



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 38 Shadydale
 Subdivision: Shady Dale Estates Lot: 8 Block: 1
 General Location: Ridge Road / Shadydale

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: PD 9 Current Use: VACANT
 Proposed Zoning: _____ Proposed Use: SF home
 Acreage: 0.30 Lots [Current]: 1 Lots [Proposed]: 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | | | |
|---|---------------------------------------|------------------------------------|-------|
| <input checked="" type="checkbox"/> Owner | <u>Travis Redden</u> | <input type="checkbox"/> Applicant | _____ |
| Contact Person | _____ | Contact Person | _____ |
| Address | <u>1115 Concan Drive</u> | Address | _____ |
| City, State & Zip | <u>Forney, TX 75126</u> | City, State & Zip | _____ |
| Phone | <u>214-315-3952</u> | Phone | _____ |
| E-Mail | <u>asturiasdevelopments@gmail.com</u> | E-Mail | _____ |

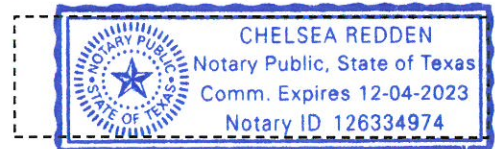
NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Travis Redden [Owner] the undersigned, who stated the information on this application to be true and certified the following:

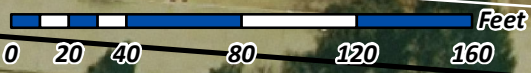
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 21 day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 21 day of October, 2020.

Owner's Signature: Travis Redden
 Notary Public in and for the State of Texas: Chelsea Redden



My Commission Expires 12/04/23



Z2020-051- SUP FOR RESIDENTIAL INFILL AT
38 SHADYDALE LANE
ZONING - LOCATION MAP =

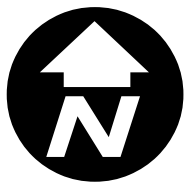
OAK



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





City of Rockwall

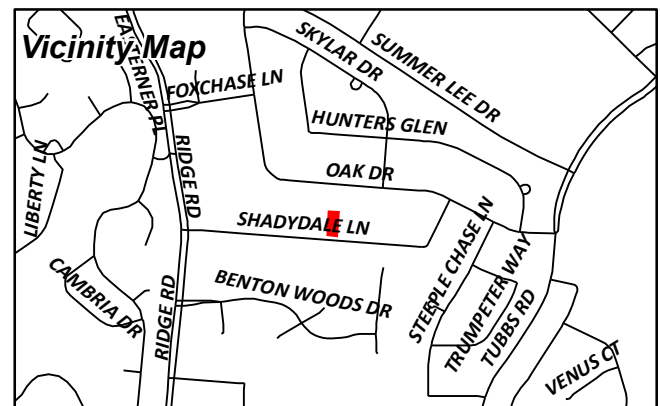
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2020-051
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 38 Shadydale Lane

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745



BCL REAL ESTATE LLC
103 GROSS RD BLDG A
MESQUITE, TX 75149

ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

EDWARDS RICHARD J
1140 BENTON WOODS DR
ROCKWALL, TX 75032

TIMBES GARY R & ELIZABETH S
1164 BENTON WOODS DR
ROCKWALL, TX 75032

TALCOTT CLARECE
1606 HIDDEN CREEK DR
ROYSE CITY, TX 75189

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

BYBEE TERRY DON & CATHERINE DENISE
2 SHADYDALE LANE
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

RAMOS EMILIO & MARIA C
2976 OAK DR
ROCKWALL, TX 75032

FOSTER JOHN CHRISTOPHER & DONNA
2978 OAK DR
ROCKWALL, TX 75032

SEXTON CHRISTOPHER
2979 OAK DR
ROCKWALL, TX 75032

SALUCCI JOSEPH LILIA
2980 OAK DR
ROCKWALL, TX 75032

FLORANCE JOSEPH V
2981 OAK DRIVE
ROCKWALL, TX 75032

COOKS LESTER L & DORIS M
2982 OAKDR
ROCKWALL, TX 75032

ELWONGER MARLENA JOY AND JASON
COLEMAN
2983 OAK DR
ROCKWALL, TX 75032

QUALLS CHARLES S & MARY K
2985 OAK DR
ROCKWALL, TX 75032

LACY SUE LIFE ESTATE AND
PHYLLIS COTTON AND KERI LACY ZUCKERBROW
2990 OAK DRIVE
ROCKWALL, TX 75032

CHOATE RANDELL G & CAROLYN J
2993 OAK DR
ROCKWALL, TX 75032

THORNLEY JILL E & GERALD R
2996 HUNTERS GLN N
ROCKWALL, TX 75032

FRISBY JOHN R & THERESA M
2998 OAK DR
ROCKWALL, TX 75032

COUGHLIN BRIAN & KAREN
2999 OAK DR
ROCKWALL, TX 75032

MITCHELL RYAN PATTON & AMANDA NICOLE
3 SHADYDALE LANE
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

TALCOTT CLARECE
3007 OAKDR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

ROYALAND PROPERTIES LLC
3015 OAKDR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 RIDGE RD SUITE A PMB #131
ROCKWALL, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

COOKS LESTER L & DORIS M
3026 ANDREW DR
FARMERSVILLE, TX 75442

MCDONALD NICOLE AND ADAM
3030 OAK DR
ROCKWALL, TX 75032

CLARK ROGER AND VICKIE LYNN
3033 OAK DRIVE
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
(ALICE CHILDRESS LIFE ESTATE)
3124 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGHI
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

REDDEN TRAVIS
38 SHADY DALELN
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST
RHUDY THOMAS RICHARD AND LAURA MARIE-
TRUSTEES
3923 POSTRIDGE TRAIL
MELBOURNE, FL 32934

TASSET AUSTIN & KENNEDY
4 SHADY DALE LANE
ROCKWALL, TX 75032

CASTLEROCK CUSTOM BUILDERS LLC
40 SHADY DALELN
ROCKWALL, TX 75032

PITTMAN JAMES CHRISTOPHER AND AMY
42 SHADY DALE LANE
ROCKWALL, TX 75032

MARTINEZ MAYRA
44 SHADY DALE LANE
ROCKWALL, TX 75032

VITALE LINDA A
46 SHADY DALE LN
ROCKWALL, TX 75032

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
4649 PARKWOODDR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

ANSARI CYRUS
4684 GREENBRIAR CT
ROCKWALL, TX 75032

HAIN MARGARET GUNTHER AND
STEPHANIE HAIN TORRES
4685 GREENBRIAR CT
HEATH, TX 75032

RICHARDSON JIM & CAROL
4690 PARKWOOD DR
ROCKWALL, TX 75032

PARKS TODD L AND RHONDA DENISE
4704 GREENBRIAR CT
ROCKWALL, TX 75032

CARPENTER CRAIG S & EVE E
4710 PARKWOOD DR
ROCKWALL, TX 75032

FAULKNER DANICA J AND MATTHEW L JOHNS
48 SHADY DALE LN
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST
RHUDY THOMAS RICHARD AND LAURA MARIE-
TRUSTEES
5 SHADYDALELN
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
50 SHADY DALE LN
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
52 SHADY DALELN
ROCKWALL, TX 75032

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C
7 SHADYDALELN
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C
888 NIGHTLIGHT DR
YORK, PA 17402

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

TEAFF DAVID J & KAREN L
922 HUNTERS GLN
ROCKWALL, TX 75032

CLARKE VANCE M & PAMELA L
930 HUNTERS GLN
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
938 HUNTERS GLEN
ROCKWALL, TX 75032

HERVEY GAIL
948 HUNTERS GLN
ROCKWALL, TX 75032

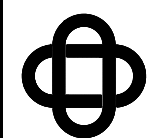
CASTLEROCK CUSTOM BUILDERS LLC
PO BOX 8333
GREENVILLE, TX 75404

LETTER OF EXPLANATION

I, Travis Redden, Owner of 38 Shadydale Lane, Rockwall, TX 75032, hereby submit an application for a Specific Use Permit for the purpose of developing the currently Vacant Lot to a Single-Family Residential Home.

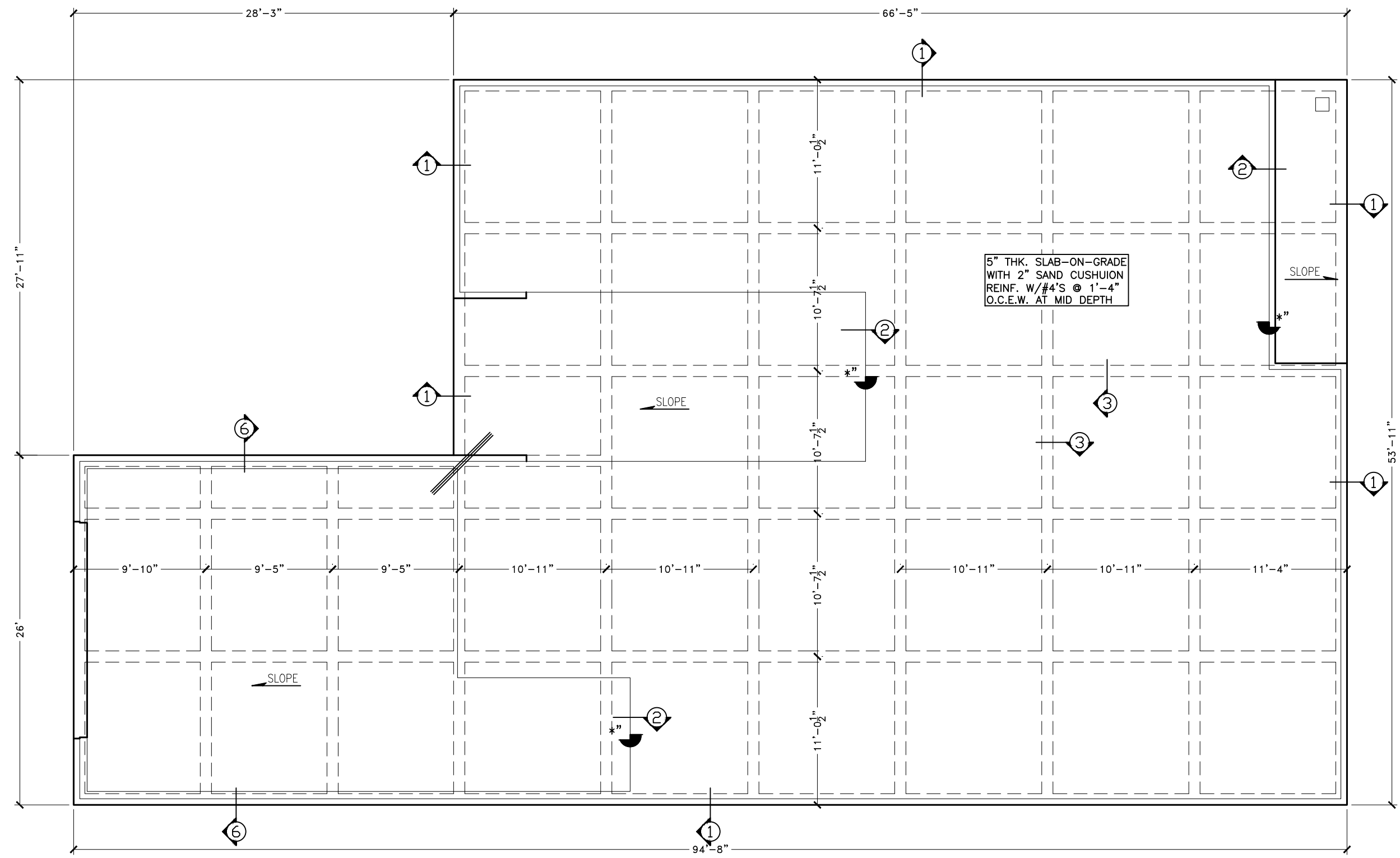
Sincerely,

Travis Redden



ERIC L. DAVIS ENGINEERING, INC.
 F-3987
 120 East Main Street
 Forney, Texas 75126
 972/564-0592 Fax 972/564-6523
 E-Mail ericdavis@eidengineering.com

FOUNDATION PLAN
 ENGINEERED FOR
ASTURIAS DEVELOPMENTS



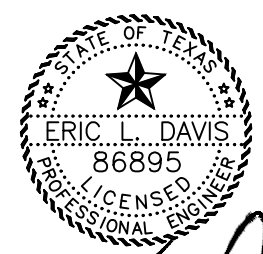
CONTRACTOR SHALL WATER PAD 72 HOURS CONTINUOUS PRIOR TO CONSTRUCTION OF FOUNDATION

NOTE: ALL PERIMETER GRADE BEAMS TO BEAR A MINIMUM DEPTH OF 18" BELOW FINAL GRADE.

| REVISIONS | | |
|-----------|-----------------|-------|
| DATE | DESCRIPTION | CODE |
| 8/20/20 | CHANGE TO REBAR | RWK T |
| | | |
| | | |

- NOTE:
1. SLAB THICKNESS T = 5"
 2. BEAM DEPTH H = 32"
 3. BEAM WIDTH W = 12"

- PLAN LEGEND
1. A DENOTES CONCRETE CHAIR.
 2. "x" DENOTES DIMENSION TO BE VERIFIED.
 3. xx DENOTES DIFFERENCE IN FINISH FLOOR ELEVATIONS.
 4. DENOTES 3-#4 BARS X 6'-8" TYPICAL INTERIOR CORNER 2'-0".



Eric L. Davis

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 8/20/2020

| | |
|------------------------|--------------------------------|
| PLAN: CUSTOM | BUILDER: ASTURIAS DEVELOPMENTS |
| ELD JOB NO: DIF20-0868 | ADDITION: 38 SHADYDALE - PR |
| DRAWN BY: RWK | ADDRESS: 38 SHADY DALE LANE |
| CHECKED BY: ELD | LOT: 8 |
| | BLOCK: 1 |
| | CITY: ROCKWALL, TX |

SCALE: 1/8" = 1'-0"

GENERAL NOTES

CAST IN PLACE CONCRETE

1. CAST-IN-PLACE CONCRETE SHALL CONFORM TO ACI 318-95.
2. REINFORCING STEEL SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI-315 DETAILING MANUAL.
3. CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM OF 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH A MINIMUM 5 SACKS PORTLAND CEMENT PER CUBIC YARD.
4. MILD STEEL REINFORCING BARS SHALL BE ASTM A615, GRADE 60.
5. PROVIDE ONE #5 OR MATCHING SIZE CORNER BAR X 4'-0" LONG (2'-0" EACH LEG) FOR EACH HORIZONTAL BAR AT CORNER IN GRADE BEAMS.
6. BARS CALLED FOR AS CONTINUOUS SHALL HAVE STAGGERED LAPS 40 BAR DIAMETERS (2'-0" MINIMUM).
7. LAP TOP REINFORCING IN GRADE BEAMS AT MID SPAN. LAP BOTTOM REINFORCING IN GRADE BEAMS AT PIERS.
8. PROVIDE STANDARD BEND IN ALL TOP BARS AT END SPANS OF GRADE BEAMS.
9. MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE: 3" FOR CONCRETE CAST AGAINST SOIL 2" FOR CONCRETE EXPOSED TO WEATHER 1-1/2" FOR TOP AND SIDE OF GRADE BEAMS NOT EXPOSED TO WEATHER.

SITE PREPARATION NOTES

1. EXCAVATIONS SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION WHILE EXCAVATING TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMUM DELAY.
3. ALL FOUNDATION EXCAVATIONS SHOULD BE PROPERLY MONITORED TO ENSURE THAT UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
4. EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
5. SELECT FILL MATERIAL WITH A PI BELOW 25 SHOULD BE COMPACTED TO A DRY DENSITY OF 95% STANDARD PROCTOR (ASTM D 698), WITH A MOISTURE CONTENT OF 2% (+/-) OPTIMUM.
6. CLAY SOILS WITH A PI EQUAL TO OR GREATER THAN 25 SHOULD BE COMPACTED TO A DRY DENSITY OF 95% STANDARD PROCTOR (ASTM D 698), WITH A MOISTURE CONTENT OF 0% TO 4% ABOVE OPTIMUM AT TIME OF PLACEMENT.
7. COMPACTION OF FILL SHOULD BE ACCOMPLISHED WITH A MAXIMUM OF 8" LOOSE LIFTS.
8. SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

CONSTRUCTION NOTES

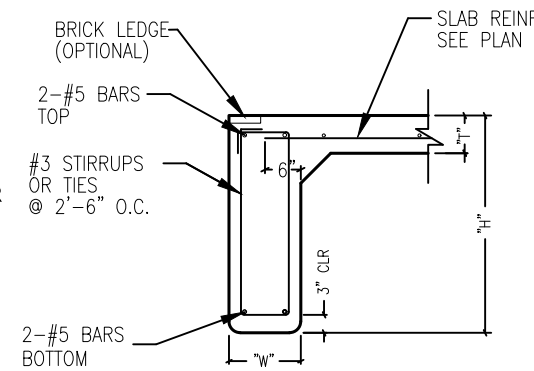
1. SITE, SUBGRADE, CONCRETE AND CURING SHALL CONFORM TO ACI 302 "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION"
2. SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE WATER WILL NOT COLLECT AROUND SLAB. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED SLOPING AWAY FROM FOUNDATION WITH A MINIMUM SLOPE OF 2-5% (1/4"-5/8" IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
3. FINAL GRADES SHALL HAVE POSITIVE DRAINAGE (SLOPING AWAY FROM SLAB). A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
4. BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUNDED IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN.
5. AT CONTRACTORS EXPENSE, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO POLY VAPOR BARRIER.
6. A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB IS REQUIRED UNLESS INDICATED OTHERWISE.
7. SLAB REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT A 4'-0" MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.

8. CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
9. CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION.
10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER FOR ANY DISCREPANCIES.
11. WHERE DISCREPANCIES BETWEEN FOUNDATION PLAN AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
12. COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS, SLOPES, BRICK-LEDGES, AND RELATED ITEMS.
13. IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
14. PLUMBING LINES SHALL NOT BE LOCATED ALONG SIDE OR IN BEAM TRENCHES.
15. SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATED AND PREVENT PONDING OF WATER.
16. TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE-HALF THAT MATURE HEIGHT OF TREE OR SHRUB UNLESS PIERS ARE SPECIFIED.

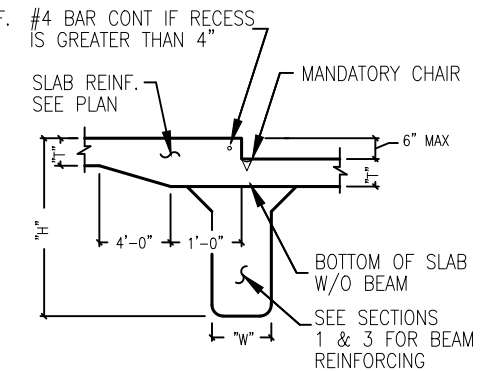
LIMITATIONS

1. A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD.
2. IN THE EVENT A SOILS REPORT FOR THE SPECIFIC TRACT OF LAND UPON WHICH THE PROPOSED STRUCTURE IS TO BE CONSTRUCTED IS PROVIDED, THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN SAID SOILS REPORT IN DESIGNING PLANS AND SPECIFICATIONS. HOWEVER, THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN FOR WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF NO SOILS REPORT IS PROVIDED, THE ENGINEERED DESIGN WILL BE BASED SOLELY ON AVERAGE SOIL CONDITIONS IN GENERAL LOCATION OF PROPOSED CONSTRUCTION SITE. AS A RESULT, THE ENGINEER MAKES NO GUARANTEE, WARRANTY, OR REPRESENTATION AS TO THE ADEQUACY OF DESIGN FOR THE PARTICULAR TRACT OF LAND UPON WHICH THE CLIENT PROPOSES TO CONSTRUCT A STRUCTURE. RATHER THE ENGINEER WILL WARRANT THE DESIGN TO BE FREE OF DEFECTS IF CONSTRUCTED UPON SOIL SUBSTANTIALLY SIMILAR IN ALL RESPECTS TO AVERAGE SOIL CONDITIONS FOR THE AREA.
3. MOISTURE CONTENT OF SOILS LOCATED AT JOBSITE ARE ANTICIPATED TO FLUCTUATE SEASONALLY DEPENDING ON AMOUNT OF RAINFALL/WEATHER PATTERNS, SURFACE DRAINAGE AND SUBSURFACE DRAINAGE CHARACTERISTICS.
4. FOR FOUNDATION TO PERFORM AS DESIGNED OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE THE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.
5. TO REDUCE CRACKING IN FOUNDATION, ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED SLOPING AWAY FROM THE FOUNDATION WITH A MINIMUM SLOPE OF 2

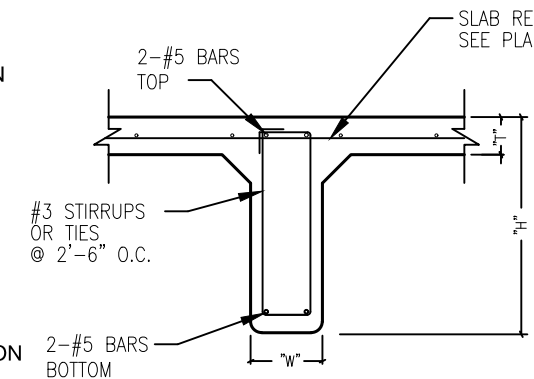
THIS FOUNDATION DESIGN IS APPLICABLE TO THE SPECIFIC PROJECT AND LOCATION LISTED ON THE SHEET. USE OF THIS DRAWING FOR OTHER PROJECTS AND/OR LOCATION IS PROHIBITED.



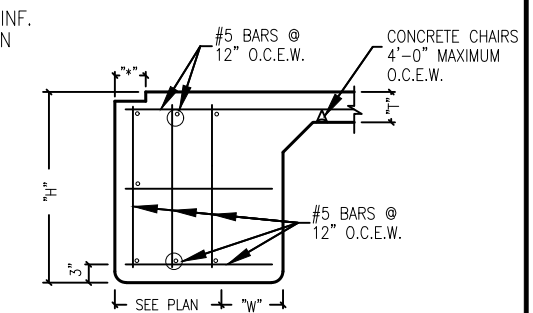
SECTION 1
NTS



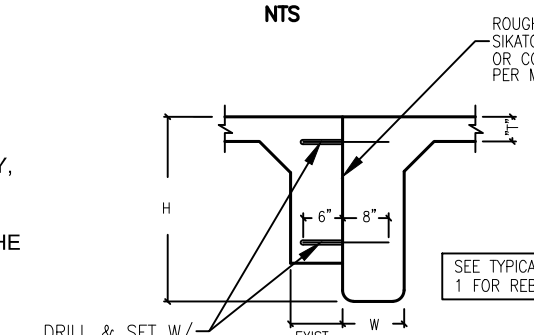
SECTION 2
NTS



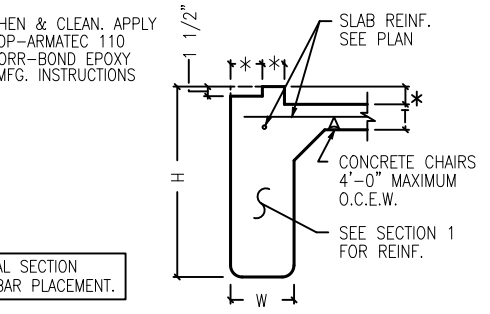
SECTION 3
NTS



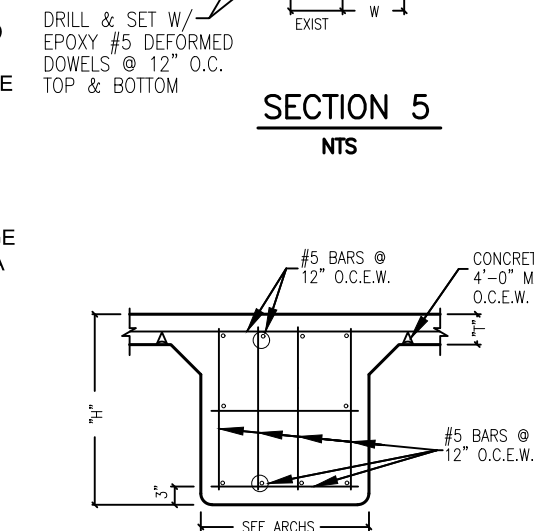
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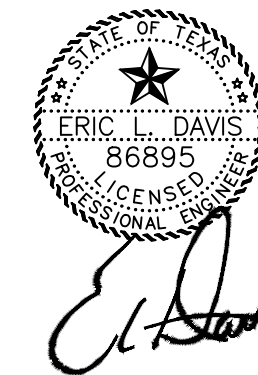
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SECTION 6
NTS



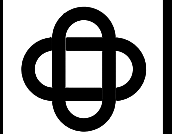
SECTION 7
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GENERAL NOTES & TYPICAL SECTIONS FOR CONVENTIONALLY REINFORCED FOUNDATIONS
ERIC L. DAVIS ENGINEERING, INC.

08/20/2020



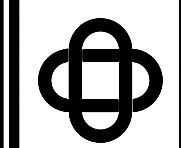
ERIC L. DAVIS ENGINEERING, INC.
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Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ercdavis@eldengineering.com

FOUNDATION DETAILS
ENGINEERED FOR
ASTURIAS DEVELOPMENTS

| | | | |
|--------------------------------|-----------------------------|-----------------------------|--------------------|
| PLAN: CUSTOM | ELD JOB NO: DIF20-0868 | DRAWN BY: RWK | CHECKED BY: ELD |
| BUILDER: ASTURIAS DEVELOPMENTS | ADDITION: 38 SHADYDALE - PR | ADDRESS: 38 SHADY DALE LANE | LOT: 8 |
| | | | BLOCK: 1 |
| | | | CITY: ROCKWALL, TX |

SCALE: NTS

F-02



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ENGINEERED FOR:
ASTURIAS DEVELOPMENTS

| | |
|------------------------|--------------------------------|
| PLAN: CUSTOM | BUILDER: ASTURIAS DEVELOPMENTS |
| ELD JOB NO: DIF20-0868 | ADDITION: 38 SHADYDALE - PR |
| DRAWN BY: RS | ADDRESS: 38 SHADY DALE LANE |
| CHECKED BY: ELD | LOT: 8 |
| | BLOCK: 1 |
| | CITY: ROCKWALL, TX |

SCALE: 1/8"=1'-0"

SW-01

FASTENING FOR THERMO-PLY & STYROFOAM STRUCTURAL INSULATED SHEATHING (SIS)

| MAXIMUM STUD SPACING | FASTENING TYPE | THERMO-PLY MAXIMUM FASTENER SPACING | OX STYROFOAM SIS MAXIMUM FASTENER SPACING |
|----------------------|--|--|--|
| 24" | NO. 16 GAGE STAPLES 1" CROWN x 1-1/2" LEGS | 3 - PANEL EDGES 3 - INTERMEDIATE SUPPORTS | 3 - PANEL EDGES 6 - INTERMEDIATE SUPPORTS |

DESIGN BASED ON 115 MPH
 ULTIMATE DESIGN WIND SPEED,
 EXPOSURE B.
 IF CONDITIONS VARY, CONTACT THIS OFFICE.

- 1 FULLY SHEATH WALL W/ 7/8" OSB (MIN.) ATTACH TO 2x4 STUDS @ 24" O.C. W/ 8d NAILS @ 6" G" PATTERN.
- 8 FULLY SHEATH WALL W/ 7/8" OSB (MIN.) ATTACH TO 2x4 STUDS @ 24" O.C. W/ 8d NAILS @ 3" G" PATTERN.
- 9 FULLY SHEATH WALL W/ STRUCTURAL T-PLY ATTACH TO 2x4 STUDS @ 24" O.C. W/ ROOFING NAILS (0.120" x 1-1/4" w/ 3/8" HEAD) SPACED @ 3" O.C. EDGE AND FIELD (OR SEE ALTERNATE STAPLE METHOD)
- 10 FULLY SHEATH WALL W/ SIS PANEL ATTACH TO 2x4 STUDS @ 24" O.C. W/ 8d NAILS @ 3" G" PATTERN.

SYMBOL KEY

| | |
|--|---|
| | SIMPSON STHD10 or HTT5 HOLDDOWN |
| | CS16 STRAPPING, 3' MINIMUM LENGTH ATTACHED TO STUDS BOTH FLOORS |
| | BRACED WALL PANEL - SEE DETAILS |
| | BRACED WALL LINE |
| | DASHED LINE INDICATES STRUCTURAL SHEATHING |

NOTE:
 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" IN SINGLE STORY BUILDING OR 2nd FLOOR OF TWO STORY BUILDING, PROVIDE 2X4 CONTINUOUS STUDS @ 24" O.C.
 2) PROVIDE 2X6 CONTINUOUS STUDS @ 24" O.C. FOR TOP PLATES UP TO 12'-0" MAX IN SINGLE STORY BUILDING OR 2nd FLOOR OF TWO STORY BUILDING.
 3) PROVIDE 2X6 CONTINUOUS STUDS @ 24" O.C. FOR TOP PLATES EQUAL TO OR LESS THAN 10'-0" UNDER SECOND FLOOR.
 4) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH TABLE R602.3(5) OF 2015 I.R.C.

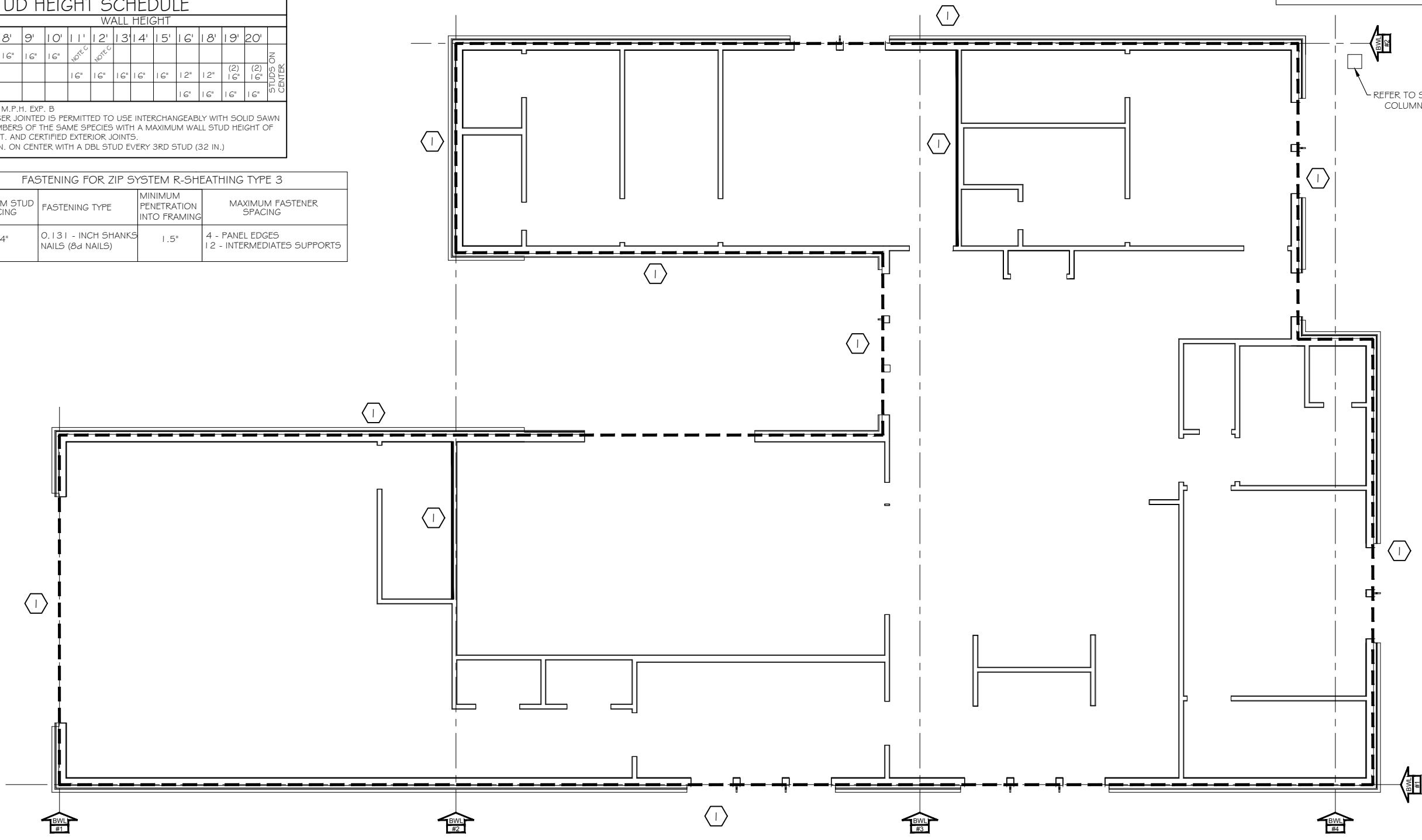
STUD HEIGHT SCHEDULE

| STUD SIZE | WALL HEIGHT | | | | | | | | | | | STUDS ON CENTER | |
|-----------|-------------|-----|-----|--------|--------|-----|-----|-----|-----|---------|---------|-----------------|-----|
| | 8' | 9' | 10' | 11' | 12' | 13' | 14' | 15' | 16' | 18' | 19' | | 20' |
| 2x4 | 16" | 16" | 16" | NOTE C | NOTE C | | | | | | | | |
| 2x6 | | | 16" | 16" | 16" | 16" | 16" | 12" | 12" | (2) 16" | (2) 16" | | |
| 2x8 | | | | | | | | 16" | 16" | 16" | 16" | | |

A) 115 M.P.H. EXP. B
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)

FASTENING FOR ZIP SYSTEM R-SHEATHING TYPE 3

| MAXIMUM STUD SPACING | FASTENING TYPE | MINIMUM PENETRATION INTO FRAMING | MAXIMUM FASTENER SPACING |
|----------------------|--------------------------------------|----------------------------------|--|
| 24" | 0.131 - INCH SHANKS NAILS (8d NAILS) | 1.5" | 4 - PANEL EDGES 12 - INTERMEDIATES SUPPORTS |



FIRST FLOOR



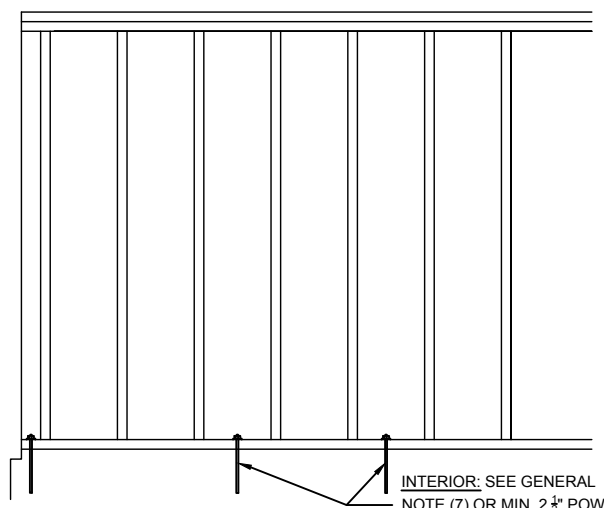
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GENERAL NOTES

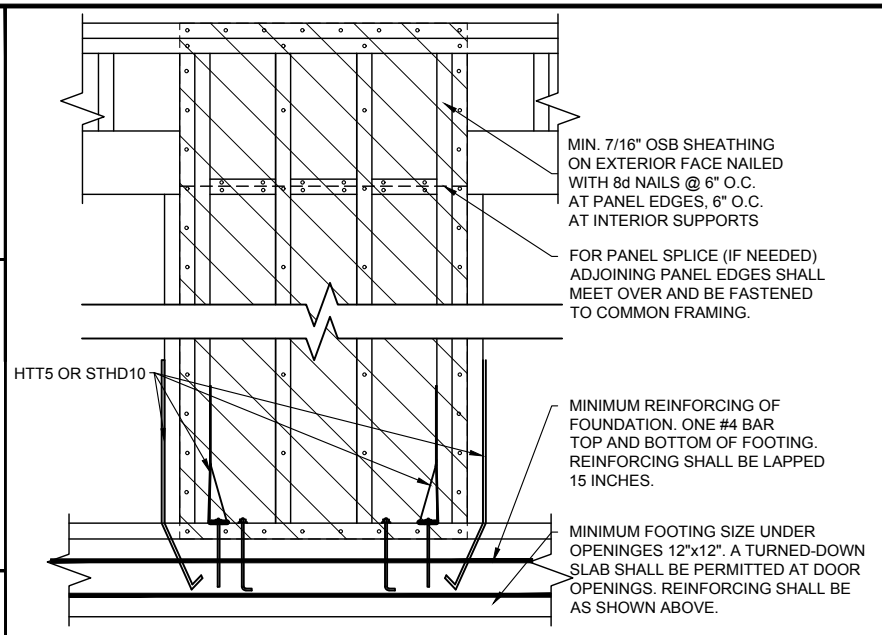
- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SHEARWALL SEGMENTS SHALL BE CONTINUOUS FROM THE BOTTOM PLATE THROUGH THE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTT5/STD10). PROVIDE 1-ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
- BOTTOM PLATE AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSILL ANCHORS @ 6'-0" O.C..
- ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2015 IRC.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
 - INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION. MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.
 -

NOTE: SIMPSON STD10 OR HTT5 CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL

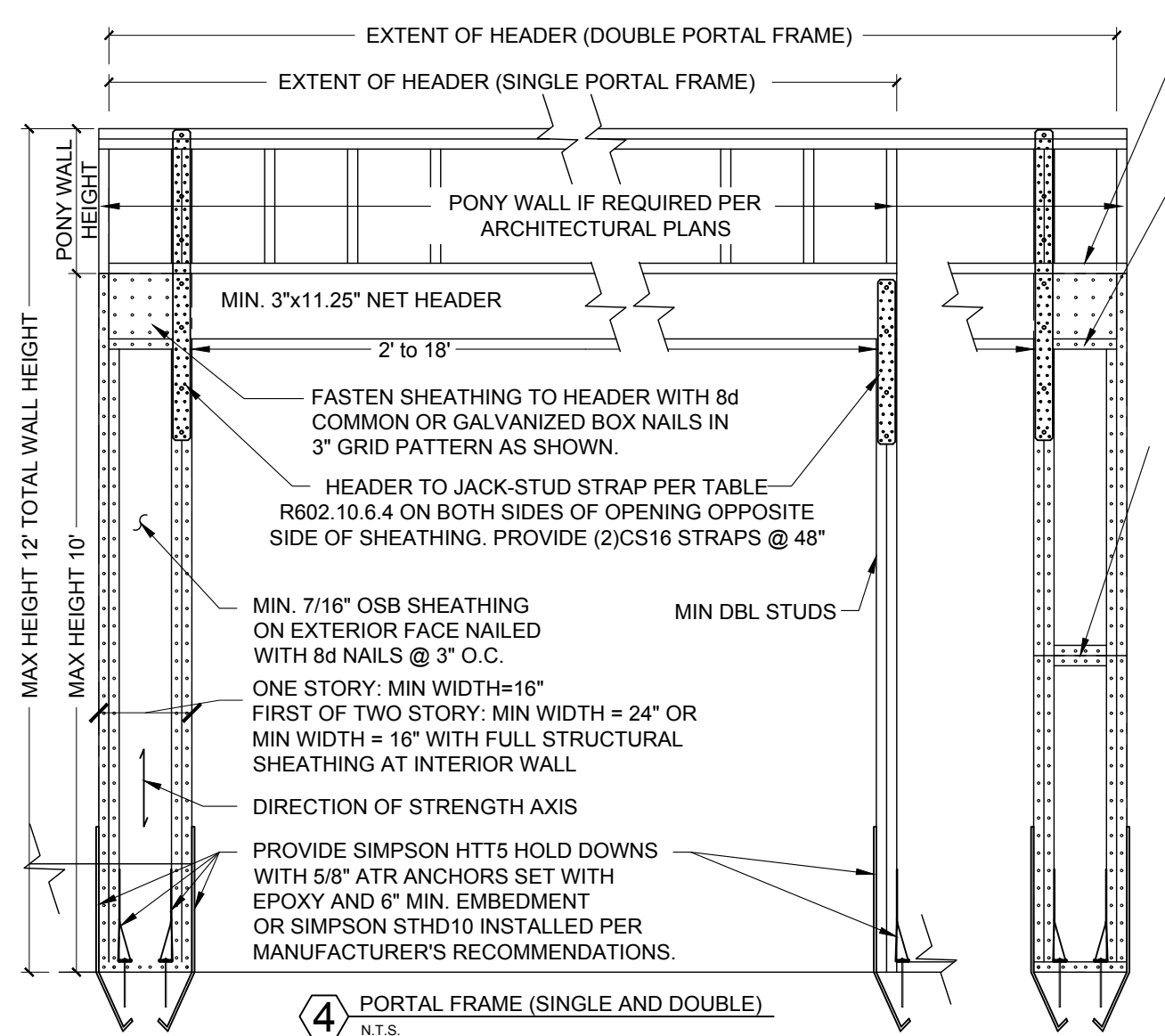


INTERIOR SHEAR WALL ANCHORING
 SCALE: NTS
 INTERIOR: SEE GENERAL NOTE (7) OR MIN. 2 1/2" POWDER ACTUATED PINS AND WASHERS @ 12" O.C.
 NOTE: FOR EXTERIOR WALL ANCHORING SEE GENERAL NOTE (5).



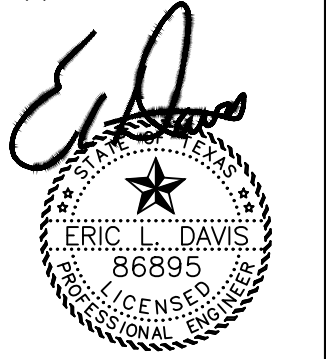
SECTION DETAIL (EXTERIOR ELEVATION)
 N.T.S.
 MIN. 7/16" OSB SHEATHING ON EXTERIOR FACE NAILED WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 6" O.C. AT INTERIOR SUPPORTS
 FOR PANEL SPLICE (IF NEEDED) ADJOINING PANEL EDGES SHALL MEET OVER AND BE FASTENED TO COMMON FRAMING.
 MINIMUM REINFORCING OF FOUNDATION. ONE #4 BAR TOP AND BOTTOM OF FOOTING. REINFORCING SHALL BE LAPPED 15 INCHES.
 MINIMUM FOOTING SIZE UNDER OPENINGS 12"x12". A TURNED-DOWN SLAB SHALL BE PERMITTED AT DOOR OPENINGS. REINFORCING SHALL BE AS SHOWN ABOVE.
 HTT5 OR STD10
 2 x 4 STUDS
 VARIES 24" VARIES
 HOLD DOWN ANCHOR
 HTT5 OR STD10
 TYPICAL (ONE STORY) 2'-8" TO 4'-0" LENGTH 7/16" OSB STRUCTURAL WOOD SHEATHING ON ONE FACE WITH A MAXIMUM HEIGHT OF 10'. NAILED PER 2015 IRC TABLE R602.3(1) AND BLOCKED AT ALL EDGES. TWO ANCHOR BOLTS OR 3" PINS AND WASHERS SET BY POWDER ACTUATED TOOL SHALL BE INSTALLED AT QUARTER POINTS AS SHOWN.

SECTION DETAIL (PLAN VIEW)
 N.T.S.

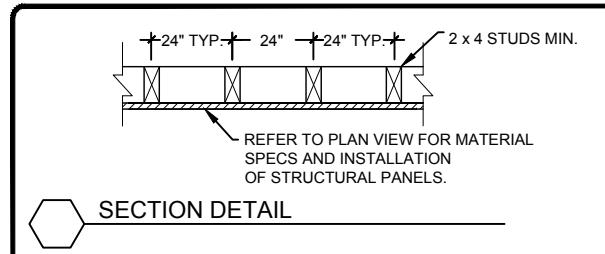


PORTAL FRAME (SINGLE AND DOUBLE)
 N.T.S.

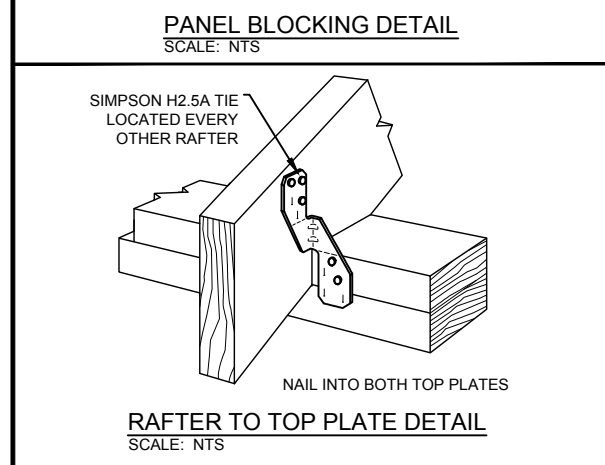
FASTEN KING STUD TO HEADER WITH 6 16d SINKER NAILS
 TYP. PORTAL FRAME CONSTRUCTION
 FOR PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED, AND OCCUR WITHIN 24" OF MID-HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING NAILING IS REQ. IF 2x BLOCKING IS USED, THE 2x's MUST BE NAILED TOGETHER WITH (3) 16d SINKERS



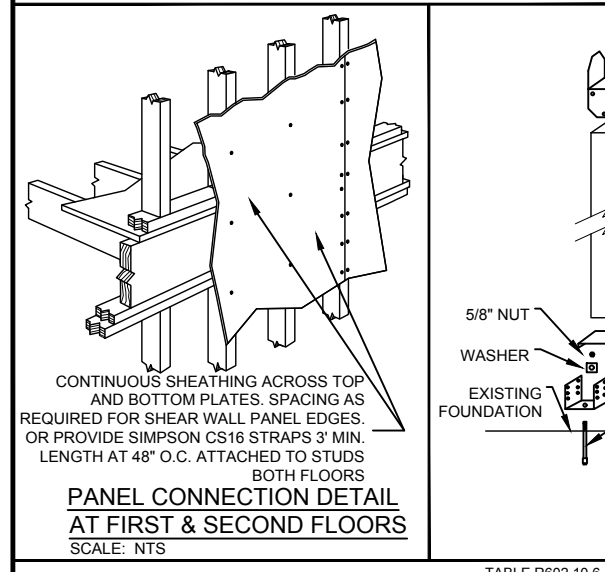
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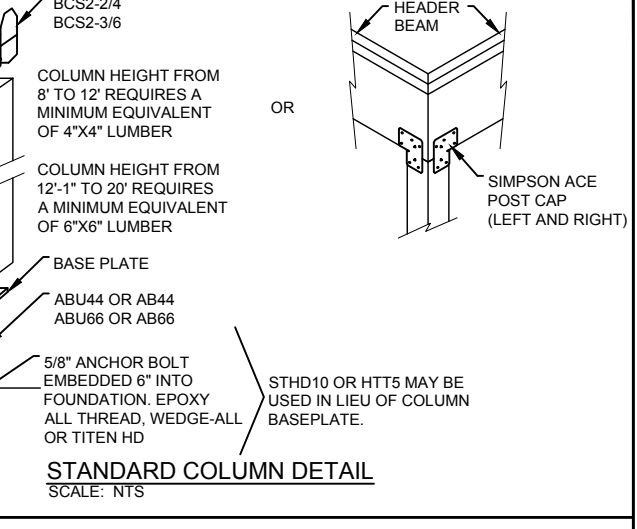
SECTION DETAIL
 REFER TO PLAN VIEW FOR MATERIAL SPECS AND INSTALLATION OF STRUCTURAL PANELS.
 24" TYP. 24" 24" TYP. 2 x 4 STUDS MIN.
 DOUBLE TOP PLATE
 TYP. 2X4 STUD
 1-1/2" MIN. BLOCKING



RAFTER TO TOP PLATE DETAIL
 SCALE: NTS
 SIMPSON H2.5A TIE LOCATED EVERY OTHER RAFTER
 NAIL INTO BOTH TOP PLATES



PANEL CONNECTION DETAIL AT FIRST & SECOND FLOORS
 SCALE: NTS
 CONTINUOUS SHEATHING ACROSS TOP AND BOTTOM PLATES. SPACING AS REQUIRED FOR SHEAR WALL PANEL EDGES. OR PROVIDE SIMPSON CS16 STRAPS 3" MIN. LENGTH AT 48" O.C. ATTACHED TO STUDS BOTH FLOORS



STANDARD COLUMN DETAIL
 SCALE: NTS
 BCS2-2/4 BCS2-3/6
 COLUMN HEIGHT FROM 8' TO 12' REQUIRES A MINIMUM EQUIVALENT OF 4"x4" LUMBER
 OR
 COLUMN HEIGHT FROM 12'-1" TO 20' REQUIRES A MINIMUM EQUIVALENT OF 6"x6" LUMBER
 SIMPSON ACE POST CAP (LEFT AND RIGHT)
 5/8" NUT
 WASHER
 EXISTING FOUNDATION
 BASE PLATE
 ABU44 OR AB44 ABU66 OR AB66
 5/8" ANCHOR BOLT EMBEDDED 6" INTO FOUNDATION. EPOXY ALL THREAD, WEDGE-ALL OR TITEN HD
 STD10 OR HTT5 MAY BE USED IN LIEU OF COLUMN BASEPLATE.

TABLE R602.10.6.4

| MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE | MAXIMUM PONY WALL HEIGHT (FEET) | MAXIMUM TOTAL WALL HEIGHT (FEET) | MAXIMUM OPENING WIDTH (FEET) | TENSION STRAP CAPACITY REQUIRED (POUNDS) ^a V = 115 mph EXPOSURE B | RECOMMENDED OR APPROVED EQUAL SIMPSON STRAP MODEL No. ^b |
|--|---------------------------------|----------------------------------|------------------------------|---|--|
| 2x4 No. 2 Grade | 0 | 10 | 18 | 1000 | (1) CS16 |
| | | | 9 | 1000 | |
| | | | 16 | 1025 | |
| | | | 18 | 1275 | |
| | | | 9 | 1000 | |
| | | | 16 | 2175 | |
| | 2 | 10 | 18 | 2500 | (2) CS16 |
| | | | 9 | 1500 | |
| | | | 16 | 3375 | |
| | | | 18 | 3975 | |
| | | | 9 | 1500 | |
| | | | 16 | 2175 | |
| 2 | 12 | 9 | 2750 | (2) CS16 | |
| | | 12 | 3775 | | |
| | | 9 | 2750 | | |
| | | 12 | 3775 | | |
| | | 9 | 1000 | | |
| | | 16 | 2150 | | |
| 2x6 Stud Grade | 2 | 12 | 9 | 1750 | (2) CS16 |
| | | | 16 | 2400 | |
| | | | 18 | 2550 | |
| | | | 9 | 1750 | |
| | | | 16 | 2400 | |
| | | | 18 | 3800 | |

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
 a. STRAPS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 b. STRAP MODEL MAY BE SUBSTITUTED w/ APPROVED EQUAL.

NOTES:

- 1) REFER TO HEADER SCHEDULE OR PLAN FOR ALL DOOR, WINDOW, AND OTHER OPENINGS.
 - 2) ALL JOIST TERMINATION INTO HEADERS OR BEAMS WHERE JOIST HAVE CLEAR SPANS OVER 4' ARE TO BE ATTACHED WITH APPROPRIATE SIZE JOIST HANGER PER THE 2015 I.R.C.
 - 3) ALL HANGERS SHALL BE NAILED PER MANUFACTURERS RECOMMENDATIONS.
 - 4) ALL HEADERS / BEAMS SHALL HAVE THE APPROPRIATE NUMBER OF JACK STUDS PER THE 2015 I.R.C.
 - 5) ALL CEILING JOISTS ARE 2X6 #2 SYP AT 24" O.C., U.N.O.
 - 6) DOUBLE JOISTS BENEATH ALL PARALLEL SECOND FLOOR NONBEARING WALLS. THIS RULE SHALL APPLY TO SAWN LUMBER AND ENGINEERED WOOD LAYOUTS, U.N.O.
 - 7) PROVIDE BLOCKING BETWEEN ALL JOISTS BENEATH PERPENDICULAR SECOND FLOOR WALLS.
 - 8) LIMITED ATTIC STORAGE IS NOT PERMITTED UNLESS LABELED "APPROVED LAS".
 - 9) JOISTS AT VAULTED CEILINGS SHALL BEAR ON TOP PLATES OR BE TIED-TO-RAFTERS. FALSE FRAMING IS PERMITTED TO CREATE VAULTS.
 - 10) ALL BEAMS SHALL BE SUPPORTED BY THE MINIMUM NUMBER OF WALL STUD LAMINATIONS USED TO ACHIEVE SUPPORT FOR THE ENTIRE WIDTH OF BEAM U.N.O. ATTACH LAMINATIONS WITH 10D NAILS @ 6" O.C.
 - 11) AS A MINIMUM, LVL BEAMS SHALL HAVE E=1.9EG P51, U.N.O.; SAWN LUMBER SHALL BE #2 SYP, U.N.O.
 - 12) ALL CEILING AND ROOF POINT LOADS FROM ABOVE, NOT DIRECTLY SUPPORTED BY A FLOOR MEMBER, MUST BE SOLID BLOCKED THROUGH THE FLOOR CAVITY, TRANSFERRING LOAD TO FOUNDATION.
- UPL = UNDER POINT LOAD
 UWA = UNDER WALL ABOVE
 T.T.R. = TIED TO RAFTERS
 LAS = LIMITED ATTIC STORAGE
 FB = FLUSH BEAM (DIM. TO BOTTOM OF BEAM)
 DB = DROP BEAM (DIM. TO TOP OF BEAM)
 FLOAT = FLOAT BEAM (NO DIM.)

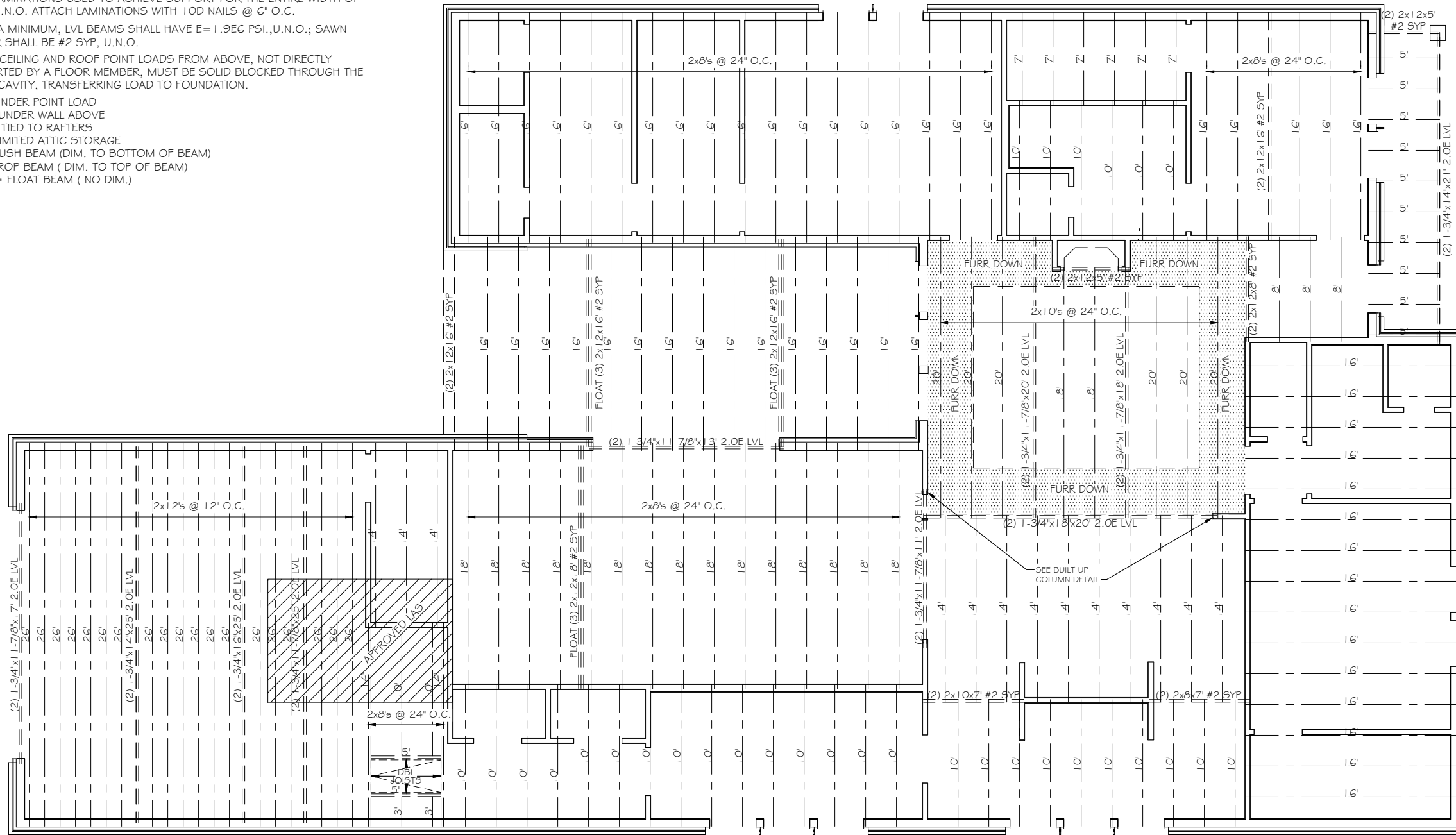
NOTE:

- 1) FOR TOP PLATE HEIGHTS EQUAL TO OR LESS THAN 10'-0" IN SINGLE STORY BUILDING OR 2nd FLOOR OF TWO STORY BUILDING, PROVIDE 2X4 CONTINUOUS STUDS @ 24" O.C.
- 2) PROVIDE 2X6 CONTINUOUS STUDS @ 24" O.C. FOR TOP PLATES UP TO 12'-0" MAX IN SINGLE STORY BUILDING OR 2nd FLOOR OF TWO STORY BUILDING.
- 3) PROVIDE 2X6 CONTINUOUS STUDS @ 24" O.C. FOR TOP PLATES EQUAL TO OR LESS THAN 10'-0" UNDER SECOND FLOOR.
- 4) PROVIDE 2X6 @ 16" O.C. WALL STUDS SUPPORTING TWO FLOORS AND ROOF WITH MAX. 10' PLATE HEIGHT IN ACCORDANCE WITH TABLE R602.3(5) OF 2015 I.R.C.

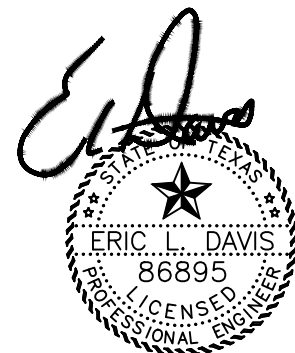
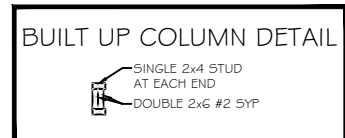
STUD HEIGHT SCHEDULE

| STUD SIZE | WALL HEIGHT | | | | | | | | | | | STUDS ON CENTER | |
|-----------|-------------|-----|-----|--------|--------|-----|-----|-----|-----|---------|---------|-----------------|-----|
| | 8' | 9' | 10' | 11' | 12' | 13' | 14' | 15' | 16' | 18' | 19' | | 20' |
| 2x4 | 16" | 16" | 16" | NOTE C | NOTE C | | | | | | | | |
| 2x6 | | | | 16" | 16" | 16" | 16" | 12" | 12" | (2) 16" | (2) 16" | (2) 16" | |
| 2x8 | | | | | | | | 16" | 16" | 16" | 16" | | |

A) 1 1/2 M.P.H. EXP. B
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)

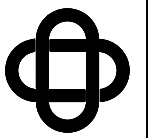


FIRST FLOOR



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09/09/2020



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CEILING FRAMING
 ENGINEERED FOR

ASTURIAS DEVELOPMENTS

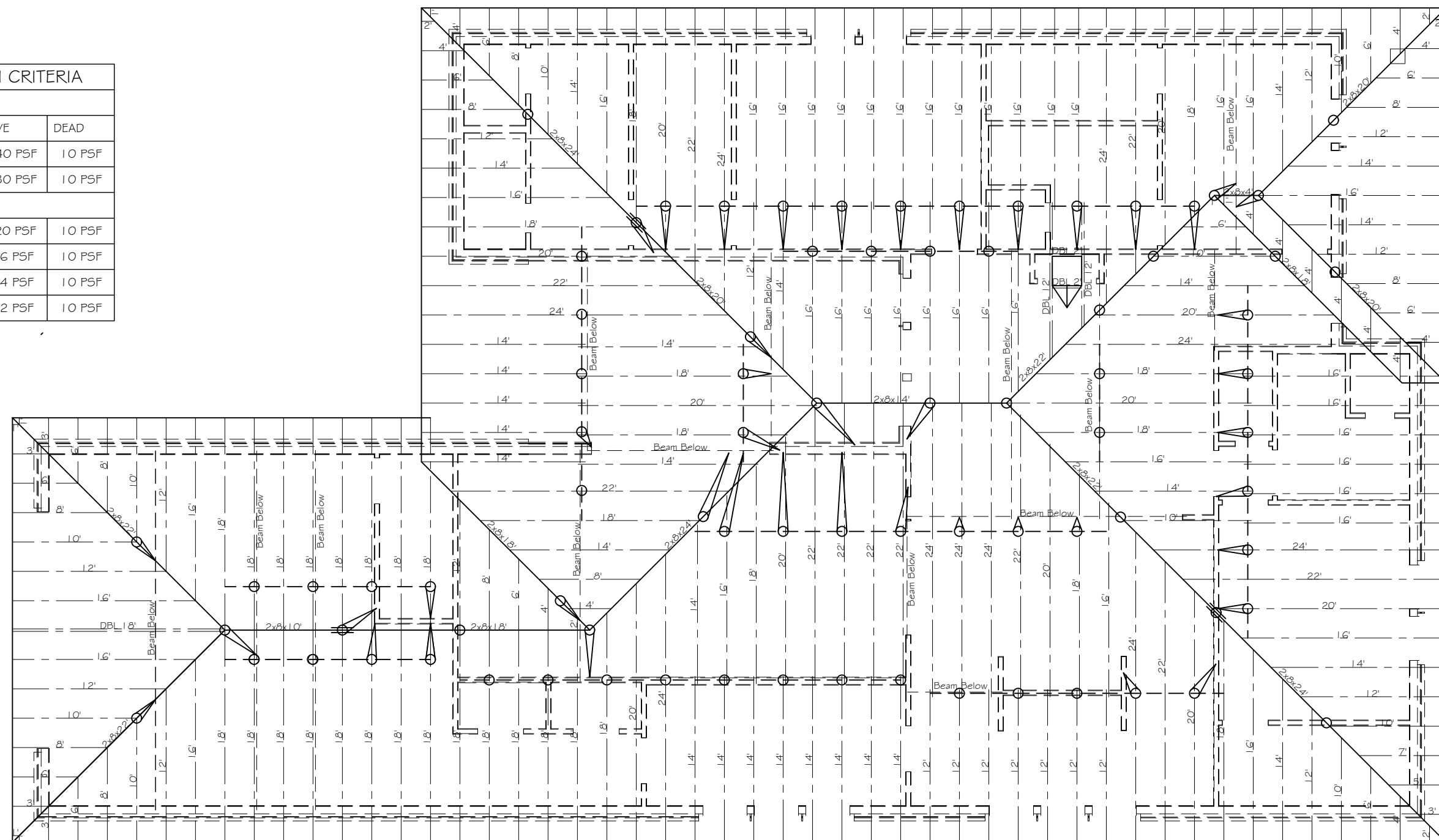
| | |
|------------------------|--------------------------------|
| PLAN: CUSTOM | BUILDER: ASTURIAS DEVELOPMENTS |
| ELD JOB NO: DIF20-0868 | ADDITION: 38 SHADYDALE - PR |
| DRAWN BY: RS | ADDRESS: 38 SHADY DALE LANE |
| CHECKED BY: ELD | LOT: 8 |
| | CITY: ROCKWALL, TX |

SCALE: 1/8"=1'-0"



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| LOAD DESIGN CRITERIA | | |
|----------------------|--------|--------|
| FLOOR | LIVE | DEAD |
| RESIDENTIAL LIVING | 40 PSF | 10 PSF |
| RESIDENTIAL ATTIC | 30 PSF | 10 PSF |
| ROOF | | |
| 6/12 OR LESS | 20 PSF | 10 PSF |
| 8/12 | 16 PSF | 10 PSF |
| 10/12 | 14 PSF | 10 PSF |
| 12/12 OR GREATER | 12 PSF | 10 PSF |



FIRST FLOOR - - - - -
 SECOND FLOOR - - - - -

ROOF PLAN

Eric L. Davis

 ERIC L. DAVIS
 86895
 LICENSED PROFESSIONAL ENGINEER

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ROOF FRAMING
 ENGINEERED FOR
ASTURIAS DEVELOPMENTS

| | |
|--------------------------------|------------------------|
| BUILDER: ASTURIAS DEVELOPMENTS | PLAN: CUSTOM |
| ADDITION: 38 SHADYDALE - PR | ELD JOB NO: DIF20-0868 |
| ADDRESS: 38 SHADY DALE LANE | DRAWN BY: RS |
| LOT: 8 | CHECKED BY: ELD |
| CITY: ROCKWALL, TX | |

SCALE: 1/8"=1'-0"

NOTE: MINIMUM DECKING MATERIAL IS TO BE 7/16" OSB (APA APPROVED) OR 1/2" CDX PLYWOOD. FOR RAFTER IN CENTERS GREATER THAN 12", A SIMPSON (OR EQUAL) PLY CLIP MUST BE PLACED IN CENTER SPAN OF EACH. PERPENDICULAR RAFTER SUPPORT AT EDGE BUTT JOINT OF ROOF DECKING. IF SOLID WOOD BRACING IS USED UNDER BUTT JOINTS. THE REQUIREMENTS OF PLY CLIP ID NEGATED.

RECOMMENDED PANEL SHEATHING CLIPS:
 7/16" OSB-----SIMPSON (OR EQUAL) P5CL 7/16
 1/2" CDX PLYWOOD---SIMPSON (OR EQUAL) P5CL 1/2

DECKING NAILING REQUIREMENTS TO MEET 90 psf UPLIFT RESISTANCE:
 SHEATHING INSTALLED PERPENDICULAR TO SUPPORTS MUST BE NAILED WITH 8d (OR EQUIVALENT) NAILS AT 6" O.C. MAX AT BOTH ENDS AND 12" O.C. AT INTERIOR SUPPORTS.

| RAFTER SPAN CHART PER NEW SYP VALUES | | | |
|--|----------|-----------|-----------|
| RAFTER SPANS-(CEILING NOT ATTACHED-SYP #2 GRADE) | | | |
| | 12" O.C. | 16" O.C. | 24" O.C. |
| 2x6's | 14' - 9" | 13' - 5" | 11' - 0" |
| 2x8's | 19' - 6" | 17' - 1" | 13' - 11" |
| 2x10's | 23' - 5" | 20' - 3" | 16' - 6" |
| 2x12's | 26' - 0" | 23' - 10" | 19' - 6" |

(*) INDICATES THE LISTED SPAN HAS BEEN LIMITED TO 26' - 0" BASED ON AVAILABILITY. CHECK SOURCES OF SUPPLY FOR LUMBER LONGER THAN 20'

| THRUST RESISTANCE BRACING FOR RIDGE BEAMS | | |
|---|-----------------------------|--|
| RIDGE BEAM | CLEAR SPAN BETWEEN SUPPORTS | |
| 2" X 8" | 8' | |
| 2" X 10" | 10' | |
| 2" X 12" | 12' | |
| 2-2 X 12" | 16' | |
| 1-3/4" X 14" MICROLAM | 20' | |

IF THE ABOVE CONDITIONS ARE MET, THE REQUIREMENTS FOR THRUST CLIPS OR HORIZONTAL BRACING OF THE EXTERIOR WALLS WHERE CEILING JOISTS ARE PERPENDICULAR TO ROOF RAFTERS CAN BE ELIMINATED.

| NAILING REQUIREMENTS FOR MULTIPLE PLY BEAMS | | |
|---|--------------------------------|-------------------------|
| 6" DEPTH | 2 ROWS OF 12D NAILS @ 12" O.C. | (EACH LAMINATION LAYER) |
| 8" DEPTH | 2 ROWS OF 12D NAILS @ 12" O.C. | (EACH LAMINATION LAYER) |
| 10" DEPTH | 3 ROWS OF 12D NAILS @ 12" O.C. | (EACH LAMINATION LAYER) |
| 12" DEPTH | 3 ROWS OF 12D NAILS @ 12" O.C. | (EACH LAMINATION LAYER) |
| 14" DEPTH | 4 ROWS OF 12D NAILS @ 12" O.C. | (EACH LAMINATION LAYER) |
| 16" DEPTH | 4 ROWS OF 12D NAILS @ 12" O.C. | (EACH LAMINATION LAYER) |
| 18" DEPTH | 5 ROWS OF 12D NAILS @ 12" O.C. | (EACH LAMINATION LAYER) |

NOTE: IF OSB IS BETWEEN LAMINATIONS, THEN 16D NAILS MUST BE USED

| SIMPSON HANGERS LISTING | | |
|-------------------------|--|-----------------------------------|
| H2.5A | HURRICANE TIE | UPLIFT/THRUST |
| H5A | HURRICANE TIE | UPLIFT/THRUST |
| CS16 | STRAP BRACING | TIE-DOWN/X-BRACING |
| HTT16 | SHEARWALL HOLDOWN CONNECTORS | 5/8" BOLT/18-16D NAILS |
| STHD10 | SHEARWALL HOLDOWN CONNECTORS | EMBEDDED IN CONCRETE |
| U26 | SINGLE 2X6 & 2X8 JOIST HANGER | 6-10D HDR/4-10D X 1-1/2" JOIST |
| U26-2 | DOUBLE 2X6 & 2X8 JOIST HANGER | 6-10D HDR/4-10D JOIST |
| U210 | SINGLE 2X10 & 2X12 JOIST HANGER | 10-10D HDR/6-10D X 1-1/2" JOIST |
| U210-2 | DOUBLE 2X10 & 2X12 JOIST HANGER | 14-10D HDR/6-10D JOIST |
| U210-3 | TRIPLE 2X10 & 2X12 JOIST HANGER | 14-10D HDR/6-10D JOIST |
| HHU5210-4 | QUAD 2X10 & 2X12 JOIST HANGER | 30-16D HDR/10-16D JOIST |
| L530 | 2X4 ADJUSTABLE GUSSET ANGLE BRACE | 0°-135° |
| L550 | 2X6 ADJUSTABLE GUSSET ANGLE BRACE | 0°-135° |
| L570 | 2X8 ADJUSTABLE GUSSET ANGLE BRACE | 0°-135° |
| L590 | 2X10 & 12 ADJUSTABLE GUSSET ANGLE BRACE | 0°-135° |
| HHU5410 | 3-1/2X11 1/4 STRUCTURAL COMPOSITE LUMBER HANGERS | 30-16D HDR/10-16D JOIST UP TO 18" |
| HHU55.50/10 | 5-1/4X11 1/4 STRUCTURAL COMPOSITE LUMBER HANGERS | 30-16D HDR/10-16D JOIST UP TO 12" |

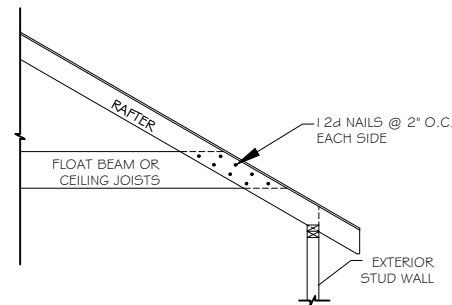
NOTE: HANGER NOT LISTED ABOVE WILL BE NOTED ON PLANS.

NOTES:

- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES.
- RAFTERS AND PLATES SHALL BE #2 S.Y.P. STUDS MAY BE EITHER #2 S.Y.P. OR SPF FINGER-JOINT
- ALL RAFTERS/LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2015 IRC
- RAFTERS OR PURLIN BRACE OVER 8' IN LENGTH MUST BE DOUBLED OR T-BACK FOR REINFORCEMENT.
- ALL RAFTERS ARE 2X6 SYP # 2 @ 24" O.C. UNLESS OTHERWISE NOTED. ALL HIP, RIDGE AND VALLEY RAFTERS ARE 2X8 SYP # 2 AND SHALL NOT BE LESS IN DEPTH THAN THE CUT END OF THE RAFTER. UNLESS OTHERWISE NOTED. SPLICE IN MEMBER TO BE SUPPORTED BY STRUT BRACE OR BEAM.
- 2X8 RIDGE BEAM SHALL HAVE MINIMUM 2X4 BRACING @ 8' O.C. NOT LESS THAN 45 DEGREES.
- PURLINS, (RAFTER BRACES) MUST BE AT OR ABOVE A 45° ANGLE REFERENCED FROM THE HORIZONTAL PLANE AT WHICH THE PURLIN IS TO BE FASTENED TO A BEAM OR TOP PLATE OF A WALL.
- CONDITIONS OF RAFTER/TOP PLATE INTERSECTION:
 A) INSTALL SIMPSON H2.5 EVERY OTHER RAFTER/TOP PLATE INTERSECTION WHERE FLOOR/CEILING JOISTS RUN PERPENDICULAR TO RAFTERS.
 B) INSTALL SIMPSON H2.5 EVERY OTHER RAFTER/TOP PLATE INTERSECTION ON BOTH INSIDE AND OUTSIDE OF TOP PLATE WHERE FLOOR/CEILING JOISTS RUN PARALLEL TO RAFTERS. THRUST RESISTANCE BRACING OF RIDGES MAY SUPERSEDE THIS REQUIREMENT.
- ALL HIP, VALLEY, AND RIDGE RAFTERS SHALL BE THE NEXT LARGER NOMINAL SIZE OF LUMBER IN REFERENCE TO COMMON OR JACK RAFTER SIZE.
- VALLEY OR HIP RAFTERS IN PAN CEILINGS MAY BE RIPPED TO THE SAME DEPTH AS THE END CUT DEPTH OF COMMON OR JACK INTERSECTING RAFTERS.
- ALIGN JACK RAFTERS TO BE WITHIN 1 1/2" OF OPPOSING RAFTERS.
- BLOCK FLOATING BEAMS @ 2'-0" TO ADJACENT FRAMING. ATTACH BLOCKING TO TOP 6" OF FLOATING BEAM.

| BRICK LINTEL SCHEDULE | | |
|-----------------------|---------------------|--------------------|
| CLEAR SPAN | SUPPORT ON EACH END | STEEL ANGLE |
| 5' or Less | 3" | 3-1/2"x3-1/2"x1/4" |
| 7'-0" | 6" | 4"x3-1/2"x5/16" |
| 8'-0" | 6" | 5"x3-1/2"x5/16" |
| 9'-0" | 8" | 5"x3-1/2"x3/8" |
| 10'-0" | 8" | 6"x3-1/2"x3/8" |
| 16'-0" | 12" | *8"x4"x1/2" |

* Indicates requirement for holes in vertical leg @ 16" O.C. for 3-1/2" lag bolts (loosely secured to header/beam to prevent rotation).
 * Brick lintel schedule sizes assume arch action, an interrupted area formed by a 45° angles from each end. If arch action is interrupted this office must be contacted.

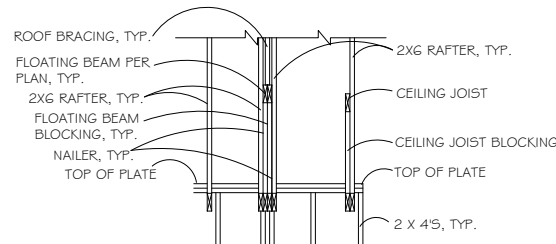


CONNECTION DETAIL
N.T.S.

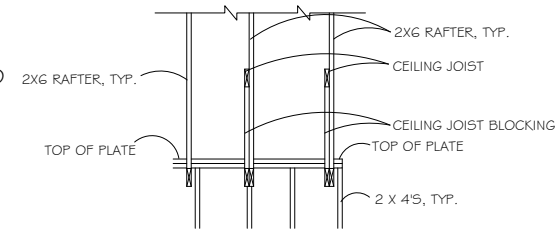
| STUD HEIGHT SCHEDULE | | | | | | | | | | | |
|----------------------|-------------|-----|-----|--------|--------|-----|-----|-----|-----|---------|---------|
| STUD SIZE | WALL HEIGHT | | | | | | | | | | |
| | 8' | 9' | 10' | 11' | 12' | 13' | 14' | 15' | 16' | 18' | 20' |
| 2x4 | 16" | 16" | 16" | NOTE C | NOTE C | | | | | | |
| 2x6 | | | 16" | 16" | 16" | 16" | 16" | 12" | 12" | (2) 16" | (2) 16" |
| 2x8 | | | | | | | | 16" | 16" | 16" | 16" |

STUDS ON CENTER

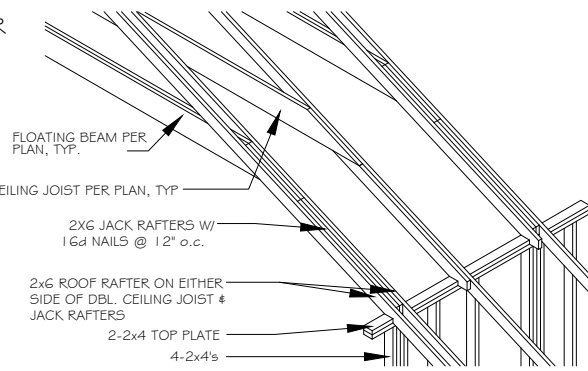
A) 115 M.P.H. EXP. B
 B) FINGER JOINTED IS PERMITTED TO USE INTERCHANGEABLY WITH SOLID SAWN MEMBERS OF THE SAME SPECIES WITH A MAXIMUM WALL STUD HEIGHT OF 12 FT. AND CERTIFIED EXTERIOR JOINTS.
 C) 16 IN. ON CENTER WITH A DBL STUD EVERY 3RD STUD (32 IN.)



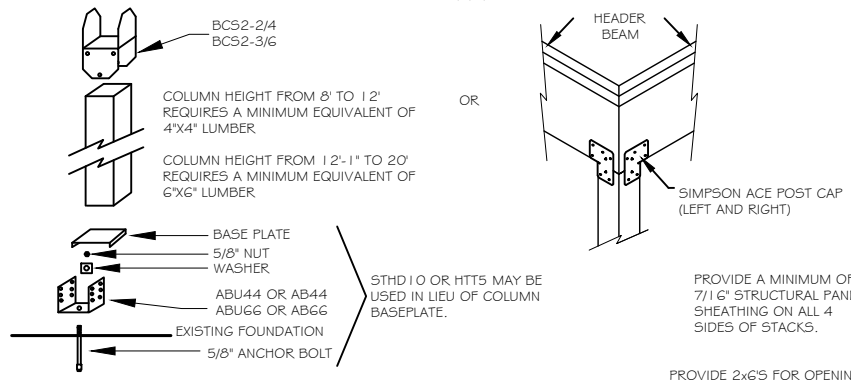
TIE TO RAFTERS
FLOATING BEAM DETAIL
N.T.S.



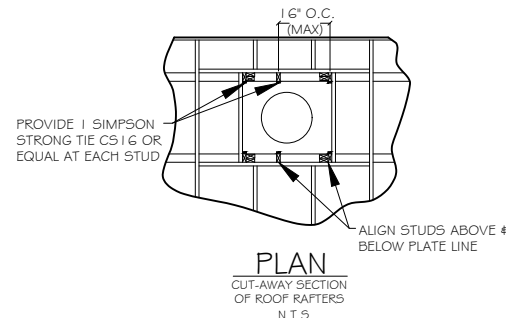
TIE TO RAFTERS
CEILING JOISTS DETAIL
N.T.S.



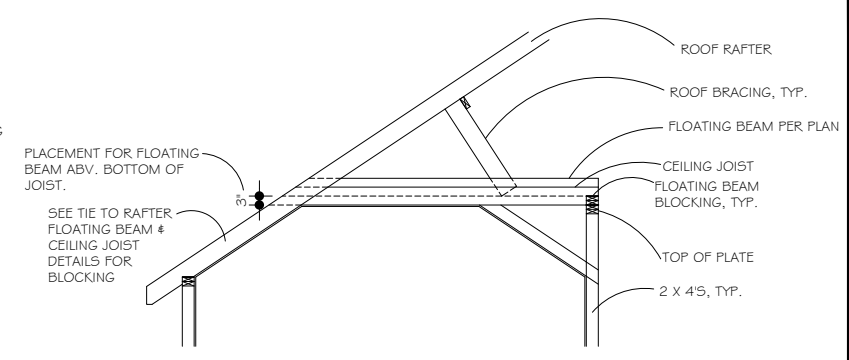
RAFTER TIE DETAIL
N.T.S.



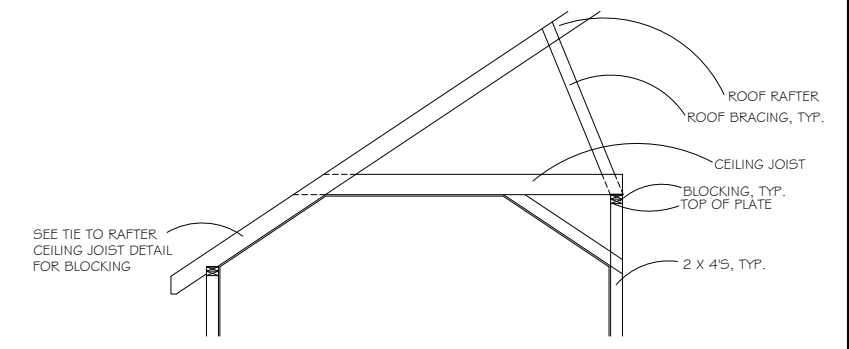
STANDARD COLUMN DETAIL
SCALE: NTS



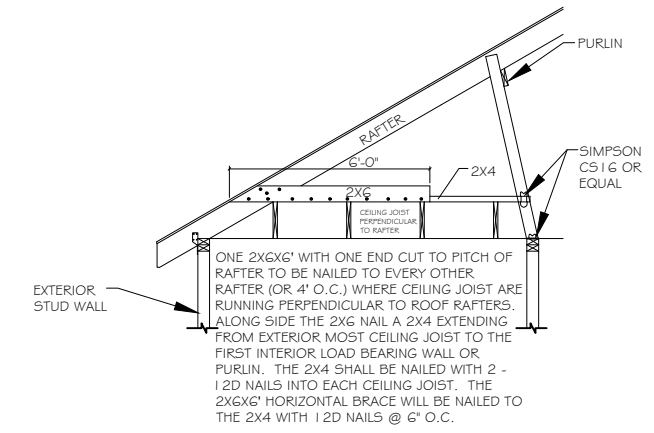
PLAN
CUT-AWAY SECTION OF ROOF RAFTERS
N.T.S.



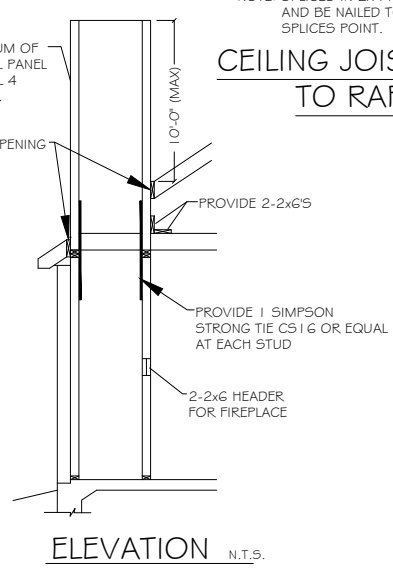
VAULTED CEILING ON HIP
RAFTERS FLOATING BEAM DETAIL
N.T.S.



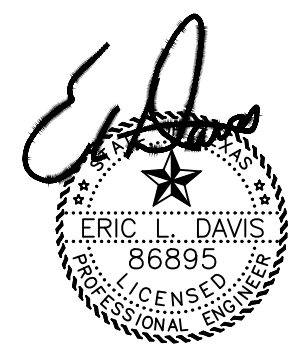
VAULTED CEILING ON HIP RAFTERS DETAIL
N.T.S.



CEILING JOISTS PERPENDICULAR TO RAFTER TIE DETAIL
N.T.S.

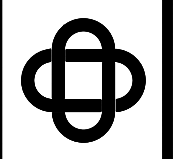


ELEVATION
N.T.S.



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09/09/2020



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ROOF FRAMING NOTES
 ENGINEERED FOR:
ASTURIAS DEVELOPMENTS

| | |
|--------------------------------|------------------------|
| PLAN: CUSTOM | ELD JOB NO: DIF20-0868 |
| BUILDER: ASTURIAS DEVELOPMENTS | DRAWN BY: RS |
| ADDITION: 38 SHADYDALE - PR | CHECKED BY: ELD |
| ADDRESS: 38 SHADY DALE LANE | LOT: 8 |
| | BLOCK: 1 |
| | CITY: ROCKWALL, TX |

SCALE: 1/8"=1'-0"

ADVANCED FRAMING IRC REFERENCES

SINGLE TOP PLATE

- **IRC Code, in Section R602.3.2 Top Plate:** Exception: A single top plate may be installed in stud walls, provided that the plate is adequately tied at joints, corners, and intersecting walls by a minimum 3-inch-by-6-inch by 0.036 inch-thick (76 mm by 152 mm by 0.914 mm) galvanized steel plate that is nailed to each wall or segment of wall by six 8d nails on each side, provided that the rafters or joists are centered over the studs with a tolerance of no more than 1 inch (25.4 mm). The top plate may be omitted over lintels that are adequately tied to adjacent wall sections with steel plates or equivalent as previously described.

- **IRC Code, in Figure 602.3(2):** The figure label states "single or double top plate."

- **IRC Code, in Section R602.5:** Interior, nonbearing walls shall be permitted to be constructed with 2-inch-by-3-inch (51 mm by 76 mm) studs spaced 24 inches (610 mm) on center or, when not part of a braced wall line, 2-inch-by-4-inch (51 mm by 102 mm) flat studs spaced at 24 inches (406 mm) on center. Interior, nonbearing walls shall be capped with at least a single top plate. Interior, nonbearing walls shall be fireblocked in accordance with Section R602.5.

- **IRC Table R602.3(1):** For top or sole plate to stud (end nail), two 16d fasteners are required.

NO HEADERS IN NON-LOAD-BEARING WALLS

- **IRC Code, Section R602.7.1:** Nonbearing walls. Load-bearing headers are not required in interior or exterior nonbearing walls. A single, flat 2-inch-by-4-inch (51 mm by 102 mm) member may be used as a header in interior or exterior nonbearing walls for openings up to 8 feet (2438 mm) in width if the vertical distance to the parallel nailing surface above is not more than 24 inches (610 mm). For such nonbearing headers, no cripples or blocking is required above the header.

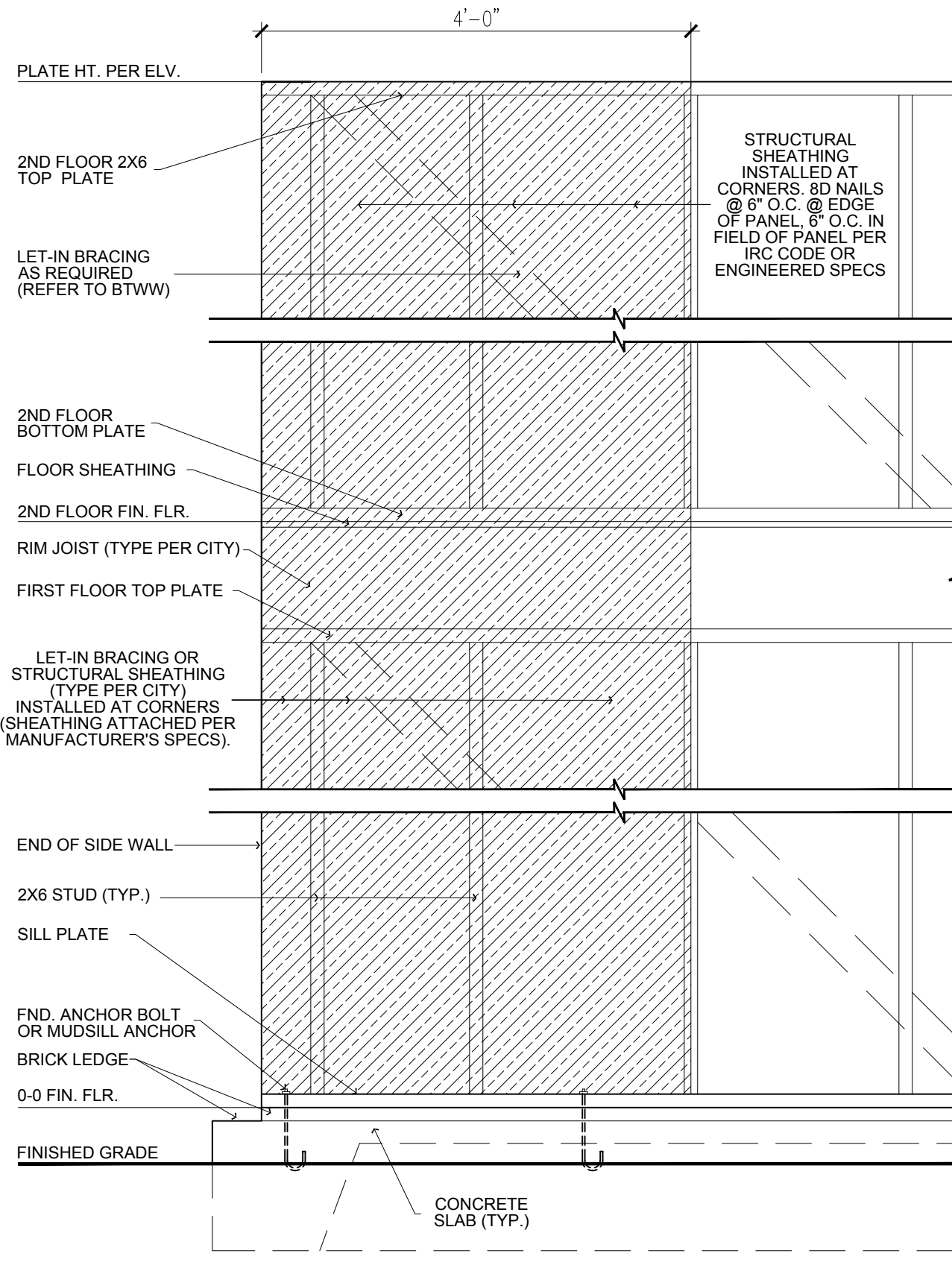
- **IRC Code Table R702.3.5 Minimum Thickness and Application of Gypsum Board:** Allows the use of 24-inch-on-center framing for fastening gypsum board with either fasteners or adhesive 1/2 inch thickness or greater.

- **IRC Code Section R703 Exterior Covering:** Structural sheathing and siding requirements are based on Table R703.3(1).

DRYWALL CLIPS

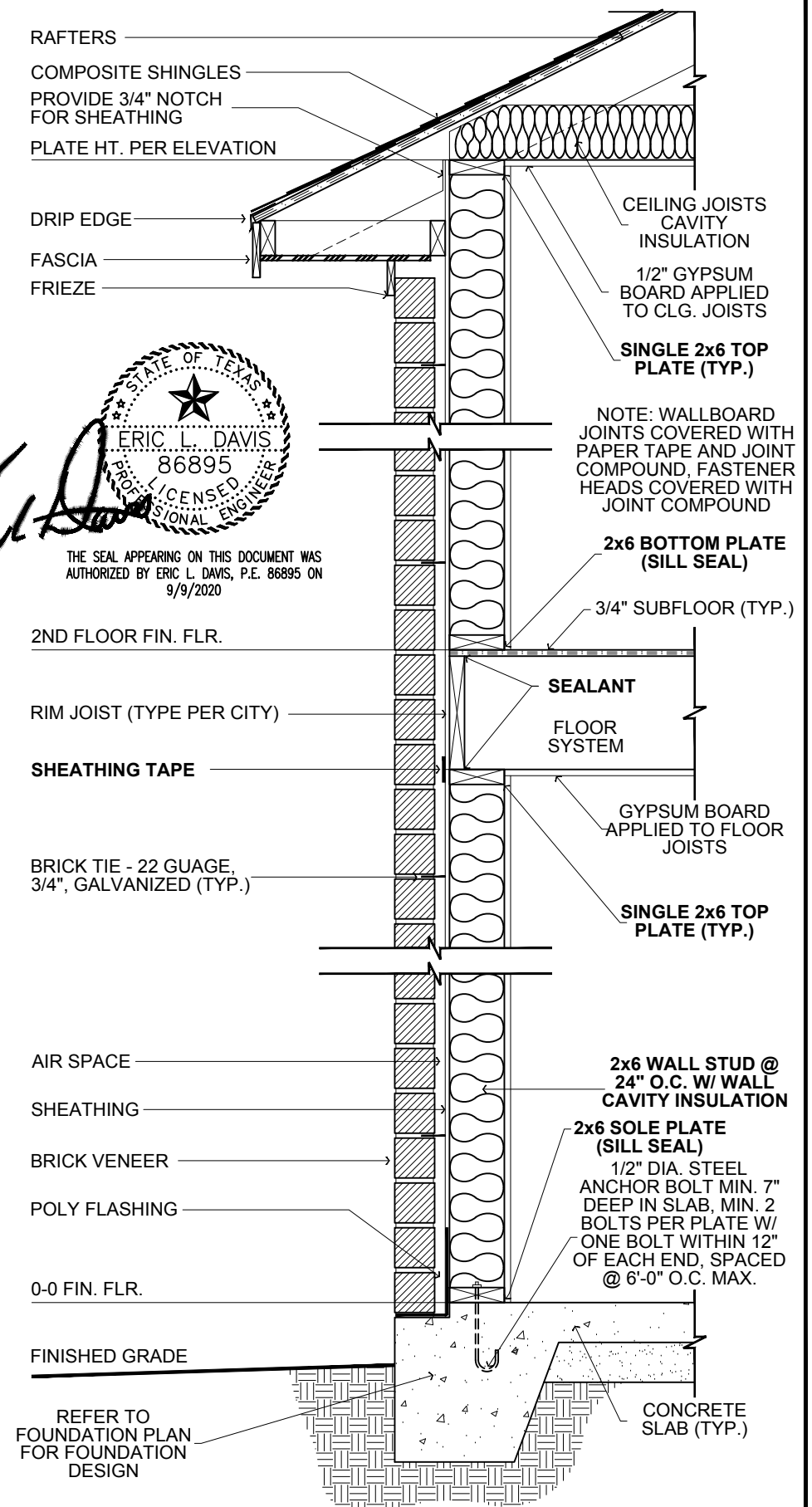
- **IRC Code, Section R602.3 Design and Construction:** Exterior walls of wood-frame construction shall be designed and constructed in accordance with the provisions of this chapter and Figures R602.3(1) and R602.3(2) or in accordance with AF and PA's NDS. Components of exterior walls shall be fastened in accordance with Table R602.3(1) through R602.3(4). [Excerpt]

- **IRC Code, Figure R602.3(2):** Note: A third stud and/or partition intersection backing studs shall be permitted to be omitted through the use of wood back-up cleats, metal drywall clips, or other approved devices that will serve as adequate backing for the facing materials.



TYPICAL CORNER FRAMING

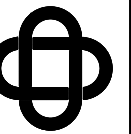
SCALE: NTS



TYPICAL WALL SECTION (ADVANCED FRAMING)

SCALE: NTS

09/09/2020



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ROOF FRAMING NOTES
ENGINEERED FOR:

ASTURIAS
DEVELOPMENTS

PLAN: CUSTOM
BUILDER: ASTURIAS DEVELOPMENTS
ADDITION: 38 SHADYDALE - PR
ADDRESS: 38 SHADY DALE LANE
LOT: 8
BLOCK: 1
CITY: ROCKWALL, TX
ELD JOB NO: DIF20-0868
DRAWN BY: RS
CHECKED BY: ELD

SCALE: 1/8"=1'-0"

S-04



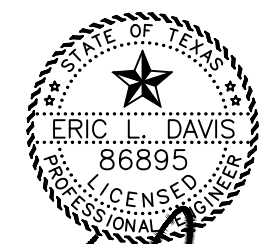
ERIC L. DAVIS ENGINEERING, INC.
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ROOF FRAMING NOTES
 ENGINEERED FOR
ASTURIAS DEVELOPMENTS

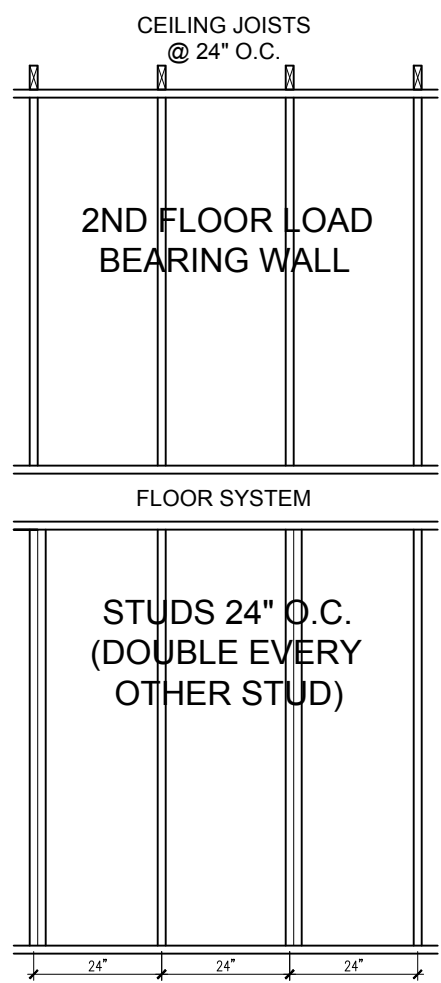
PLAN: CUSTOM
 ELD JOB NO: DIF20-0868
 DRAWN BY: RS
 CHECKED BY: ELD
 LOT: 8 BLOCK: 1
 CITY: ROCKWALL, TX

SCALE: 1/8"=1'-0"

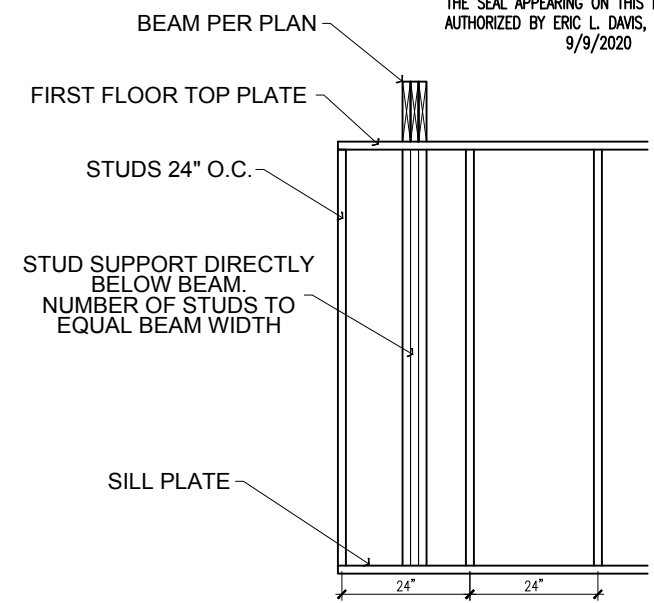
ADVANCED FRAMING CONNECTIONS, INTERIOR STUD SPACING, AND INTERIOR HEADERS



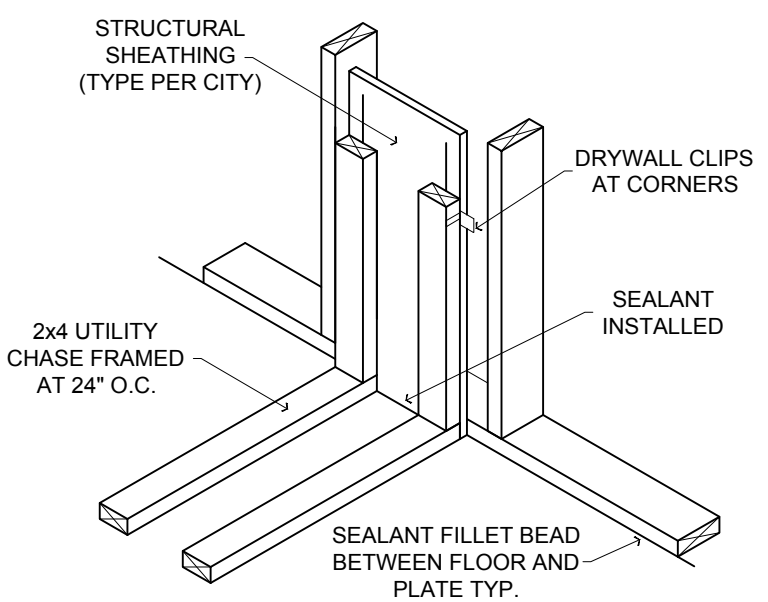
Eric L. Davis
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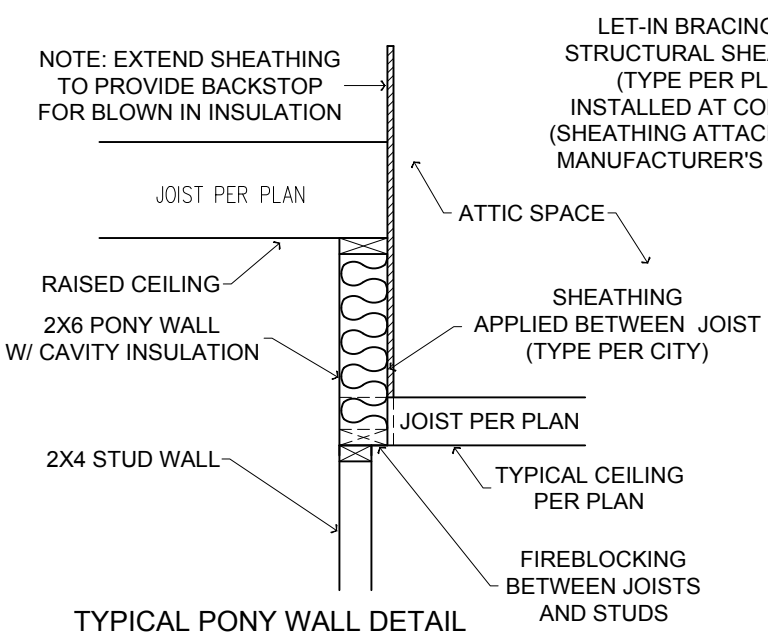
INTERIOR STUD WALL W/ 2ND FLR. LOAD BEARING WALL ABV.



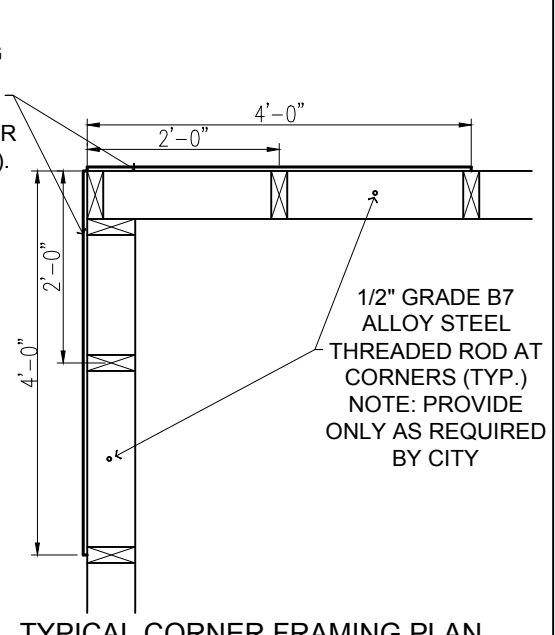
TYP. BEAM SUPPORT AT STUD WALL



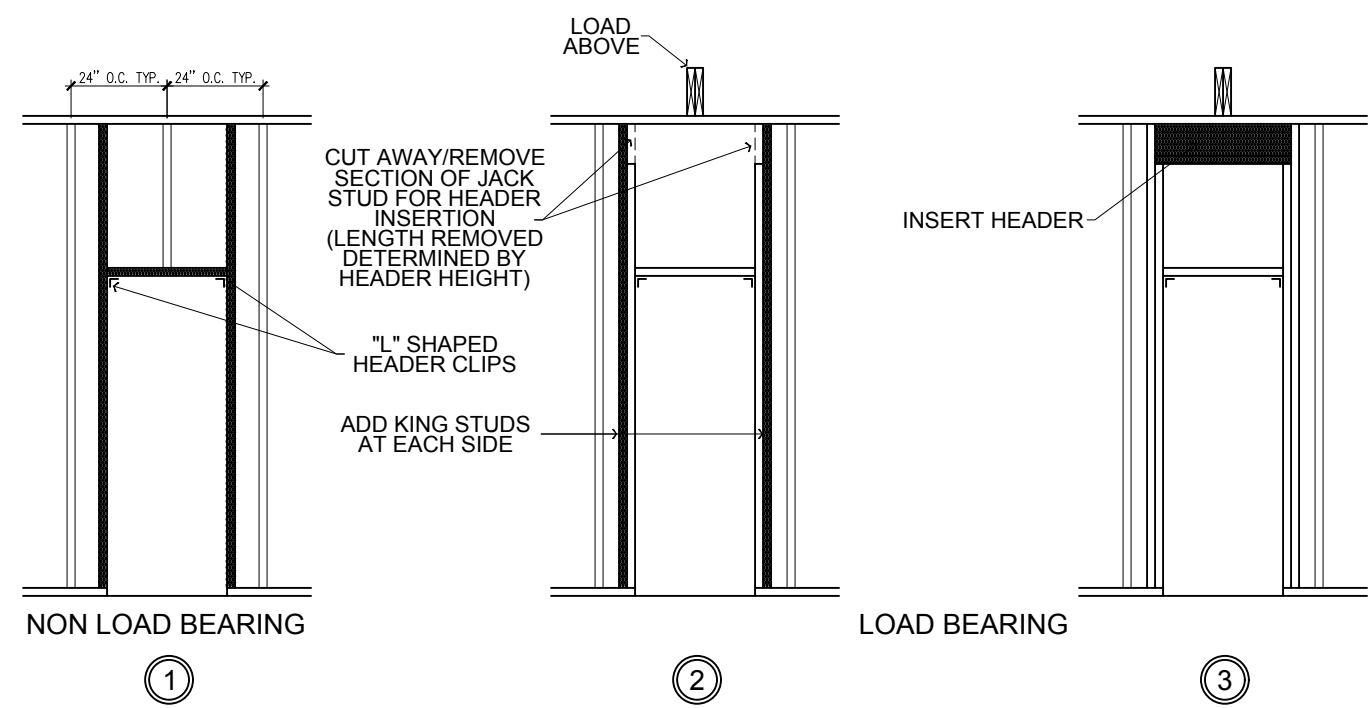
AIR SEALING AT MECH CHASE



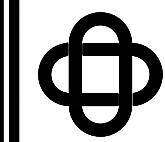
TYPICAL PONY WALL DETAIL



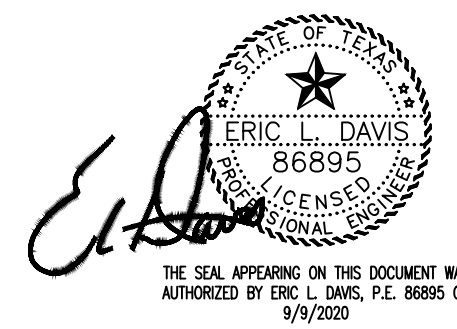
TYPICAL CORNER FRAMING PLAN



INTERIOR WALL HEADER INSTALLATION



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BEAM DESIGN CRITERIA

- ALL HEADERS SHOULD BE #2 SYP LUMBER.
- * LVL OR EQUIVALENT ENGINEERED BEAM TO MEET MINIMUM REQUIREMENTS OF 1.9 MOE & 2900Fb ULTIMATE BENDING STRESS.
- THIS TABLE ASSUMES 5 PSL SNOW LOAD, 10 PSF DL / 20 PSF LL FOR RAFTERS, 10 PSF DL / 20 PSF LL FOR CEILING JOIST, AND 10 PSF DL / 40 PSF LL FOR FLOOR JOIST/TRUSSES. FOR ANY LOADS (PSF) EXCEEDING THESE AMOUNTS, REFER TO THE IRC HEADER SCHEDULE TABLES R502.5(1) AND R502.5(2).
- STUD SIZE AND SPACING SHALL BE PER TABLE R602.3(5) OF THE IRC. WHERE ADVANCED FRAMING TECHNIQUES REQUIRE SPACING AT 24 INCHES O.C., EVERY OTHER STUD SHALL BE DOUBLED TO BE EQUIVALENT TO THE 16 INCHES O.C. SPACING OF THE PERSPCRIPTIVE TABLE.
- THE ABOVE HEADER SCHEDULE IS NOT SITE SPECIFIC AND MAY BE USED AT ANY LOCATION.
- THE STANDARD DETAILS ARE BASED ON LOAD CONDITIONS IDENTIFIED IN THE ATTACHED HEADER SCHEDULE WITH MAXIMUM RAFTER/CEILING/FLOOR JOIST SPAN OF SIXTEEN (16') FEET. HEADERS MUST BE ENGINEERED IF LOADS EXCEED THESE LIMITATIONS.

ALL HEADERS IN A 6" NARROW SHEARWALL ASSEMBLY MUST BE EQUAL TO THE COLUMN SIZE.

HEADER SCHEDULE

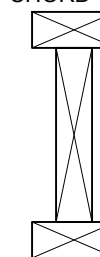
| | HEADER SIZE | MAX SPAN | DIAGRAM |
|---|-----------------------|-----------|---------|
| ① ROOF LOADING EXTERIOR WALL | (1) 2X8 | 4' - 1" | |
| | (1) 2X12 | 5' - 6" | |
| | * 1 3/4" X 9 1/4" LVL | 8' - 0" | |
| | PER ENGINEER | ≥ 8' - 1" | |
| ② ROOF LOADING INTERIOR WALL | (1) 2X8 | 3' - 1" | |
| | (1) 2X12 | 4' - 2" | |
| | * 1 3/4" X 9 1/4" LVL | 6' - 3" | |
| | PER ENGINEER | ≥ 6' - 4" | |
| ③ ROOF AND FLOOR LOADING EXTERIOR WALL | (1) 2X8 | 3' - 1" | |
| | (1) 2X12 | 3' - 10" | |
| | * 1 3/4" X 9 1/4" LVL | 6' - 1" | |
| | PER ENGINEER | ≥ 6' - 2" | |
| ④ ROOF AND FLOOR LOADING INTERIOR WALL | (1) 2X12 | 3' - 2" | |
| | * 1 3/4" X 9 1/4" LVL | 4' - 5" | |
| | PER ENGINEER | ≥ 4' - 6" | |
| | | | |

HEADER CONFIGURATIONS

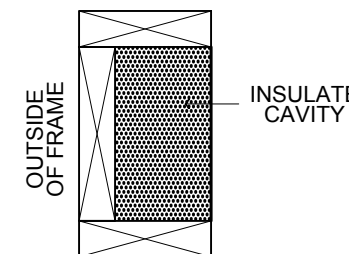
REFERENCE SCHEDULE FOR SIZES

NAILING PATTERN: 12D COMMON NAILS @ 4" OC (TOP AND BOTTOM)
 TOP & BOTTOM CORD TO BE FASTENED TO KING STUD WITH 2-12D NAILS (EACH SIDE @ EACH CORD)

NOTE: TOP PLATE USED AS TOP CHORD OF HEADER



"1" INTERIOR WALLS



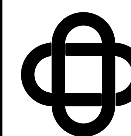
"C" EXTERIOR WALLS

ADVANCED FRAMING HEADERS

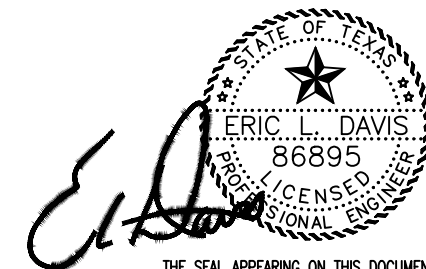
ROOF FRAMING NOTES
 ENGINEERED FOR
ASTURIAS DEVELOPMENTS

| | |
|--------------------------------|------------------------|
| PLAN: CUSTOM | ELD JOB NO: DIF20-0868 |
| BUILDER: ASTURIAS DEVELOPMENTS | DRAWN BY: RS |
| ADDITION: 38 SHADYDALE - PR | CHECKED BY: ELD |
| ADDRESS: 38 SHADY DALE LANE | LOT: 8 |
| | BLOCK: 1 |
| | CITY: ROCKWALL, TX |

SCALE: 1/8"=1'-0"

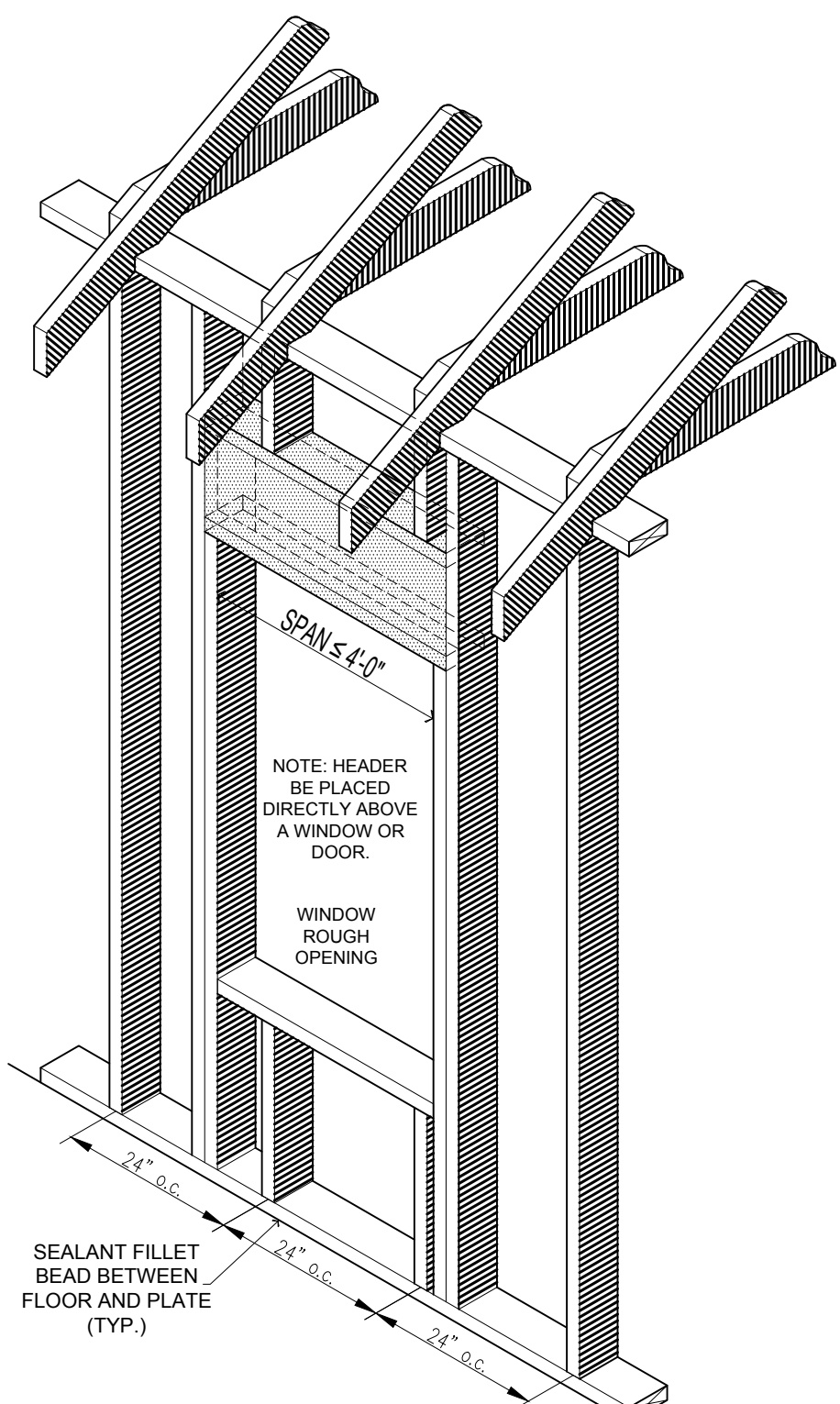
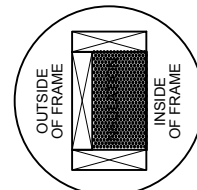
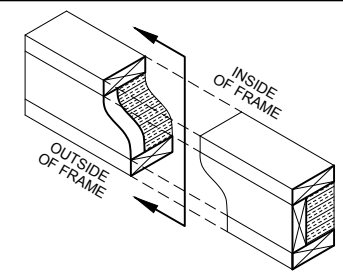


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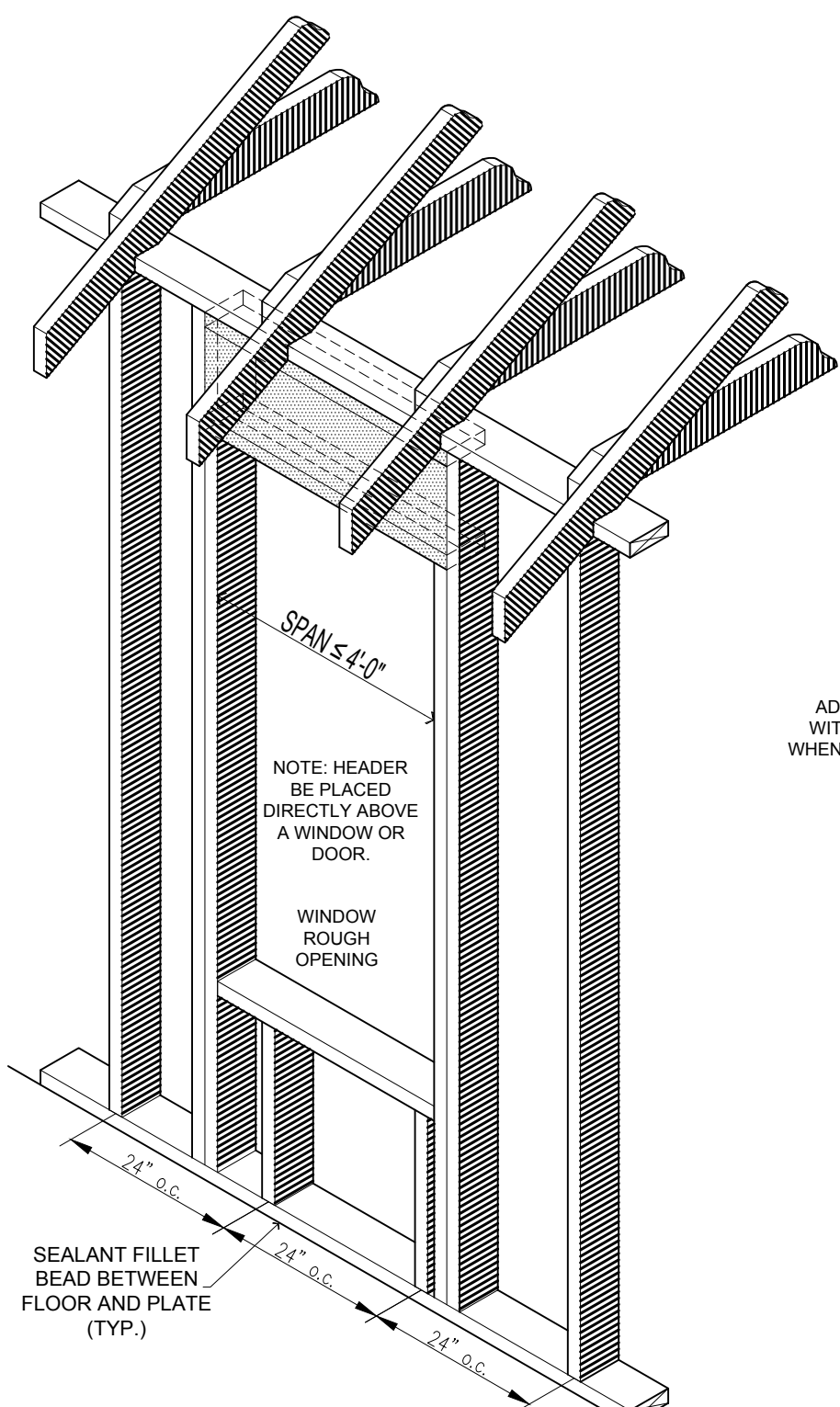


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NOTE: FOR "C" SHAPED HEADERS ON EXTERIOR WALLS, HEADER INSULATION CAVITY TO FACE INSIDE OF FRAME WALL

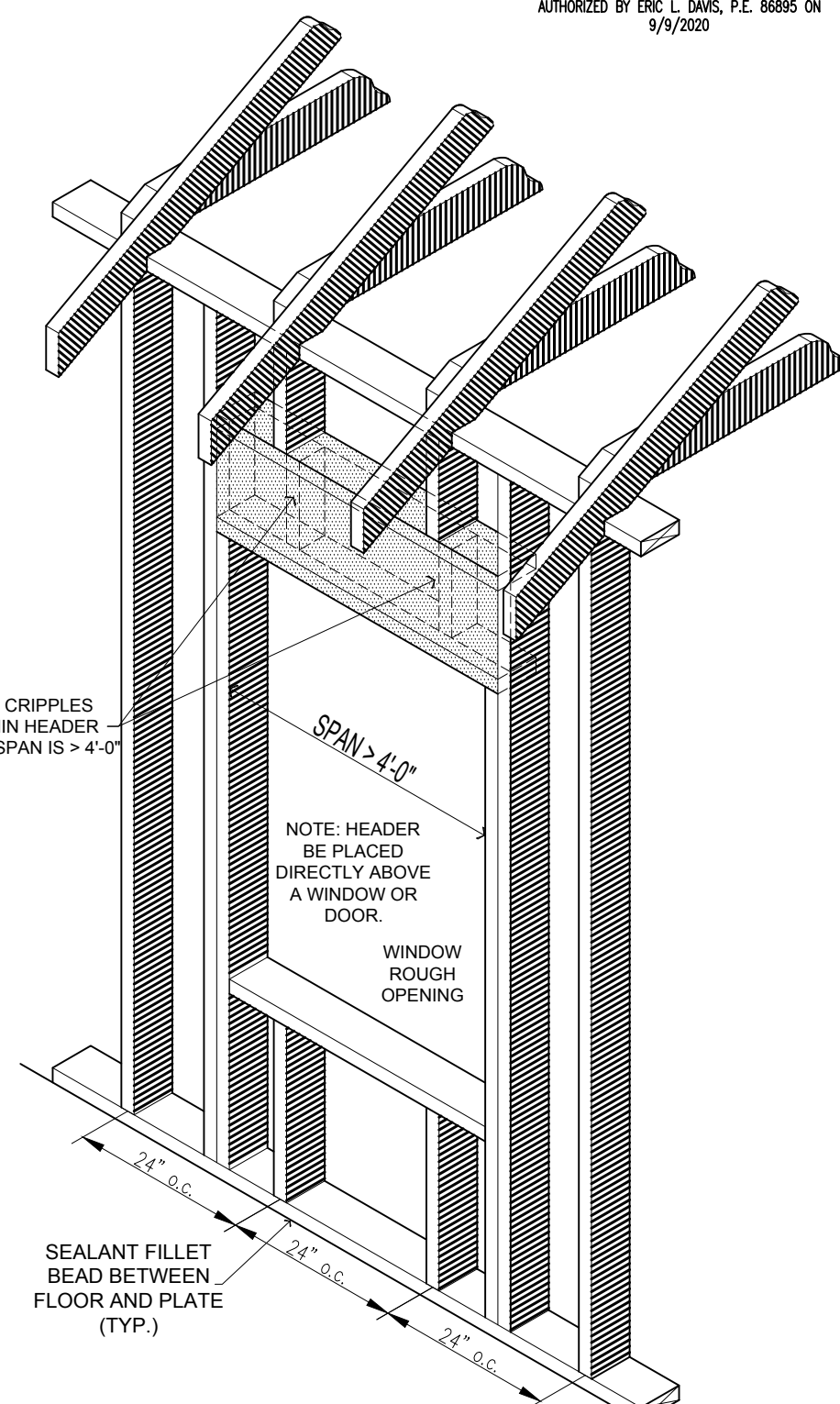


HEADER PLACED BELOW PLATE
 SPAN ≤ 4'-0"



HEADER PLACED AT PLATE
 SPAN ≤ 4'-0"

ADD CRIPPLES WITHIN HEADER WHEN SPAN IS > 4'-0"



HEADER PLACED BELOW PLATE
 SPAN > 4'-0"

ROOF FRAMING NOTES
 ENGINEERED FOR:

ASTURIAS DEVELOPMENTS

| | |
|--------------------------------|------------------------|
| PLAN: CUSTOM | ELD JOB NO: DIF20-0868 |
| BUILDER: ASTURIAS DEVELOPMENTS | DRAWN BY: RS |
| ADDITION: 38 SHADYDALE - PR | CHECKED BY: ELD |
| ADDRESS: 38 SHADY DALE LANE | LOT: 8 |
| | BLOCK: 1 |
| | CITY: ROCKWALL, TX |

SCALE: 1/8"=1'-0"

FASTENER SCHEDULE

IRC - TABLE R602.3(1)

| DESCRIPTION OF BUILDING ELEMENTS | NUMBER AND TYPE OF FASTENER (A,B,C,D) | SPACING OF FASTENERS |
|--|---------------------------------------|---|
| JOIST TO SILL OR GIRDER, TOE NAIL | 3-8D | |
| 1"X6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL | 2-8D 2-1 3/4" 16 GAGE STAPLE | |
| 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL | 2-16D | |
| SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL | 16D | 16" O.C. |
| TOP OR SOLE PLATE TO STUD, END NAIL | 2-16D | |
| STUD TO SOLE PLATE, TOE NAIL | 3-8D 2-16D | |
| DOUBLE STUD, FACE NAIL | 10D | 24" O.C. |
| DOUBLE TOP PLATE, FACE NAIL | 10D | 24" O.C. |
| SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL | 3-16D | 16" O.C. |
| DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, ACE NAIL IN LAPPED AREA | 8-16D | |
| BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL | 3-8D | |
| RIM JOIST TO TOP PLATE, TOE NAIL | 8D | 6" O.C. |
| TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL | 2-10D | |
| BUILT-UP HEADER, TWO PIECES WITH 1/2-INCH SPACER | 16D | 16" O.C. ALONG EACH EDGE |
| CONTINUOUS HEADER, TWO PIECES | 16D | 16" O.C. ALONG EACH EDGE |
| CEILING JOIST TO PLATE, TOE NAIL | 3-8D | |
| CONTINUED HEADER TO STUD, TOE NAIL | 4-8D | |
| CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL | 3-10D | |
| CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL | 3-10D | |
| RAFTERS TO PLATE, TOE NAIL | 2-16D | |
| 1" BRACE TO EACH STUD AND PLATE FACE NAIL | 2-8D 2-1 3/4" 16 GAGE STAPLES | |
| 1"X6" SHEATHING TO EACH BEARING WALL, FACE NAIL | 2-8D 2-1 3/4" 16 GAGE STAPLES | |
| 1"X8" SHEATHING TO EACH BEARING WALL, FACE NAIL | 2-8D 3-1 3/4" 16 GAGE STAPLES | |
| WIDER THAN 1"X8" SHEATHING TO BEARING WALL, FACE NAIL | 3-8D 4-1 3/4" 16 GAGE STAPLES | |
| BUILT-UP CORNER STUDS | 10D | 24" O.C. |
| BUILT-UP GIRDERS AND BEAMS 2-INCH LUMBER LAYERS | 10D | NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE. |
| 2" PLANKS | 2-16D | AT EACH BEARING |
| ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL | 4-16D | |
| FACE NAIL | 3-16D | |
| RAFTER TIES TO RAFTERS, FACE NAIL | 3-8D | |

| WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING, AND PARTICLEBOARD WALL SHEATHING TO FRAMING | | | |
|---|---|---|------------|
| DESCRIPTION OF BUILDING MATERIAL | DESCRIPTION OF BUILDING MATERIAL | SPACING OF FASTENERS (INCHES) (I) (C,E) | |
| 3/8" - 1/2" | GD COMMON NAIL (SUBFLOOR, WALL) 8D COMMON (ROOF)(F) | 6 | 12 (*A,*B) |
| 1 1/2" TO 1" | 8D COMMON NAIL | 6 | 12 (*A,*B) |
| 1/8" TO 1/4" | 10D COMMON NAIL OR 8D DEFORMED NAIL | 6 | 12 |
| OTHER WALL SHEATHING | | | |
| 1/2" REGULAR CELLULOSIC FIBERBOARD SHEATHING | 1 1/2" GALVANIZED ROOFING NAIL GD COMMON NAIL 1 1/2" 16 GA STAPLE | 3 | 6 |
| 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING | 1 1/2" GALVANIZED ROOFING NAIL 8D COMMON NAIL 1 1/2" 16 GA STAPLE | 3 | 6 |
| 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING | 1 3/4" GALVANIZED ROOFING NAIL 8D COMMON NAIL 1 3/4" 16 GA STAPLE | 3 | 6 |
| 1/2" GYPSUM SHEATHING | 1 1/2" GALVANIZED ROOFING NAIL GD COMMON NAIL 1 1/2" 16 GA GALVANIZED STAPLE 1 1/4" SCREW, TYPE W OR S | 4 | 8 |
| 5/8" GYPSUM SHEATHING | 1 3/4" GALVANIZED ROOFING NAIL 8D COMMON NAIL 1 5/8" 16 GA GALVANIZED STAPLE 1 5/8" SCREW, TYPE W OR S | 4 | 8 |
| WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING | | | |
| 3/4" AND LESS | GD DEFORMED NAIL OR 8D COMMON NAIL | 6 | 12 |
| 7/8" - 1" | 8D COMMON NAIL OR 8D DEFORMED NAIL | 6 | 12 |
| 1 1/8" - 1 1/4" | 10D COMMON NAIL OR 8D DEFORMED NAIL | 6 | 12 |

*A- WALL SHEATHING TO BE FIELD NAILED @ 6" O.C. AS NOTED IN SHEARWALL PLANS
*B- WALL SHEATHING @ GABLE END WALLS SHALL BE SPACED @ 6" O.C.

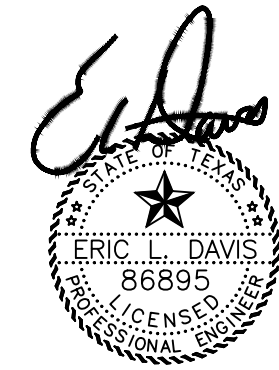
DESIGN CRITERIA

| | | |
|---------------------------------|-----------------------------------|-------|
| BUILDING | 2015 IRC | |
| WIND SPEED | 115 MPH | |
| SEISMIC CATEGORY | C | |
| GROUND SNOW LOAD | 5 PSF | |
| ENGINEERED LUMBER PROPERTIES | Fb=2,900 PSI; 1.9E Fv=285 PSI | |
| STRUCTURAL DEFLECTION ALLOWANCE | FLOOR/CEILING w/PLASTER | L/360 |
| | OTHER STRUCTURAL MEMBERS | L/240 |
| | LINTELS SUPPORTING MASONRY VANEER | L/600 |

STRUCTURAL DESIGN IS BASED ON SOUTHERN YELLOW PINE (SYP) NEW DESIGN VALUES FOR ALL SPANS PUBLISHED BY THE AMERICAN WOOD COUNCIL AND SOUTHERN YELLOW PINE ASSOCIATION ECCECTIVE 6/1/2013.

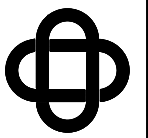
LOAD DESIGN CRITERIA

| | LIVE PSF | DEAD PSF |
|-------------------------|----------|----------|
| ROOF | | |
| LESS THAN 4/12 | 10 | 10 |
| 4/12 UPT TO 12/12 | 16 | 10 |
| OVER 12/12 | 12 | 10 |
| TILE ROOF (ALL PITCHES) | 23 | 20 |
| ALL CEILING | LIVE PSF | DEAD PSF |
| DESIGNED WITH STORAGE | 20 | 10 |
| FLOOR | LIVE PSF | DEAD PSF |
| BEDROOMS | 30 | 10 |
| OTHER ROOMS | 40 | 10 |



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 9/9/2020

09/09/2020



ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

ROOF FRAMING NOTES
ENGINEERED FOR:
ASTURIAS DEVELOPMENTS

| | |
|--------------------------------|------------------------|
| PLAN: CUSTOM | ELD JOB NO: DIF20-0868 |
| BUILDER: ASTURIAS DEVELOPMENTS | DRAWN BY: RS |
| ADDITION: 38 SHADYDALE - PR | CHECKED BY: ELD |
| ADDRESS: 38 SHADY DALE LANE | LOT: 8 |
| | BLOCK: 1 |
| | CITY: ROCKWALL, TX |

SCALE: 1/8"=1'-0"

PROPERTY DESCRIPTION

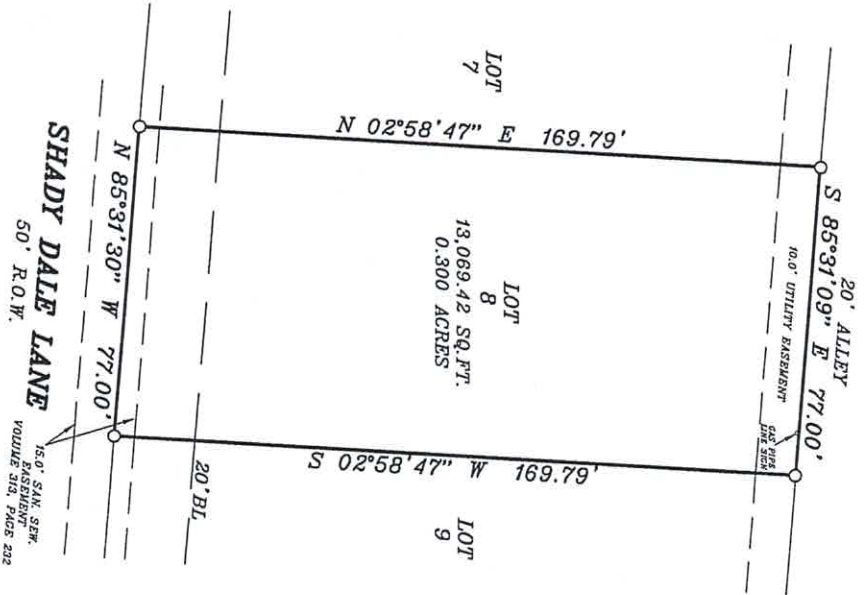
LOCATED AT 38 SHADY DALE LANE, BLOCK 8, SHADY DALE ESTATES, ROCKWALL, TEXAS. LOT NO. 8, SHADY DALE ESTATES, ROCKWALL COUNTY, TEXAS. AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET H, SLIDE 399, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.



GRAPHIC SCALE



(IN FEET)
1 Inch = 30 Ft.



THE SURVEY SET FORTH HEREON HAS BEEN CONDUCTED AND PREPARED AT THE REQUEST AND IN CONNECTION WITH THE RESTORATION AND RECONSTRUCTION OF THE PROPERTY THEREOF, BECA LAND SURVEYING HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR THE EXISTENCE OF EASEMENTS, RESTRICTIONS, ENCUMBRANCES OR OTHER MATTERS THAT MAY AFFECT THE SURVEY. THE SURVEYOR HAS BEEN ADVISED BY THE CLIENTS, ARCHITECTS, ENGINEERS, REAL ESTATE AGENTS, ASSOCIATES, ETC. FROM THE PROPERTY OWNERS THAT THERE ARE NO SUCH MATTERS AFFECTING THE SURVEY. THE TEXAS EXAMINATION SAFETY SYSTEM CAN BE CONDUCTED BY CALLING 811, OR BY VISITING WWW.811.TX.

NOTE: ACCORDING TO THE F.L.A.L. IN COMMUNITY PANEL NO. 4539720404, THIS SPECIFIC APPLICABLE TO THE ZONING AND ZONING MAPS TO BE WITHIN THE SPECIFIC JURISDICTION OF THE LOCAL GOVERNMENT. THE LOCAL GOVERNMENT SHALL BE FREE FROM FLOODING OR FLOOD DAMAGE ON FIVE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY EXCEED THE HEIGHTS SHOWN ON THE FLOOD STATEMENT AND/OR FLOOD LINES SHOWN HEREON. STILL, THE CLIENTS SHALL BE RESPONSIBLE ON THE PART OF THE SURVEYOR. NOTE: RECORDS ARE BASED ON SOUTH LINE OF LOT 8, BLOCK 1 OF RECORDED PLAT, TEXAS LICENSED SURVEYING FIRM REGISTRATION NUMBER 10150310

LEGEND table with symbols for brick, concrete, wood deck, stone, asphalt paving, and various utility lines (water, gas, electric, etc.).

~BRIAN GALITA & ASSOCIATES~
BGA&A Land Surveying, Inc.
9011 STATE HIGHWAY 34 S. SUITE - C
DUNN, TEXAS 75049
PHONE: (989) 447-0989
WWW.BGASURVEYING.COM

ACCEPTED BY: [Signature] DATE: _____ SIGNATURE: _____ DATE: _____

ROCKWALL, ROCKWALL COUNTY, TEXAS

SURVEYOR'S CERTIFICATE

THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR (BRIAN GALITA) HEREBY CERTIFIES TO THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO ME BY THE CLIENTS AND THAT THE SURVEY WAS CONDUCTED AND PREPARED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION. I AM AN ACCURATE REPRESENTATION OF THE PROFESSIONAL OPINION OF THE UNDERSIGNED. LOCATION AND DESCRIPTION OF VISIBLE AND APPARENT IMPROVEMENTS ARE AS INDICATED AND THERE ARE NO VISIBLE AND APPARENT ENCUMBRANCES OR PROVISIONS ON THE GROUND EXCEPT AS INDICATED. THE SURVEY SET FORTH HEREON WAS PERFORMED EXCLUSIVELY FOR THE BENEFIT OF THE ABOVE NOTED PARTIES AND THE SURVEYOR HAS BEEN ADVISED BY THE CLIENTS, ARCHITECTS, ENGINEERS, REAL ESTATE AGENTS, ASSOCIATES, ETC. FROM THE PROPERTY OWNERS THAT THERE ARE NO SUCH MATTERS AFFECTING THE SURVEY. THE TEXAS EXAMINATION SAFETY SYSTEM CAN BE AT USER'S OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE FOR ANY LOSS RESULTING THEREOF.

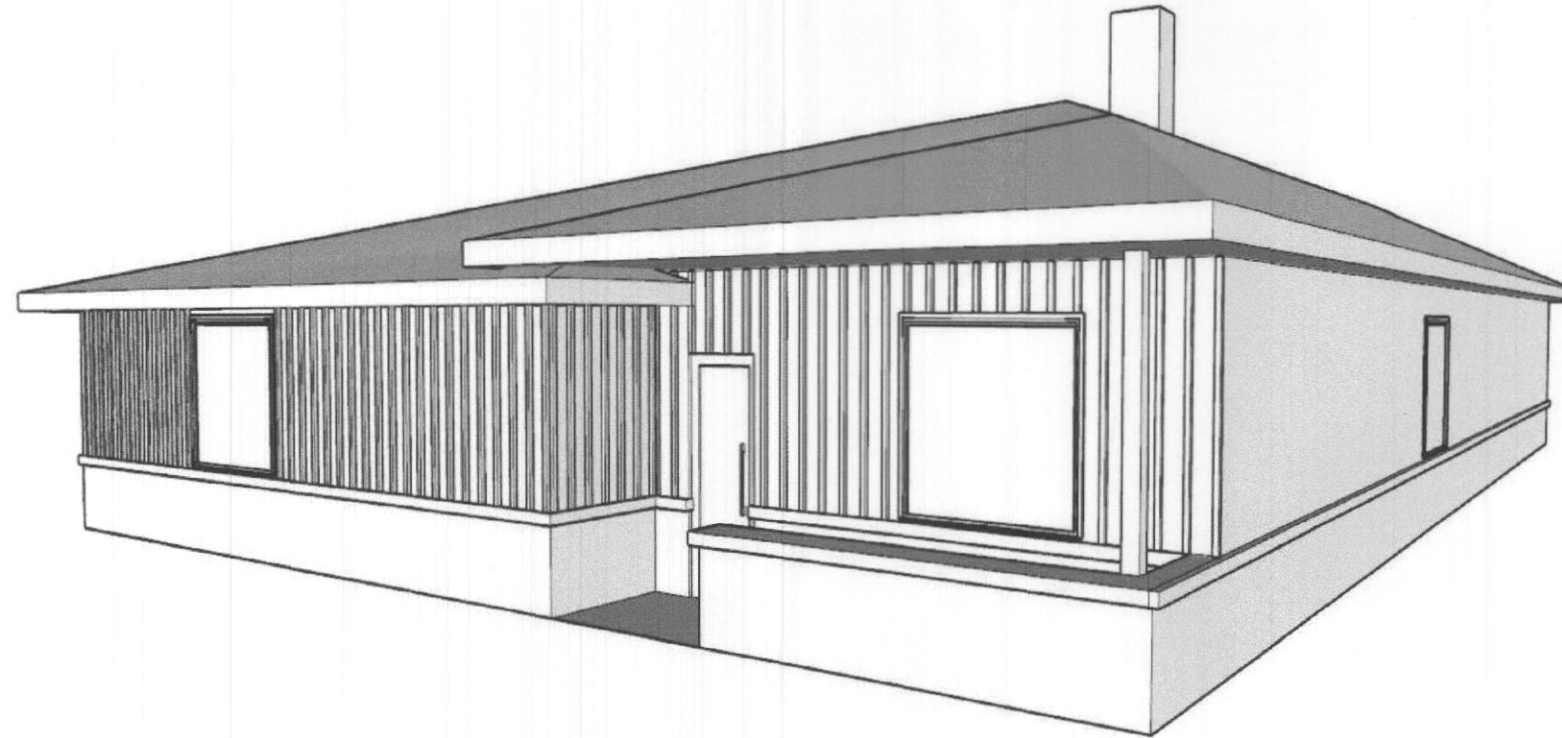
EXECUTED THIS 6TH DAY OF MARCH 2016

[Signature]

BRIAN GALITA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5569



ASTURIAS DEVELOPMENT



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY PAGE OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULES.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY ENGINEERS LIGHTS, COVERING, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY GUTTERS OR FLASHINGS OF ANY EXISTING FINISHED WORK SHALL MATCH ADJACENT SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY ENGINEERS LIGHTS, COVERING, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK.
11. CONTRACTORS OR SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC. THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2x6.
2. ALL INTERIOR WALLS SHALL BE 2x4 L.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOB SITE.
5. 3/4" AD & STITCH IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET FILLING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE FULLY PER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW SILL OPENINGS SHALL BE 3/4" OVER THE OUTSIDE EDGES OF ADJACENT DOOR, WINDOW AND TRANSOM TRIM IS ALIGNED L.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE L.N.O. SIZES. VERIFY ACTUAL SIZES AND WINDOW OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 5' FROM CORNERS WHERE POSSIBLE.

| Layout Page Table | |
|-------------------|---------------------------|
| Label | Title |
| A-1 | COVER PAGE |
| A-2 | SITE PLAN AND ROOF PLAN |
| A-3 | FRONT AND REAR ELEVATIONS |
| A-4 | LEFT AND RIGHT ELEVATIONS |
| A-5 | FLOOR PLAN W/ DIMENSIONS |
| A-6 | ELECTRICAL PLAN |

PLANS FOR:
ASTURIAS DEVELOPMENT
TRAVIS REDDEN
38 SHADY DALE LANE
ROCKWALL, TEXAS 75082

TITLE:
COVER PAGE

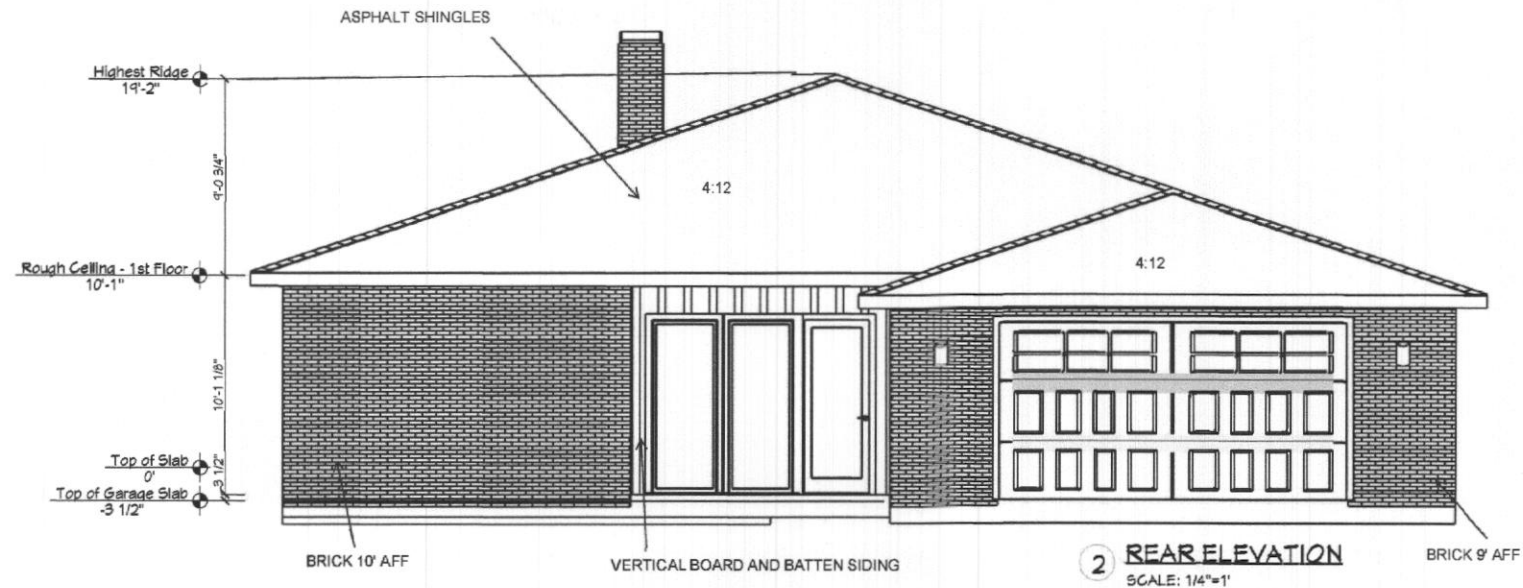
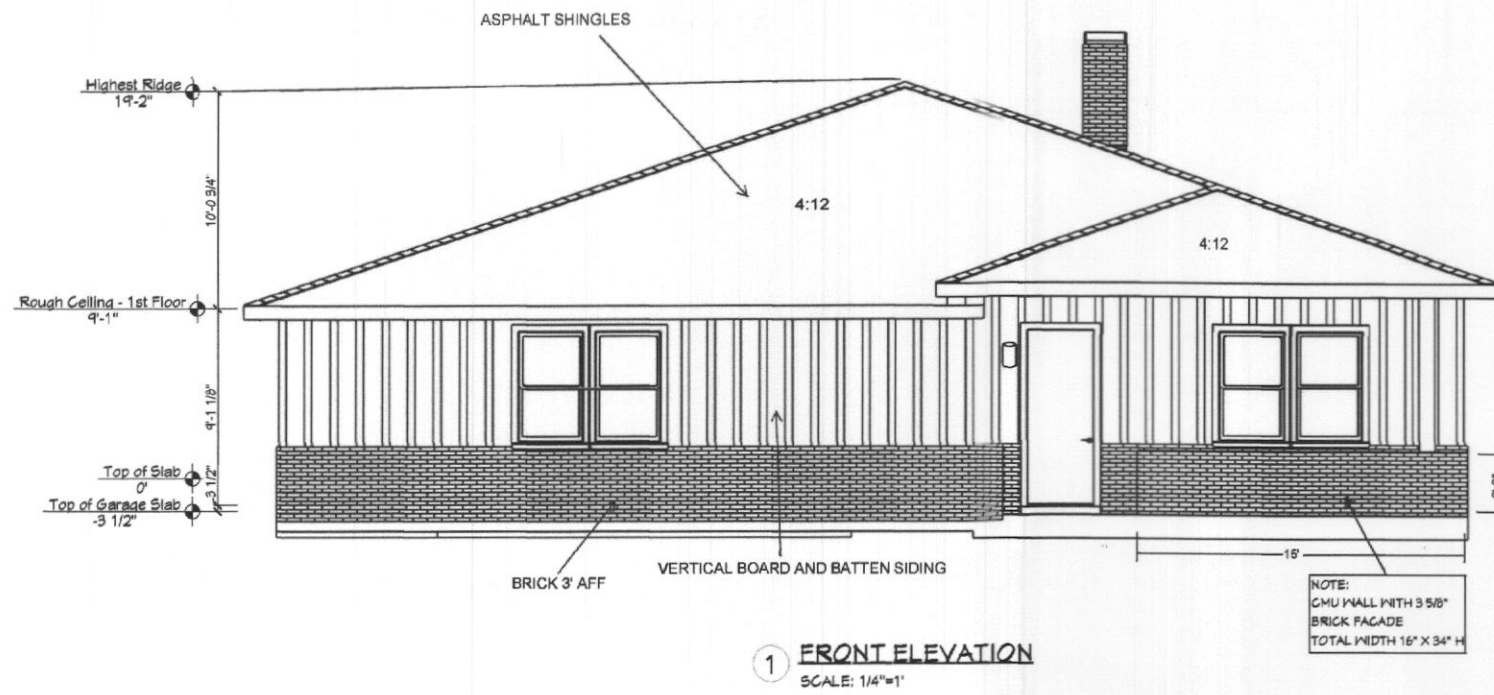
SHANNON NEWBOM MARK NEWBOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
6/16/2020

SCALE:
AS SHOWN

SHEET:

A-1



PLANS FOR:
 ASTURIAS DEVELOPMENT
 TRAVIS REDDEN
 38 SHADY DALE LANE
 ROCKWALL, TEXAS 75082

TITLE:
 FRONT & REAR ELEVATIONS

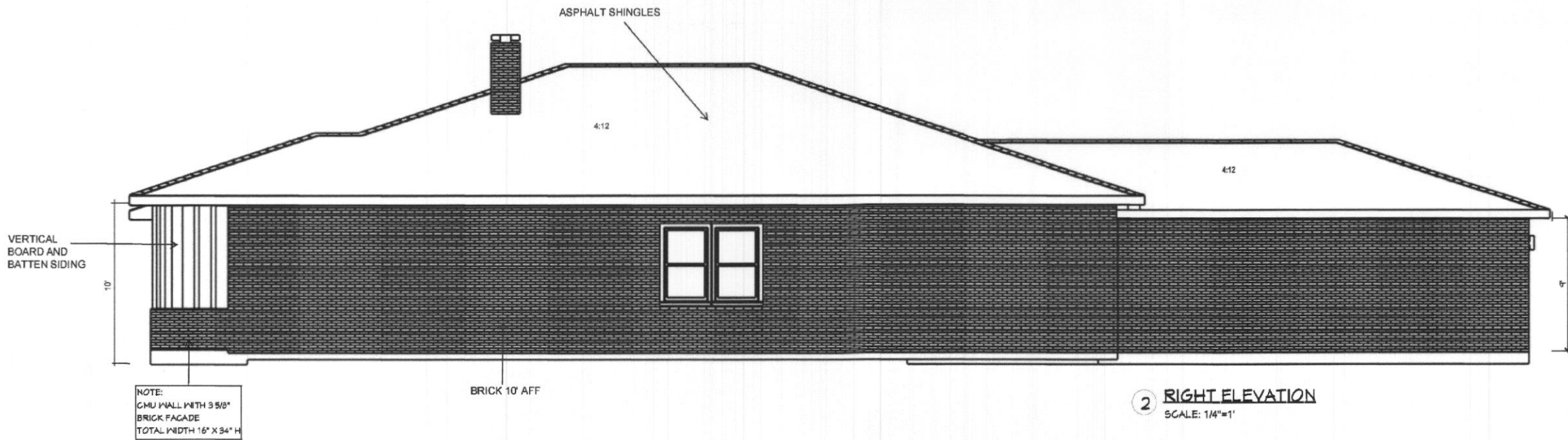
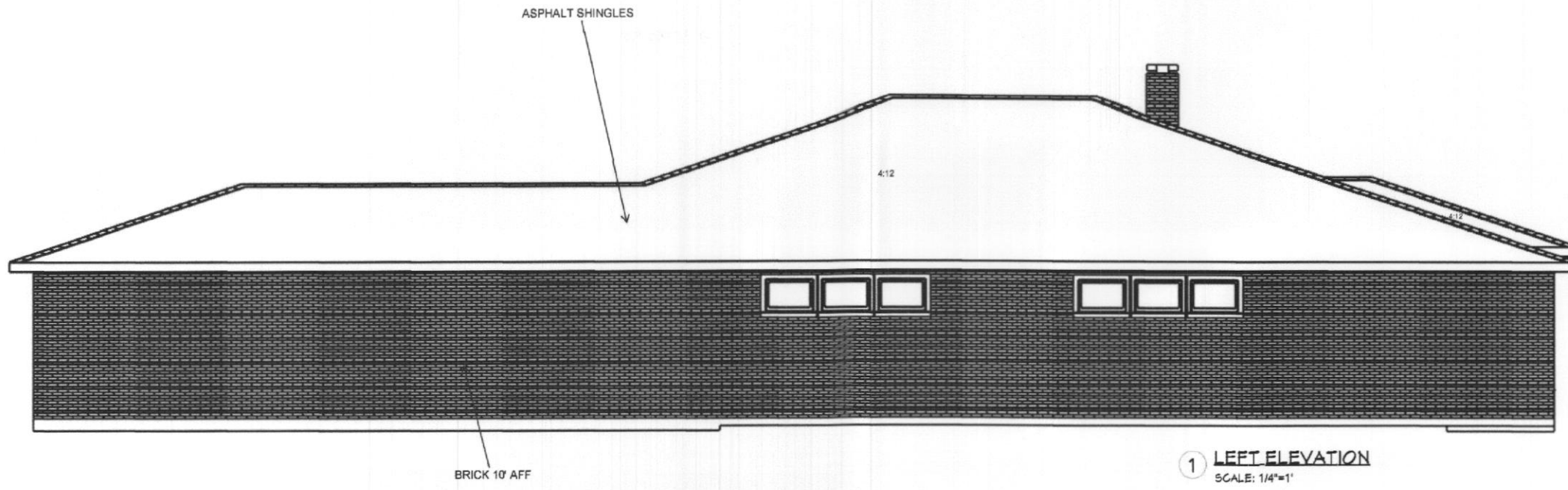
SHANNON NEWBOM MARK NEWBOM
CADAZIGN
 ROYSE CITY, TEXAS 75189
 469-388-4863
 DRAWN BY:

DATE:
 6/16/2020

SCALE:
 AS SHOWN

SHEET:

A-3



NOTE:
 CMU WALL WITH 3 5/8"
 BRICK FACADE
 TOTAL WIDTH 16' X 34" H

PLANS FOR:
 ASTURIAS DEVELOPMENT
 TRAVIS REDDEN
 38 SHADY DALE LANE
 ROCKWALL, TEXAS 75082

TITLE:
 SIDE ELEVATIONS

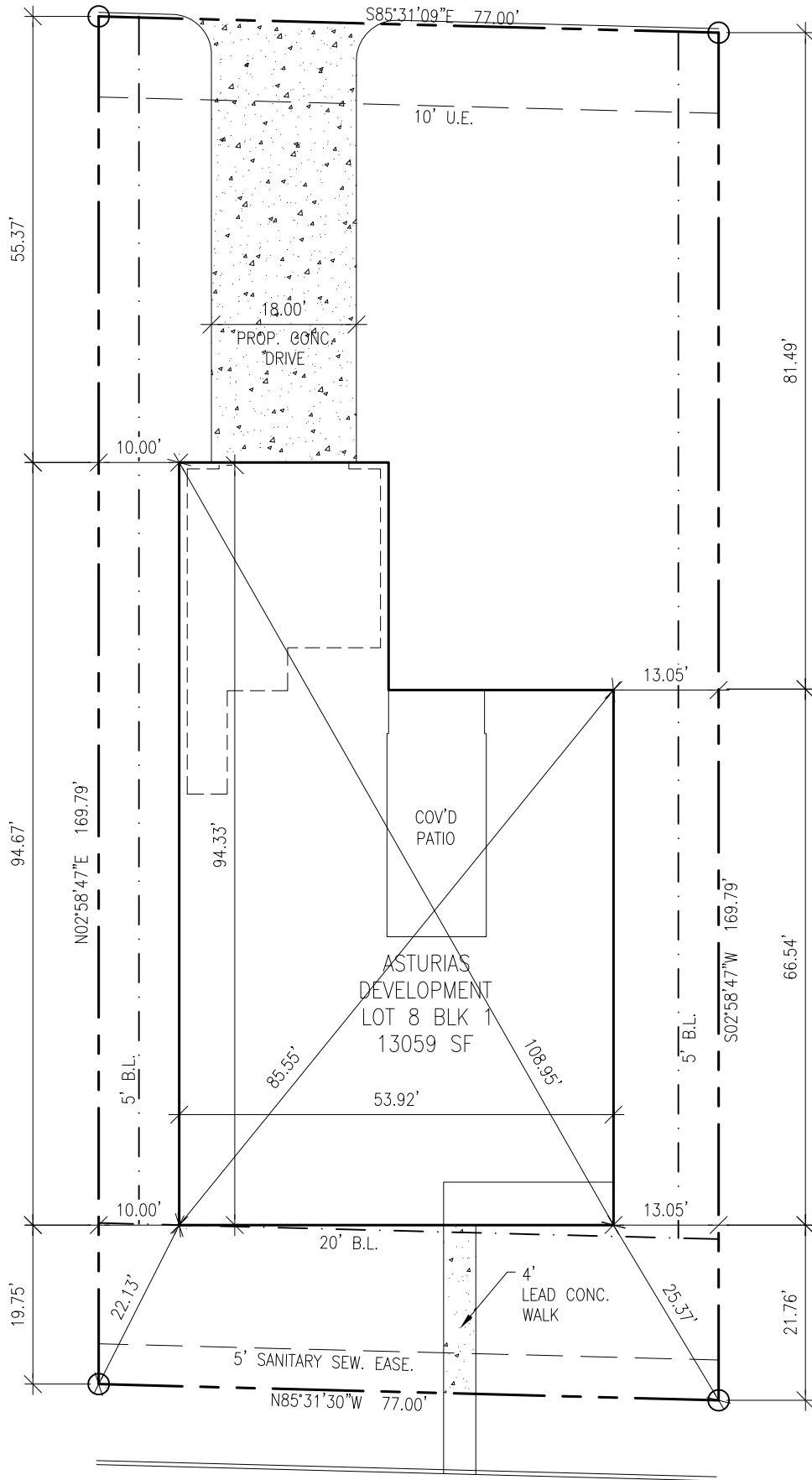
SHANNON NEWBOM MARK NEWBOM
CADAZIGN
 ROYSE CITY, TEXAS 75189
 469-338-9863

DATE:
 6/16/2020

SCALE:
 AS SHOWN

SHEET:
A-4

ALLEY
(20' R.O.W. - ASPHALT)



Lot Coverage Calculations:

| | | |
|----------------|------|-------|
| Slab | 4307 | SF |
| Patio/Stoop | 0 | SF |
| Drive | 993 | SF |
| Private-Walk | 85 | SF |
| Total Flatwork | 1078 | SF |
| Lot Coverage | 32.9 | % |
| Driveway Apron | 0 | SF |
| Public Walk | 0 | SF |
| Total Sod | 853 | SQ YD |
| Fence | 0 | SF |

Legend:

| | |
|--|----------------|
| | Proposed Fence |
| | Property Line |
| | Building Lines |
| | Easements |
| | Swale Line |
| | Silt Fence |
| | Existing Grade |
| | Proposed Grade |

General Notes:

- The purpose of this plan is to show the purposed building footprint as defined by the metes and bounds of the recorded plat.
- Dimensions, setbacks, easements, plan selection, and any other information shown here in shall be verified at permitting and prior to construction for accuracy and compliance with all applicable codes and ordinances.
- Builder is solely responsible for ensuring that the footprint is contained within the prepared building pad. The building pad shall be set high enough to allow for adequate drainage.
- All calculations are approximate. They must be verified prior to permitting, purchasing, and/or construction. City side walk will not be included in flatwork calcs.
- A form survey is required for verification of form placement prior to concrete pour. ELD accepts no liability where a form survey is not provided.

| | |
|--------------------------------------|------------------------|
| BUILDER: ASTURIAS DEVELOPMENTS | PLAN: CUSTOM |
| ADDITION: 38 SHADYDALE - PR | ELD JOB NO: DIF20-0868 |
| ADDRESS: 38 SHADY DALE LANE | DRAWN BY: AA |
| LOT: 8 BLOCK: 1 | CHECKED BY: ELD |
| CITY: ROCKWALL, TX | SCALE: 1:20 |
| DATE 08/19/2020 | |

PLOT PLAN
ENGINEERED FOR:
**Asturias
Development**

ERIC L. DAVIS ENGINEERING, INC.
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com