



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5 Lot 1 Block A

General Location BETWEEN 619 RENFRO & 703 N. TL TOWNSEND

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7 Current Use VACANT

Proposed Zoning SF-7 Proposed Use RESIDENTIAL

Acreage 0.2342 Lots [Current] 1 Lots [Proposed] 1

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Brenda Kennedy</u>	<input type="checkbox"/> Applicant	<u>Brenda Kennedy</u>
Contact Person	<u>Brenda Kennedy</u>	Contact Person	<u>Brenda Kennedy</u>
Address	<u>1630 Shores Blvd</u>	Address	<u>1630 Shores Blvd</u>

City, State & Zip Rockwall 75087 City, State & Zip ROCKWALL 75087

Phone 214-384-3234 Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com E-Mail brenda.kennedy@ebby.com

## NOTARY VERIFICATION [REQUIRED]

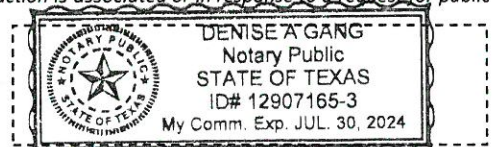
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020

Owner's Signature


Notary Public in and for the State of Texas



My Commission Expires July 30, 2024



0 20 40 80 120 160 Feet

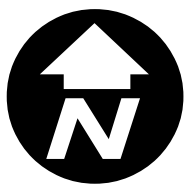
Z2020-048- SUP FOR 701 N. TL TOWNSEND DRIVE  
ZONING - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



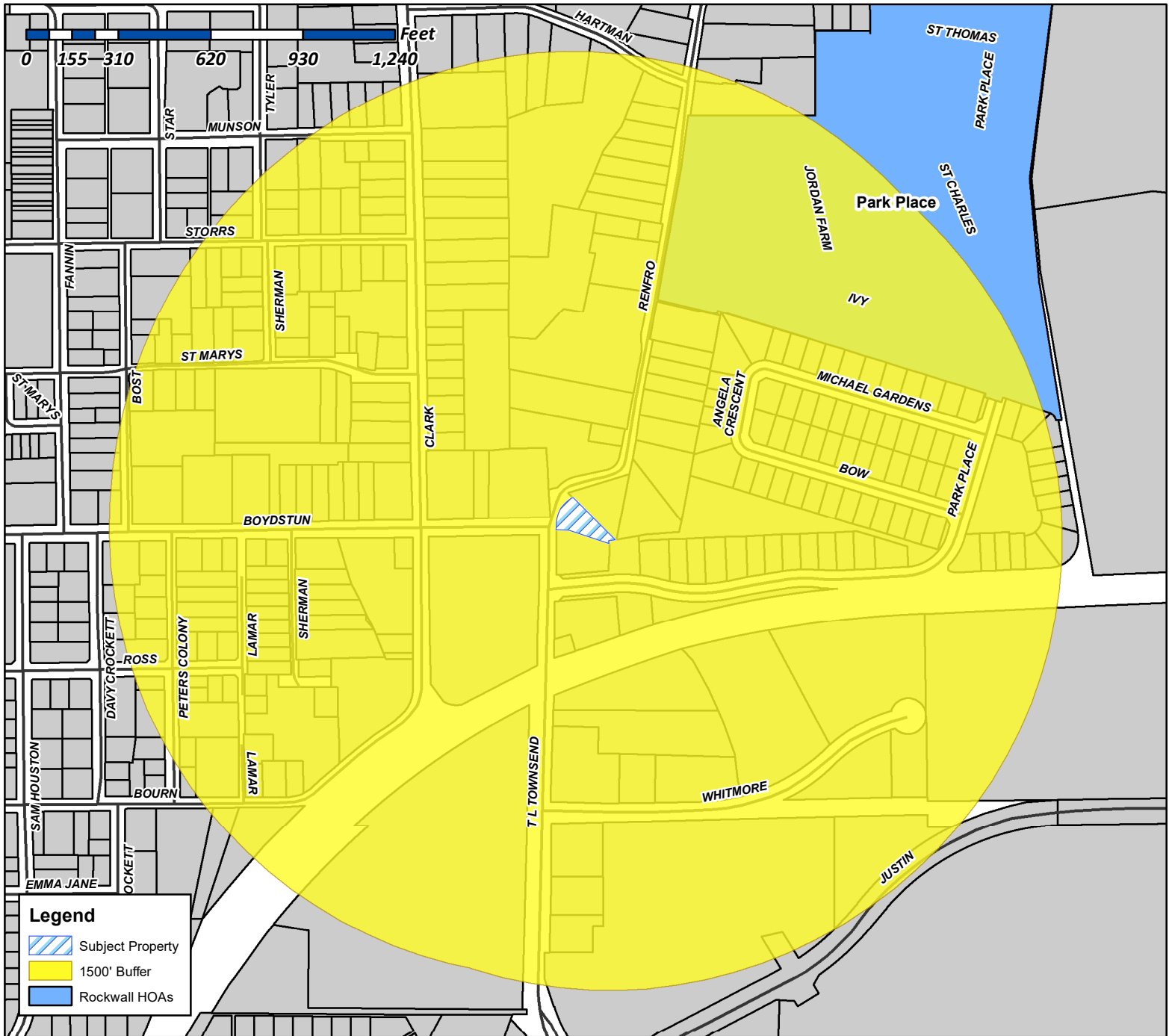




# City of Rockwall

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**Case Number:** Z2020-048  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 701 N. TL Townsend Drive

**Date Created:** 11/12/2020  
**For Questions on this Case Call (972) 771-7745**

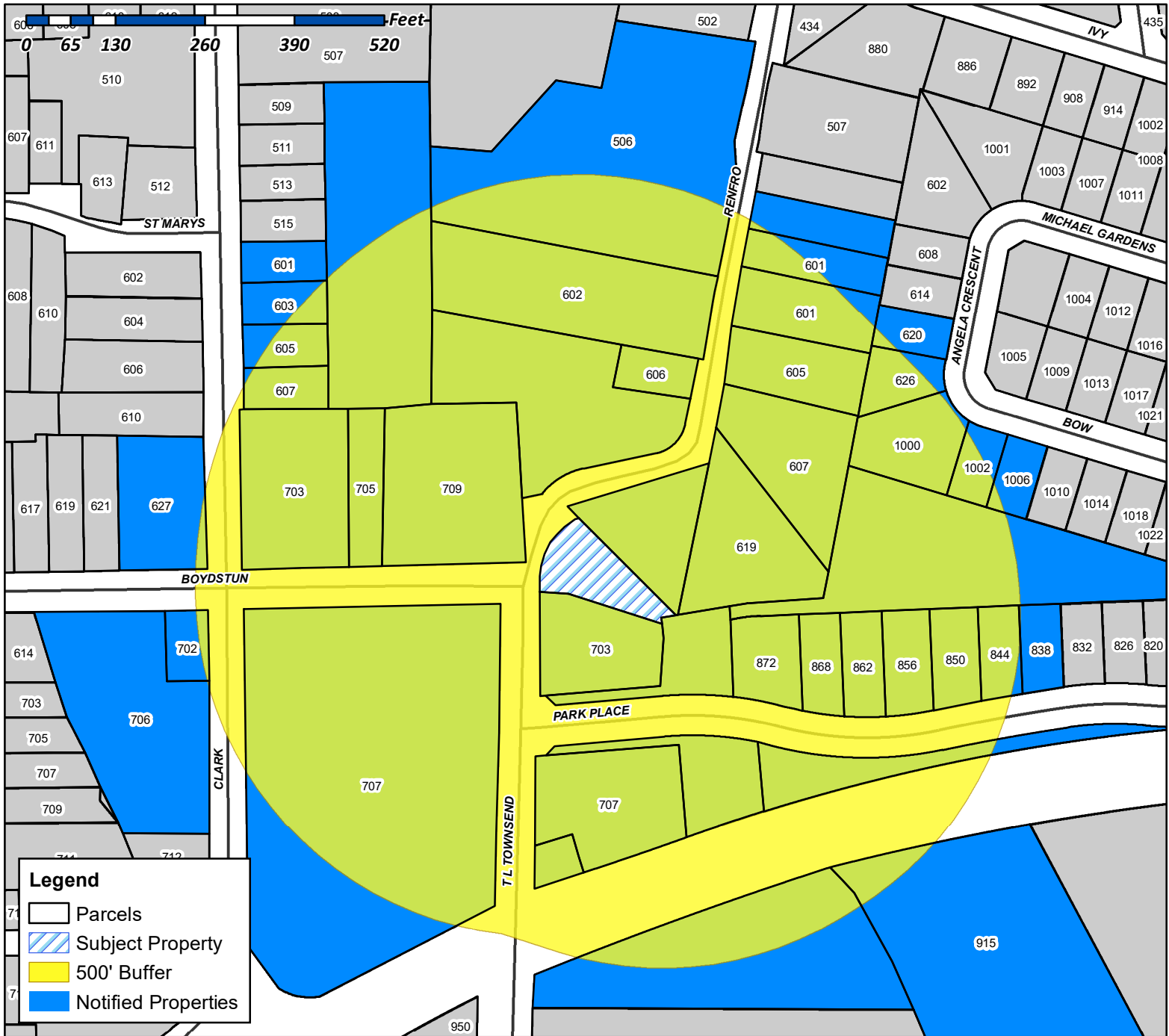




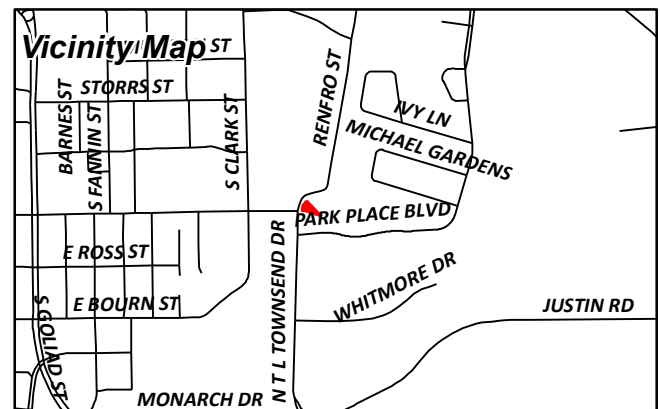
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KENNEDY BRENDA K  
1630 SHORES BLVD  
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A  
1000 BOW ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
1002 BOW ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
1006 BOW ST  
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY  
1498 HUBBARD DR  
FORNEY, TX 75126

HARRIS RICHARD & JUDY  
210 GLENN AVE  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
301 MEADOWDALE  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A  
4 MANOR CT  
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C  
506 RENFRO ST  
ROCKWALL, TX 75087

HOGUE ALLEN  
513 RIDGEVIEW DR  
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY  
5505 RANGER DR  
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C  
601 RENFRO ST  
ROCKWALL, TX 75087

GLASS JO KAY HARRIS  
601S CLARK ST  
ROCKWALL, TX 75087

HOGUE CAROLYN SUE  
602 RENFRO  
ROCKWALL, TX 75087

RIVERA SARA ELIA  
603S CLARK ST  
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D  
605 RENFRO ST  
ROCKWALL, TX 75087

CASTILLO JUAN JAIME  
605 S CLARK ST  
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C  
606 RENFRO ST  
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA  
607 MOUNTCASTLE DR  
ROCKWALL, TX 75087

HARRINGTON DEBORAH  
607 RENFRO ST  
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED  
607 SOUTH CLARK STREET  
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY  
619 RENFRO ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
620 ANGELA CRESCENT  
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA  
626 ANGELA CRESCENT  
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND  
VICTORIA NGOC TRAN-KNOWLES  
627 EAST BOYDSTUN AVENUE  
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC  
627 SORITA CIR  
HEATH, TX 75032

HARSTROM STUART & SUSAN  
675 DANIELLE CT  
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC  
702 S CLARK ST  
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY  
703 TOWNSEND DR  
ROCKWALL, TX 75087

HOGUE ALLEN  
703 E BOYSTUN AVE  
ROCKWALL, TX 75087

HOGUE ALLEN  
705 E BOYDSTUN AVE  
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC  
% DOUGLAS A KAUFMANN  
706 S CLARK ST  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY  
707 TOWNSEND  
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL  
DISTRICT PUBLIC FACILITY CORP  
707 S CLARK  
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY  
709 E BOYDSTUN AVE  
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL  
DISTRICT PUBLIC FACILITY CORP  
801 E WASHINGTON ST  
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA  
815 T L TOWNSEND SUITE 101  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
838 PARK PLACE BLVD  
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN  
844 PARK PLACE BLVD  
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN  
850 PARK PLACE BLVD  
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY  
856 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
862 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
868 PARK PLACE BLVD  
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC  
ATTN BILL BRICKER  
872 PARK PLACE BLVD  
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C  
880 IVY LANE  
ROCKWALL, TX 75087

COUNTY OF ROCKWALL  
915 WHITMORE  
ROCKWALL, TX 75087



# BUILDING PERMIT APPLICATION

City of Rockwall  
Building Inspections Department  
385 S. Goliad Street  
Rockwall, Texas 75087

APPLICANT OR AGENT SIGNATURE REQUIRED

CERTIFICATION: I HEREBY ACCEPT ALL CONDITIONS ON THIS APPLICATION FORM AND CERTIFY THAT ALL STATEMENTS RECORDED HEREIN BY ME ARE TRUE.

AGENT OR APPLICANT

DATE 10-28-20

**NOTICE TO APPLICANTS.** This permit is issued on the basis of information furnished in this application and on any submitted plans, and is subject to the provisions in addition, requirements of the City of Rockwall code of ordinances and any other applicable ordinance. This permit is issued only for the purpose of allowing construction of a building or structure conforming to the codes and ordinances of the city, regardless of information and/or plans submitted.

**SCOPE OF PERMIT.** For new buildings and for additions to existing buildings, this permit authorizes structural, plumbing, electrical, mechanical, and work to be performed in the construction of the building or structure at this address, if done at the same time of initial construction. No separate subcontractor permits are needed for those trades. However, the permit holder is required to use only subcontractors' licenses, registered, or bonded by the City of Rockwall where such requirement is applicable.

**INSPECTION.** To schedule an inspection, go to [www.rockwall.com/buildinginspections/inspectionreq.asp](http://www.rockwall.com/buildinginspections/inspectionreq.asp).

## PROPERTY INFORMATION [PLEASE PRINT] Vacant lot w/no address

Construction Address *Between 619 Renfro + 703 Townsend* Zoning  
Subdivision *Richard Harris Subdivision No. 5* Lot 1 Block A  
General Location *Renfro + Townsend*

## PROPERTY OWNER INFORMATION PRIMARY CONTACT [ ]

Name *Brenda Kennedy* Phone *214-384-3234*  
Mailing Address *1630 Shores Blvd* City *Rockwall* State *TX* Zip Code *75087*  
Email *brendakennedy@ebby.com*

## GENERAL CONTRACTOR INFORMATION PRIMARY CONTACT [ ]

Name *Mike Hogue* Phone *214-801-0635*  
Mailing Address *1498 Hubbard Dr.* City *Forney* State *TX* Zip Code *75126*  
Email *mike.hogue58@gmail.com*

## ELECTRICAL CONTRACTOR INFORMATION

Name *Heath Electric* Phone *972-839-4750*  
Mailing Address *137 Larry Dr.* City *Heath* State *TX* Zip Code *75032*  
Email *heathelectrical22@gmail.com*

## PLUMBING CONTRACTOR INFORMATION

Name *Pro Star Plumbing* Phone *214-364-8883*  
Mailing Address *102 Independence Trail* City *Forney* State *TX* Zip Code *75126*  
Email *carlmilligan@ymail.com*

## MECHANICAL CONTRACTOR INFORMATION

Name *Ryder Mechanical, LLC* Phone *214-212-8565*  
Mailing Address *515 Meadowlark* City *Heath* State *TX* Zip Code *75032*  
Email *rydermechanical@yahoo.com*

## BUILDING PERMIT INFORMATION

1<sup>ST</sup> Floor *1355* SF 2<sup>ND</sup> Floor *0* SF Garage *284* SF Covered Porch *32* SF Covered Patio *160* SF  
Total SF *1831* SF Height *17'-5"* FT Lot Size SF Plan #

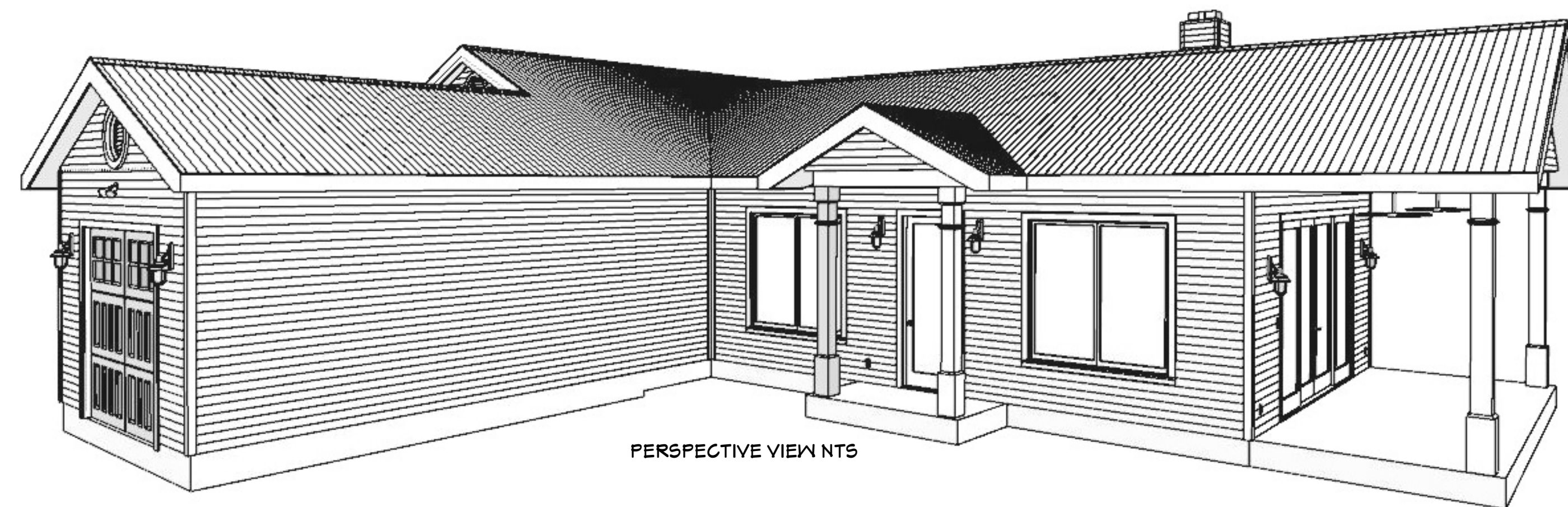
Estimated Value \$ *195,500.00* Commercial Value ONLY; Residential is NOT required to provide estimated value.

Project Description *Single family dwelling*

Is the subject property located with the flood hazard area? Yes  No  Required lowest floor elevation is: *538.19*



# KENNEDY RESIDENCE: BRENDA KENNEDY



### GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

### BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

### CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

### Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:  
BRENDA KENNEDY  
RENFRO STREET  
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSOM MARK NEWSOM  
**CADAZIGN**  
3704 CR 2522  
ROYSE CITY, TEXAS 75118  
469-558-9863

DRAWN BY:

DATE:  
4/15/2020

SCALE:  
AS SHOWN

SHEET:

A-1

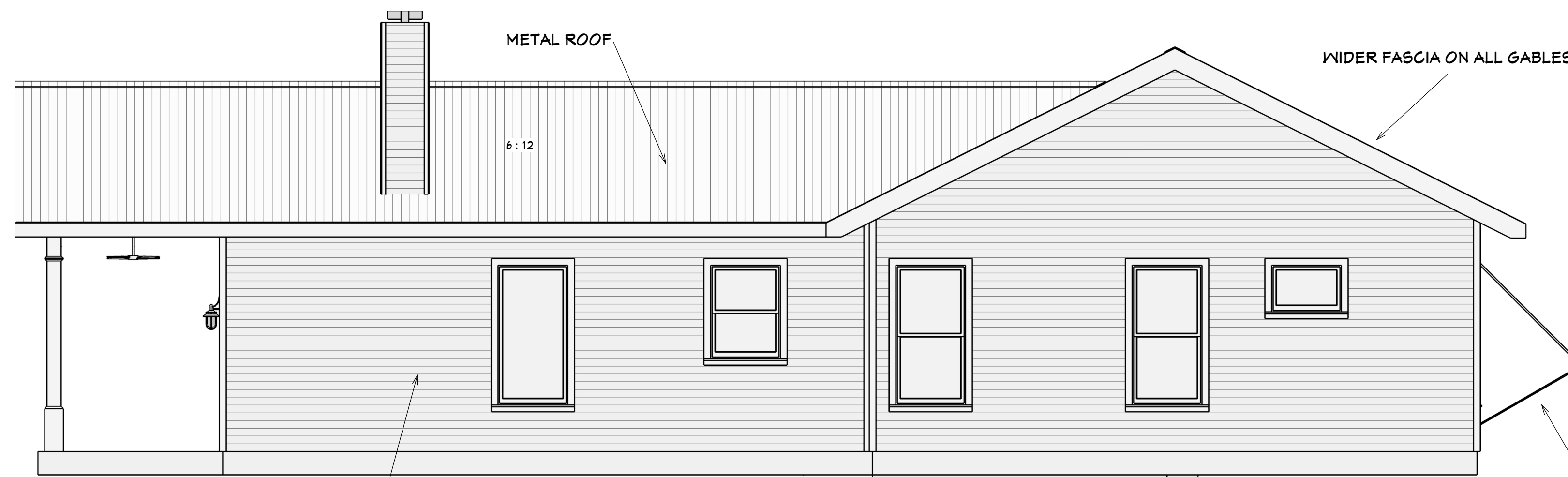




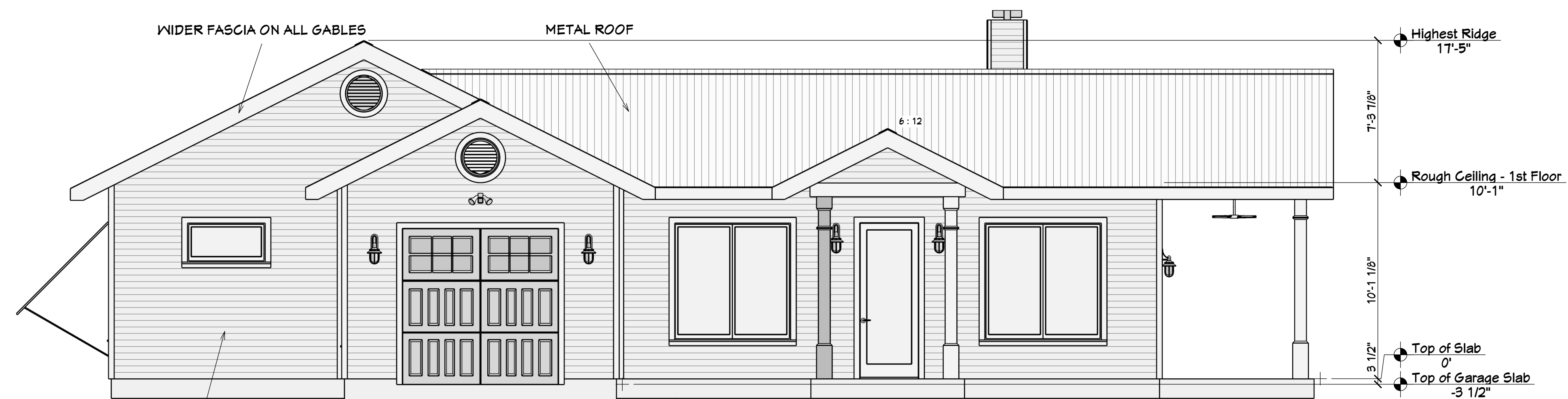
1 FRONT ELEVATION  
SCALE: 1/4"=1'



2 REAR ELEVATION  
SCALE: 1/4"=1'



3 LEFT ELEVATION  
SCALE: 1/4"=1'



4 RIGHT ELEVATION  
SCALE: 1/4"=1'

PLANS FOR:  
BRENDA KENNEDY  
RENFRO STREET  
ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

SHANNON NEWSOM MARK NEWSOM  
**CADAZIGN**  
3704 CR 2522  
ROYSE CITY, TEXAS 75118  
469-558-9863

DRAWN BY:

DATE:  
4/15/2020

SCALE:  
AS SHOWN

SHEET:

A-3