



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2019-047

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2055 KRISTY LN.

Subdivision BODIN INDUSTRIAL TRACT Lot 1 Block _____

General Location I-30 & KRISTY LN.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI Current Use N/A

Proposed Zoning SAME Proposed Use OFFICE / WAREHOUSE

Acreage 3.57 AC. Lots [Current] ONE Lots [Proposed] ONE

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>BACON PROPERTY, LLC.</u>	<input checked="" type="checkbox"/> Applicant	<u>CARROLL ARCHITECTS, INC.</u>
Contact Person	<u>BRAD BACON</u>	Contact Person	<u>JEFF CARROLL</u>
Address	<u>295 RANCH TRAIL</u>	Address	<u>750. E. INTERSTATE 30</u> <u>SITE: 110</u>
City, State & Zip	<u>ROCKWALL TX 75032</u>	City, State & Zip	<u>ROCKWALL, TX. 75087</u>
Phone	<u>214.280.2296</u>	Phone	<u>972.732.6085</u>
E-Mail	<u>BRAD@EVERYONELOVESBACON.COM</u>	E-Mail	<u>JCARROLLARCH.COM</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JEFF CARROLL [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

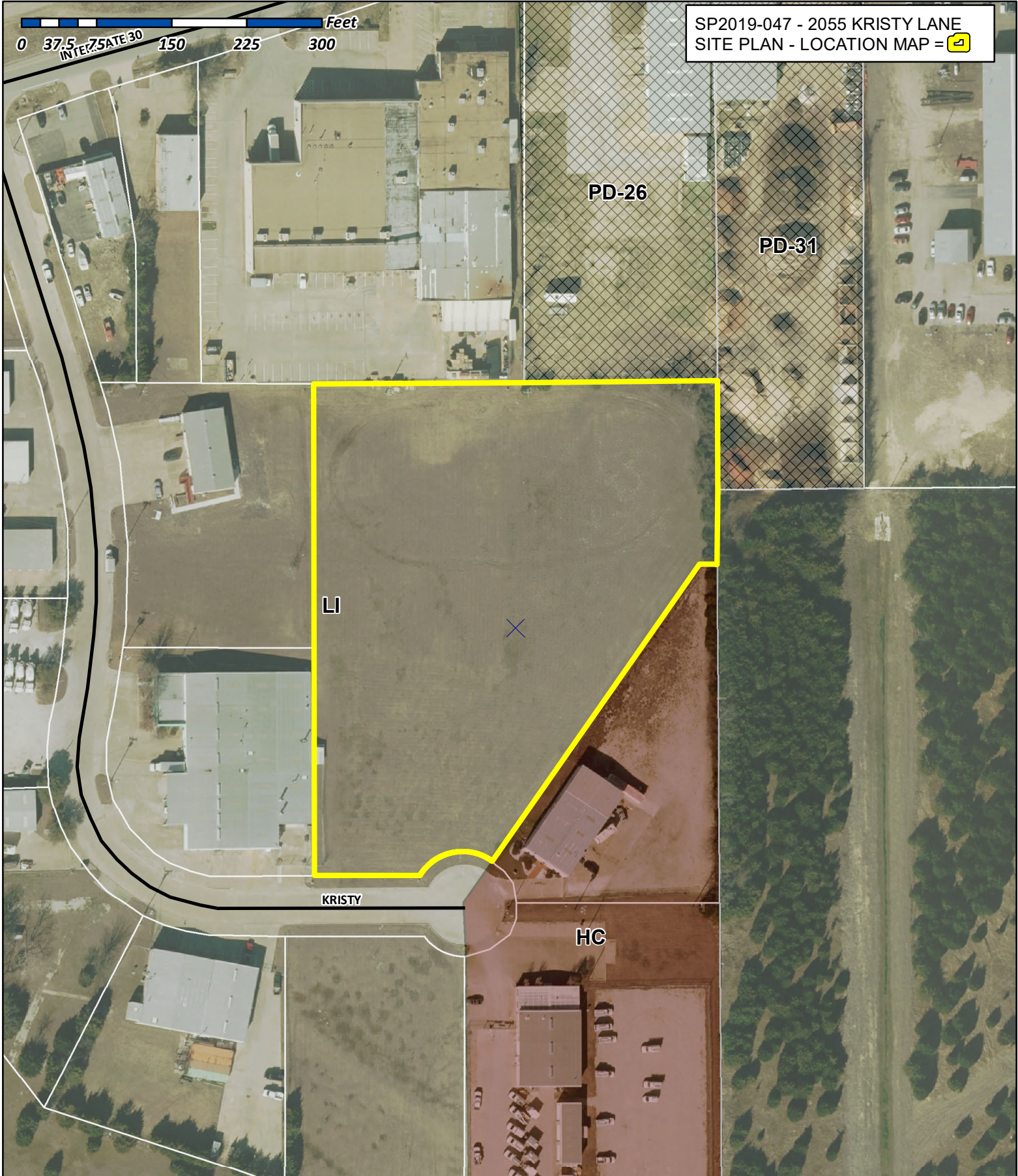
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20____.

Owner's/Applicant's Signature _____

Notary Public in and for the State of Texas _____

My Commission Expires _____

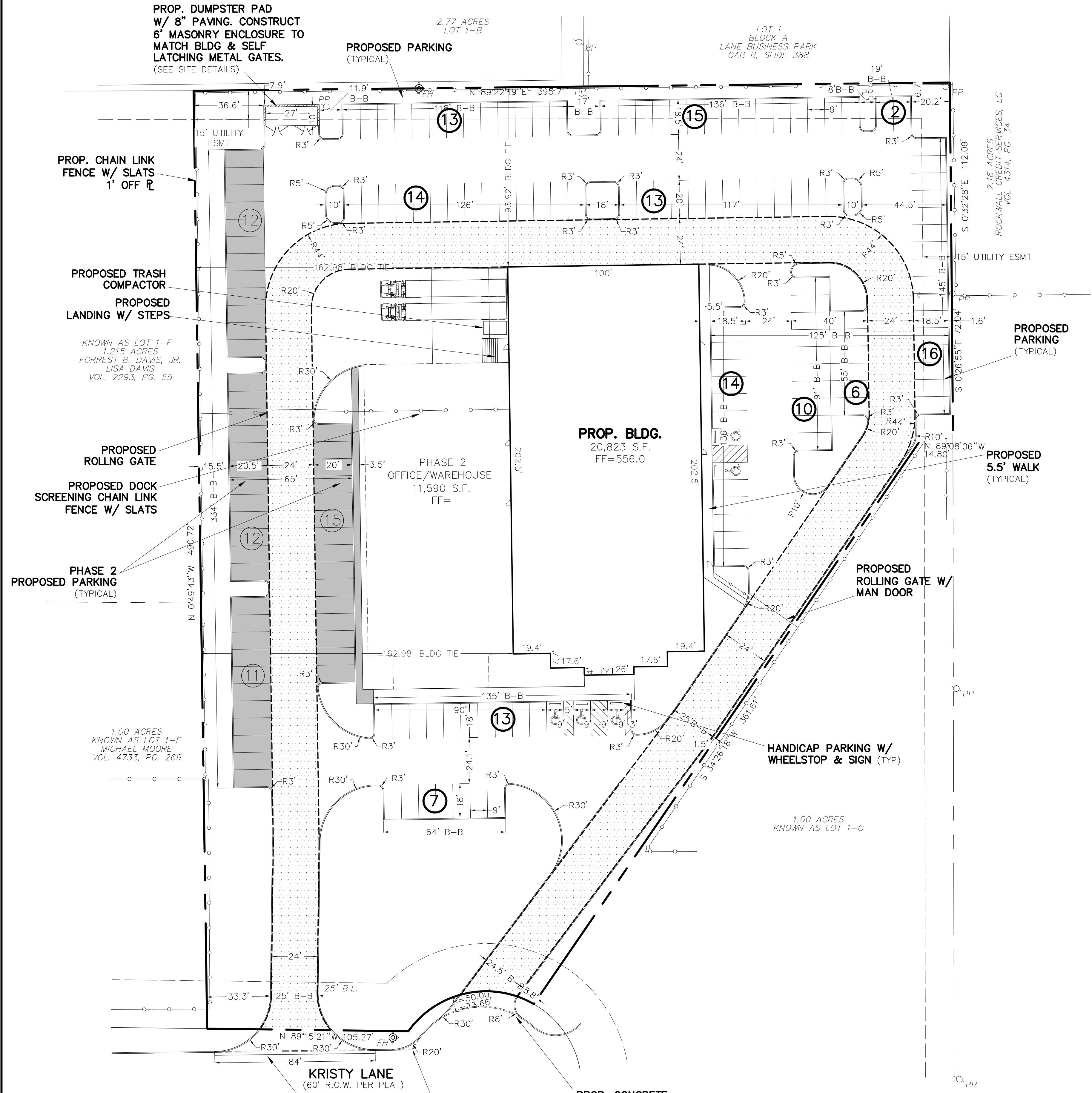


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4TH EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) APPROACHES TO BE 6" THICK, 3600 PSI, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 PSI, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 PSI, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

SITE DATA:

LOT AREA:
3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
13.4%

FLOOR TO AREA RATIO:
7.46:1

BUILDING AREA:
Warehouse: 8,478 sq.ft.
General Office: 12,345 sq.ft.
Phase 1 TOTAL: 20,823 sq.ft.
Phase 2: 11,590 sq.ft.

BUILDING HEIGHT:
1 STORY (7')

PROPOSED FUTURE USE:
Office/Warehouse

IMPERVIOUS AREA (including buildings):
107,943 sq.ft.

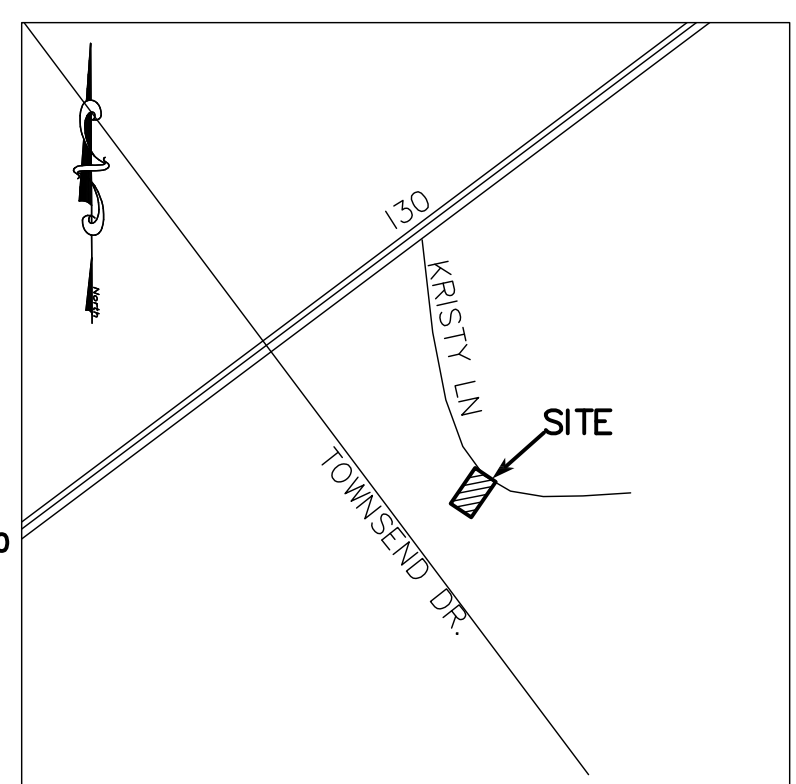
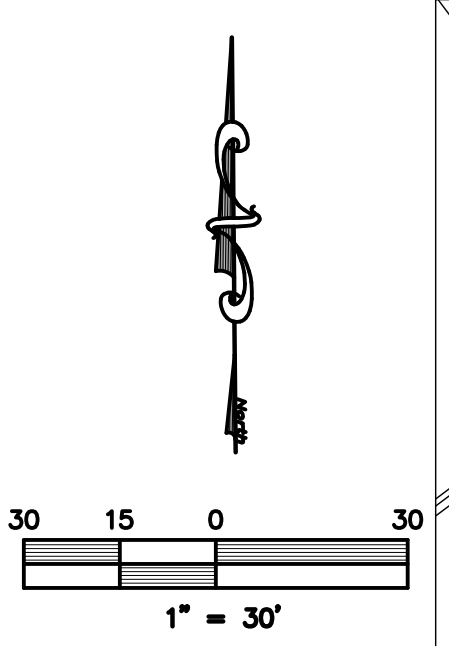
ZONING:
LI

PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 9
TOTAL = 51
Handicap = 3
Provided:
Standard = 118
Handicap = 5
Total Provided = 123

LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Provided: 47,351

FIRESPRINKLER:
YES

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE



LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- SM = EXISTING STORM MANHOLE
- GM = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- [Dashed Box] = PROPOSED FIRELANE
- [Shaded Box] = PHASE 2

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #

SITE PLAN

BACON PLUMBING OFFICE

LOT 1-M, BODIN INDUSTRIAL TRACT
2055 KRISTY LANE
City of Rockwall, Rockwall County, Texas

OWNER
BACON PROPERTY, LLC
295 RANCH TRAIL
ROCKWALL, TEXAS 75032
CONTACT: BRAD BACON (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
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date: 11/12/19 scale: 1" = 30' sheet: C101

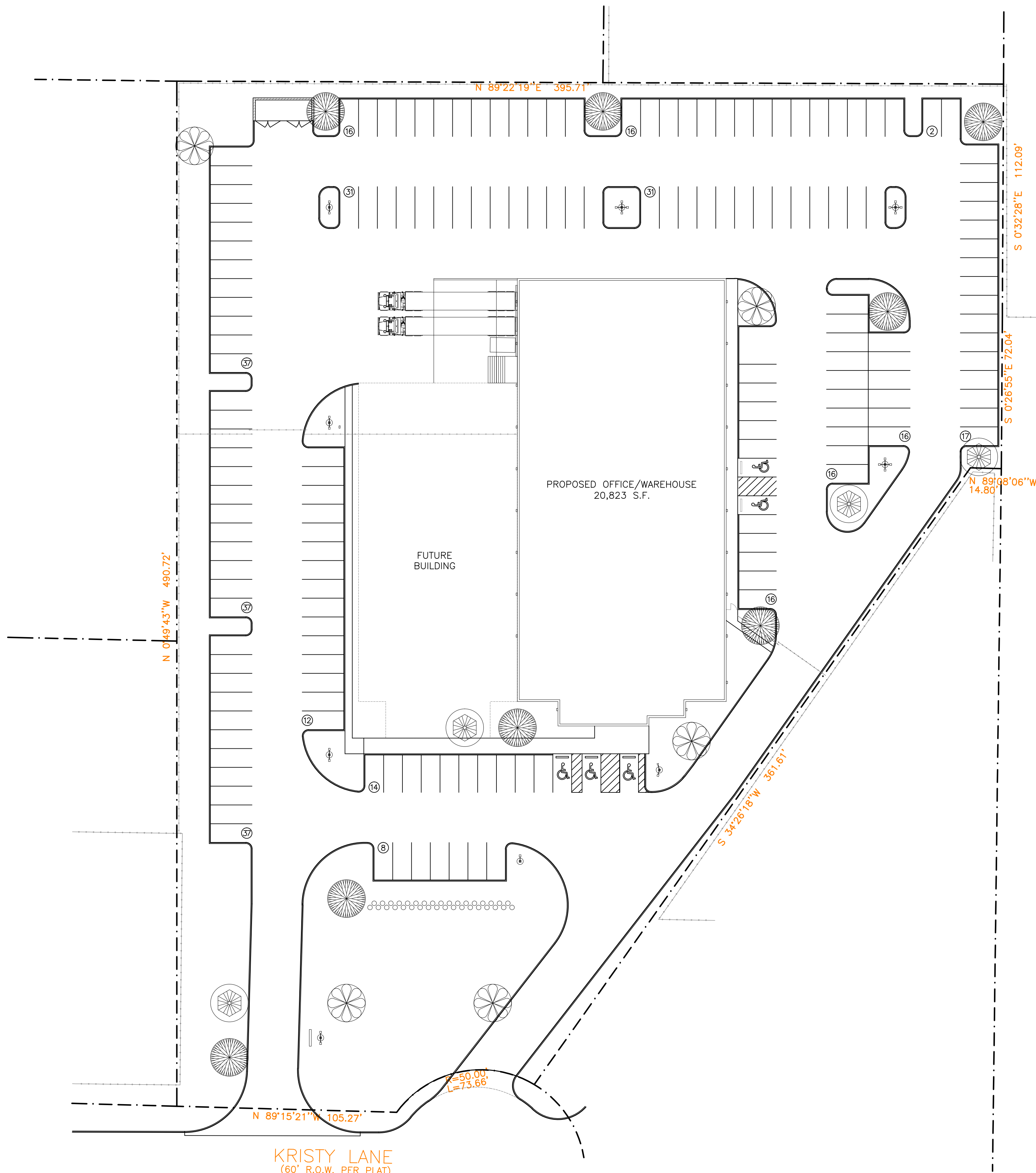
**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (P&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.





TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER ()	
	BUR OAK (8)
	LIVE OAK (5)
	BALD CYPRESS (4)
SHRUBS, SHALL BE A MINIMUM OF 3--GALLONS W/ A MINIMUM HEIGHT @ PLANTING OF 24" AND SHALL CREATE A 3' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C. (230)	
1.	DWARF YAVPON HOLLY

PARKING LOT LIGHTING	
	POLE - SINGLE LIGHT
	POLE - DOUBLE LIGHTS
	POLE - QUAD LIGHTS
	WALL PACKS
	POLE - FLOOD LIGHT

LANDSCAPE TABULATION	
TREE MITIGATION -	THERE ARE NO TREES ON THIS SITE
STREET BUFFER -	178.93 LF. @ 1/50 = (4) REQUIRED SHADE CANOPY TREES (4) PROVIDED SHADE CANOPY TREES
PARKING LOT TREES -	123 SPACES @ 1/10 SPACES = (13) REQUIRED SHADE CANOPY TREES (13) PROVIDED SHADE CANOPY TREES
IRRIGATION -	IRRIGATION SHALL BE PROVIDED TO ALL LANDSCAPE AREAS.

SITE DATA TABLE	
SITE AREA	3.57 ACRES (155,294 S.F.)
ZONING	L1-INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
PROPOSED BUILDING AREA	20,823 S.F.
LOT COVERAGE	13.4%
FLOOR TO AREA RATIO	0.134 : 1
BUILDING HEIGHT MAX.	60'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 42
WAREHOUSE PARKING	1/1000 SF = 9
PARKING REQUIRED	51 SPACES (3 ADA)
PARKING PROVIDED	123 SPACES (5 ADA)

LANDSCAPE TABULATION	
GROSS AREA	3.57 ACRES (155,294 S.F.)
REQUIRED LANDSCAPE AREA-- 15% OF 155,294 S.F.	23,294 S.F.
PROVIDED LANDSCAPE AREA-- 30.5% OF 155,294 S.F.	47,351 S.F.
IMPERVIOUS COVERAGE-- 69.5% OF 155,294 S.F.	107,943 S.F.

NOTES:
 - Irrigation shall be provided to all landscaped areas.
 - There is no tree mitigation for this project as there are no existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.

- GENERAL NOTES:**
- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 - FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM IF 24" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
 - EA. SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB. OWNER WILL PAY FOR TESTING LABS.
 - ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE TAS NOTES & DETAILS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS, REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.

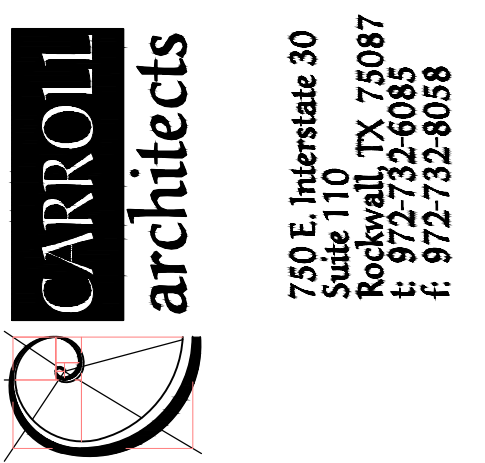
BACON PLUMBING OFFICE
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1-M BODIN INDUSTRIAL TRACT 2055 KRISTY LANE City of Rockwall, Rockwall County, Texas
OWNER Bacon Property, LLC. 295 Ranch Trail Rockwall, TX 75032 P: 972-236-5794
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com
PERMIT NUMBER 2019XXX

ISSUE:	
OWNER REVIEW:	09-15-2019

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BACON PLUMBING CORPORATE OFFICES

Kristy Lane
Rockwall, Texas



LANDSCAPE PLAN

DATE:	JUN 2019	SHEET NO.:	
PROJECT NO.:	2019037		
DRAWN BY:			LP1
CHECKED BY:			