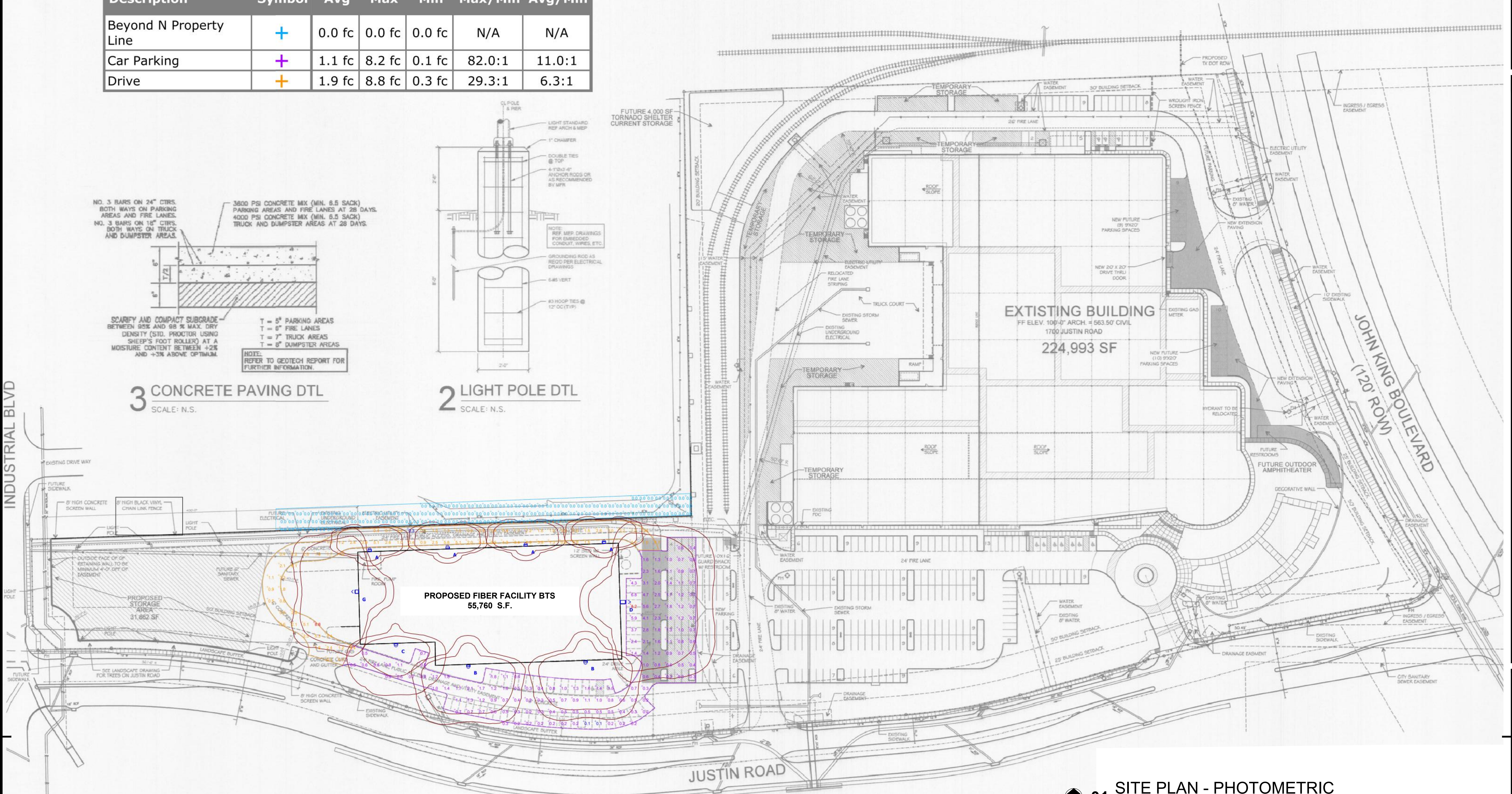
3 CONCRETE PAVING DTL
SCALE: N.S.



2 LIGHT POLE DTL
SCALE: N.S.

INDUSTRIAL BLVD

\\VA-SERVER-02\Projects\MISC\2020\5-CHANNELL Corp\Cds_Shell\205-A100 Series.dwg, 11/13/2020 10:45:05 AM



01 SITE PLAN - PHOTOMETRIC

SCALE: 1" = 60'-0"



SYMBOLY	
PROPOSED STORAGE AREA	31,862 SF
TOTAL SITE AREA	18,762 ACRES

SYMBOLY	
—	GAS
—	SANITARY SEWER
—	WATER
—	ELECTRICAL

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ____.

WITNESS OUR HANDS, this ___ day of ____.

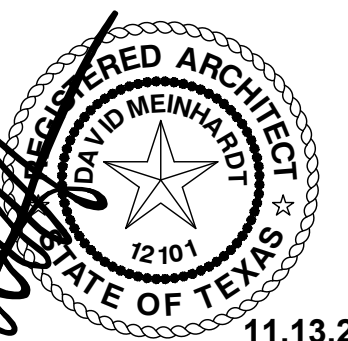
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER | DEVELOPER
CHANNELL
26040 YNEZ ROAD | P.O. BOX 9022
TEMECULA, CA-USA 92589-9022
951-719-2600
BILL CHANNELL JR - bchannelljr@channell.com

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES ARCHITECTS, P.L.L.C.
1440 DALLAS PARKWAY
SUITE 500
DALLAS TEXAS 75244
972-980-8880



11.13.2020

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN - PHOTOMETRIC

A9.03-E



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1700 JUSTIN ROAD | ROCKWALL, TEXAS 75006

