



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) Total = \$250.00 + (\$20.00 x 21.275 Acres) = \$675.50
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **2300 Discovery Blvd. Rockwall, Texas 75032**

Subdivision **SWBC Rockwall Addition, Phase II**

Lot

1

Block

A

General Location **Discovery Blvd. between John King Blvd. & Innovations Drive**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **PD-83**

Current Use **Apartments**

Proposed Zoning **PD-83**

Proposed Use **Apartments**

Acreage **21.275**

Lots [Current]

1

Lots [Proposed]

1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **SWBC RW2, LP**

Applicant **McAdams**

Contact Person **Spencer Byington**

Contact Person **Jeremy Nelson**

Address **5949 Sherry Lane. Suite 750**

Address **201 Country View Drive**

City, State & Zip **Dallas, Texas 75225**

City, State & Zip **Roanoke, Texas 76262**

Phone **(214) 924-4156**

Phone **(469) 240-9765**

E-Mail **sbyington@swbc.com**

E-Mail **jnelson@mcadamsco.com**

NOTARY VERIFICATION [REQUIRED]

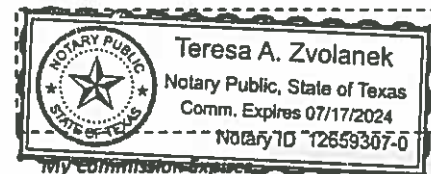
Before me, the undersigned authority, on this day personally appeared Spencer Byington [Owner] the undersigned, who stated the information on this application to be true and certified the following:

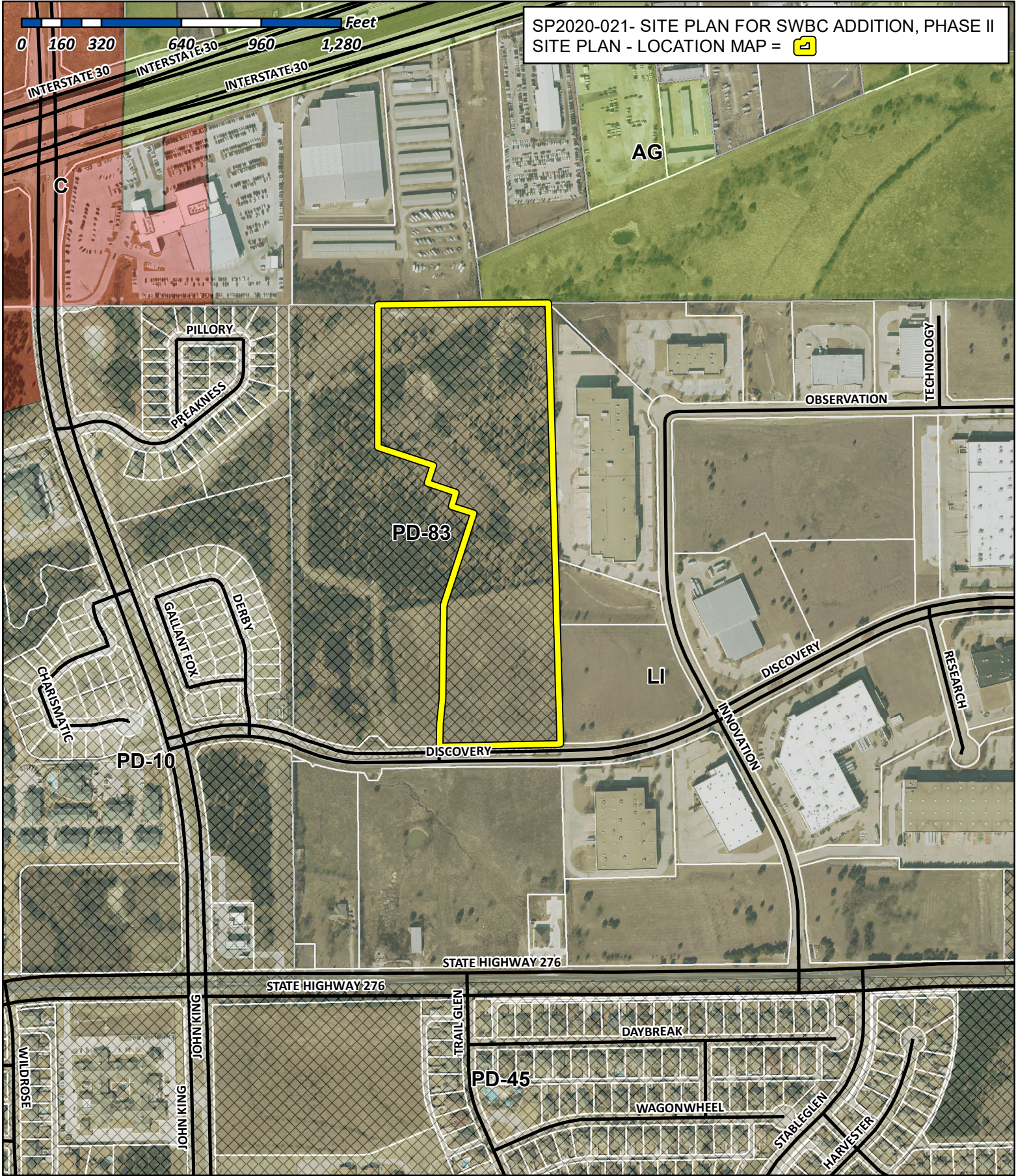
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$675.50, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of August, 20 20

Owner's Signature

Notary Public in and for the State of Texas

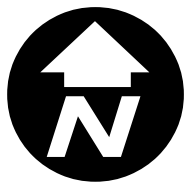




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



August 14, 2020

Planning Services Division
City of Rockwall, TX
385 S. Goliad St.
Rockwall, TX 75087

**RE: SWBC Phase 2 - Site Plan Application
McAdams Job Number WBC 20000**

To Whom It May Concern:

Please accept this letter, on behalf of SWBC, as an explanation of the proposed Site Plan Application. We are submitting, for review and approval, a Site Plan Application to for the development of phase II of the SWBC Apartments.

As discussed in our pre application meeting, phase 2 of the development responds to city comments to remove all dead end parking while keeping the original intent of the original layout. The layout consists of 10 buildings with associated parking, above ground stormwater detention, and other amenities.

The property is approximately 21.275 acres and is located on lot 1, Block A of the JM Allen Survey. The proposed phase 2.

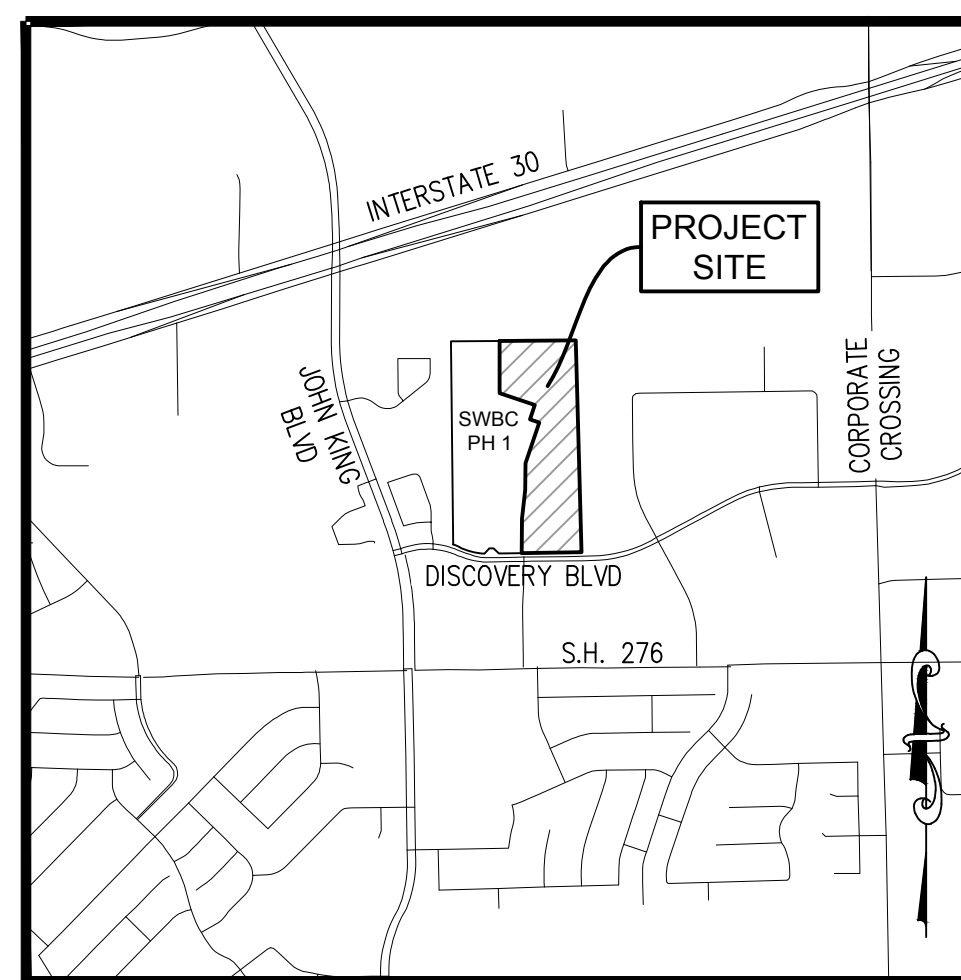
Please feel free to contact me if you have any questions or comments regarding this submittal.

Sincerely,

Josh Barton, P.E.

cc. Mr. Brad Lanham

SITE PLAN
 for
SWBC ROCKWALL
 LOT 1, BLOCK A
 SWBC ROCKWALL ADDITION, PHASE II
 21.275 Acres
 in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 ROCKWALL
 ROCKWALL COUNTY, TEXAS
 AUGUST 2020



Vicinity Map 1"=2000'

SHEET LIST TABLE

CS	COVER SHEET
N1	GENERAL NOTES
OAS1	OVERALL SITE PLAN
S1	SITE PLAN
S2	SITE PLAN
S3	SITE PLAN
L1.0	TREESCAPE PLAN
L2.0	LANDSCAPE PLAN
L2.1	LANDSCAPE PLAN
L2.2	LANDSCAPE PLAN
L2.3	LANDSCAPE PLAN
L2.4	LANDSCAPE PLAN
L2.5	LANDSCAPE PLAN

OWNER/DEVELOPER
SWBC ROCKWALL LP
 5949 SHERRY LANE, SUITE 750
 DALLAS, TEXAS 75225
 Ph. (214)987-0700
 Contact: Spencer Byington



The John R. McAdams
 Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.436.9712
 201 Country View Drive
 Roanoke, Texas 76262
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.jrca.com
 www.mcadamsco.com

Contact: R. Von Beougher, P.E.

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 111 Hillside Drive
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SWBC ROCKWALL
 Lot 1, Block A
SWBC ROCKWALL ADDITION, PHASE II
 21.275 Acres
 in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 ROCKWALL,
 ROCKWALL COUNTY, TEXAS

COVER SHEET

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR
 INTERIM REVIEW AND IS
 NOT INTENDED FOR
 CONSTRUCTION, BIDDING,
 OR PERMIT PURPOSES.
 THE JOHN R. MCADAMS
 COMPANY, INC.
 TBPE: 19762
 JUSTIN L. LANSDOWNE,
 P.E. #21990
 DATE 8/13/2020

Drawn By: ---
Date: 08/14/2020
Scale: N.T.S.
Revisions:

SWBC-20000

CS

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 Date: 8/13/2020 4:58:38 PM by: jrb
 Scale: 1/8"=1'-0"

GENERAL NOTES

- THE TERM MUNICIPALITY REFERS TO THE ROCKWALL.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY AND SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION. ALL WORK NOT COVERED IN THE CONTRACT DOCUMENTS AND MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION SHALL BE GOVERNED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- EXISTING UTILITY LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. EXISTING UTILITIES SHOWN HAVE BEEN BASED ON AVAILABLE RECORD DRAWINGS AND SURFACE APPURTENANCE FIELD TIES ONLY. SOME UTILITY LINES AND SURFACE LOCATIONS MAY NOT BE SHOWN. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATIONS AND PROTECTION OF EXISTING UTILITIES WHETHER SHOWN OR NOT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING UTILITIES WHETHER SHOWN OR NOT, DAMAGED BY THE CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATIONS OF EXISTING UTILITIES SHALL NOT BE BASIS FOR ADDITIONAL COMPENSATIONS TO THE CONTRACTOR.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT CONTRACTORS EXPENSE BY A REGISTERED PROFESSIONAL LAND SURVEYOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO: A.) PREVENT ANY DAMAGES TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC. B.) PROTECT ALL UNDERGROUND UTILITIES. C.) NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO EXCAVATION IN ACCORDANCE WITH TEXAS LAW. D.) FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES IN THE VICINITY OF CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNIDENTIFIED POTENTIAL CONFLICTS THAT MAY EXIST BETWEEN THE EXISTING UTILITIES AND CONSTRUCTION PLANS.
- ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS, INCLUDING EXISTING PRIVATE AND PUBLIC LANDSCAPE IRRIGATION SYSTEMS, SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENT WERE IN PRIOR TO THE DAMAGES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE ADJUSTMENT OF SPRINKLER HEADS TO FINAL GRADE AND RELOCATION IF NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. THE PONDING OF WATER IN STREETS, DRIVES, TRENCHES, ETC. WILL NOT BE ALLOWED. THE CONTRACTOR SHALL MAINTAIN EXISTING DRIVEWAYS ACCESS AT ALL TIME.
- THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES DURING CONSTRUCTION.
- AREAS OF THE SITE THAT WILL UNDERLIE FILL SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES, FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT FROM -3% TO +1% OF OPTIMUM OR PER GEOTECH RECOMMENDATION. FIELD DENSITY TESTS PER MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION. THE CONTRACTOR SHALL PROVIDE DETAILED PLANS AND SPECIFICATION FOR TRENCH SAFETY SYSTEMS THAT COMPLY WITH APPLICABLE LAWS GOVERNING EXCAVATION. THESE PLANS SHALL BE SEALED BY AN ENGINEER EXPERIENCED IN THE DESIGN OF TRENCH SAFETY SYSTEM, REGISTERED IN THE STATE OF TEXAS. THE CONTRACTOR SHALL SUBMIT COMPLETED TRENCH SAFETY PLANS TO THE MUNICIPALITY PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF WORK RELATED TO EXCAVATION. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONSTRUCTION SAFETY AND HEALTH REGULATIONS".
- WORK MAY NOT BE BACKFILLED OR COVERED UNTIL IT HAS BEEN INSPECTED BY THE MUNICIPALITY.
- ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
- ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE CONCRETE PAVEMENT.
- CONTRACTOR SHALL COORDINATE THE PROTECTION OF EXISTING FRANCHISE UTILITIES AND APPURTENANCES INCLUDING EXISTING UTILITY POLES IN THE VICINITY OF CONSTRUCTION OPERATIONS WHETHER UTILITIES ARE SHOWN ON PLANS OR NOT. ANY DAMAGE INCURRED TO EXISTING FRANCHISE UTILITIES, APPURTENANCES, UTILITY POLES, LIGHT STANDARDS, ETC., BY CONSTRUCTION RELATED ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL LOCATE AND RECORD EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL TEMPORARILY REMOVE AND CAP IRRIGATION SYSTEM AS NECESSARY FOR CONSTRUCTION AND SHALL REPLACE THE PORTION REMOVED WITH EQUIVALENT SYSTEMS. CONTRACTOR SHALL COORDINATE ANY IRRIGATION WORK WITH THE MUNICIPALITY AND PROPERTY OWNER'S REPRESENTATIVES.
- THE CONTRACTOR MUST CEASE ALL CONSTRUCTION OPERATIONS IMMEDIATELY IF A SUSPECTED ARCHEOLOGICAL OBJECT/ARTIFACT IS UNCOVERED DURING CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY CONTACT THE TEXAS HISTORICAL COMMISSION AND THE MUNICIPALITY. PROJECT WORK WILL NOT COMMENCE UNTIL PROPER PERMITS ARE IN PLACE AND PROVIDED TO THE MUNICIPALITY.
- ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL HANDICAPPED ACCESSIBILITY REQUIREMENTS INCLUDING SIGNAGE, TEXTURES, COLORING, MARKINGS, AND SLOPES OF ADA/TAS 2012 ACCESSIBLE ROUTES & RAMPS, AND PARKING SPACES.
- ALL PIPE LENGTHS MEASURED FROM STATION TO STATION BASED ON THE CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARISE.

GENERAL NOTES FOR WATER IMPROVEMENTS

- ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO A.W.W.A. STANDARD C-900 DR-18 MINIMUM, WITH NSF SEAL, PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH MUNICIPAL AND/OR NCTCOG STD. SPECS., UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION PLANS.

GENERAL NOTES FOR PAVING IMPROVEMENTS

- THE SUB GRADE SHALL BE PROOF ROLLED AND OBSERVED BY THE CONSTRUCTION INSPECTOR PRIOR TO AND AFTER SUB-GRADE STABILIZATION.
- INDIVIDUAL WATER AND SEWER SERVICES AND WATER VALVES SHALL BE MARKED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL PROCEED WITH PAVING NO MORE THAN SEVENTY-TWO (72) HOURS AFTER DENSITY/MOISTURE TESTS HAVE BEEN TAKEN AND PASSED BY A REGISTERED TESTING FIRM. COPIES OF THE TEST RESULTS SHALL BE FURNISHED TO THE MUNICIPALITY. IN THE EVENT PAVING OPERATIONS HAVE NOT COMMENCED WITHIN THE SEVENTY-TWO (72) HOUR LIMIT, A RETEST SHALL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.
- MANHOLE RIM ELEVATIONS, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR AT THE TIME OF PAVING.
- THE PAVING CONTRACTOR SHALL INSTALL A BLUE REFLECTOR IN THE STREET OR FIRE LANE CENTERLINE AT THE LOCATION OF EACH FIRE HYDRANT.
- THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS AND SUBMIT TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE MUNICIPALITY. THE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D AND AS MODIFIED BY THE TXDOT SUPPLEMENT TO THE M.U.T.C.D. THE PLAN SHALL ADDRESS THE REQUIREMENTS FOR ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS, HOURS OF CONSTRUCTION, AND OTHER DEVICES AS NECESSARY FOR SAFE TRAFFIC CONTROL.

GENERAL NOTES FOR SANITARY SEWER IMPROVEMENTS

- SANITARY SEWER PVC PIPE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
- AFTER COMPLETION OF ALL SANITARY SEWER TESTING (I.E. MANDREL AND AIR) CONTRACTOR SHALL PERFORM A TELEVISION INSPECTION AND PROVIDE A VIDEOTAPE TO THE MUNICIPALITY. ALL MANHOLES SHALL BE VACUUM TESTED.
- ONE JOINT OF 150-PSI PRESSURE RATED PIPE SHALL BE INSTALLED AND CENTERED UNDER ALL PROPOSED WATER PIPE CROSSINGS.
- CONTRACTOR TO PLACE A 3/4" PLYWOOD FALSE BOTTOM IN ALL SANITARY SEWER MANHOLES BEFORE PAVING CONTRACTOR BEGINS WORK.
- ANY CONNECTION TIE-IN TO AN EXISTING MANHOLE MUST BE CORED.
- ALL CLEAN-OUTS TO BE PROVIDED PER MUNICIPAL REQUIREMENTS.

PROJECT GENERAL NOTES

- THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) MUST APPROVE ANY WORK TO BE DONE IN THE STATE HIGHWAY RIGHT-OF-WAY. AN APPLICATION AND APPROPRIATE PLANS MUST BE SUBMITTED DIRECTLY TO TXDOT FOR REVIEW AND APPROVED BY THE MUNICIPALITY WHERE THE WORK WILL BE PERFORMED.
- THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES. IF THE EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES, SERVICE LINES OR IRRIGATION LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES, SERVICE LINES OR IRRIGATION LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENTS.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS." VOL. 29, SUBPART P, PG. 128-137, AND ANY AMENDMENTS THERETO. THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A TRENCH SAFETY PLAN FOR THIS PROJECT.
- THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS, RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACT'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.
- THE CONTRACTOR SHALL KEEP RECORDS FOR AS-BUILTS DRAWINGS AND SHALL SUBMIT MARK-UPS TO THE MUNICIPALITY INSPECTOR PRIOR TO SCHEDULING A FINAL WALK THROUGH INSPECTION.
- PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH REPRESENTATIVES FROM ALL CONTRACTORS, THE ENGINEER, AND THE MUNICIPALITY.
- ALL CONSTRUCTION MUST ADHERE TO THE TREE PRESERVATION REQUIREMENTS OF THE MUNICIPALITY.
- THE CONTRACTOR, AND HIS AGENTS, AND SUB-CONTRACTOR, ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL FURNISHED HEREIN. THE OWNER, ENGINEER AND THEIR AGENTS, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE COORDINATES FURNISHED. THE CONTRACTOR IS REQUIRED TO VERIFY ALL COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTAL AND VERTICALLY. DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED, IN WRITING, TO THE OWNER IMMEDIATELY FOR RECONCILIATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PREPARE, IMPLEMENT AND MAINTAIN THE SWPPP IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT TCEQ AND NPDES GENERAL PERMIT AS DESCRIBED IN THE FEDERAL REGISTER, PAGES 36489 THROUGH 36519.

TOWN OF FLOWER MOUND UTILITY CONTACTS

WATER/WASTEWATER DEPT.	(972) 874-6010
ENGINEERING DEPT.	(972) 874-6315
CP	(972) 874-6400
PUBLIC WORKS DEPT.	(972) 874-6400
BUILDING INSPECTIONS DEPT.	(972) 874-6355
UTILITY OPERATIONS DEPT.	(972) 874-6405
PARKS & RECREATION DEPT.	(972) 874-6300
ENVIRONMENTAL SERVICES	(972) 874-6340
TRAFFIC SIGNAL OPERATIONS	(972) 874-6317
ONCOR	(972) 497-7571
CO-SERV	(940) 321-7800
TXU	(972) 791-2828
VERIZON	(972) 318-0264
SOUTHWESTERN BELL	(817) 338-6803
TCI CABLE	(972) 539-0053
TIME WARNER	(972) 742-5892
GRANDE COMMUNICATIONS	(877) 238-6891
AT&T	1-800 464-7928
VERIZON FIOS	1-888 553-1555
ATMOS ENERGY	1-866 286-6700
WASTE MANAGEMENT	(972) 315-5400
UNITE COMMUNICATIONS	(214) 960-9710
DIG T.E.S.S	1-(800) 344-8377

LEGEND

ABBREVIATIONS:

CRF	Capped Rebar Found	FG	Finished Grade
CRS	Capped Rebar Set	FF	Finished Floor
CP	Control Point	FP	Finished Pad
Mon.	Monument	FL	Flowline
BM	Benchmark	UE	Utility Easement
Ex TC	Existing Top of Curb	DE	Drainage Easement
Ex TP	Existing Top of Pavement	BL	Building Line
TC	Top of Curb	R.O.W.	Right-of-Way
G	Gutter	DR	Deed Records
PG	Proposed Grade	PR	Plat Records
TP	Grade at Top of Pavement	PAE	Pedestrian Access Easement
TA	Grade at Top of Asphalt	SB	Setback line
TW	Grade at Top of Wall	WLE	Waterline Easement
BW	Grade at Bottom of Wall	MAE	Mutual Access Easement
RW	Grade at Retaining Wall		
TG	Grade at Top of Grate		

LINES & SYMBOLS:

	Existing: 500-500		Proposed: 500-500
	Contours		Asphalt Pavement
	Wood Fence		Chain Link Fence
	Wire Fence		Masonry Wall
	Centerline of Creek, Swale, or Waterway		Waterline
	Sanitary Sewer		Storm Sewer
	Overhead Power		Buried Power
	Gas Line		Fire Hydrant
	Water Valve		Water Meter
	Sanitary Sewer Manhole		Guy Wire
	Light Pole		Power Pole
	Tree		Benchmark

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SWBC ROCKWALL
 Lot 1, Block A
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 21,275 Acres
 in the
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GENERAL NOTES

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Drawn By: --
Date: 08/14/2020
Scale: N.T.S.
Revisions:

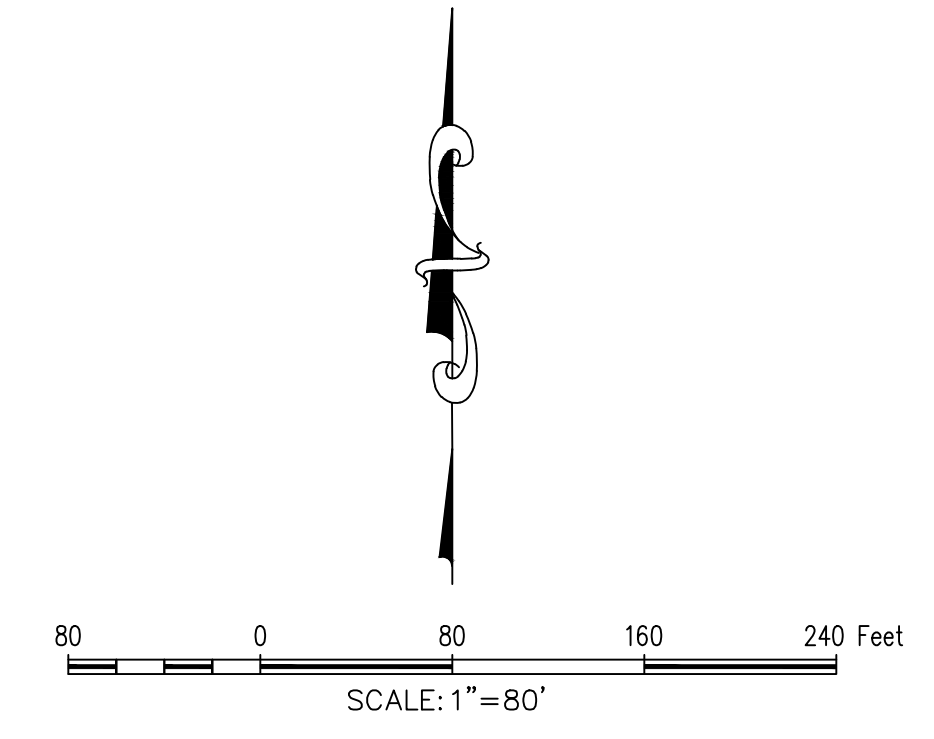
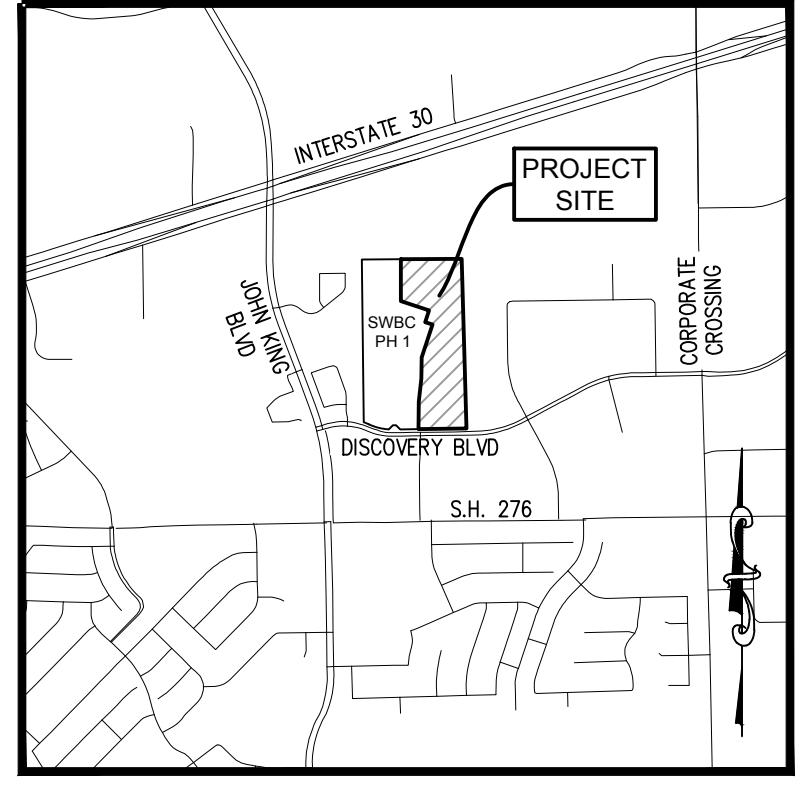
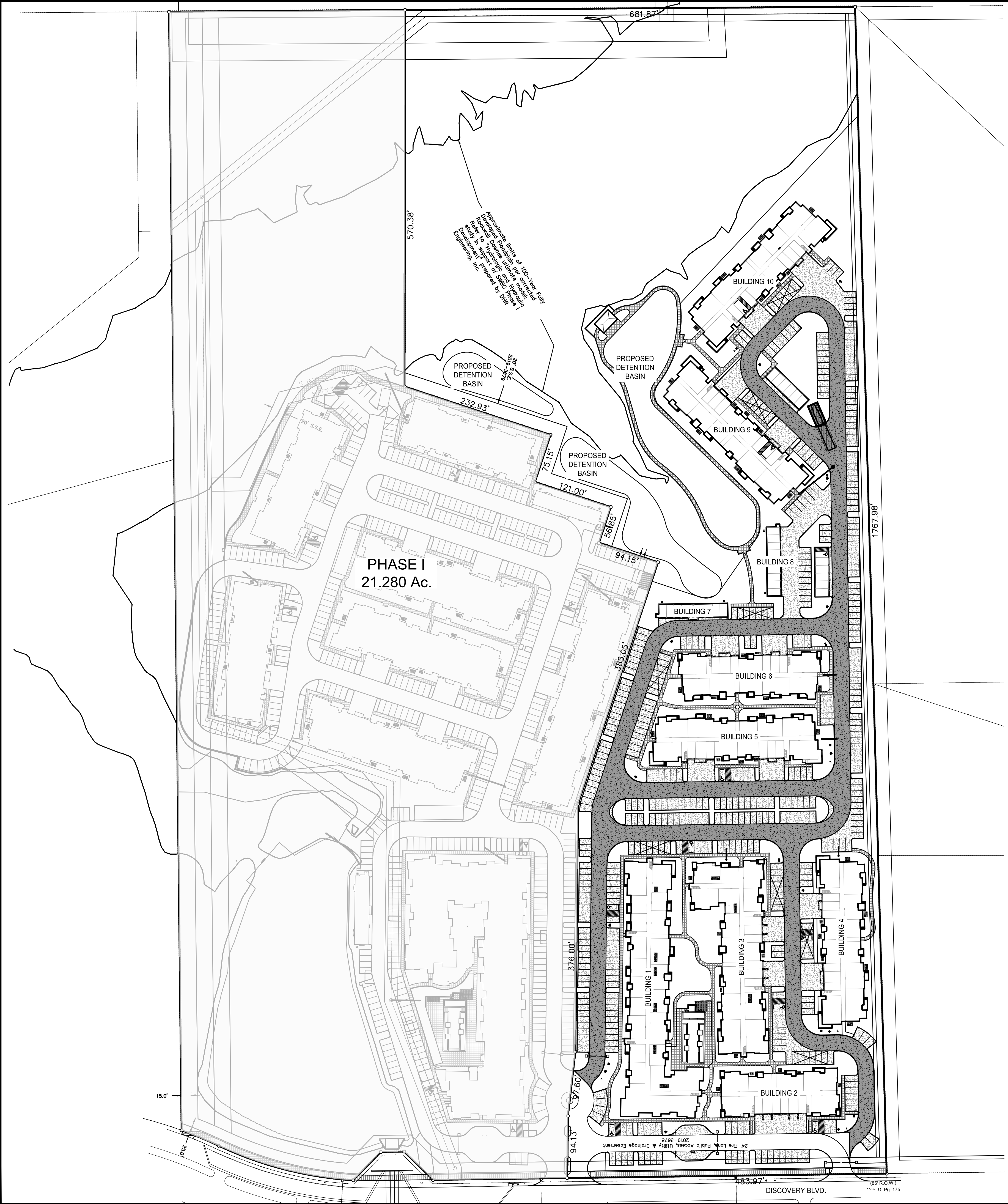
SWBC-20000

OWNER/DEVELOPER
SWBC ROCKWALL LP
 6549 SHERRY LANE, SUITE 760
 DALLAS, TEXAS 75225
 Ph. (214)987-0700
 Contact: Spencer Byington

N1

File: s:\projects\swbcrad\swbc-20000\04-Proposed\Engineering\Drawings\SWBC-20000-N.dwg
 Plotted: 8/13/2020 8:00 PM by Plotter: 'Series' 8/13/2020 8:04 PM, by slobert

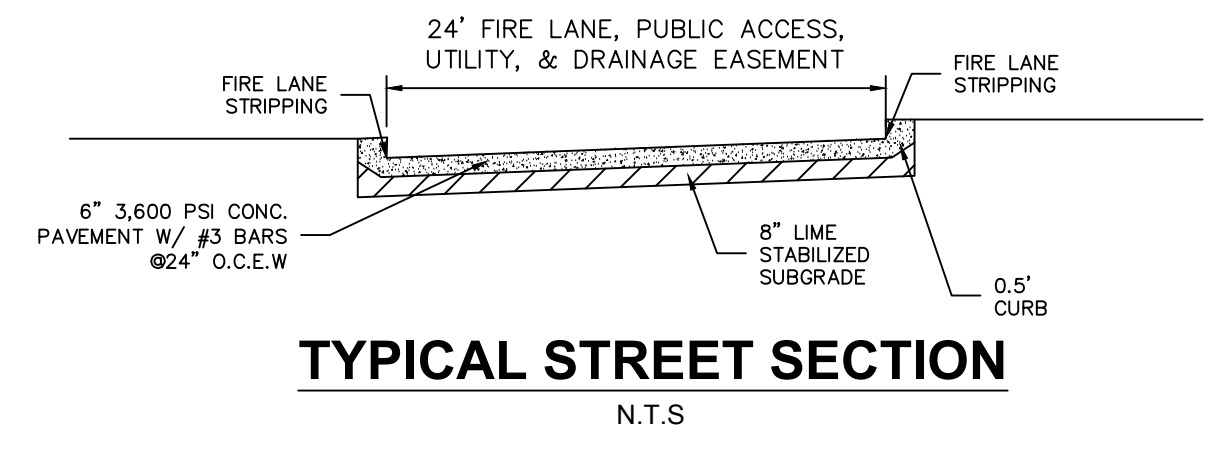
SWBC ROCKWALL



SITE SUMMARY TABLE	
Site Address	2300 Discovery Blvd. Rockwall, Texas 75032
County	Rockwall
Project Name	SWBC Rockwall Addition, PH II
Zoning District	PD-83
Proposed Use	Apartments
Site Area	21.275 AC
	926,739 SF
Lot Coverage %	42%
Impervious Area	386,683 SF
Impervious %	42%

BUILDING SUMMARY			
	STORIES	MAX HEIGHT	SF
Building 1	3-Story	37'-10"	83,519 SF
Building 2	3-Story	38'-0"	35,284 SF
Building 3	3-Story	38'-3"	65,481 SF
Building 4	3-Story	38'-0"	48,392 SF
Building 5	3-Story	38'-0"	48,392 SF
Building 6	3-Story	38'-6"	40,062 SF
Building 7	2-Story	23'-0"	4,748 SF
Building 8	2-Story	23'-0"	4,748 SF
Building 9	3-Story	38'-0"	48,392 SF
Building 10	3-Story	38'-0"	48,392 SF
Total Building Area			427,410 SF

PARKING SUMMARY	
Garage Parking Provided	70
Parking Provided Onsite	455
Total Parking Provided	525



RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on this _____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____

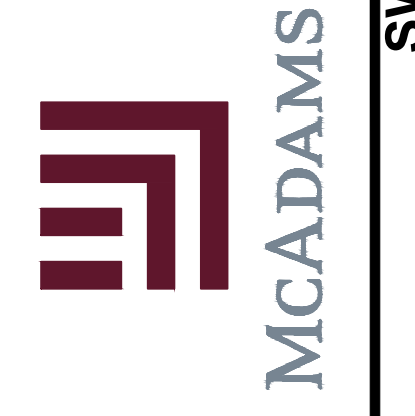
Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

OWNER/DEVELOPER
SWBC ROCKWALL LP
6949 SHERRY LANE, SUITE 750
DALLAS, TEXAS 75225
Ph. (214)987-0700
Contact: Spencer Byington
CASE #XX-XXXX

TBM: "X" CUT ON CURB INLET ALONG NORTHSIDE OF DISCOVERY BLVD. APPROXIMATELY 85' WEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY LINE. ELEV.= 564.92
BM: CITY OF ROCKWALL CONTROL MONUMENT " N1495". CALLED ELEV.= 566.71. MEASURED ELEV. = 566.83

- GENERAL NOTES
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 - PHASE II OF THE PROPERTY HAS YET TO BE PLATTED.

The John R. McAdams Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Rockwall, Texas 75087
940.240.1012
TBP#: 19762 TBP#S: 10194440
www.mcadamsco.com



SWBC ROCKWALL
Lot 1, Block A
SWBC ROCKWALL ADDITION, PHASE II
21.275 Acres
in the
J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
ROCKWALL, TEXAS
ROCKWALL COUNTY, TEXAS

OVERALL SITE PLAN

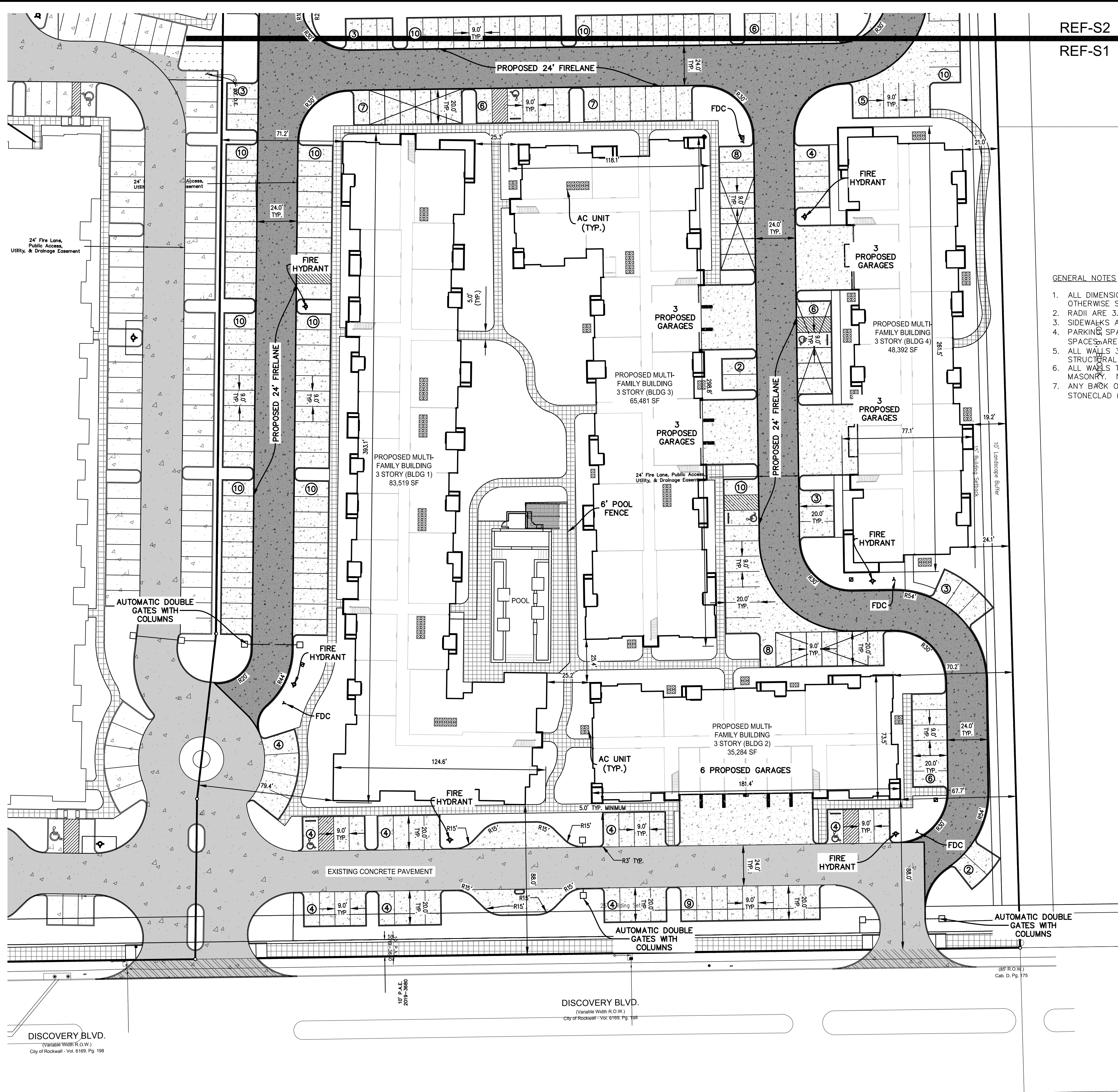
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBP#: 19762 JUSTIN L. LANSDOWNE, P.E. #21990 DATE 8/14/2020

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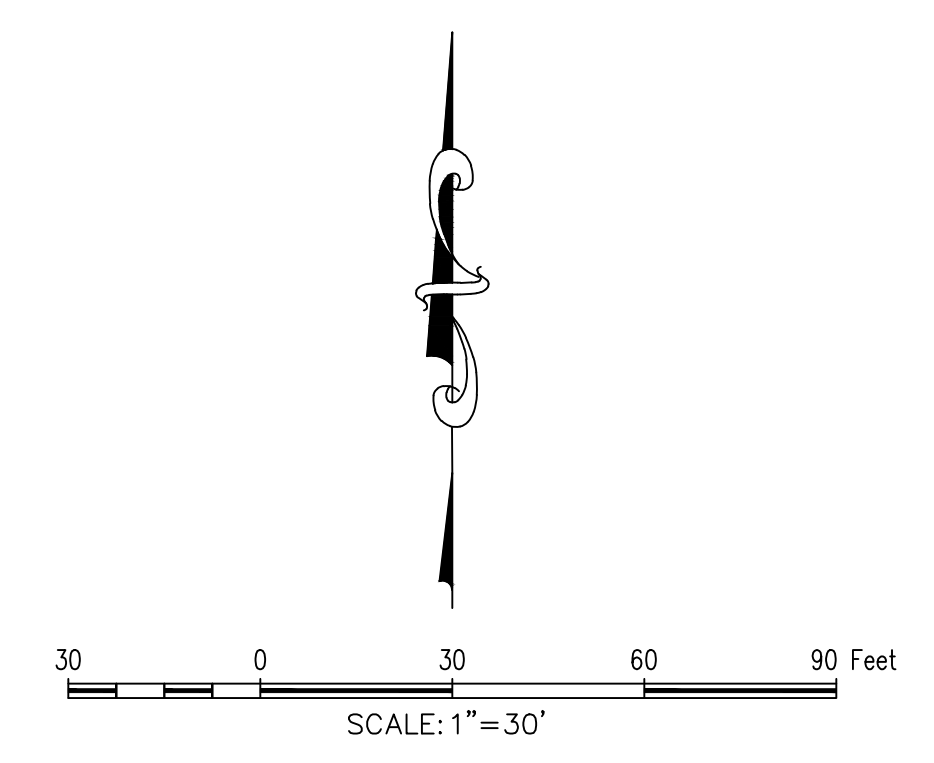
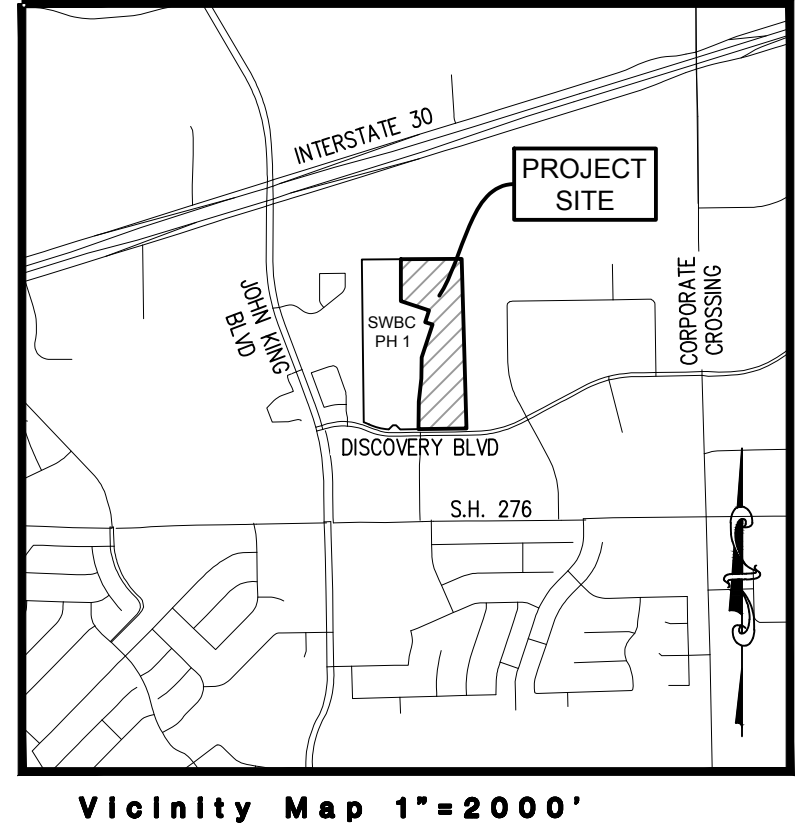
SWBC-20000



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REF-S2
REF-S1



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PAVING SPECIFICATIONS:

- SIDEWALK AREA:**
 4" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 24" O.C.E.W. ON 6" SUBGRADE COMPACTED TO 95% STD. PROCTOR DENSITY; USE 6.5 SACK MIX (HATCH PATTERN DOES NOT REFLECT CONST. OR EXPANSION JOINT LOCATIONS)
- PARKING AREA:**
 5" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 24" O.C.E.W. ON 8" LIME STABILIZED SUBGRADE COMPACTED TO 95% STD. PROCTOR DENSITY USE 6.5 SACKS (MIN.) FOR HAND PLACED 6.0 SACKS (MIN.) FOR MACHINE PLACED
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LIME STABILIZATION TO EXTEND ONE (1) FOOT MINIMUM OUTSIDE LIMITS OF PAVEMENT PER GEOTECHNICAL REPORT

CONTRACTOR MAY SUBSTITUTE LIME STABILIZED SUBGRADE WITH ONE (1) ADDITIONAL INCH OF CONCRETE THICKNESS PER GEOTECHNICAL REPORT; TOP 6" SUBGRADE TO BE SCARIFIED AND COMPACTED TO 95% SPD

FOR ALL VEHICULAR PAVEMENT:
 CONSTRUCTION JOINTS @ 15' MAXIMUM
 EXPANSION JOINTS @ 60' MAXIMUM

REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION/RECOMMENDATIONS.

The John R. McAdams Company, Inc.
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 201 Country View Drive
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 www.mcadamsco.com

MCADAMS

SWBC ROCKWALL
 Lot 1, Block A
SWBC ROCKWALL ADDITION, PHASE II
 21.275 Acres
 in the
 J.M. ALLEN SURVEY ABSTRACT NO. NO. 2
 ROCKWALL, TEXAS

SITE PLAN

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBP#: 19762 JUSTIN L. LANSDOWNE, P.E. #21990 DATE 8/13/2020

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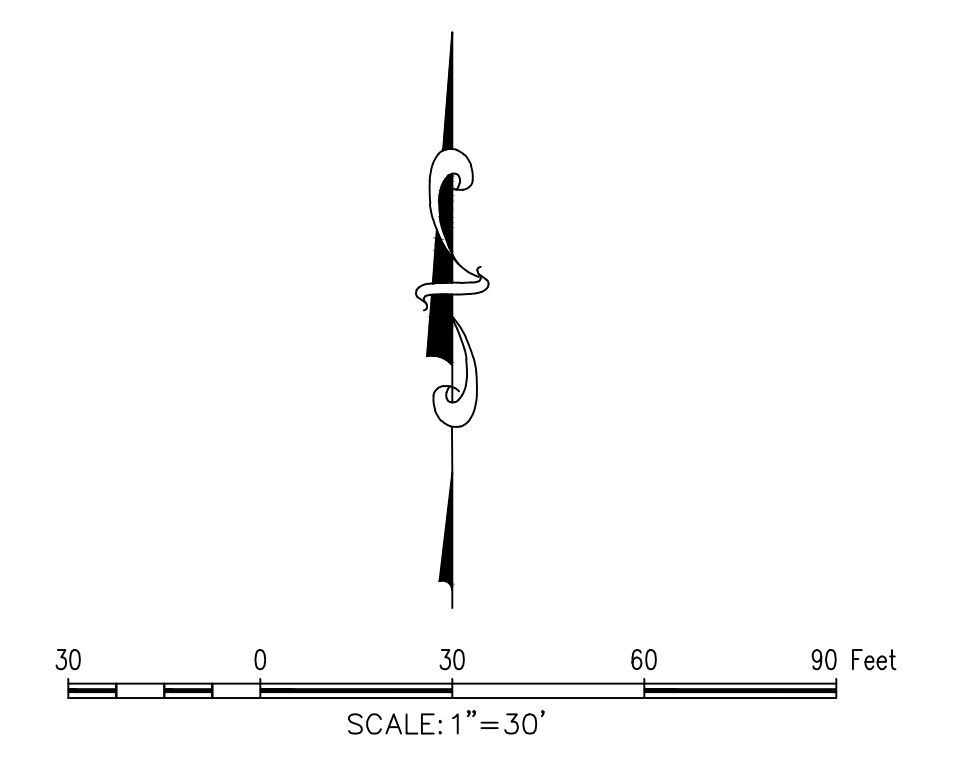
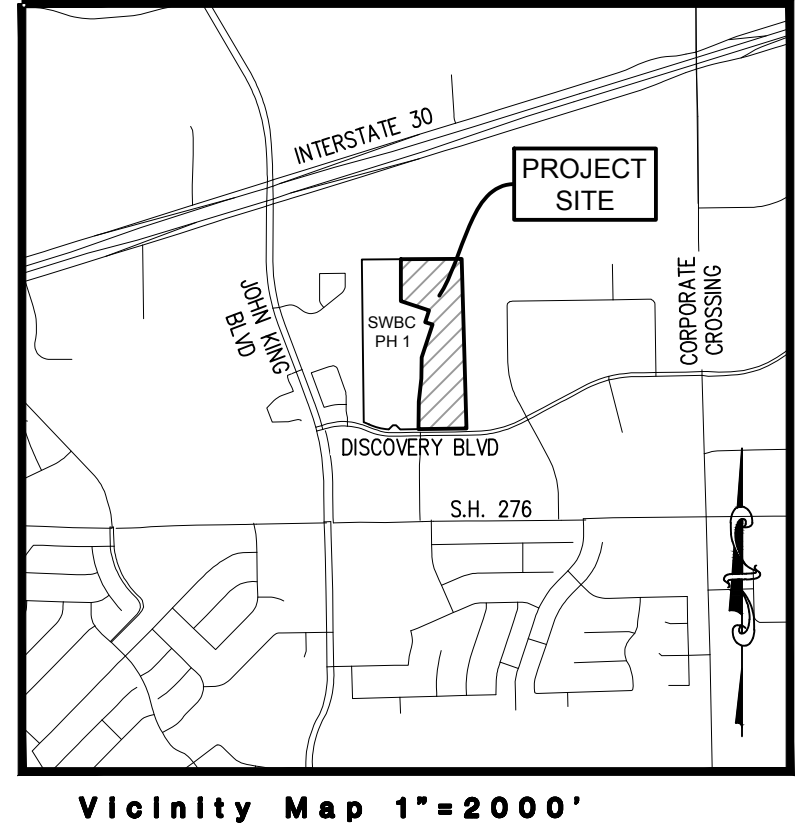
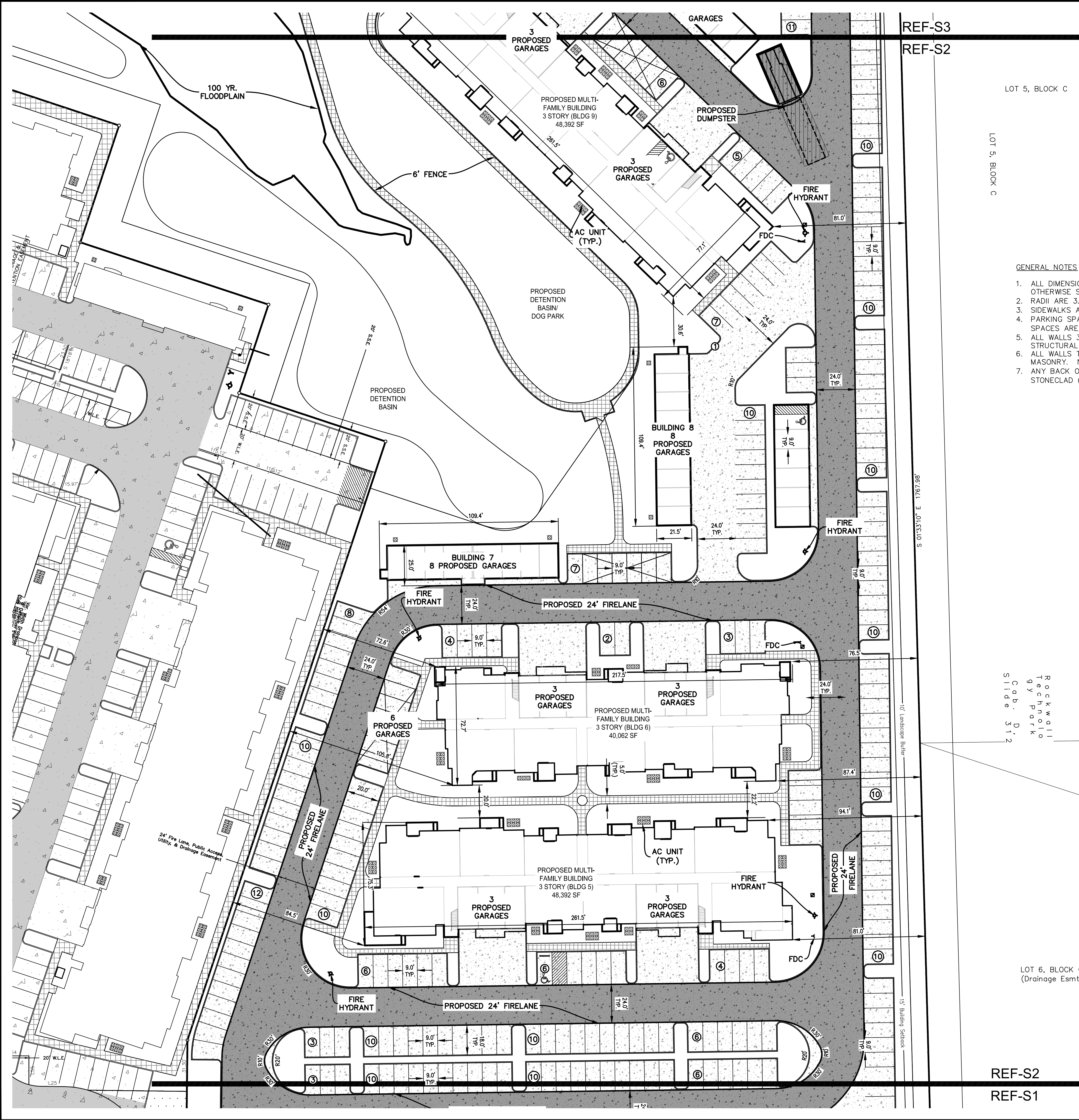
SWBC-20000

OWNER/DEVELOPER
SWBC ROCKWALL LP
 5949 SHERRY LANE, SUITE 750
 DALLAS, TEXAS 75225
 Ph. (214)987-0700
 Contact: Spencer Byington

CASE #XX-XXXX

S1

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MCADAMS

SWBC ROCKWALL
Lot 1, Block A
SWBC ROCKWALL ADDITION, PHASE II
21,275 Acres
in the
J.M. ALLEN SURVEY ABSTRACT NO. NO. 2
ROCKWALL, TEXAS

SITE PLAN

PRELIMINARY PLANS
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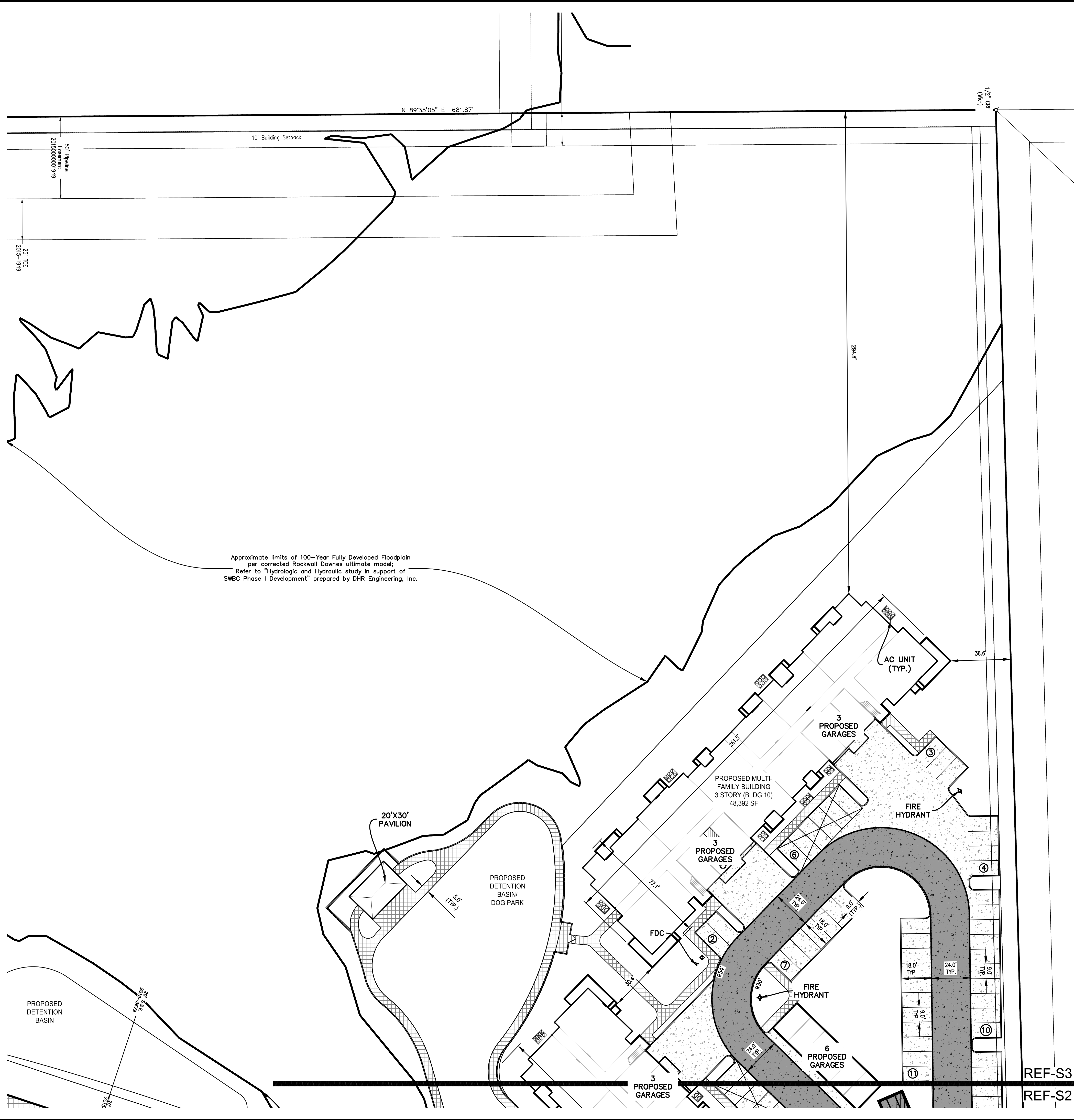
SWBC-20000

OWNER/DEVELOPER
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DALLAS, TEXAS 75225
Ph. (214)987-0700
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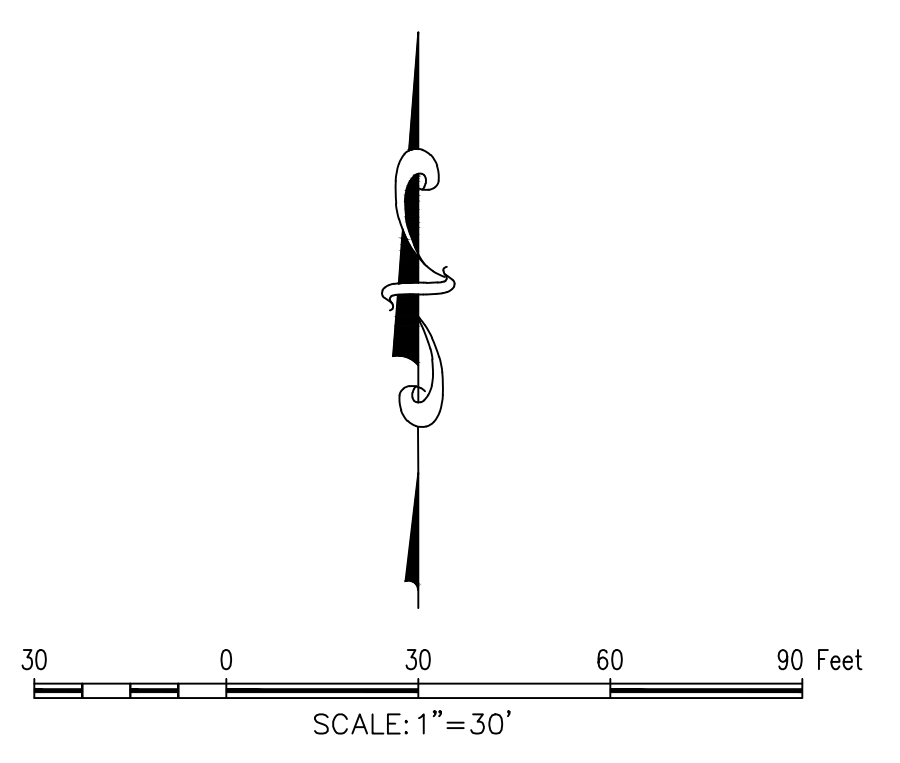
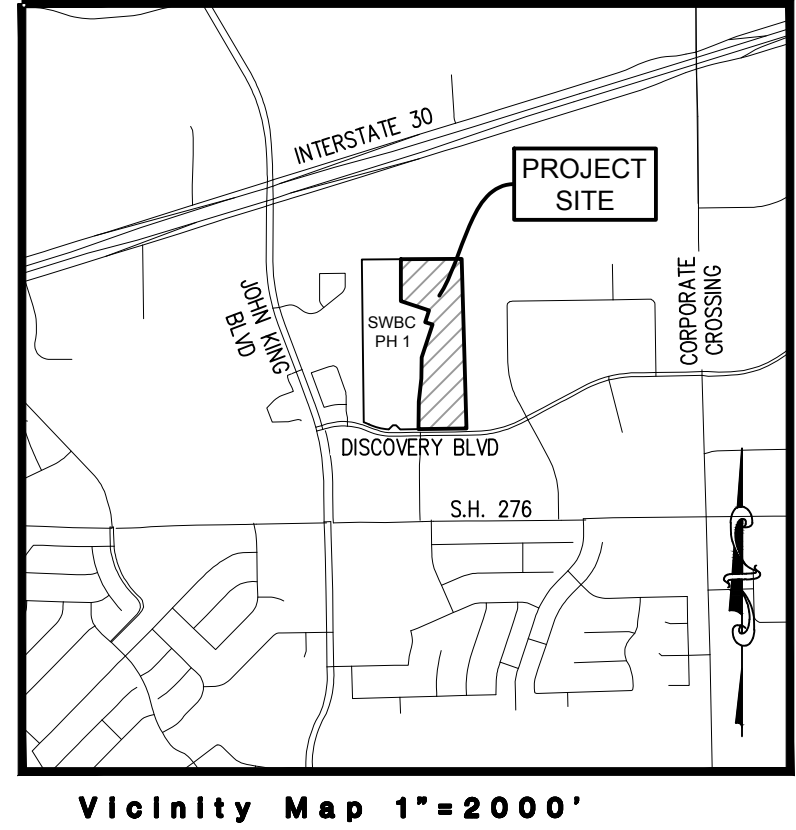
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Approximate limits of 100-Year Fully Developed Floodplain per corrected Rockwall Downes ultimate model; Refer to "Hydrologic and Hydraulic study in support of SWBC Phase I Development" prepared by DHR Engineering, Inc.

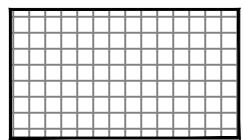
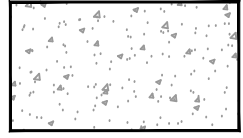
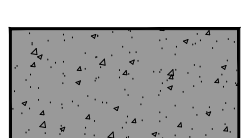
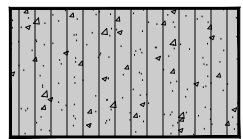


BM: "X" CUT ON CURB INLET ALONG NORTHSIDE OF DISCOVERY BLVD. APPROXIMATELY 85' WEST OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY LINE. ELEV.= 564.92
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 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.jrmc.com



SWBC ROCKWALL
 Lot 1, Block A
SWBC ROCKWALL ADDITION, PHASE II
 21,275 Acres in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 ROCKWALL COUNTY, TEXAS

SITE PLAN

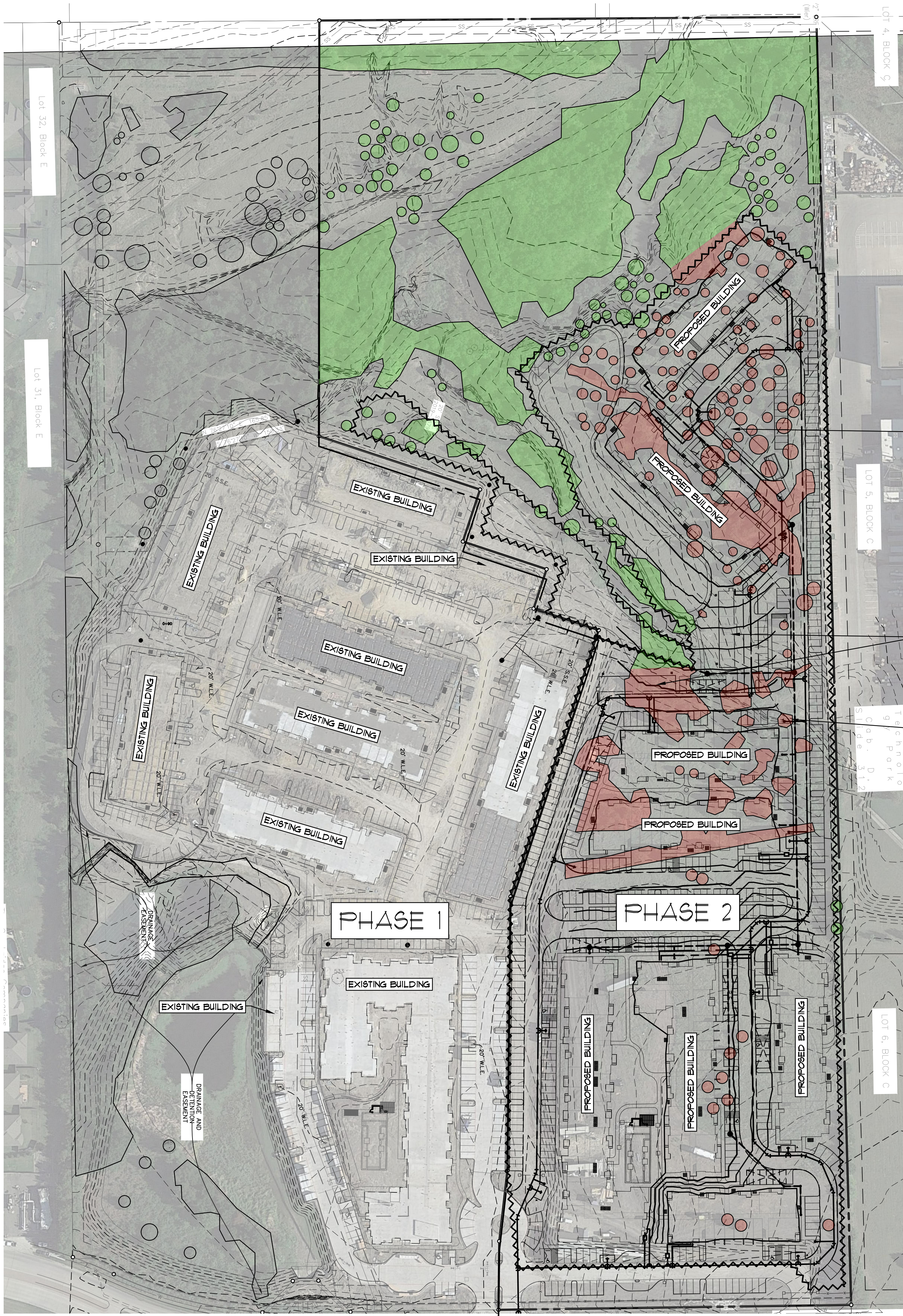
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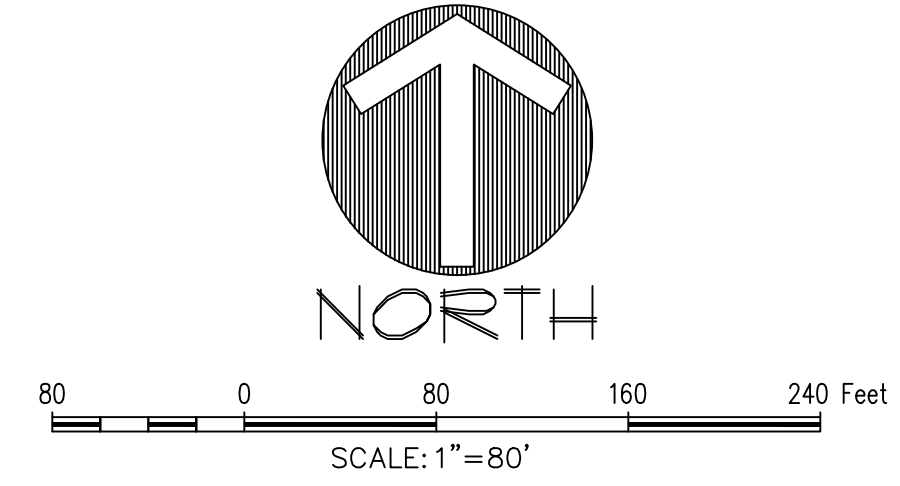
SWBC-20000
 S3

OWNER/DEVELOPER
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 DALLAS, TEXAS 75225
 Ph. (214)987-0700
 Contact: Spencer Byington
CASE #XX-XXXX

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SITE SUMMARY TABLE	
Site Address	2300 Discovery Blvd. Rockwall, Texas 75032
County	Rockwall
Project Name	SWBC Rockwall Addition, PH II
Zoning District	PD-83
Proposed Use	Apartments
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	926,739 SF
Lot Coverage %	42%
Impervious Area	386,683 SF
Impervious %	42%



LEGEND

- EXISTING CANOPY TO REMAIN
- EXISTING CANOPY TO REMOVE
- EXISTING CANOPY PHASE I
- LIMITS OF CONSTRUCTION

NOTE:
THERE ARE NO PROTECTED TREES WITHIN THE LIMITS OF CONSTRUCTION

PROPOSED BUILDING

PROPOSED BUILDING

NON-PROTECTED EXISTING TREES 10.5" OR LESS

PHASE 1

PHASE 2

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SWBC ROCKWALL

SWBC ROCKWALL ADDITION, PHASE II
 Lot 1, Block A
 21.275 Acres
 in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 ROCKWALL COUNTY, TEXAS

TREE PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON LANDSCAPE ARCHITECT No. 3102, ON 8/13/20

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

Drawn By: JN
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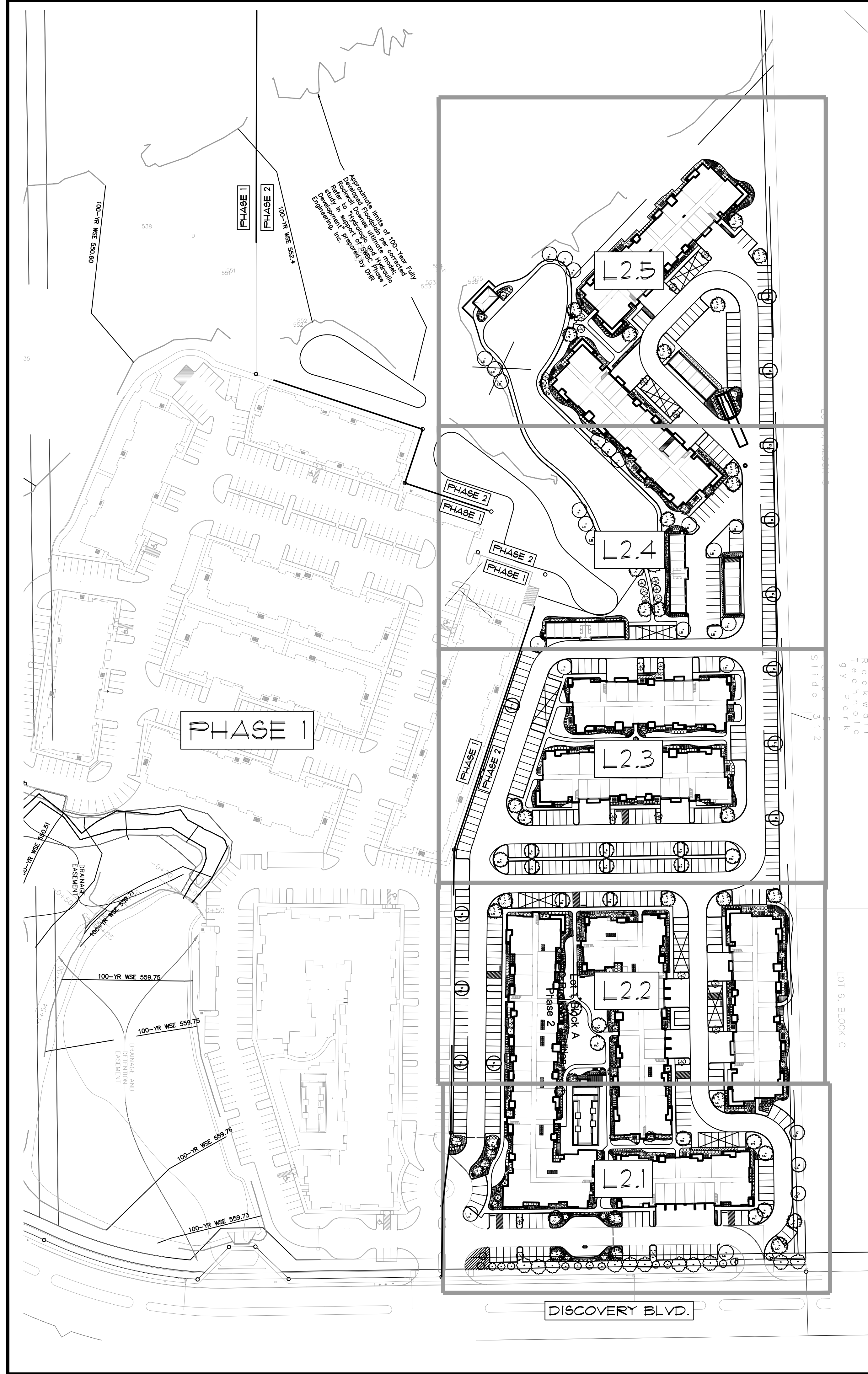
SWBC-20000

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OWNER/DEVELOPER
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 6949 SHERRY LANE, SUITE 760
 DALLAS, TEXAS 76226
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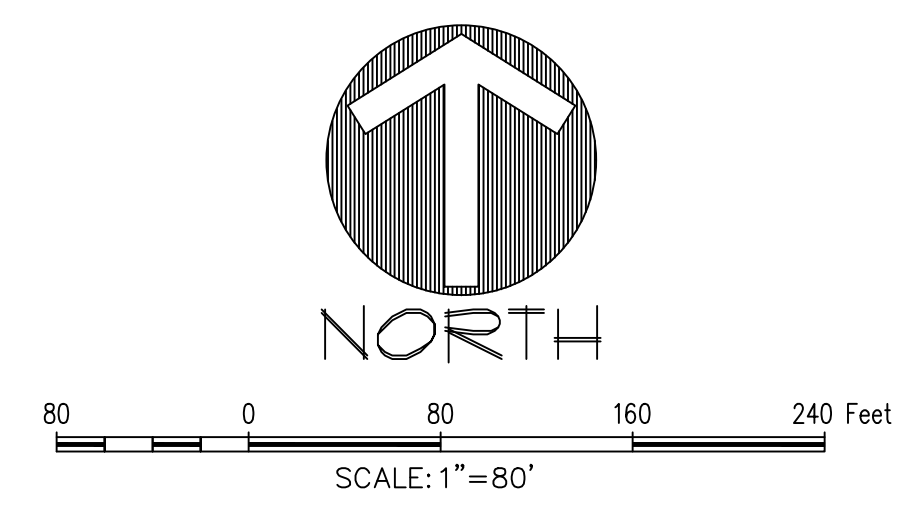
The John R. McAdams Company, Inc.
 (DBA: G&A McAdams)
 111 Hillside Drive
 Lewisville, Texas 75057
 972.338.9712
 201 Country View Drive
 Rowland, Texas 76682
 TBE: 8782 TBE: 1-1019440
 www.mcadams.com

MCADAMS



PLANT SCHEDULE

TREES	COMMON NAME	BOTANICAL NAME	GAL	HGT	CONT	REMARKS
18	Shumard Red Oak	Quercus shumardii	4"	10'-12'	PER PLAN	SINGLE TRUNK
29	Southern Live Oak	Quercus virginiana	4"	10'-12'	PER PLAN	SINGLE TRUNK
17	Cedar Elm	Ulmus crassifolia	4"	10'-12'	PER PLAN	SINGLE TRUNK
24	Lacebark Elm	Ulmus parviflora	4"	10'-12'	PER PLAN	SINGLE TRUNK
ORNAMENTAL TREES	COMMON NAME	BOTANICAL NAME	GAL	HGT	CONT	REMARKS
14	Desert Willow	Chilopsis linearis	30 gal	10'-12'	PER PLAN	MULTI TRUNK
30	Crape Myrtle	Lagerstroemia speciosa	20 GAL	7'-8'	PER PLAN	MULTI TRUNK
6	Texas Palmetto	Sabal texana	15 GAL	3'-4'	PER PLAN	FULL
13	Texas Mountain Laurel	Sophora secundiflora	20 GAL	7'-8'	PER PLAN	MULTI TRUNK
11	Chaste Tree	Vitex agnus-castus	20 GAL	7'-8'	8"	MULTI TRUNK
SHRUBS	COMMON NAME	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
253	Kaleidoscope Abelia	Abelia x grandiflora 'Kaleidoscope'	3 gal	24"	3'-0"	FULL
182	Inland Sea Oats	Chasmodon latifolium	3 gal	12"	24"o.c.	
152	Holly Fern	Cyrtosium falcatum	3 gal	12"	2'-0"	SHADE
210	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 gal	30"	3'-0"	FULL
59	Dwarf Texas Sage	Leucophyllum frutescens 'Bertstar Dwarf'	5 gal	24"	PER PLAN	XERI
325	Daruma Dwarf Loropetalum	Loropetalum chinense 'Daruma'	3 gal	18"	3'-0"	FULL
339	Dwarf Southern Wax Myrtle	Myrica pusilla	5 gal	36"	4'-0"	FULL
188	Rosemary	Rosmarinus officinalis	3 gal	24"	3'-0"	XERI
GRASSES	COMMON NAME	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
1,003	Blonde Ambition Blue Grama	Bouteloua gracilis 'Blonde Ambition'	1 gal	24"	24"o.c.	XERI
557	Lindheimer's Muhly	Muhlenbergia lindheimeri	3 gal	18"	3'-0"	XERI
475	Fountain Grass	Pennisetum alopecuroides 'Karl's Rose'	3 gal			HEALTHY EVEN GROWTH
PERENNIALS	COMMON NAME	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS
324	Little Spire Russian Sage	Perovskia atriplicifolia 'Little Spire'	3 gal	12"	3'-0"o.c.	XERI
220	Autumn Sage	Salvia greggii	1 gal	12"	24"o.c.	XERI
SHRUB AREAS	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	REMARKS
1,204	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	4"-6"			18" o.c.
2,079	Blackfoot Daisy	Melampodium leucanthum	4"-6"			12" o.c.
GROUND COVERS	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	REMARKS
127,514 sf	Bermuda Grass	Cynodon dactylon	--			



LANDSCAPE ORDINANCE - City of Rockwall, TX

Final landscape plan will meet all City of Rockwall development ordinances. All landscape will be maintained according to city standards. All required landscapes will be 100% watered by an underground irrigation system.

REQUIRED: Three large shade 3 and 2 small ornamental trees shall be required per 100 linear feet of street buffer frontage.

PROVIDED: Discovery Boulevard: 265 Lf. of street frontage / 100 Lf. = 25 canopy trees and 15 ornamental trees.
PROVIDED: 25 canopy trees + 21 ornamental trees

SITE LANDSCAPE
REQUIRED: All canopy/shade trees planted within this development shall be a minimum of 4 caliper inches in size and all Accent/Ornamental trees shall be a minimum of 4 feet in total height.
PROVIDED: All canopy trees are 4 caliper inches

REQUIRED: A minimum of 20% (426 acres) open space. Floodplain acreage may count for up to 50% of the 20% open space requirement.
PROVIDED: 10% Floodplain + 10% Landscaped area = 20% Open Space

BUFFER LANDSCAPE
REQUIRED: A minimum 20' landscape street buffer shall be required along Discovery Blvd. street frontage.
PROVIDED: 20' landscape buffer

PARKING LANDSCAPE
REQUIRED: Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 feet, whichever is greater, in the interior of the parking lot. In landscaping, such landscaping shall be counted toward the total landscape requirement.
REQUIRED: If the parking and maneuvering space exceeds 20,000 SF, one large canopy tree for every ten spaces. Each parking stall shall be located no greater than 80' from a canopy tree.
Phase II parking = 525 parking spaces or 53 canopy trees required.
PROVIDED: (62) 4" canopy trees and (18) ornamental trees.

LANDSCAPE TREES SHALL NOT BE PLANTED WITHIN 5' OF ANY PUBLIC UTILITIES.

LANDSCAPE PROJECT NOTES

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved EPIC edge landscape edging unless bed is bordered by concrete. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of hardwood mulch over a 4 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

SOD PROJECT NOTES

EROSION CONTROL:
Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

SOIL PREPARATION:
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag.

GRASS SOD:
Turfgrass sod shall be 100% "Cynodon dactylon" (Common Bermuda grass). Sod shall consist of stolons, leaf blades, rhizomes and roots with a healthy, viable system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Ryegrass for a green-in appearance.

IRRIGATION:
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS:
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

THE JOHN R. MCADAMS COMPANY, INC.
(DBA: G&A) 111 Hillside Drive
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www.mcadams.com

SWBC ROCKWALL LP
6949 SHERRY LANE, SUITE 760
DALLAS, TEXAS 75225
Ph. (214)987-0700
Contact: Spencer Byington

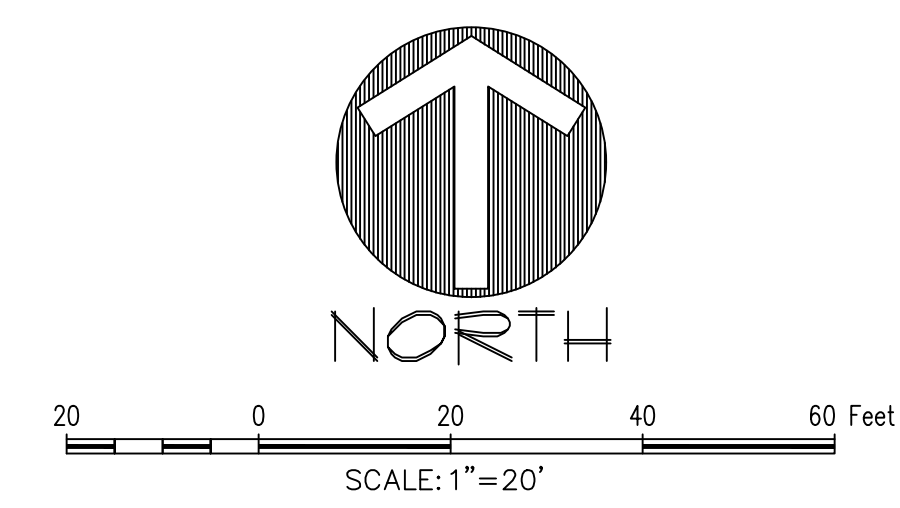
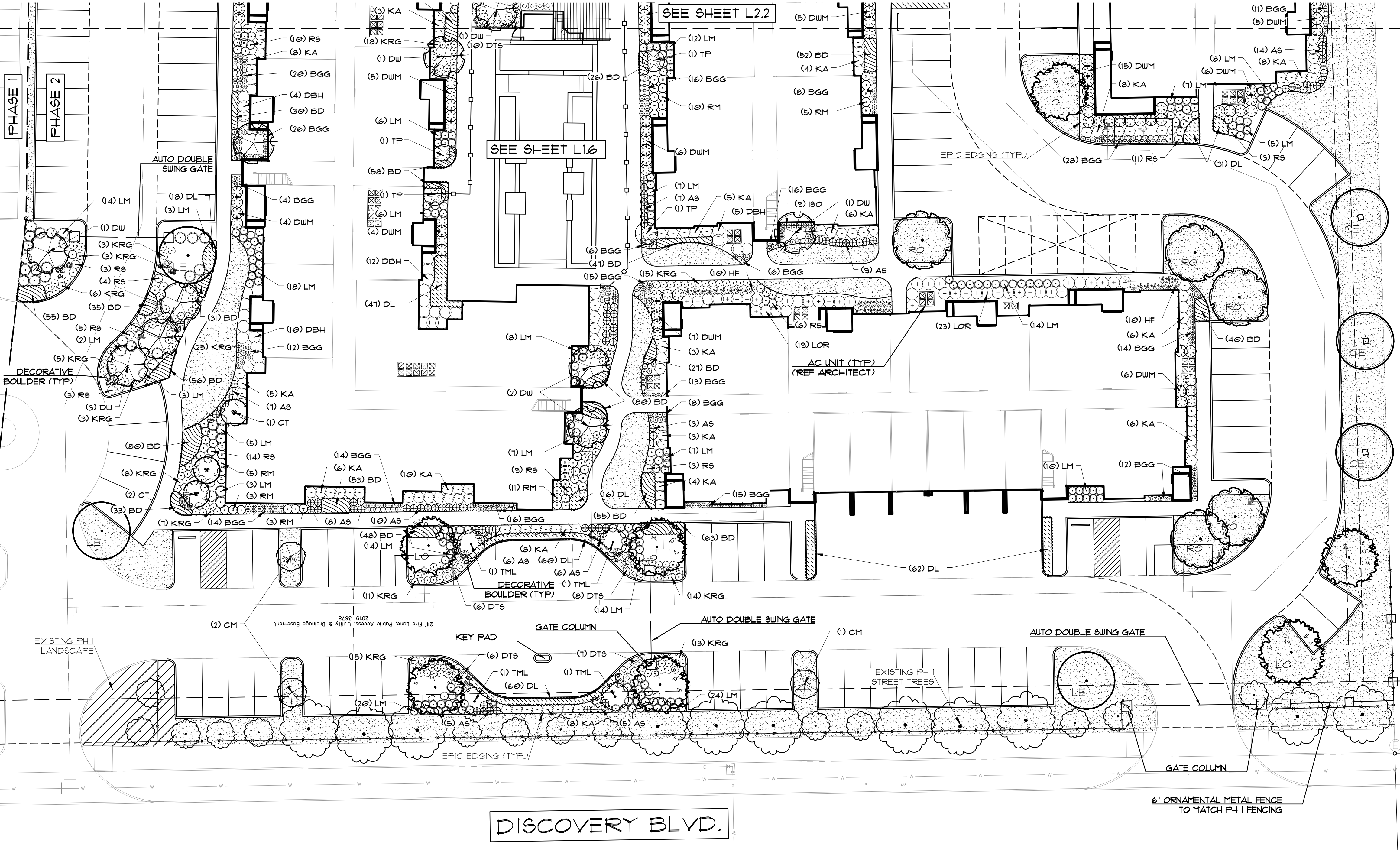
SWBC ROCKWALL ADDITION, PHASE II
Lot 1, Block A
21275 Acres
in the
J.M. ALLEN SURVEY, ABSTRACT NO. 2
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW AGENCY APPROVAL AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON, LANDSCAPE ARCHITECT No. 3102, ON 13/09/2020. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

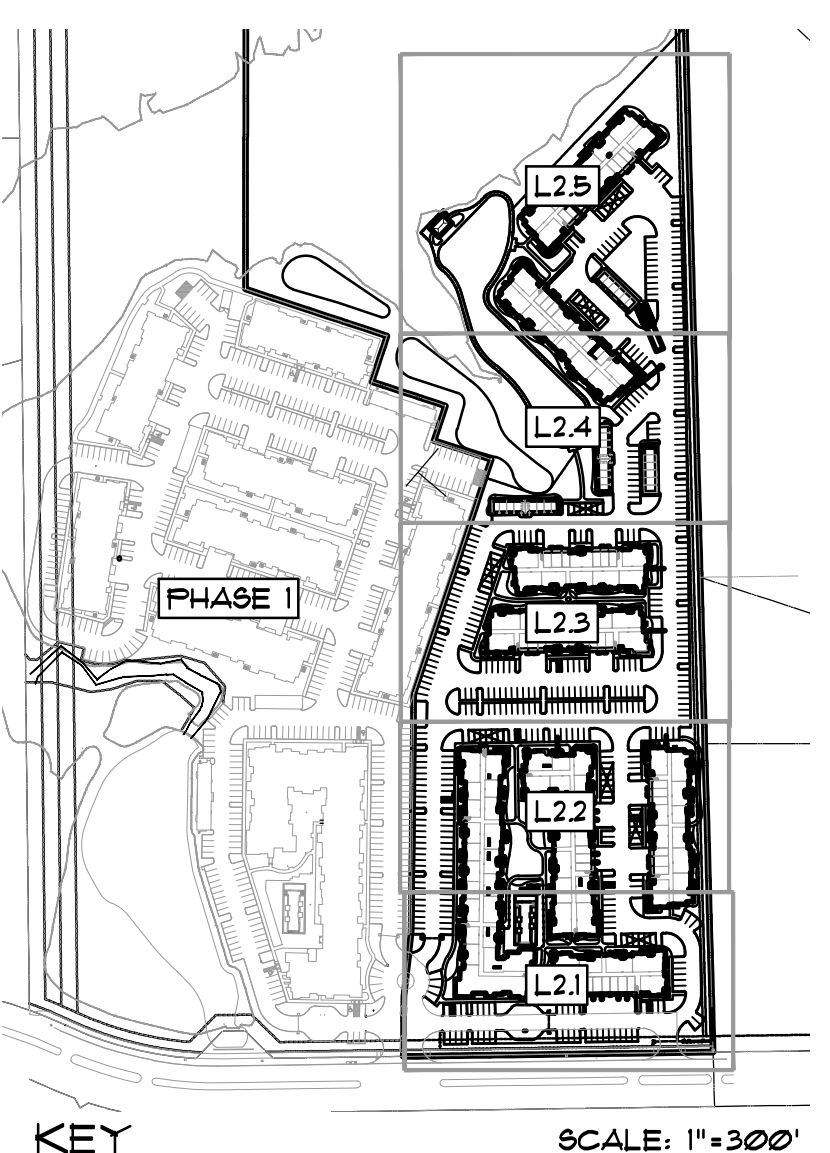
SWBC-20000

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PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME
TREES	
RO	Quercus shumardii / Shumard Red Oak
LO	Quercus virginiana / Southern Live Oak
CE	Ulmus crassifolia / Cedar Elm
LE	Ulmus parvifolia / Lacebark Elm
ORNAMENTAL TREES	
DW	Chilopsis linearis / Desert Willow
CM	Lagerstroemia indica / Grape Myrtle
TP	Sabal texana / Texas Palmetto
TML	Sophora secundiflora / Texas Mountain Laurel
CT	Vitex agnus-castus / Chaste Tree
SHRUBS	
KA	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Abelia
ISO	Chasmanthium latifolium / Inland Sea Oats
HF	Cyrtomium falcatum / Holly Fern
DBH	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly
DTS	Leucophyllum frutescens 'Bertstar Dwarf' / Dwarf Texas Sage
LOR	Loropetalum chinense 'Daruma' / Daruma Dwarf Loropetalum
DWM	Mynca pusilla / Dwarf Southern Wax Myrtle
RM	Rosmannus officinalis / Rosemary
GRASSES	
BGG	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama
LM	Muhlenbergia lindheimeri / Lindheimer's Muhly
KRG	Pennisetum alopecuroides 'Karlay Rose' / Fountain Grass
PERENNIALS	
R5	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage
AS	Salvia greggii / Autumn Sage
SHRUB AREAS	
DL	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily
BD	Melampodium leucanthum / Blackfoot Daisy
GROUND COVERS	
SOD	Cynodon dactylon / Bermuda Grass



LANDSCAPE NOTES
 SEE SHEET L2.0 FOR PROJECT LANDSCAPE NOTES, THE CITY OF ROCKWALL LANDSCAPE ORDINANCE, AND FULL LANDSCAPE SCHEDULE, ETC

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OWNER/DEVELOPER
 SWBC ROCKWALL LP
 5049 SHERRY LANE, SUITE 750
 DALLAS, TEXAS 75225
 Ph. (214)987-0700
 Contact: Spencer Byington

The John R. McAdams Company, Inc.
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 972.438.9712
 201 Country View Drive
 Roanoke, Texas 75282
 940.240.1012
 TEP#: 19922 TEP#: 10194440
 www.mcadamsco.com



SWBC ROCKWALL
SWBC ROCKWALL ADDITION, PHASE II
 Lot 1, Block A
 21,275 Acres
 in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 ROCKWALL, TEXAS
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

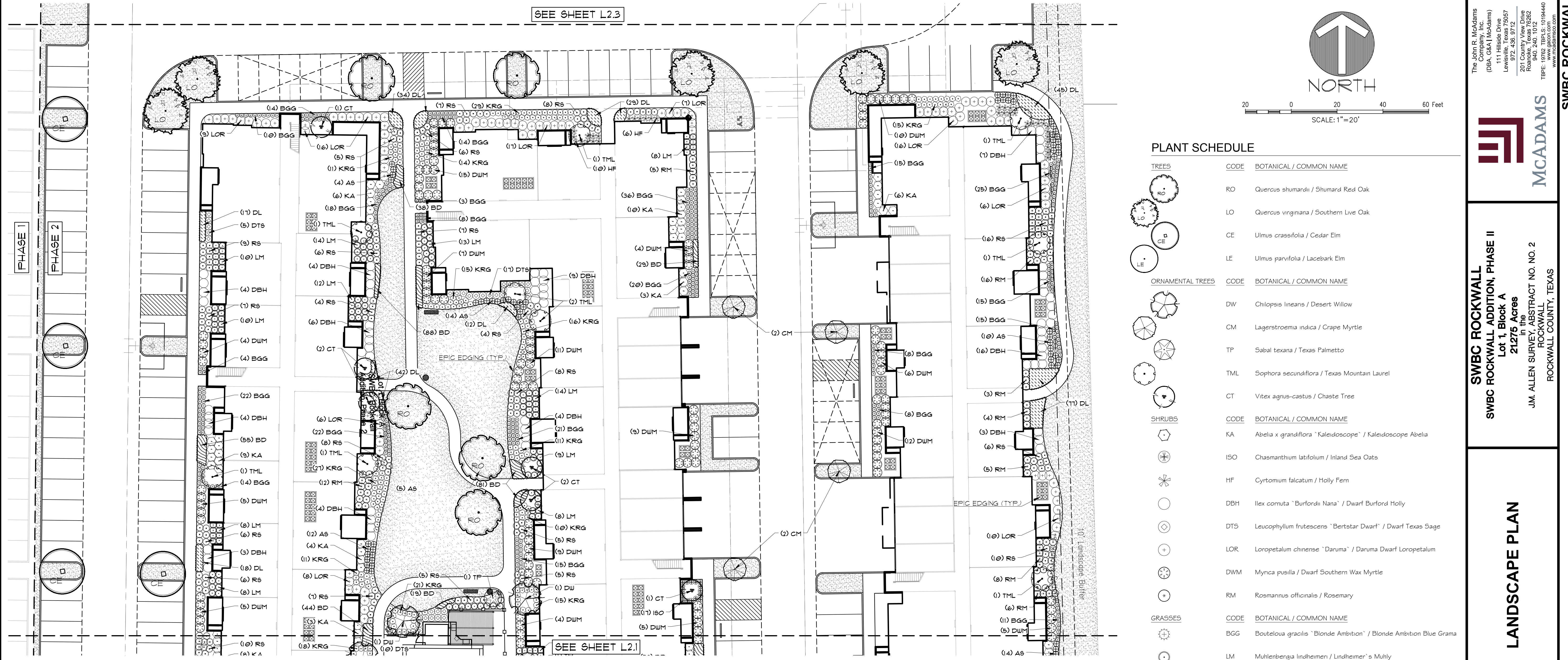
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SWBC-20000

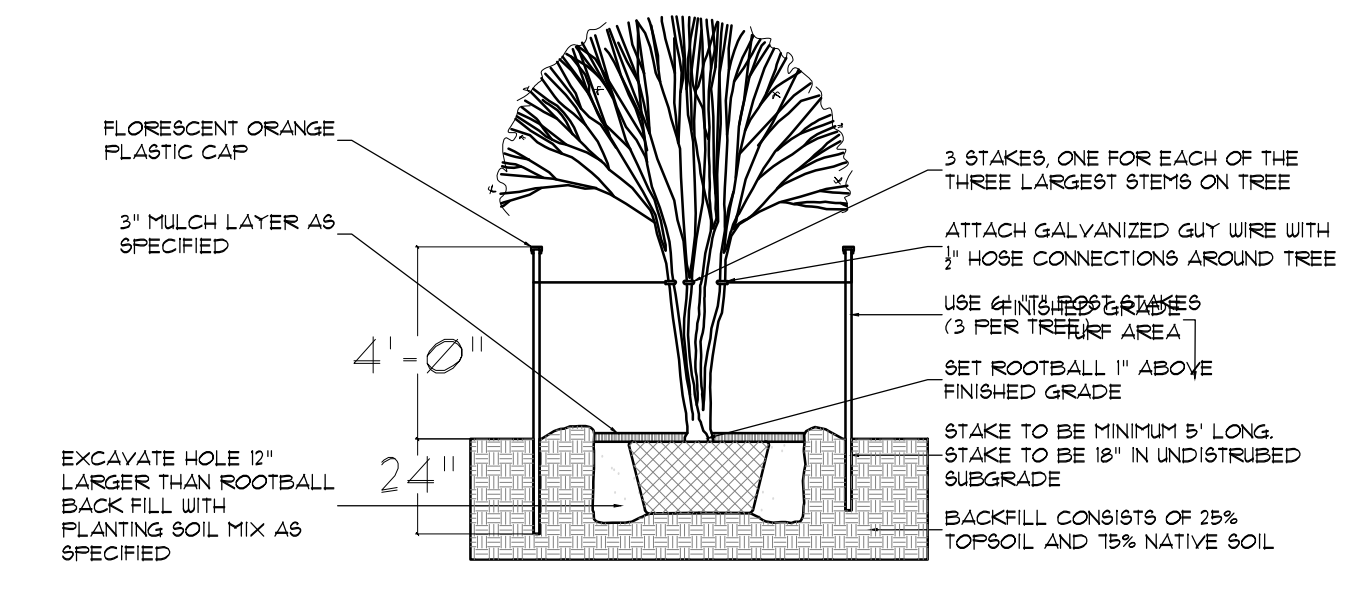
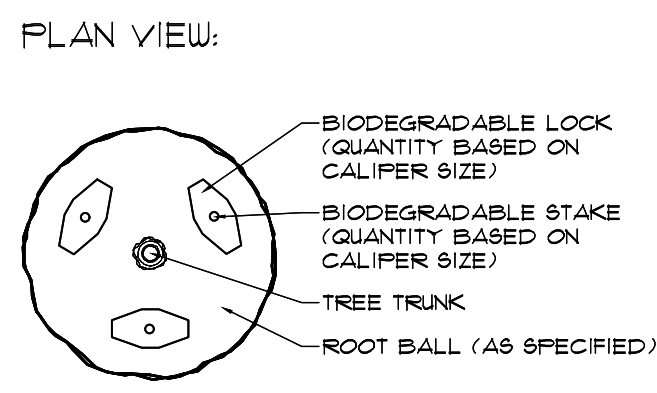
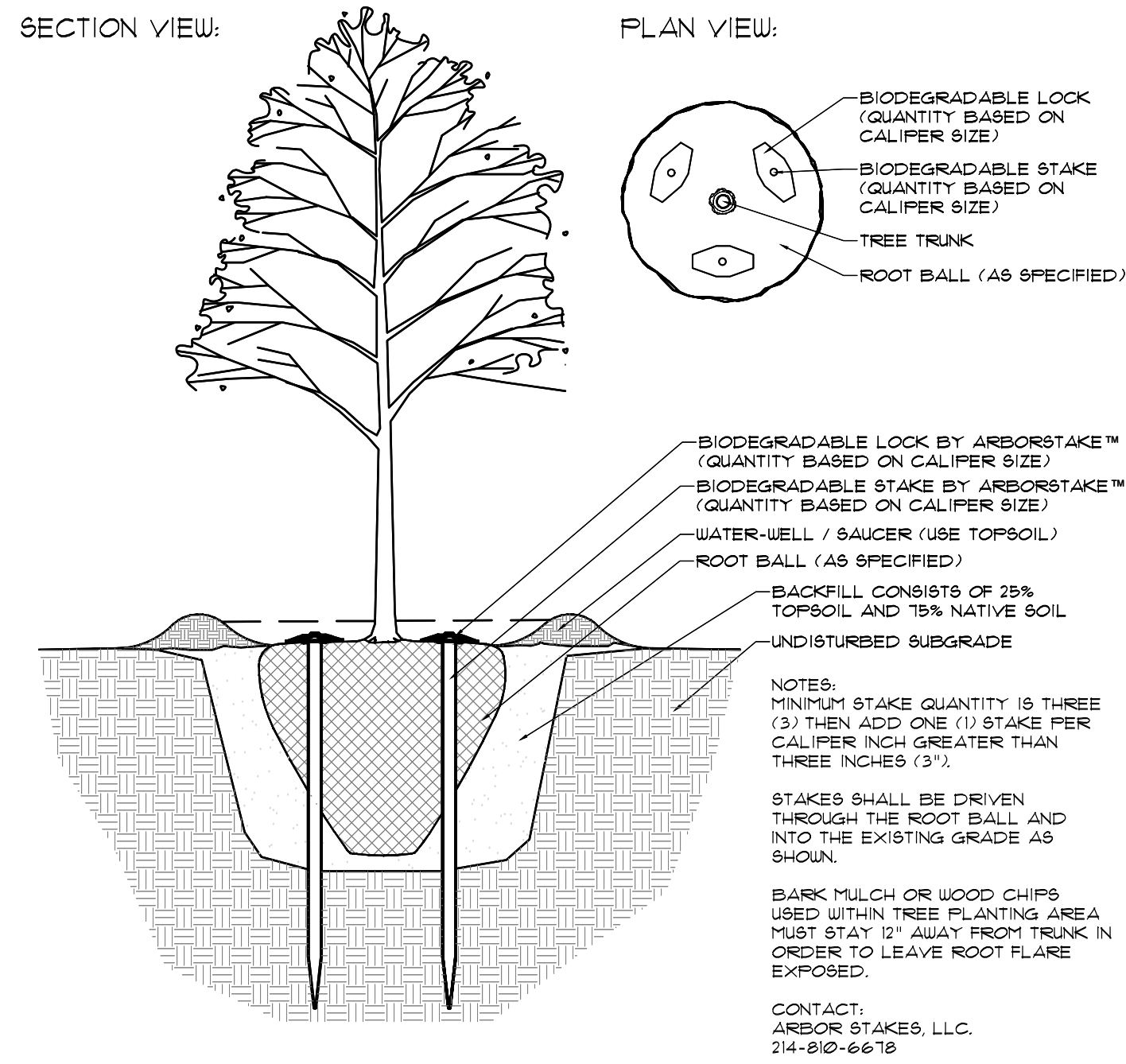
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PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	RO	Quercus shumardii / Shumard Red Oak
	LO	Quercus virginiana / Southern Live Oak
	CE	Ulmus crassifolia / Cedar Elm
	LE	Ulmus parvifolia / Lacebark Elm
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	DW	Chilopsis lineans / Desert Willow
	CM	Lagerstroemia indica / Crape Myrtle
	TP	Sabal texana / Texas Palmetto
	TML	Sophora secundiflora / Texas Mountain Laurel
	CT	Vitex agnus-castus / Chaste Tree
SHRUBS	CODE	BOTANICAL / COMMON NAME
	KA	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Abelia
	ISO	Chasmanthum latifolium / Inland Sea Oats
	HF	Cyrtomium falcatum / Holly Fern
	DBH	Ilex comuta 'Burfordii Nana' / Dwarf Burford Holly
	DTS	Leucophyllum frutescens 'Bertstar Dwarf' / Dwarf Texas Sage
	LOR	Loropetalum chinense 'Danuma' / Danuma Dwarf Loropetalum
	DWM	Mynca pusilla / Dwarf Southern Wax Myrtle
	RM	Rosmarinus officinalis / Rosemary
GRASSES	CODE	BOTANICAL / COMMON NAME
	BGG	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama
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	KRG	Pennisetum alopecuroides 'Karlary Rose' / Fountain Grass
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	RS	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage
	AS	Salvia greggii / Autumn Sage
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
	DL	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily
	BD	Melampodium leucanthum / Blackfoot Daisy
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SOD	Cynodon dactylon / Bermuda Grass



NOTE: MINIMUM STAKE QUANTITY IS THREE (3) THEN ADD ONE (1) STAKE PER CALIFER INCH GREATER THAN THREE INCHES (3").

STAKES SHALL BE DRIVEN THROUGH THE ROOT BALL AND INTO THE EXISTING GRADE AS SHOWN.

BARK MULCH OR WOOD CHIPS USED WITHIN TREE PLANTING AREA MUST STAY 12" AWAY FROM TRUNK IN ORDER TO LEAVE ROOT FLARE EXPOSED.

CONTACT: ARBOR STAKES, LLC. 214-810-6678

1. BELOWGROUND TREE STAKING DETAIL
1/4"=1'

2. MULTI TRUNK TREE STAKING
1/4"=1'

LANDSCAPE NOTES

SEE SHEET L2.0 FOR PROJECT LANDSCAPE NOTES, THE CITY OF ROCKWALL LANDSCAPE ORDINANCE, AND FULL LANDSCAPE SCHEDULE, ETC

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OWNER/DEVELOPER
SWBC ROCKWALL LP
5649 SHERRY LANE, SUITE 760
DALLAS, TEXAS 75225
Ph. (214)987-0700
Contact: Spencer Byington

SWBC ROCKWALL ADDITION, PHASE II
Lot 1, Block A
21,275 Acres
in the
J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

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Drawn By: VC
Date: 08/14/2020
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Revisions:

SWBC-2000

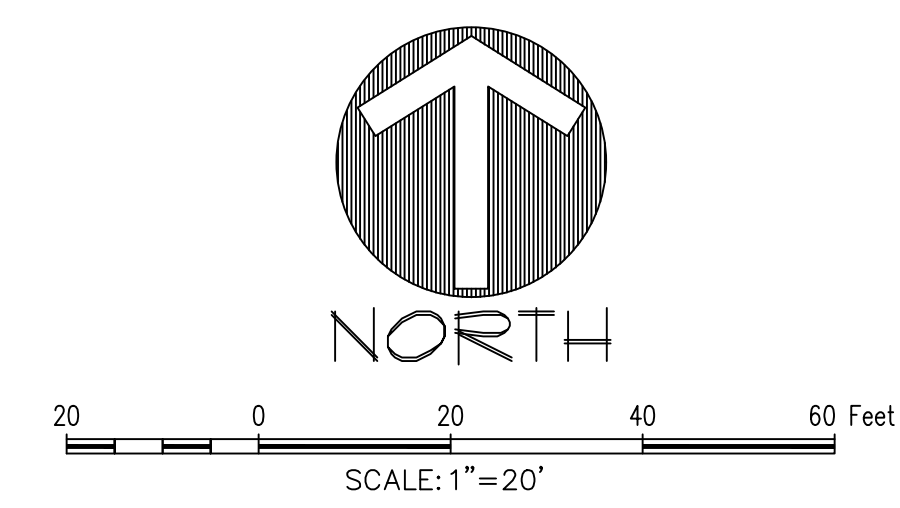
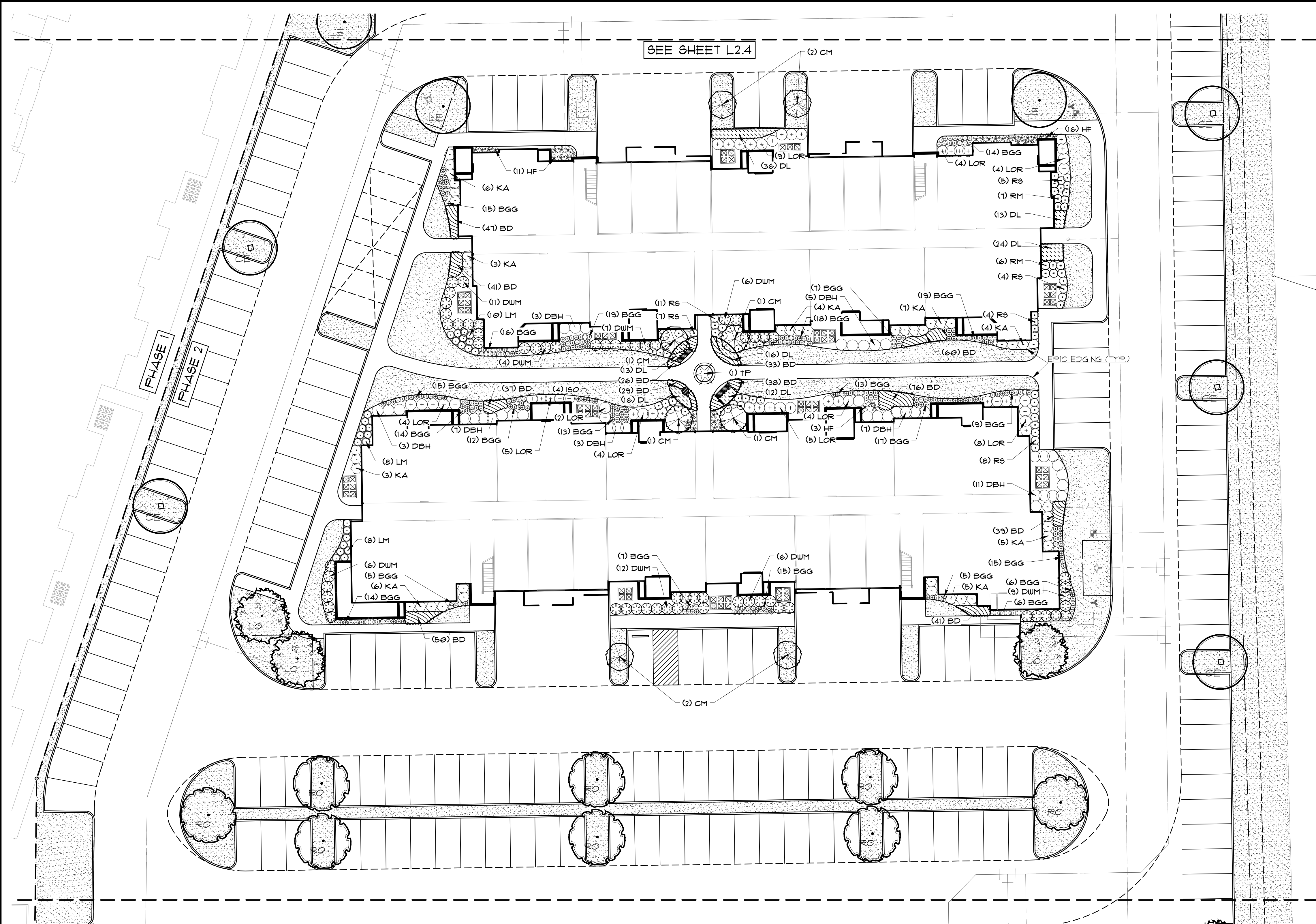
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The John R. McAdams Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Levelland, TX 75041
972.438.9712
201 Country View Drive
Rockwall, Texas 75087
940.240.1012
TBE#: 19922 TBEPL S. 10194440
www.mcadamsco.com



SWBC ROCKWALL

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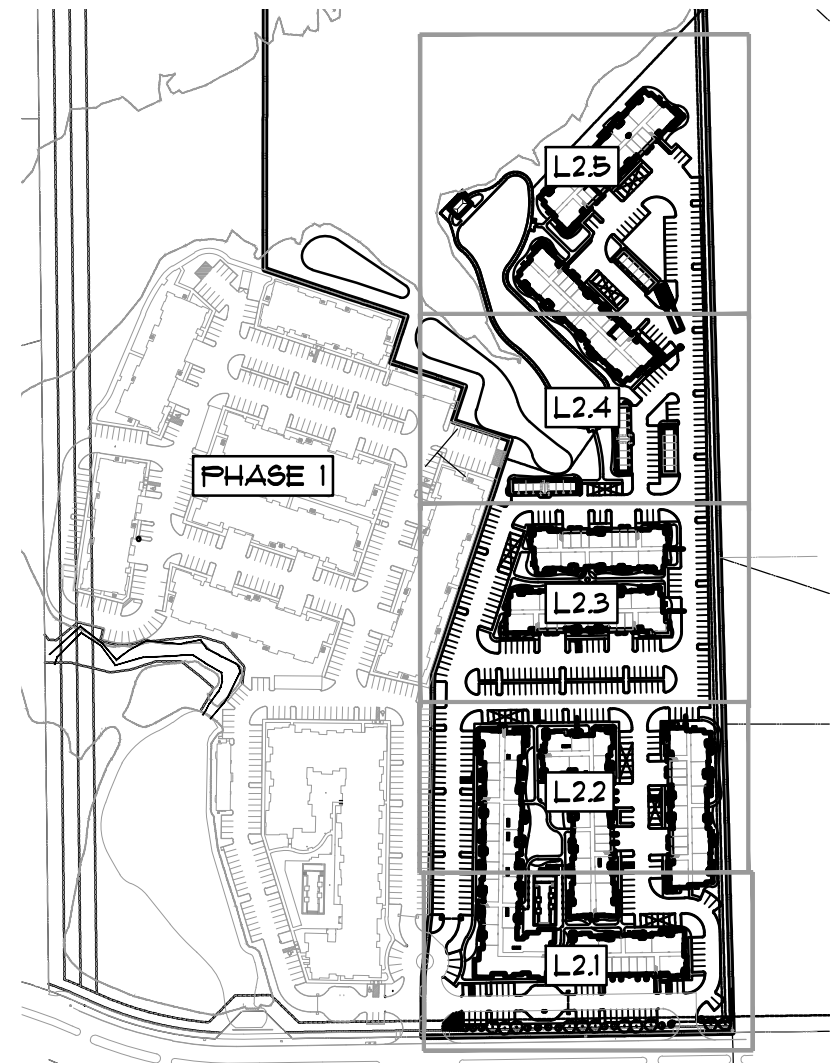
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LANDSCAPE NOTES

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KEY SCALE: 1"=300'

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TBE# 19922 TBE# 10194440
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SWBC ROCKWALL
SWBC ROCKWALL ADDITION, PHASE II
Lot 1, Block A
21,275 Acres
in the
J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
ROCKWALL, TEXAS
ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

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Drawn By: VC
Date: 08/14/2020
Scale: 1"=20'
Revisions:

SWBC-20000

OWNER/DEVELOPER
SWBC ROCKWALL LP
5949 SHERRY LANE, SUITE 750
DALLAS, TEXAS 75225
Ph: (214)987-0700
Contact: Spencer Byington

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 (DBA: GSA McAdams)
 111 Hillside Drive
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 201 Country View Drive
 Rockwall, Texas 75082
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SWBC ROCKWALL
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 Lot 1, Block A
 21.275 Acres
 in the
 J.M. ALLEN SURVEY, ABSTRACT NO. NO. 2
 ROCKWALL,
 ROCKWALL COUNTY, TEXAS

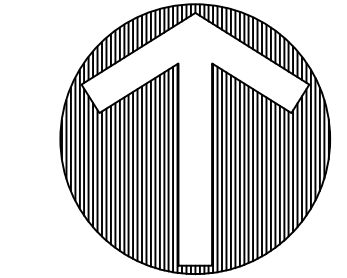
LANDSCAPE PLAN

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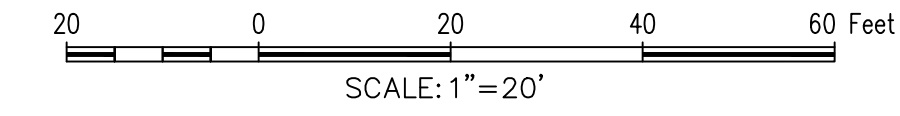
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 Revisions:

SWBC-20000

L2.4



NORTH



PLANT SCHEDULE

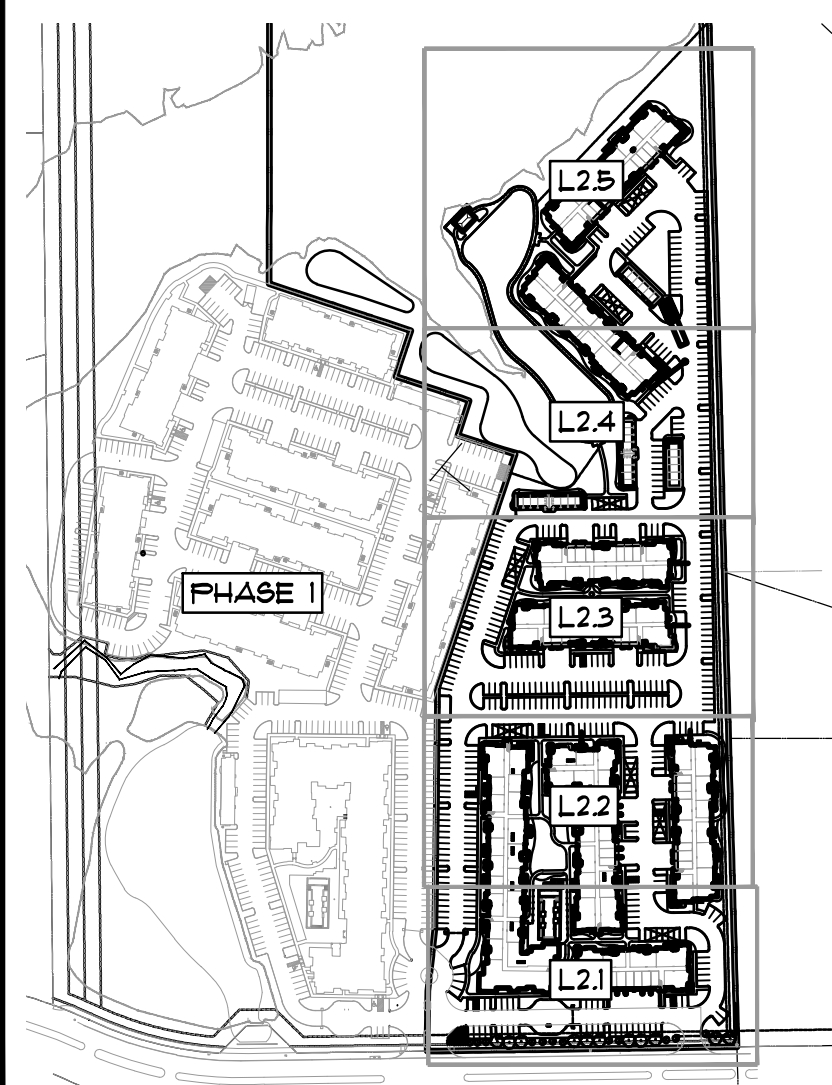
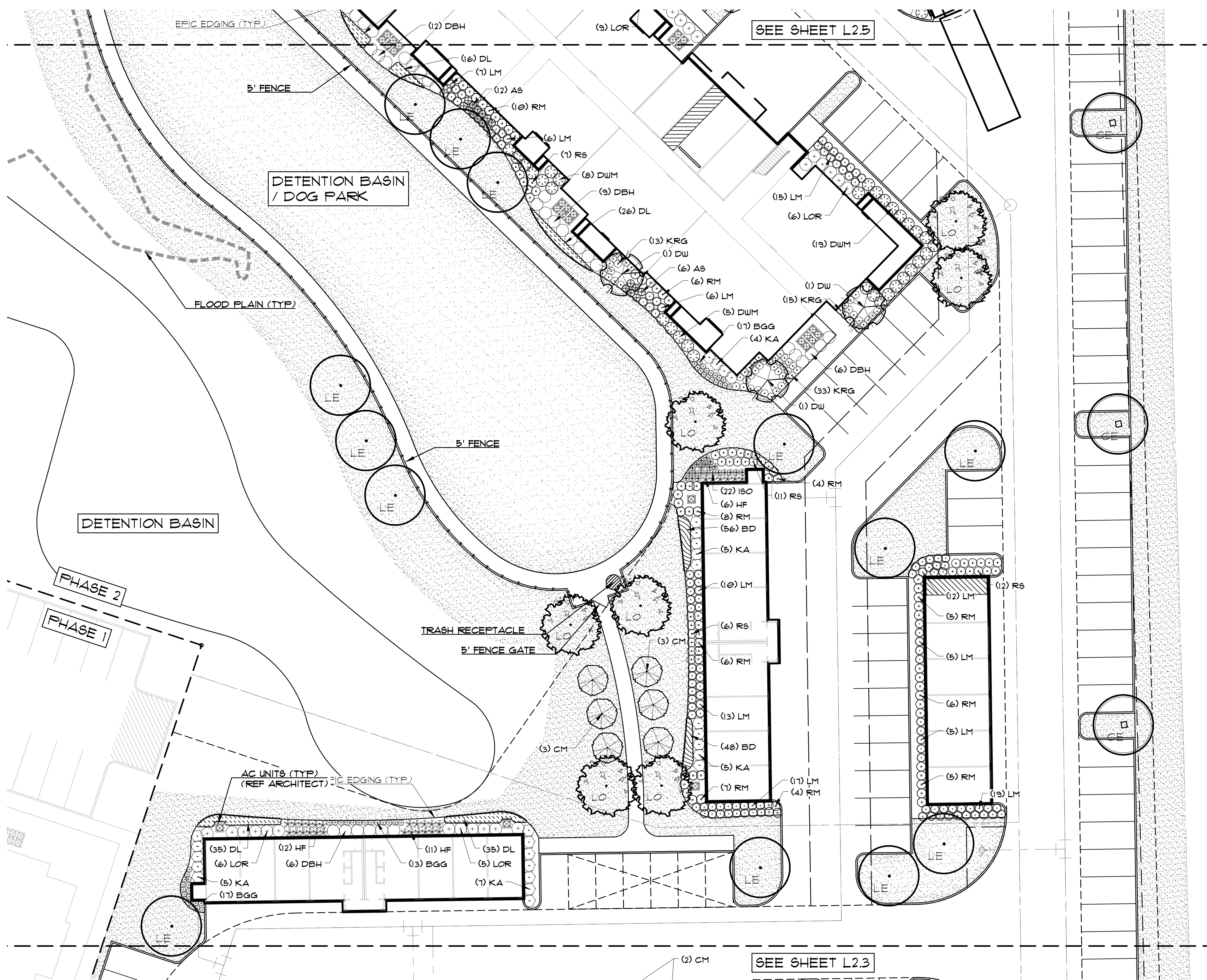
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	BD	Melampodium leucanthum / Blackfoot Daisy
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SOD	Cynodon dactylon / Bermuda Grass

LANDSCAPE NOTES

SEE SHEET L2.0 FOR PROJECT LANDSCAPE NOTES, THE CITY OF ROCKWALL LANDSCAPE ORDINANCE, AND FULL LANDSCAPE SCHEDULE, ETC

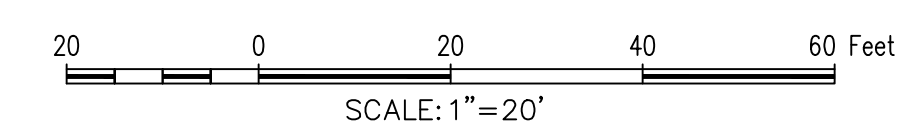
THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER/DEVELOPER
SWBC ROCKWALL LP
 5949 SHERRY LANE, SUITE 750
 DALLAS, TEXAS 75225
 Ph. (214)987-0700
 Contact: Spencer Byington



KEY
 SCALE: 1"=300'

File: W:\Projects\SWBC\Rockwall\SWBC-20000\04_Landscape\Photos and LA\DWG\SWBC-20000-L2.4.dwg
 Plotted: 8/17/2020 7:33 PM by Gm, WRTS. Sheet: 8/17/2020 7:28 PM, by wsc



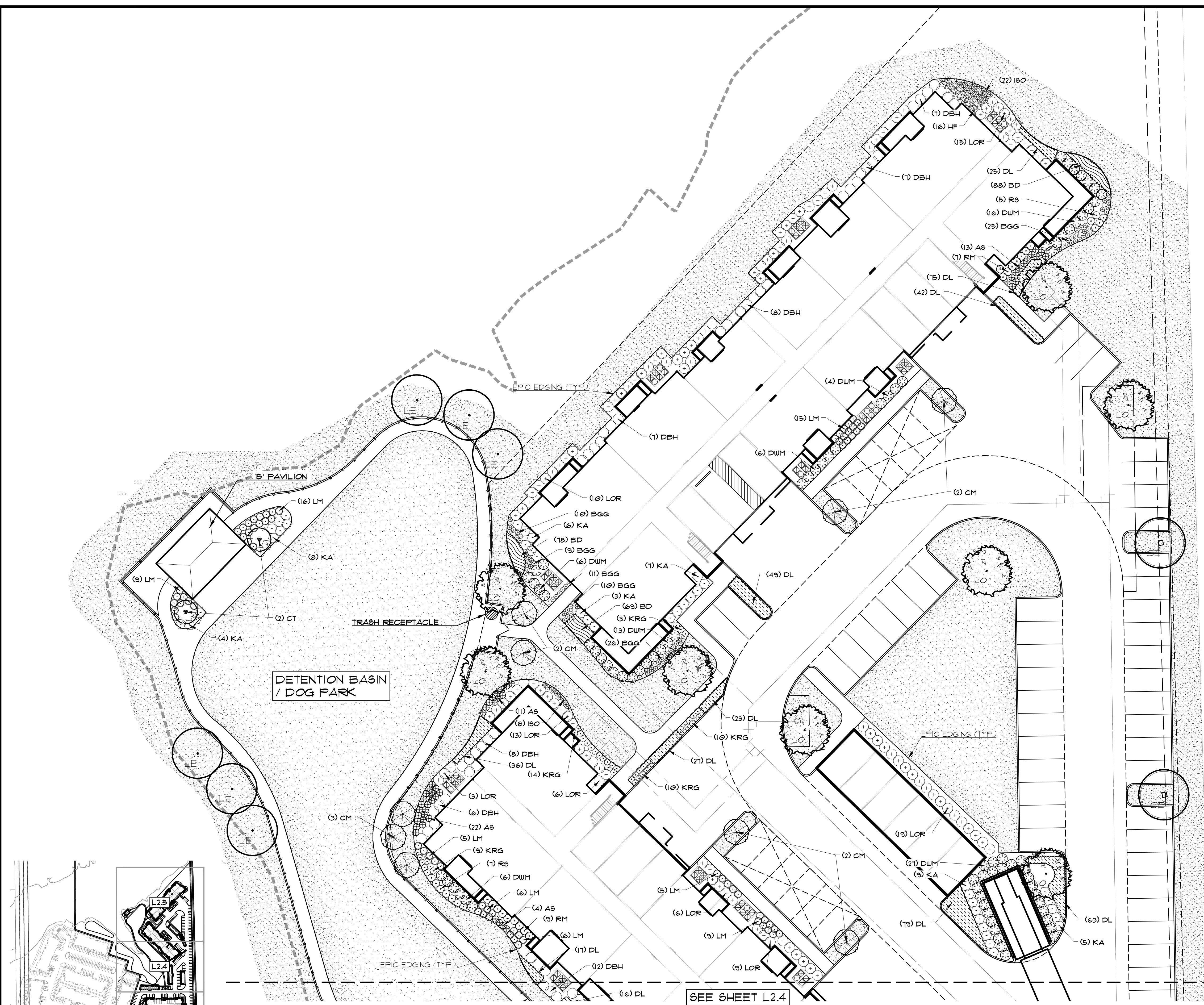
PLANT SCHEDULE

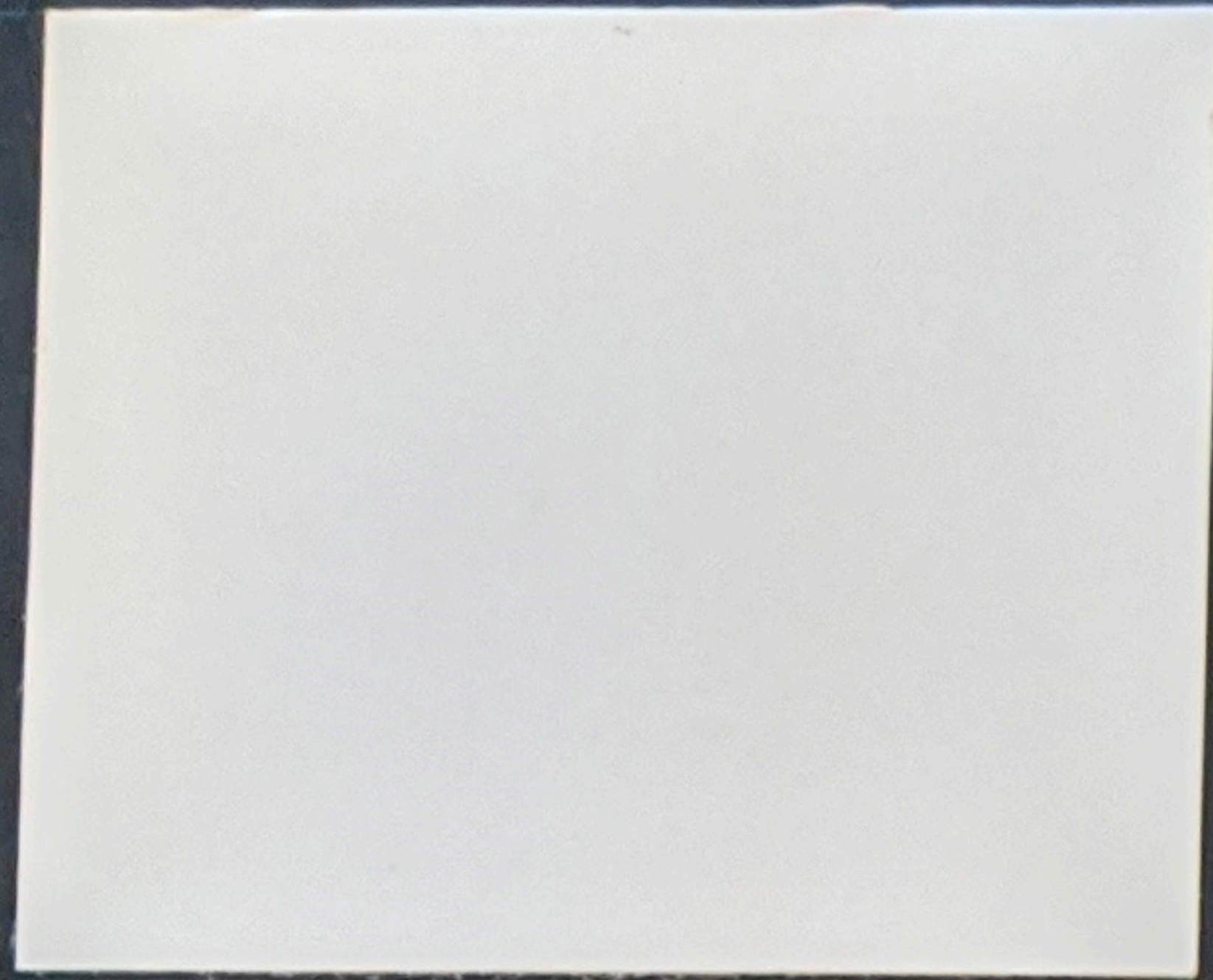
TREES	CODE	BOTANICAL / COMMON NAME
	RO	Quercus shumardii / Shumard Red Oak
	LO	Quercus virginiana / Southern Live Oak
	CE	Ulmus crassifolia / Cedar Elm
	LE	Ulmus parvifolia / Lacebark Elm
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME
	DW	Chilopsis linearis / Desert Willow
	CM	Lagerstroemia indica / Crape Myrtle
	TP	Sabal texana / Texas Palmetto
	TML	Sophora secundiflora / Texas Mountain Laurel
	CT	Vitex agnus-castus / Chaste Tree
SHRUBS	CODE	BOTANICAL / COMMON NAME
	KA	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Abelia
	ISO	Chasmanthum latifolium / Inland Sea Oats
	HF	Cyrtomium falcatum / Holly Fern
	DBH	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly
	DTS	Leucophyllum frutescens 'Bertstar Dwarf' / Dwarf Texas Sage
	LOR	Loropetalum chinense 'Daruma' / Daruma Dwarf Loropetalum
	DWM	Mynca pusilla / Dwarf Southern Wax Myrtle
	RM	Rosmannus officinalis / Rosemary
GRASSES	CODE	BOTANICAL / COMMON NAME
	BGG	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama
	LM	Muhlenbergia lindheimeri / Lindheimer's Muhly
	KRG	Pennisetum alopecuroides 'Karlay Rose' / Fountain Grass
PERENNIALS	CODE	BOTANICAL / COMMON NAME
	RS	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage
	AS	Salvia greggii / Autumn Sage
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME
	DL	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily
	BD	Melampodium leucanthum / Blackfoot Daisy
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SOD	Cynodon dactylon / Bermuda Grass

LANDSCAPE NOTES
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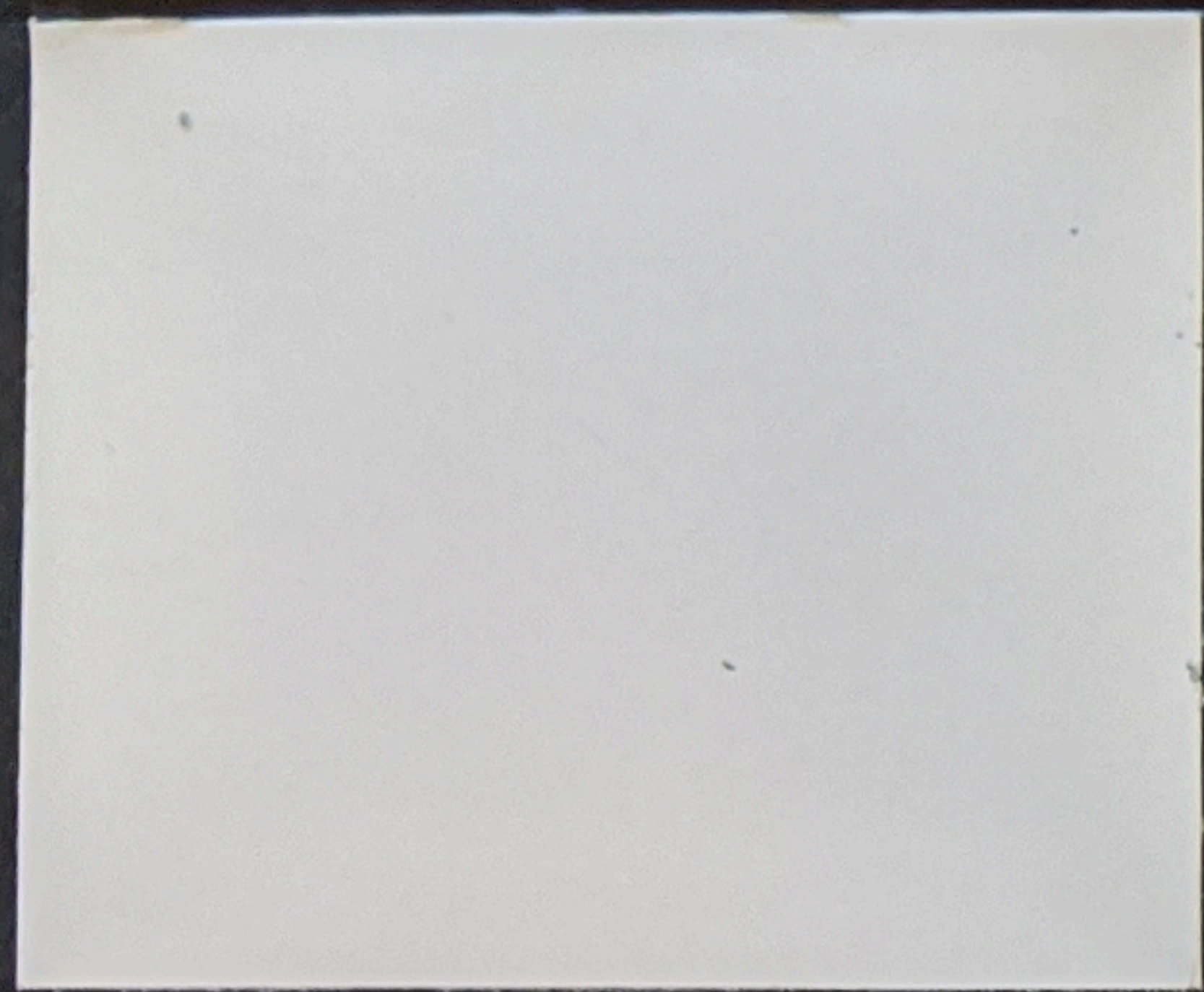
P1: "EXTRA WHITE"



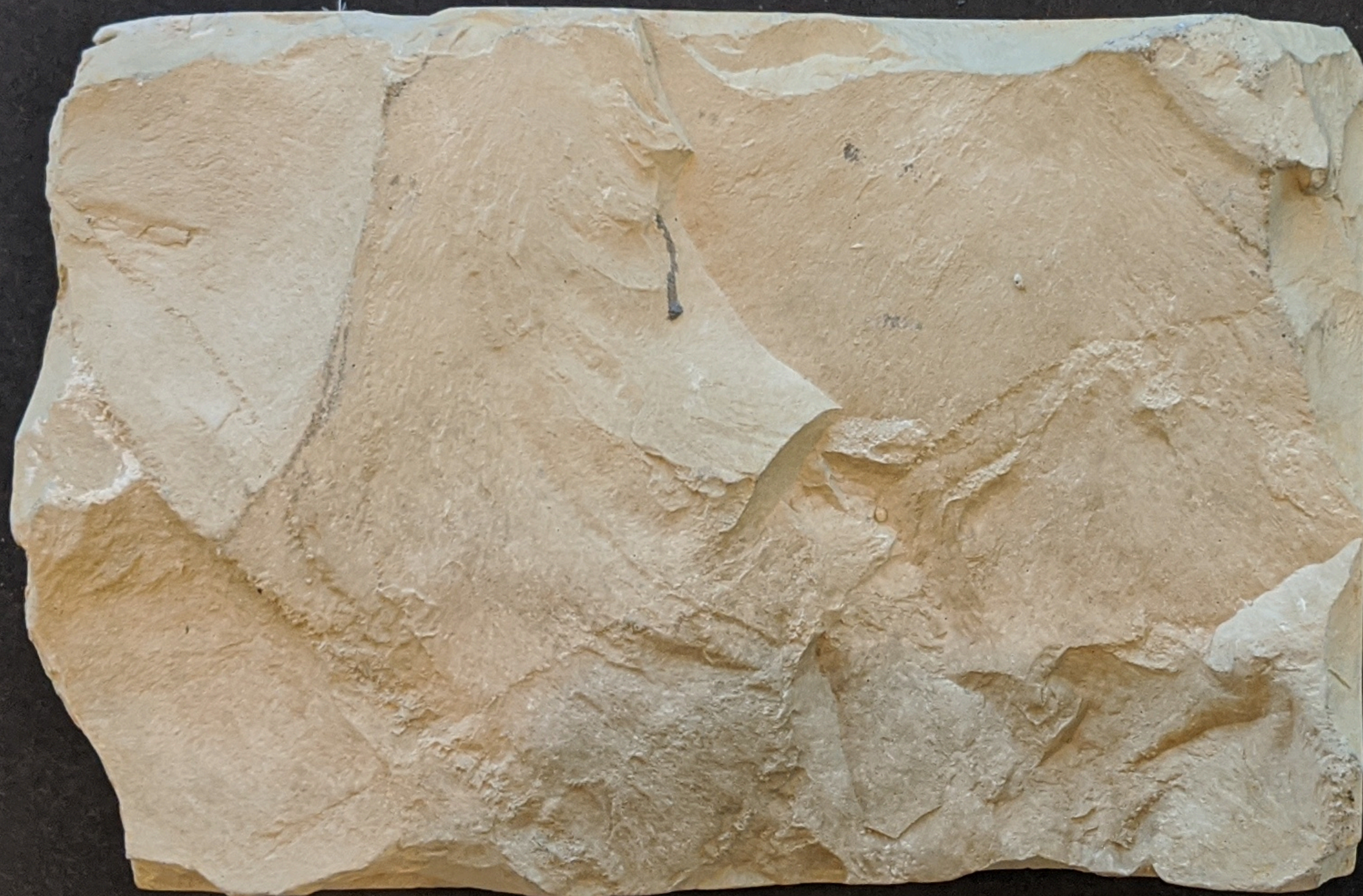
BRICK: "SMOKEY MOUNTAIN"



SHINGLES: "WEATHERED WOOD"



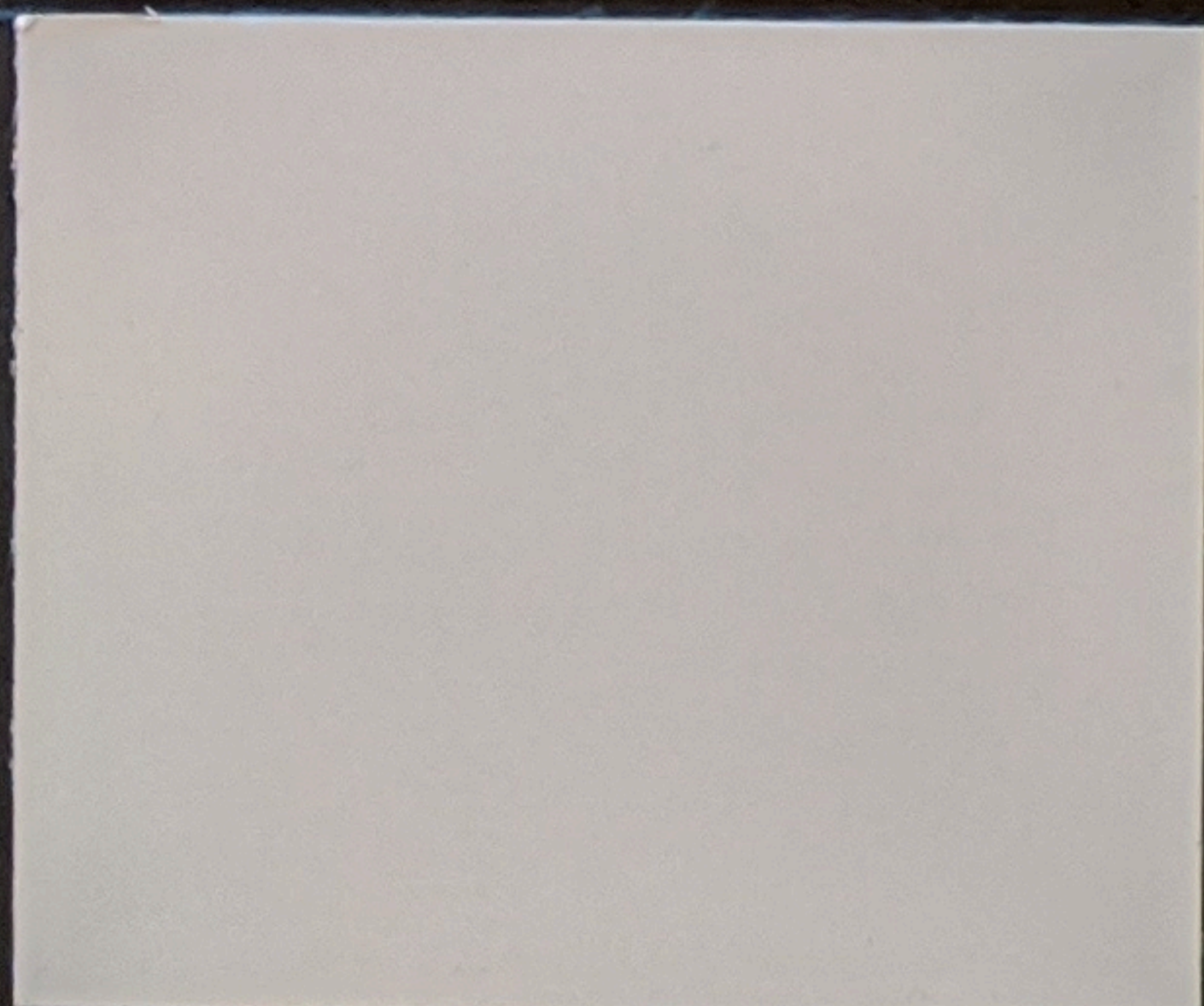
P2: "FROST WHITE"



NATURAL STONE: "BUFF LIMESTONE"



METAL ROOF: "PREWEATHERED GALVALUME"



P3: "SILVERPLATE"

SWBC AT ROCKWALL PHASE II

ROCKWALL, TEXAS

AUGUST 2020

