



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP 2019-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 810 N. GOLIAD ST.

Subdivision BARN'S Addition / Baydston Survey

Lot _____ Block _____

General Location SEC GOLIAD & HEATH ST.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-50

Current Use N/A

Proposed Zoning PD-50

Proposed Use OFFICE BLDG.

Acreage 0.40 AC.

Lots [Current] (1) ONE

Lots [Proposed] _____

Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner FRANK FITE II

Applicant CARROLL ARCHITECTS, INC.

Contact Person FRANK FITE II

Contact Person JEFF CARROLL

Address 2701 SUNSET RIDGE # 104

Address 750 E. INTERSTATE 30 # 110

City, State & Zip ROCKWALL, TX 75082

City, State & Zip ROCKWALL, TX 75087

Phone _____

Phone 214.632.1762

E-Mail _____

E-Mail JCC@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jeff Carroll [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."


Given under my hand and seal of office on this the _____ day of _____, 20 _____.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

My Commission Expires

0 20 40 80 120 160 Feet

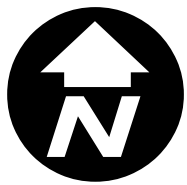
SP2019-046 - 810 N. GOLIAD STREET
SITE PLAN - LOCATION MAP = 

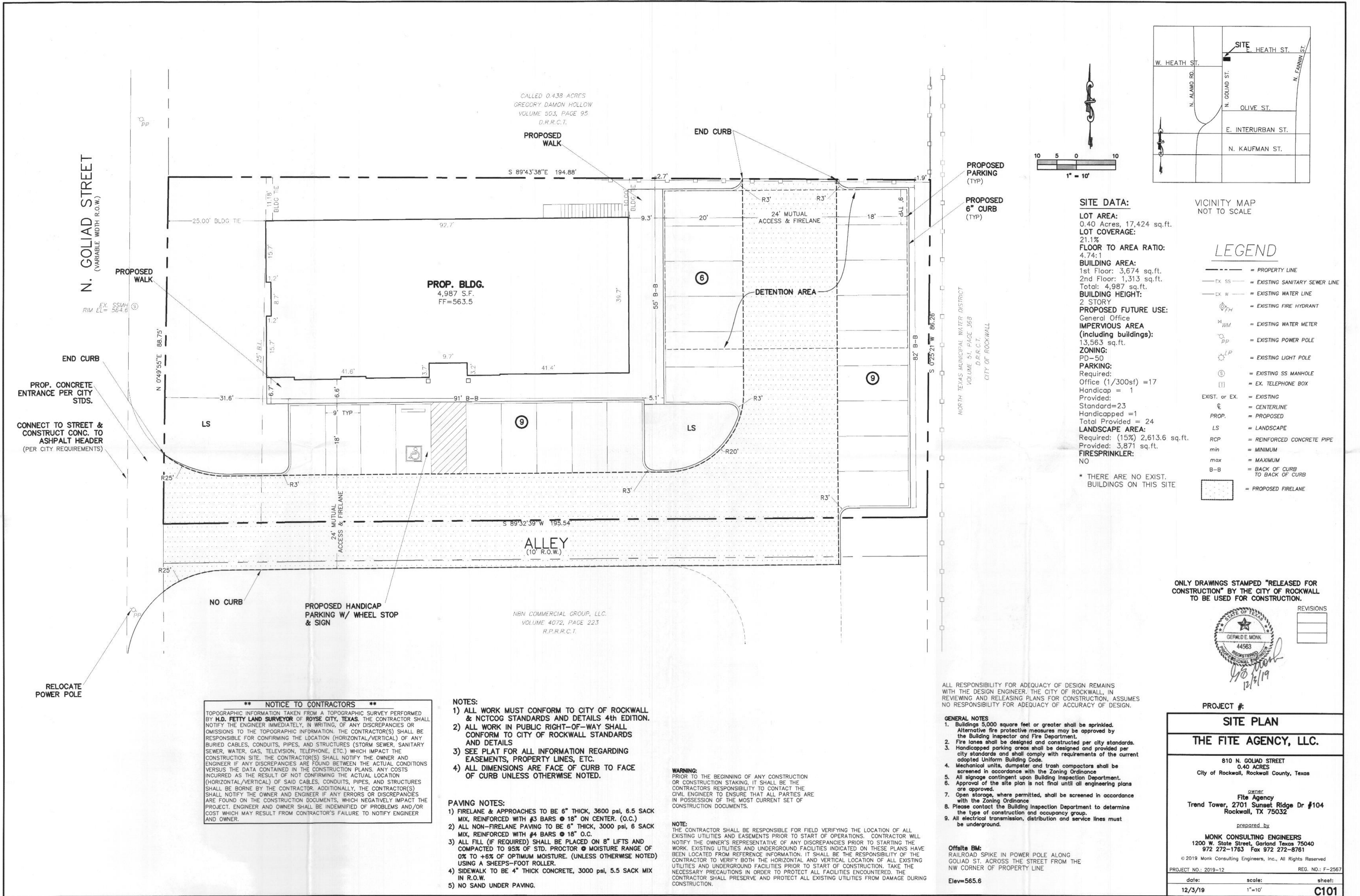


City of Rockwall

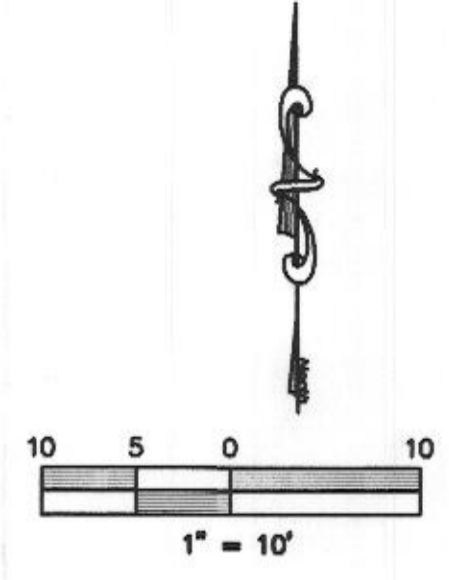
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CALLED 0.438 ACRES
GREGORY DAMON HOLLOW
VOLUME 503, PAGE 95
D.P.R.R.C.T.



SITE DATA:

LOT AREA:
0.40 Acres, 17,424 sq.ft.
LOT COVERAGE:
21.1%
FLOOR TO AREA RATIO:
4.74:1
BUILDING AREA:
1st Floor: 3,674 sq.ft.
2nd Floor: 1,313 sq.ft.
Total: 4,987 sq.ft.
BUILDING HEIGHT:
2 STORY
PROPOSED FUTURE USE:
General Office
IMPERVIOUS AREA (including buildings):
13,563 sq.ft.
ZONING:
PD-50
PARKING:
Required: Office (1/300sf) = 17
Handicap = 1
Provided: Standard = 23
Handicapped = 1
Total Provided = 24
LANDSCAPE AREA:
Required: (15%) 2,613.6 sq.ft.
Provided: 3,871 sq.ft.
FIRESPRINKLER:
NO

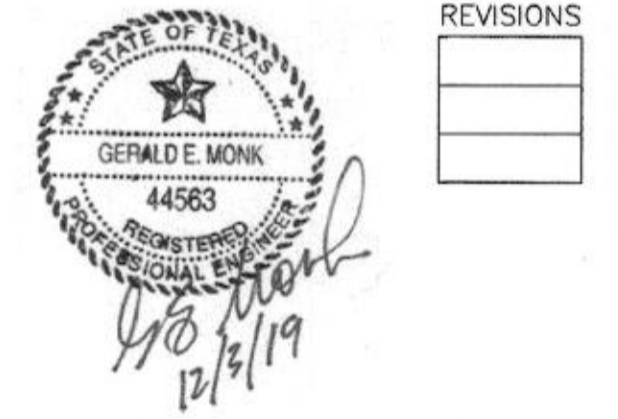
VICINITY MAP NOT TO SCALE

LEGEND

- = PROPERTY LINE
- EX SS = EXISTING SANITARY SEWER LINE
- EX W = EXISTING WATER LINE
- ⊕ = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- Ⓜ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- [Pattern] = PROPOSED FIRELANE

* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.

Offsite BM:
RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE
Elev=565.6

PROJECT #:

SITE PLAN

THE FITE AGENCY, LLC.

810 N. GOLIAD STREET
0.40 ACRES
City of Rockwall, Rockwall County, Texas

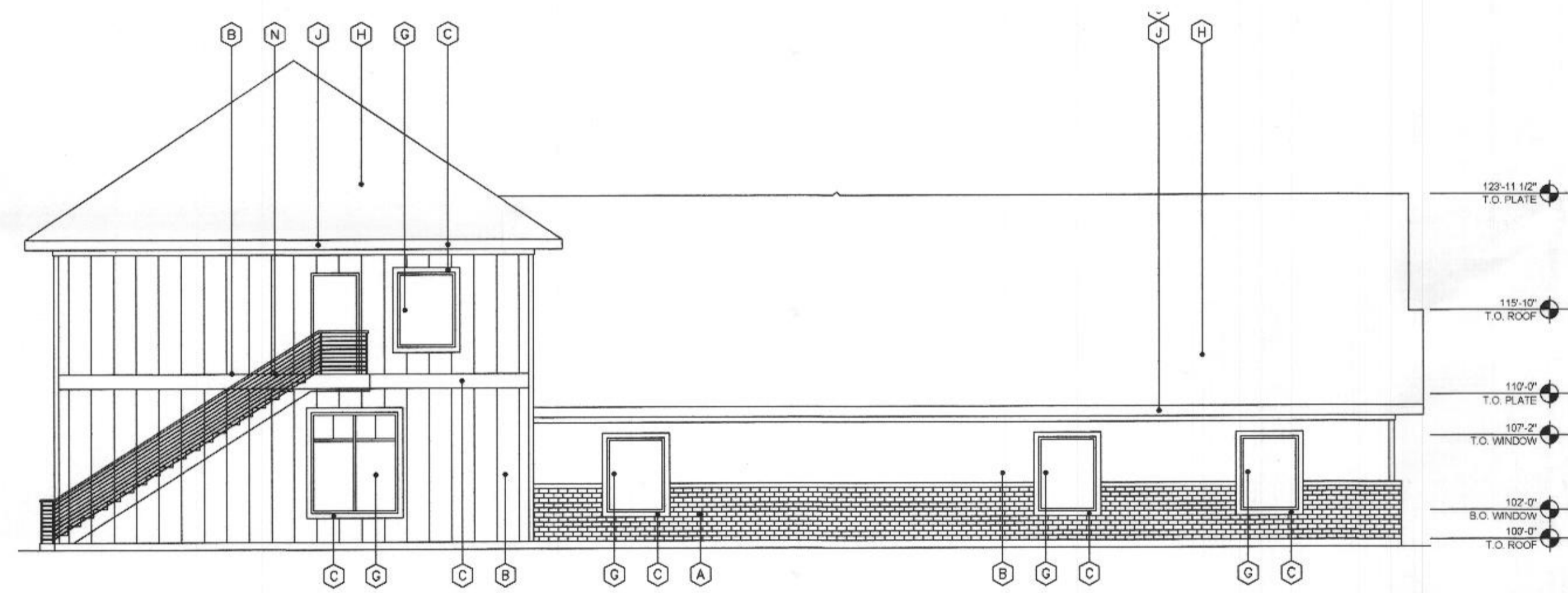
OWNER:
Fite Agency
Trend Tower, 2701 Sunset Ridge Dr #104
Rockwall, TX 75032

prepared by
MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2019-12 REG. NO.: F-2567

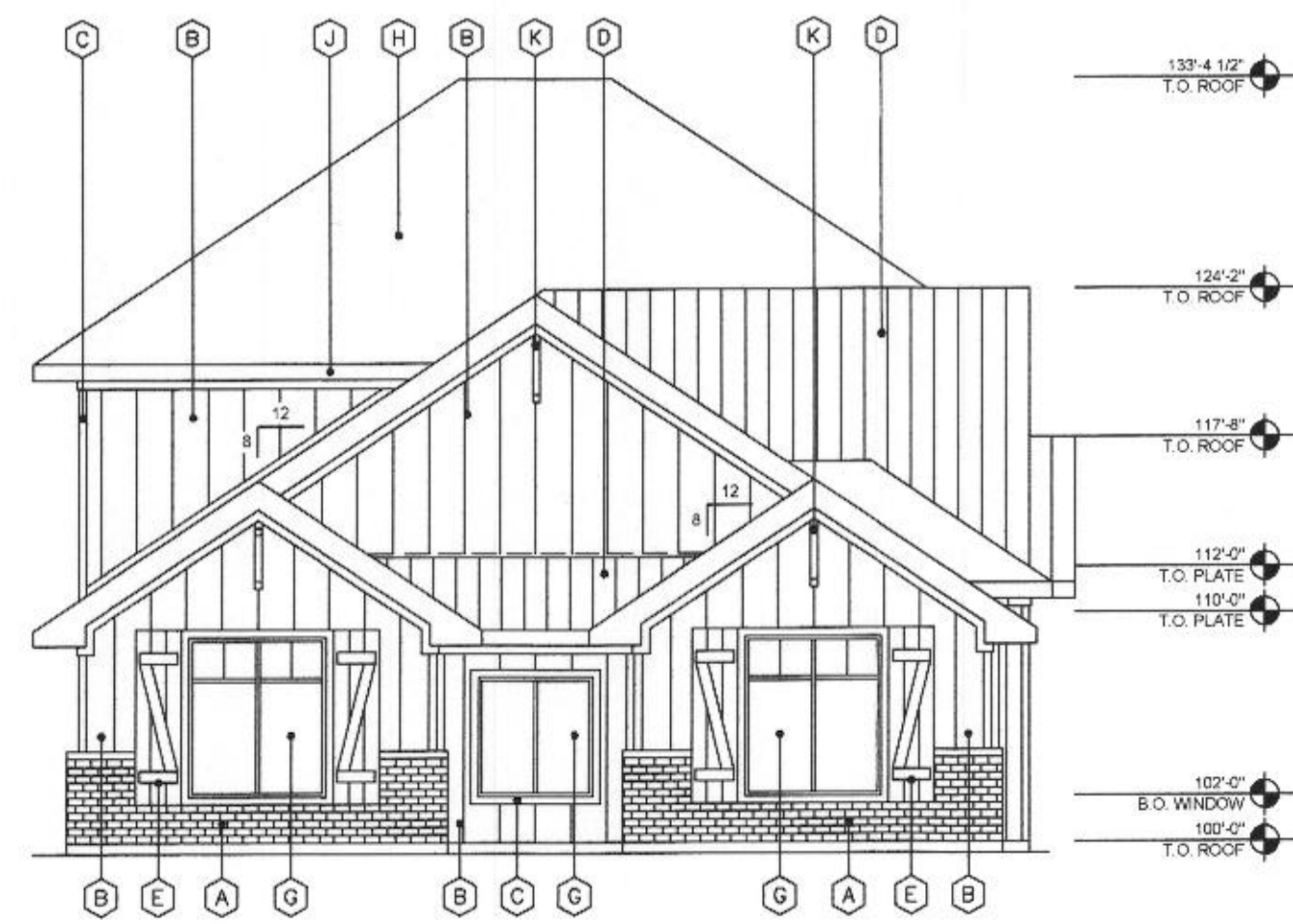
date: 12/3/19 scale: 1"=10' sheet: C101



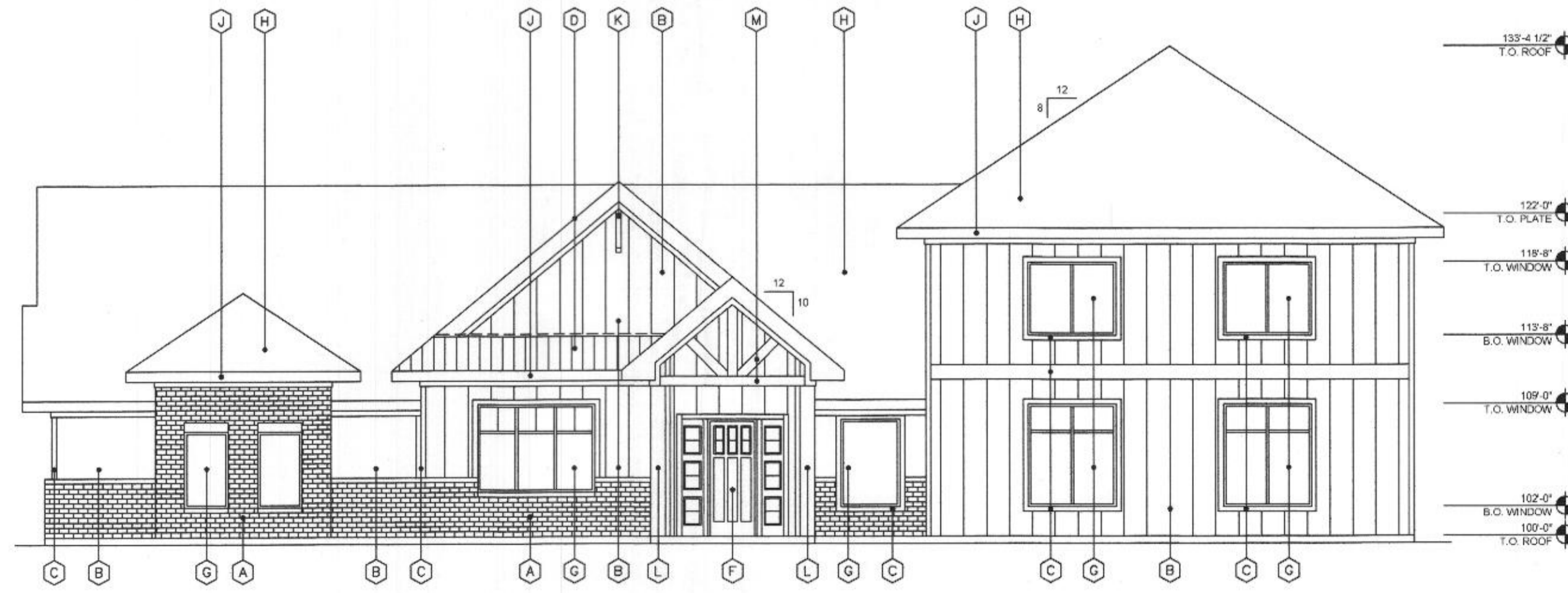
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE:	
(A)	BRICK, MFG-ACME, MODULAR SIZE, COLOR - OXFORD PLACE
(B)	HARDIE BOARD SIDING, COLOR: ARCTIC WHITE
(C)	HARDIE BOARD, FASCIA & TRIM COLOR - KHAKI BROWN
(D)	STANDING SEAM MTL. ROOF SYSTEM, BERRIDGE OR E.Q., COLOR - CHARCOAL GRAY
(E)	WOOD SHUTTERS, COLOR - STAIN WALNUT
(F)	ENTRY DOORS AS SELECTED BY OWNER
(G)	WINDOW, 1" INSULATED, LOW 'E' 30% TINTED GRAY, FRAME COLOR - BLACK
(H)	COMPOSITION ASPHALT ROOF, TYP., (270lbs), COLOR - BLACK
(J)	PREFINISHED ALUMINUM GUTTER & DOWNSPOUT, COLOR - MATCH TRIM COLOR
(K)	GABLE END, 8" DECOR. WOOD TRIM COLOR: KHAKI
(L)	12X12 WOOD POST, COLOR - STAIN WALNUT
(M)	2X WOOD TRIM @ DECOR. COLUMNS
(N)	STEEL TUBE RAILING SYSTEM, COLOR - BLACK

THE FITE AGENCY	
LEGAL DESCRIPTION AND OR ADDRESS:	
THE FITE AGENCY, LLC, DOCUMENT #2018000022302 O.P.R.R.C.T.	
OWNER	
The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT	
Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF HEATH CASE NUMBER: 2019XXX	

PROPOSED OFFICE BUILDING FOR
THE FITE AGENCY
810 Goliad St.
Rockwall, Texas 75087

THE FITE
AGENCY
2701 Sunset Ridge,
ste. 104
Rockwall, TX. 75087

CARROLL
architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
P: 972-732-6085
F: 972-732-8058

**EXTERIOR
ELEVATIONS**

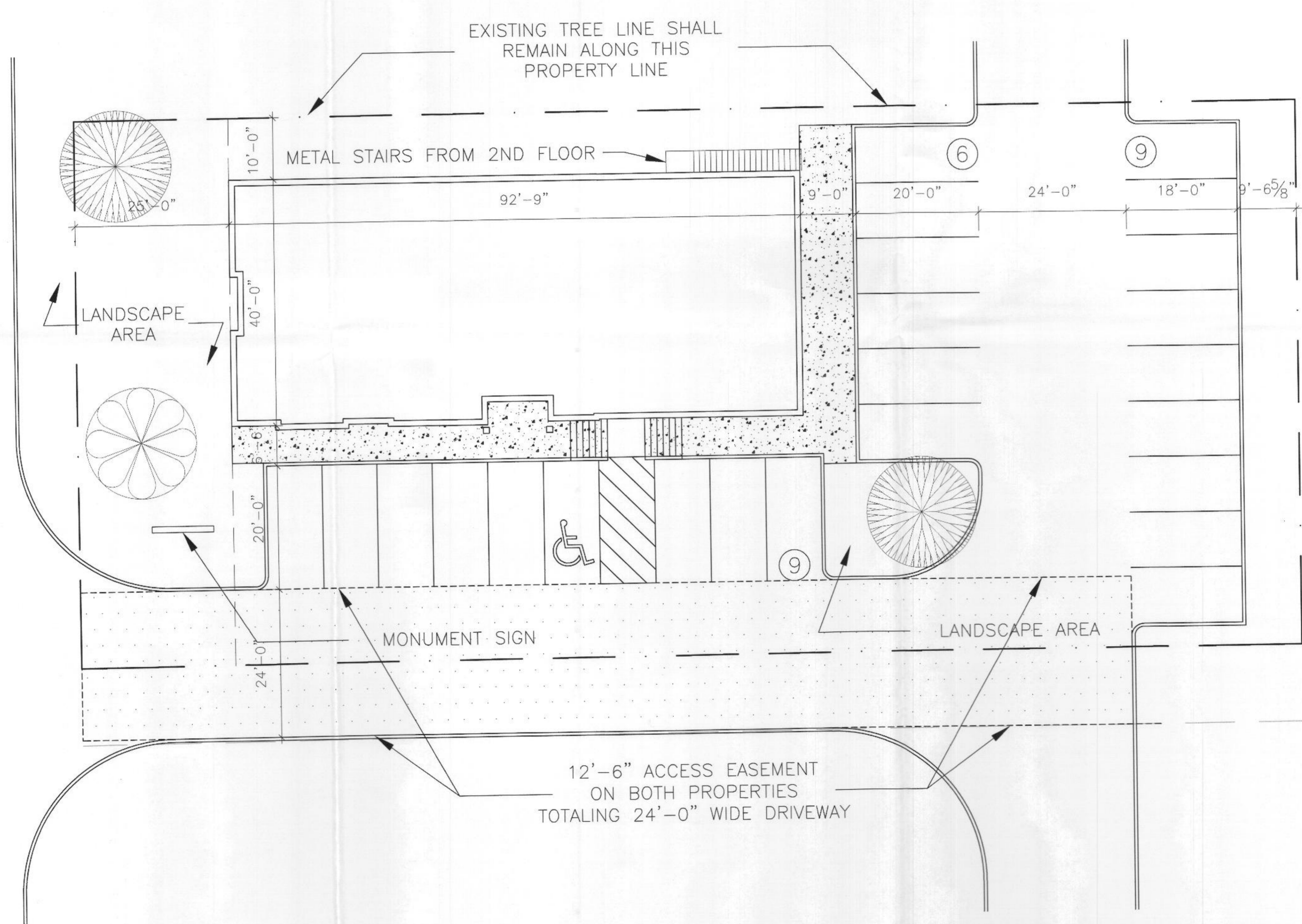
DATE: JUL 2019 SHEET NO:
PROJECT NO: 2018055
DRAWN BY: A501
CHECKED BY:

ISSUE	OWNER REVIEW:
	11-22-2019

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GOLIAD STREET



SITE DATA TABLE	
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

LANDSCAPE TABULATION	
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE- 78% OF 17,424 S.F.	13,553 S.F.

NOTES:
 - Irrigation shall be provided to all landscaped areas.
 - Tree mitigation for this project for existing trees on this property.
 - All perimeter parking are within 50'-0" of a shade tree.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER (Ø)	
	RED BUD (2) 4' HIGH ● INSTALLATION
	BURR OAK (1) 4" MIN. CALIPER

- GENERAL NOTES:
- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
 - FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM 1/2" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
 - EA SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
 - ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
 - LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
 - REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
 - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
 - OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
 - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
 - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.



1 LANDSCAPE PLAN
SCALE: 1:10

THE FITE AGENCY	
LEGAL DESCRIPTION AND OR ADDRESS: THE FITE AGENCY, LLC, DOCUMENT #2018000022302 Q.P.R.R.C.T.	
OWNER The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF HEATH CASE NUMBER: 2019XXX	

OWNER REVIEW:	11-22-2019
ISSUE:	

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PROPOSED OFFICE BUILDING FOR
THE FITE AGENCY
 810 Goliad St.
 Rockwall, Texas 75087

THE FITE AGENCY
 2701 Sunset Ridge,
 Ste. 104
 Rockwall, TX. 75087



LANDSCAPE PLAN

DATE:	JUL 2019	SHEET NO.:	
PROJECT NO.:	2018055		
DRAWN BY:			L1
CHECKED BY:			